



## CITY OF COCONUT CREEK

### DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW #2 – OCTOBER 21, 2024

<b>PROJECT NAME:</b>	Oak Trails Park		
<b>PROJECT NUMBER:</b>	PZ-24070004		
<b>LOCATION:</b>	4100, 4230, 4250 NW 74 <sup>th</sup> Street		
<b>APPLICANT/AGENT:</b>	Miller Legg		
<b>REVIEW/APPLICATION:</b>	Site Plan		
DISCIPLINE	REVIEWER	EMAIL	TELEPHONE
DRC Chair Urban Design & Development	Liz Aguiar - Principal Planner	<a href="mailto:laguiar@coconutcreek.net">laguiar@coconutcreek.net</a>	(954) 973-6756
Sustainability, Urban Design & Photometrics	Linda Whitman – Sustainability Manager	<a href="mailto:lwhitman@coconutcreek.net">lwhitman@coconutcreek.net</a>	(954) 973-6756
Urban Design & Signage	Natacha Josiah - Planner	<a href="mailto:njosiah@coconutcreek.net">njosiah@coconutcreek.net</a>	(954) 973-6756
Transportation	Michael Righetti - Senior Project Manager	<a href="mailto:mrighetti@coconutcreek.net">mrighetti@coconutcreek.net</a>	(954) 973-6756
Building	Sean Flanagan – Chief Building Official	<a href="mailto:sflanagan@coconutcreek.net">sflanagan@coconutcreek.net</a>	(954) 973-6750
Engineering	Eileen Cabrera - Senior Engineer	<a href="mailto:ecabrera@coconutcreek.net">ecabrera@coconutcreek.net</a>	(954) 973-6786
Fire	Ryan Banyas – Fire Marshal	<a href="mailto:rbanyas@coconutcreek.net">rbanyas@coconutcreek.net</a>	(954) 956-1563
Landscape	Scott Peavler - Landscape (consultant)	<a href="mailto:speavler@craventhompson.com">speavler@craventhompson.com</a>	(954) 739-6400
Police	Barbara Hendrickx - Police Department	<a href="mailto:bhendrickx@coconutcreek.net">bhendrickx@coconutcreek.net</a>	(954) 956-6721
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Engineering	Tamar Joseph - Engineer I	<a href="mailto:malbassam@coconutcreek.net">malbassam@coconutcreek.net</a>	(954) 973-6786
Engineering	Steve Seegobin - Construction Supervisor	<a href="mailto:gseegobin@coconutcreek.net">gseegobin@coconutcreek.net</a>	(954) 973-6786

## DEPARTMENTAL COMMENTS

### BUILDING

1. There is no accessible route or accessible spaces for the picnic and exercise areas. FBC Accessibility 206/402/403, etc....Clear floor space still not shown at the picnic table areas.

**Proposed 6' concrete sidewalks provide connection and accessibility including the provided clear floor space for picnic tables as well as the poured-in-place surface for exercise areas.**

2. When provided at least one Electric Vehicle Charges space must be accessible. FBC Accessibility 208, 228, 502, etc.

**Two ADA accessible electric vehicle charging spaces are proposed.**

*Note: Every effort has been made to identify code violations. Any oversight by the reviewer shall not be considered as authority to violate, set aside, cancel or alter applicable codes or ordinances. The*

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.



*plan review and permit issuance shall not be considered a warranty or guarantee. The designer is responsible for following all applicable federal, state, and municipal codes and ordinances.*

## ENGINEERING

### GENERAL COMMENTS

1. Please note that all reviews and comments are preliminary and the plans are subject to further review for compliance with the City's Code of Ordinances, Utilities and Engineering Standards Manual, and at the Final Engineering Review.

*Comment acknowledged.*

2. Please note that as the site plan review was completed prior to the final engineering review and approval, all engineering comments are preliminary and may be modified upon further reviews as well as additional comments may be generated.

*Comment acknowledged.*

3. All required approvals from FDOT, FDEP, Broward County, COCOMAR or any other applicable agencies must be obtained and submitted to the Engineering Division prior to issuance of engineering permits.

*Comment acknowledged.*

4. In accordance with the City's code Sec. 13-186, the execution of Performance Bonds, for all proposed public improvements, are required prior to issuance of Engineering Permit.

*Comment acknowledged.*

5. Conflict schedule between all proposed utilities for this project is required at the Final Engineering Review stage.

*Comment acknowledged.*

6. All proposed utility easements must be at least 12 feet wide.

*Comment acknowledged.*

7. Please be aware that all Utilities & Engineering standard details have been revised, and engineering staff will provide a copy of the latest revisions. All standard details are subject to change until they are approved and codified.

*Updated standard details will be included in the plan set prior to issuance of engineering permits.*

### TRAFFIC / ROADWAY AND PAVEMENT

8. All pavement markings and signage shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).

*Comment acknowledged.*

9. All pavement and sidewalks must follow the City of Coconut Creek's Standard Details.

*Comment acknowledged.*

10. Sheet # 032-SP-3. Site triangle must be shown.

*Sight triangles have been added.*

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## CITY OF COCONUT CREEK

### DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW #3 – DECEMBER 03, 2024

<b>PROJECT NAME:</b>	Oak Trails Park		
<b>PROJECT NUMBER:</b>	PZ-24070004		
<b>LOCATION:</b>	4100, 4230, 4250 NW 74 <sup>th</sup> Street		
<b>APPLICANT/AGENT:</b>	Miller Legg		
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ALTERNATE REVIEWERS			
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Engineering	Muayad Mohammed - Engineer I	<a href="mailto:mmohammed@coconutcreek.net">mmohammed@coconutcreek.net</a>	(954) 973-6786
Engineering	Steve Seegobin - Construction Supervisor	<a href="mailto:gseegobin@coconutcreek.net">gseegobin@coconutcreek.net</a>	(954) 973-6786

## DEPARTMENTAL COMMENTS

### BUILDING

Passed with the condition that a sign at the existing handicap parking space indicating that ACCESSIBLE E.V. CHARGERS are located on the other side of the walkway” is posted and will be required to be shown on the plans when submitting for the Building Permit review process

*Note: Every effort has been made to identify code violations. Any oversight by the reviewer shall not be considered as authority to violate, set aside, cancel or alter applicable codes or ordinances. The plan review and permit issuance shall not be considered a warranty or guarantee. The designer is responsible for following all applicable federal, state, and municipal codes and ordinances.*

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.



## ENGINEERING

### GENERAL COMMENTS

1. Please note that comments provided are based on a preliminary engineering review and the project is subject to further review for compliance with the City's Code of Ordinances and the Utilities & Engineering Standards Manual at Final Engineering review.
2. Additional comments may be provided and/or required upon review of any revised plans.
3. Engineering permit is required for all proposed civil work.

## FIRE

This review shall not imply full compliance with the Florida Fire Prevention Code (FFPC). The requirements/provisions of the FFPC shall be met during building permit review.

## LANDSCAPING

1. Correct replacement canopy square footage provided on sheet TS-8 under Table 4 per current tree category list. Based on quantity and tree category, 23,850 SF of tree replacement canopy is being provided.
2. Landscape data table to include overall lot landscape requirement (1 tree and 5 shrubs per 1,000 SF of plot area) and perimeter buffer requirement (1 tree per 40 LF). Note that existing trees can be used to meet landscape requirements.
3. Revise provided diversification calculations to be based on quantities provided in plant schedule for trees and shrubs. Trees and shrubs are to be calculated separately.
4. Remove "native vegetation exempt" statement under Shrub and groundcover plant schedule.

## PHOTOMETRICS

No comments at this time.

## POLICE

1. The camera currently on property is a temporary investigative measure and not permanent. Brian Rosen advised PD that the infrastructure for cameras is being installed, but not physical cameras at this time.

## PUBLIC WORKS

No comments at this time.

## SUSTAINABILITY

### Sustainability Certification

1. Continue to share certification progress with the Sustainability Manager.

### Green Plan

2. Items of note relative to Green Plan requirements:
  - a. *Action 1.6* – Identify the conspicuous display of green technology for this project. Once identified, revise the green checklist to reflect this requirement. Please contact Linda Whitman to discuss this requirement.

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.



## TRANSPORTATION

1. As stated in previous DRC comments, off-street parking design that has accommodated a “one-way” drive isle is often better served with **angled parking spaces**. This promotes easier parking turning maneuvers and more importantly, visibility as the vehicles backing out of a parking space can view conflicts or on-coming traffic. Parking at this new City Park is anticipated to be well attended during special events. Although the angled parking spaces are not required, they are highly encouraged.

## URBAN DESIGN AND DEVELOPMENT

1. Pending signage review for full compliance during building permit review.



### STORMWATER COLLECTION SYSTEM

11. Provide stormwater calcs for the entire area. Provide a table illustrating the total impervious/pervious areas.

Stormwater calculations that include pre-development and post-development land use tables are included with this submittal.

The total impervious and pervious areas are included on the Site Plan Data Table on Sheet CS-2.

12. Sheet # 034-SP-5. Depicts “pervious pavers”, however, no detail is provide for the installation.

Permeable Paving detail has been added to sheet LP-13.

### WATER DISTRIBUTION SYSTEM

13. Sheet # 242-C-13. Proposed water main must be an 8” main. The 8” main must end approximately 20’ (ft.), west, of the proposed fire hydrant within the property. Upon reconfiguration an 8” by 6” reducer can be install with the associated piping, fittings and configuration.

The water main design has been updated as requested. See sheet C-13.

14. Sheet # 242-C-13. Proposed water service along the South side of the property must be reconfigured so that the connection point (meter/RPZ) to be install along the north side of the proposed sidewalk and dry retention pond.

The water service design has been updated as requested. See sheet C-13.

15. Fire hydrant valve must be located 5’ (ft.) away from the hydrant per City’s detail.

Comment acknowledged. The proposed valve is within 5’ of the fire hydrant. See sheet C-13.

16. All proposed water lines must be located within a utility easement up to the water meter. Utility easements must be at least 12 feet wide.

The proposed easements are shown on sheet C-13.

17. Please show all proposed water sampling locations on the plan (if applicable).

The proposed sample point is shown at the fire hydrant on sheet C-13.

18. Add fire hydrant clear zone detail to the plans provided in the City Code Section 13-276. Fire Hydrants must be located 4 to 7 feet from back of the curb.

The location of the proposed fire hydrant has been updated as required. See sheet C-13.

19. Please provide bollards for proposed fire hydrants.

Proposed bollards for the fire hydrant are shown on sheet C-13.

20. Please provide water service line and meter type, size, and details. Service line material must be polyethylene.

The water service line meter type size and details can be found on sheets C-13 and C-14.

21. Provide RPMs that is one blue and one white as indicators of each hydrant assembly.

RPMs can be found on sheet C-6.

22. Per City Code Section 13-242, Fire Flow Calculations (flow required of the sprinkler system plus the anticipated hose stream or manual fire-fighting requirements) must be submitted at final engineering



review as outlined in the I.S.O. (Insurance Services Organization) Fire Suppression Rating Schedule.

Comment acknowledged.

### WASTEWATER COLLECTION SYSTEM

23. All proposed wastewater lines main line and lateral must be located within an easement up to the first clean-out, which will be maintained by the City.

Easements have been added to sheet C-13.

24. MAS spacing must not exceed 300' (ft.) per City standard (section 5-3 (4)) (if applicable).

Comment acknowledged.

25. Wastewater laterals pipe composition must be PVC SDR-26 and not SCH-40 material. This pipe material is only applicable up to the first clean-out which will be owned/maintained by the City. Revision to the plans are required.

The proposed wastewater lateral has been labeled as required. See sheet C-13.

26. Please provide the type, material, and size for all proposed wastewater laterals. Per City Code Section 13-256, the minimum size for laterals is 6" (SDR-26) and the maximum length shall not to exceed 150' ft. in length.

The proposed wastewater lateral has been labeled as required. See sheet C-13.

### FIRE

1. The demolition plan shall include the removal of any abandoned propane tank and its accessories located by the existing building.

Forementioned propane tank is a water softener tank and shall be disposed of as part of the residential and farm equipment prior to construction or included in project as noted on sheet C-2.

2. The proposed fire hydrant shall have 3 feet clearance around the circumference of a fire hydrant and 5 feet clearance located in front of the hydrant (NFPA 1-18.5.7).

Comment acknowledged.

3. Fire hydrants subject to vehicular traffic shall be protected unless located within a public right of way. (NFPA 1-18.5.8).

Comment acknowledged. Bollards are proposed around the fire hydrant. See sheet C-13.

### LANDSCAPING

1. As a general note, this submittal was reviewed as a Community Facility (CF) regarding landscape code requirements. Response not required.

Comment acknowledged.

2. Tree and Palms that are listed in good to fair condition are to be considered to remain or be relocated prior to Staff reviewing for removal. Re-access the existing trees and palms for relocation instead of removal. Comment partially addressed. Native trees and palms in good condition are to be relocated. See Live Oak #238 and Sabal Palms #74, 98, 136, 143, 153, 169, 206, 245, 255, 263, and 273.



Native trees and palms listed reflecting a good condition have been updated to be relocated. Sabal Palms #143, #153, and #203 less than 8' CT. are less likely for success of relocation including. Sabal Palms #206 and #263 are to be removed due to their condition stated in the Tree Disposition Chart (Dead).

3. Correct replacement canopy square footage provided on sheet TS-8 under Table 4. Based on quantity and tree category, 27,200 SF is proposed.

Table 4 has been updated.

4. For areas of improvement that may encroach into the critical root zones of trees to remain, work is to be limited as much as possible to lessen the impact. Tree protection barricades are to be provided prior to construction and be maintained throughout the entire project.

Comment acknowledged. Tree Protection Barricades are identified on the Tree Disposition Plan and a note has been added to the sheets.

5. Recommend understory planting outside of the proposed fencing along NW 74th Street in addition to the street trees.

Comment acknowledged, but due to budgetary constraints, this recommendation will not be implemented in the current set of plans and will be considered for future improvements to the park.

6. Sheet LP-3, 4 proposed overflow parking spaces are in conflict with the proposed shrubs along the east side of the site. Adjust shrub layout as needed.

Shrub layout has been adjusted.

7. Sheet LP-5, provide labels for trees within the native vegetation area.

Tree labels have been added within the native vegetation area.

8. The use of metal wire/cable and rubber tubing is not permitted in the City for tree bracing. Revise planting details to specify the use of wellington tape and bio-degradable twine. Only the twine is to be in contact with the tree. Comment partially addressed. Switch location of twine and wellington tape. Only the twine is to be in contact with the tree.

Tree Planting Details have been revised.

9. Provide landscape data table for all applicable landscape requirements including street trees, overall lot landscape, perimeter buffers, parking islands, divider medians, native & diversification calculations, tree category percentage calculations. Comment partially addressed. Data table to also include overall lot landscape, perimeter buffers, tree category percentage calculations, and diversification calculations.

Landscape data table has been updated.

10. Provide minimum height and spread of proposed shrub material to verify minimum size requirements. Comment partially addressed. Provide minimum spread for all proposed shrubs and groundcovers. A minimum of 50% coverage is to be provided at time of planting.

Required landscape has been noted to meet these provisions. Native vegetation area will be exempt due to naturalization and to minimize cost.

11. Additional comments may be provided upon review of the re-submittal application.

Comment acknowledged.





## PHOTOMETRICS

1. Lighting noted for the covered opening on the north end of the building exceeds limits for exterior lighting. Revise lighting for any exterior building lighting to meet the requirements of LDC 13-374 which limits the lighting to 10 footcandles.

Refer to revised sheet PH-1 for updated photometrics plan.

## POLICE

1. We do understand the budgetary restrictions; however, with the ongoing issue of vandalism at the building currently on this site, we feel that it is important to take steps to mitigate the possibility of this continuing.

A security camera has been installed on site and the vandalism issue is already being addressed by city security. Please contact Brian Rosen for status.

- We appreciate the consideration being given to adding surveillance, but it should be noted that without adequate lighting, the effectiveness of video surveillance is significantly diminished. We still recommend additional lighting in the area of the parking lot and exterior of the nature center that complies with the illuminance recommendations made in submittal #1.

Lighting is proposed for the exterior of the nature center. Please contact Brian Rosen for status.

- Can creative options be explored that will not put a budget constraint on the project? Like a community art contest where local artists submit designs and a winner is chosen to paint the mural at no cost to the City. Possibly adding climbing vegetation to the blank walls is a more budget friendly option.

These recommendations have been discussed with the City as considerations for future improvements to the park. Please contact Brian Rosen for status.

2. All recommendations from submittal #1 should be considered for future budget expenditures.

Comment acknowledged. Please contact Brian Rosen for status.

## PUBLIC WORKS

No comments at this time.

## SUSTAINABILITY

### Sustainability Certification

1. Continue to share certification progress with the Sustainability Manager.

Certification progress will be shared with the Sustainability Manager as the project progresses. The LEED scorecard for the project has been included in the submittal.

### Chapter 13-320 LDC

2. This project has site work and redevelopment of an existing building. Nearly all of the elements of LDC 13-320 require a response rather than "N/A". Revise the checklist accordingly to add descriptions of how these elements will be met. This is a City property and we must continue to set the example for our own requirements. Please reach out to Linda Whitman, Sustainability Manager with any questions.



Checklist has been updated.

## Green Plan

### 3. Items of note relative to Green Plan requirements:

- a. Action 1.6 – Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic, and environmental value. This element may be solar lighting or a solar bench, a rain garden or cistern, a pollinator garden or food forest, or any other conspicuous display of green technology. If the budget is limiting this feature, propose this element as a phased element.

Provisions have been provided for a solar charging pole.

- b. Action Item 6.4 - Implement an alternative vehicle-parking program to designated parking areas for alternative vehicles in developments throughout the City by 2020. Provide EV charging with at least one stall allowing for ADA access. Identify the EV charging on site.

Provisions for EV charging are provided.

## TRANSPORTATION

1. As previously suggested, off-street parking spaces that are adjacent to one-way drive isle should strongly consider using angled parking spaces. In the end, using angled parking spaces will support the one-way traffic and often makes the maneuver of backing out of the space easier than a 90-degree parking space.

Parking spaces have been updated.

## URBAN DESIGN AND DEVELOPMENT

1. Pending receipt of application packages prior to the Planning and Zoning Board meeting.  
Rezoning application packages will be delivered once the date of the Planning and Zoning Board meeting is confirmed.
2. Revise parking data to provide required versus provided. Explain deficiency if any.  
Parking data has been updated and noted.
3. Detail 2 on Sheet LP-12 notes mesh screening. Please indicate where mesh is proposed or clarify note.

The mesh screening is the chain link fence as an industry standard, no privacy screening material is provided. Detail updated to "chain link fence fabric."

4. Signage to be reviewed during permitting for full compliance.

Comment acknowledged.



## CITY OF COCONUT CREEK

### DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW #1 – AUGUST 05, 2024

<b>PROJECT NAME:</b>	Oak Trails Park		
<b>PROJECT NUMBER:</b>	PZ-24070004		
<b>LOCATION:</b>	4100, 4230, 4250 NW 74 <sup>th</sup> Street		
<b>APPLICANT/AGENT:</b>	Miller Legg		
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## DEPARTMENTAL COMMENTS

### BUILDING

- There is no curb ramp shown at the accessible aisle between the two handicap parking spaces. FBC Accessibility 502.  
**No curb ramp is needed. The sidewalk will be at the same grade as the pavement.**
- Asphalt trails must comply with FBC Accessibility 302.  
**The proposed 6' multi-use trail will be stable, firm, and slip resistant concrete material that complies with FBC Accessibility 302.**
- There is no accessible route or accessible spaces for the picnic and exercise areas. FBC Accessibility 206/402/403, etc...

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.



The proposed 6' multi-use trail will be ADA accessible at all points. The proposed picnic tables are ADA accessible picnic tables on a concrete pad. The proposed exercise equipment will be on a poured-in-place surface.

4. Changes in elevation must be not more than 1/2". FBC accessibility 303.

Acknowledged. Proposed changes in elevation will not be more than 1/2" per FBC accessibility 303.

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## ENGINEERING

### Water

1. Sheet 031-SP-1 depicts the existing water service in the incorrect location.

The existing water service shown on this sheet belongs to 4230 NW 74<sup>th</sup> St. and will remain undisturbed as part of these improvements. The service belonging to 4100 NW 74<sup>th</sup> St. is to be removed/abandoned.

2. Reconfiguration/tie-in of the water service line must be considered. There is an existing water service (33' ft.) west of the existing fire hydrant on sheet # 241-C12.

Acknowledged. Water service tie-in for the proposed improvements will be configured per comment #3 below.

3. The existing water main stub along Crescent Creek Lane must be reduced/cut-back and a fire hydrant with bollards to be installed. Fire hydrant & valve appurtenances must adhere to the City standard detail. The domestic water and water fountain service line connection can be incorporated into this modification.

Acknowledged. Fire hydrant has been added and domestic service line has been incorporated.

4. Existing water main must adhere with FDEP requirements FAC 62-555.314 as it relates to the proposed wastewater installation. This information can be found on the City's GIS link [Coconut Creek GIS \(ArcGIS Server\): Powered By Freance 6.0.0.10619 - TDC Group Inc.](#)

Acknowledged.

5. The existing water main must be shown on plan sheet # 242-C-13.

Acknowledged. Existing water main has been added.

6. City staff recommends providing future 3/4' water service/hose bib connection for maintenance obligation.

Acknowledged.



### **Wastewater**

7. Redesign/reconfiguration of the existing sanitary sewer laterals for Buildings 7167 & 7163 & Crescent Creek Lane must be incorporated into the proposed gravity sewer main.

**Acknowledged. Building 7167 & 7163 sewer laterals have been incorporated into the proposed gravity main.**

8. Upon reconnection of the laterals to the proposed main, the remaining portion of the laterals must be grout fill in place.

**Acknowledged. Remaining portion of existing laterals shown to be grout filled & abandoned in place.**

9. The existing gravity main along Crescent Creek Dr., in the areas where the existing laterals (WYE's) are connected to the main must be removed. The gravity main must be repaired with a segment of pipe and two slip/slip sleeves.

**Acknowledged.**

10. The proposed wastewater system must adhere with FDEP requirements FAC 62-555.314 as it relates to the existing water main. This information can be found on the City's GIS link [Coconut Creek GIS \(ArcGIS Server\): Powered By Freeance 6.0.0.10619 - TDC Group Inc.](#)

**Acknowledged.**

11. The existing wastewater laterals must be shown in the plans sheet # 242-C-13.

**Acknowledged. Existing wastewater laterals have been added to the plans.**

12. Annotation for the pipe composition must be change to PVC SDR-26.

**Acknowledged. Pipe composition has been changed.**

### **Pavement**

13. Sheet # 233-C-4 does not depict any directional arrows for the flow of traffic.

**Directional arrows have been added to show the flow of traffic.**

14. Sheet # 240-C-11 section A-A & B-B annotation states S-111 asphalt. Annotation must be revised to S.P.- 9.5.

**Acknowledged. Annotation has been revised.**

15. Sheet # 240-C-11 section B-B annotation states 4" concrete "sidewalk". This must be revised to six (6") of concrete sidewalk within city rights-of-way or property.

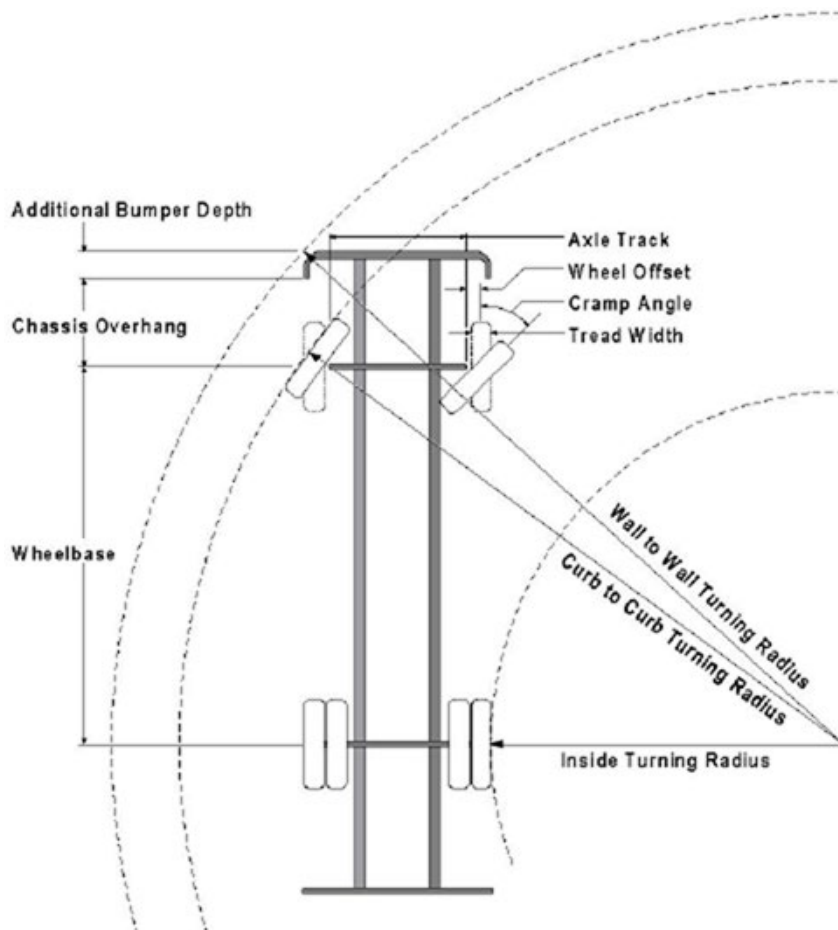
**Acknowledged. Sidewalk thickness revised to 6".**



## FIRE

1. Provide a Fire Truck Route Plan that can accommodate a two-axle fire truck (B40 Bus template) that is 39 feet long, 9 feet wide. Display turning radius dimensions, front wheel path, rear wheel path, apparatus path, and front chassis overhang (see figure). Use a 50 foot outside 25 foot inside turning radius. Do not overlap the entrance and exit of the truck and provide multiple pages if necessary. (NFPA 1-18.2.3.1.1)
  - Use AutoCAD or similar program to generate the fire truck route plan. Please include a depiction of the truck on the plan.
  - The truck shall not traverse through parking spaces and shall not be required to reverse.
  - Driving into multiple lanes and into oncoming traffic shall be minimized as much as possible.
  - Show the truck traversing all driveways/fire apparatus access roads.

The Emergency Vehicle Access Plan has been updated to reflect the requested changes.



2. Fire department access through a gated community shall be provided with a Knox gate switch (NFPA 1-18.2.2.2). Activation of the switch shall activate both entrance and exit gates.

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The project does not include a gated community. A Knox Box is provided on both of the proposed manual vehicular gates.

3. All automatic residential and commercial gates shall be provided with the Click-to-Enter universal access system approved by the Fire Chiefs Association of Broward County (F-109.9.3).

The project does not include an automatic gate.

4. Display that the maximum distance from the building to the closest fire hydrant is not more than 400 ft (NFPA 1-18.5.3) as measure along the fire department access road.

A dimension from the building to the closest fire hydrant has been provided on the Site Plan.

5. What is the address of the nature center building? Show the address on the elevation detail. Address must be 6 in. high with a minimum stroke width of ½ in. and positioned to be plainly legible and visible from the street or road facing the property. The address numbers shall be contrasting with the background NFPA 1-10.11.

The address for Oak Trails Park is to be consolidated into an individual location: 4230 NW 74th Street, Coconut Creek, FL 33073. Coordination with the City will need to be conducted to confirm this.

6. Provide fire lane striping on the entrance and exit fire access road that is narrowed to 1 lane (NFPA 1-18.2.3.6) with appropriate signage.

The plans have been updated to include fire lane striping.

## LANDSCAPING

1. As a general note, this submittal was reviewed as a Community Facility (CF) regarding landscape code requirements.

Acknowledged.

2. Trees and Palms that are listed in good to fair condition are to be considered to remain or be relocated prior to Staff reviewing for removal. Re-assess the existing trees and palms for relocation instead of removal.

Trees and Palms that are listed for removal are either in bad condition, non-native to South Florida, or are impacted by the proposed improvements to the site. The existing trees and palms have been re-assessed for relocation instead of removal, where applicable.

3. Trees and Palms with a DBH 18" or greater and have a condition rating of 60% or higher are considered specimen trees and require an ISA appraisal value form be submitted for review. Appraisal forms are only required for specimen trees proposed for removal.

The Site Plan has been revised to minimize development impacts on Specimen trees. The only Specimen trees listed to be removed are considered invasive species in South Florida.

4. Pink Tabebuia trees are not considered a Nuisances or Invasive species. Remove from Table 1 on sheet TS-8 and include in Table 2 and mitigation calculations.

Pink Tabebuia trees have been removed from Table 1 on sheet TS-8 and added to mitigation calculations.

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5. Canopy square footage of removed palm trees is to be included in mitigation totals and not replaced 1 to 1.  
*Palm mitigation charts have been updated to show canopy square footage of removed palm trees.*
6. Sheet TS-5, tree ID #'s are cut off by the viewport along the east property line.  
*The Tree Disposition Plan has been updated to show all tree ID's.*
7. Sheet LP-2 and LP-3, verify proposed Pigeon Plum trees meet FPL right tree, right place setback distances to overhead powerlines.  
*Pigeon Plum trees have been replaced with Silver Buttonwood trees.*
8. Consider canopy trees within the proposed landscape parking islands to provide additional shade.  
*Canopy Trees have been added to the proposed landscape parking islands where applicable.*
9. Provide missing terminal landscape island tree on sheet LP-5.  
*The Landscape Plan has been updated to show all required terminal landscape island trees.*
10. Proposed Thatch Palms on sheet LP-5 look to conflict with underground electrical line.  
*The parking lot layout has been adjusted; proposed trees no longer conflict with underground electrical line.*
11. Buildings within Community Facilities require a minimum of two tiers of landscape and one tree per 40 linear feet of building façade that faces a vehicular use area. Provide required landscape along the east side of the proposed nature center.  
*Landscape has been provided between the vehicular use area and the building.*
12. Consider providing additional native understory planting within the large landscape area located in the middle of the proposed parking lot.  
*Due to budgetary restrictions, this suggestion has not been included in the site plan. It will be a consideration for future improvements to the park.*
13. Verify that proposed grading around the proposed trees to remain is not impacting the root zones.  
*All proposed grading will maintain existing grading within critical root zones, unless not possible due to location of proposed improvements.*
14. Provide tree ID #'s for the trees and palms to remain on the LP sheets.  
*The Landscape Plan has been updated to include tree ID's.*
15. Recommend understory planting outside of the proposed fencing along NW 74<sup>th</sup> Street in addition to the street trees.  
*Due to budgetary restrictions, this suggestion has not been included in the site plan. It will be a consideration for future improvements to the park.*
16. Plant schedules provided on sheet LP-2 through LP-5 are not consistent with the plant schedule provided on sheet LP-7 as it pertains to shrub areas.  
*The plans have been revised to only include one master plant schedule.*





17. Provide an alternate native tree species for the proposed Dahoon Holly trees. This species has not done well in the City.

The Dahoon Holly trees have been replaced.

18. The use of metal wire/cable and rubber tubing is not permitted in the City for tree bracing. Revise planting details to specify the use of wellington tape and bio-degradable twine. Only the twine is to be in contact with the tree.

The planting details have been revised.

19. Revise shrub planting detail to specify bed excavation to be a minimum of 24”.

The shrub planting detail has been revised.

20. Include a copy of the City Standard Landscape Notes on plans. Notes are available upon request.

The City Standard Landscape Notes have been included on the plans.

21. Provide landscape data table for all applicable landscape requirements including street trees, overall lot landscape, perimeter buffers, parking islands, divider medians, native & diversification calculations, tree category percentage calculations.

A landscape data table has been provided for applicable landscape requirements.

22. Proposed Slash Pines specified at 3’ and 6’ heights do not meet the minimum height requirements for trees and may not be counted towards any landscape requirements.

Acknowledged.

23. Recommend specifying a minimum CT range for the proposed Sabal Palms to provide some height variation.

A CT range has been provided for sabal palms.

24. Shrub quantities required for native and species diversification calculations.

Shrub quantities have been provided in the landscape schedule.

25. Provide minimum height and spread of proposed shrub material to verify minimum size requirements.

The plans have been updated to include minimum height and spread of proposed shrub material.

26. Additional comments may be provided upon review of the re-submittal application.

Acknowledged.

## PHOTOMETRICS

1. Provide photometrics for review that include ALL outdoor lighting, including parking, park, pathway, and building.

The project does not include any outdoor lighting in the parking area, park, or pathway. A Photometrics Plan has been provided for the building lighting.

## POLICE

1. Consider installing IP surveillance cameras at entrances/exits, nature center interior/exterior, covered patio, parking areas, and overlooking fields that can be tied into the Alert System with the

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Police Department for immediate monitoring by the CCPD Real Time Crime Center in the event of an emergency.

**Surveillance cameras will be proposed to monitor the interior and exterior of the nature center.**

2. Consider installing LPR Camera technology at entrance/exit gates that can share data with the CCPD Real Time Crime Center.

**Due to budgetary restrictions, this suggestion has not been included in the site plan. It will be a consideration for future improvements to the park.**

3. To enhance territorial reinforcement, "No Trespassing" signage should be posted at all entrances and in accordance with Florida State Statute 810.011(5)(a). Since the park is City owned property, an Affidavit of Authorization is not needed. The Police Department can provide a proof for the approved signage that meets statutory requirements.

**The Site Plan has been updated to include "No Trespassing" signage.**

4. It is presumed that this park is not intended to be open to the public 24 hours a day. The use of a chain link fence does allow the opportunity for an unauthorized user to climb the fence after hours. To keep those individuals from being able to access the fence, it is recommended to add hostile vegetation along the exterior fence line on the south, east, and west boundaries. Examples of hostile vegetation are holly, natal plum, pyracantha, silver thorn, rose bush, bougainvillea, etc. Please coordinate with appropriate City staff regarding acceptable vegetation.

**The park is intended to be open from dawn to dusk. There will be a landscape buffer along the East, South, and West sides of the park to deter individuals from entering the property after hours.**

5. Consider adding wayfinding signs along the trail directing guests toward fields, picnic areas, back to the nature center, and the exit of the trail. This will assist in reducing the possibility of guests becoming lost, wandering aimlessly, or becoming trapped if they are attacked.

**Due to budgetary restrictions, this suggestion has not been included in the site plan. It will be a consideration for future improvements to the park.**

6. Historically, large blank wall spaces, like those seen on the nature center rendering, are targets for vandalism. Walls that have intricate art/murals generally do not attract this type of crime. The exterior walls of the nature center may provide a good opportunity to incorporate public art into the design, which has a dual purpose of discouraging vandalism.

**Due to budgetary restrictions, this suggestion has not been included in the site plan. It will be a consideration for future improvements to the park.**

7. Consider adding emergency phones to areas where individuals congregate (nature center patio, picnic tables, fields, exercise area, etc.) and along the walking trail. This allows for users to have quick access to emergency services even if they do not have a phone close (such as when playing outdoors) and gives social cues that the park and trails are not isolated.

**Due to budgetary restrictions, this suggestion has not been included in the site plan. It will be a consideration for future improvements to the park.**

8. It is important to note that identification of individuals should be able to be made at a distance of 30 feet away in order for a fight-or-flight decision to be made. Nature trails make this difficult due to thick vegetation and winding paths. Attention should be given to how close to the paths vegetation is planted to limit blocking sight lines and creating hiding places.

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The multi-use trail has been designed with CPTED principles in mind.

9. While we can appreciate that this park is not intended to be used in nighttime hours, we do believe that illuminating certain areas and features is important. Tree cover will make the trails darker prior to sundown and inclement weather will also cause the area to become darkened, even when the park is open to the public. If the decision was ever made to use the space for a special event during the evening hours, lighting will become crucially important.
  - We recommend adding lighting in the parking lot (average reading of 3 fc with an average to minimum uniformity ratio of at least 4:1)
    - Note: City code requires illumination to reduce to 1 fc after hours. The city code and this security lighting recommendation can be satisfied through the use of motion sensors that activate illuminance to the full 3 fc if motion is detected in the parking area.
  - We recommend adding pedestrian scale lighting at the picnic area and fitness area (average reading of 1 fc with an average to minimum uniformity ratio of at least 4:1).
  - We recommend adding pedestrian scale lighting to the trails (average reading of 1 fc with an average to minimum uniformity ratio of at least 4:1).
  - It is highly recommended to illuminate the proposed wayfinding signs suggested above.  
**Due to budgetary restrictions, this suggestion has not been included in the site plan. It will be a consideration for future improvements to the park.**

## PUBLIC WORKS

No comments at this time.

## SUSTAINABILITY

### **Sustainability Certification**

1. All City buildings are to be LEED certified. What are the plans for the proposed Nature Center building?

The proposed Nature Center will be LEED certified. The LEED scorecard for the project has been included in the submittal.

### **Chapter 13-320 LDC**

2. Provide the Sustainability Checklist for this project. The checklist is available upon request. The checklist shall be affixed to a sheet in the set of plans.

The Green Checklist has been provided.

### **Green Plan**

3. Provide responses to the Sustainability Checklist relative to the Green Plan.

The Green Checklist has been provided.

4. Items of note relative to Green Plan requirements:

- a. *Action 1.6* – Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic, and environmental value.

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*Acknowledged.*

- b. Action 2.1 – Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public and private land by 2020. Provide tree canopy coverage percentage for this site.

*Acknowledged, the proposed improvements achieve 40% tree canopy coverage.*

- c. Action Item 6.4 - Implement an alternative vehicle parking program to designated parking areas for alternative vehicles in developments throughout the City by 2020. Provide EV charging with at least one stall allowing for ADA access.

*An electrical connection has been provided for future installation of an EV charging station.*

**Resolution 2020-063**

5. Water Fountains: Either add water bottle filling stations with fountains and dog fountains or add the water bottle filling stations in addition to the traditional fountains.

*A chilled water fountain with bottle filler is proposed attached to the building.*

**TRANSPORTATION**

1. Sheet SP-5 provides an illustration of the park's off-street parking. Provide a tabulation of the off-street parking requirements vs. off-street parking provided.

*This has been provided in the Site Data Table.*

2. A 90-degree parking space(s) as illustrated on sheet SP-5 appears to provide a conflict with a 24-foot drive isle that turns behind the parking spaces. At this angle, the radii appears to make backing out of the parking spaces challenging for the vehicle operator to view on-coming traffic. The entrance driveway appears to support a one-way vehicle circulation, which is encouraged. If so, reduce the drive isle from 24-feet to 16-feet and provide angled off-street parking spaces that harmonize with the anticipated one-way vehicle circulation.

*Due to fire clearance and prioritization of protecting existing trees, the drive aisle was proposed to remain at 24-feet.*

3. Provide a convenient location for a bike rack;

*A bike rack has been provided on the site plan.*

4. Provide a typical bike rack detail;

*The plans have been updated to include the detail.*

5. Provide a typical handicap parking detail;

*The plans have been updated to include the detail.*

6. Provide a typical standard parking space detail;

*The plans have been updated to include the detail.*

7. Provide a dimension for the width of the sidewalks and accessible route; and

*Dimensions have been provided.*

8. Provide a narrative on how individuals parking in the any of the eight (8) off-street parking spaces located in the southeast segment of the parking lot access the trail or sidewalk?

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An additional sidewalk has been provided.

## URBAN DESIGN AND DEVELOPMENT

### General Comments

1. Applicant shall be prepared to make a PowerPoint presentation at the Planning and Zoning Board and City Commission meetings including renderings, aerials, or maps of the proposed project.

Acknowledged.

2. Prior to the Planning and Zoning Board meeting, applicant shall provide site plan packages of the following to the City:

- (a) Digital: One (1) complete set of each.
- (b) Printed: Twelve (12) complete sets of each.  
Each printed set shall be individually bound / stapled / 3-hole punched.  
Site plan – 11"x17" in size.  
PowerPoint – no larger than 11"x17" in size.  
Public outreach report.  
Sustainable (Green) report.  
Each round of DRC response document, 8.5"x11" in size.

These deliverables will be prepared for the planning and zoning board meeting when the time comes.

3. Public participation is required for this project. The purpose of this action is to provide information regarding the proposed project to neighboring property owners. Provide copies of all correspondence demonstrating these efforts including a detailed accounting of meetings, copies of mailed notices, meeting notes, site postings etc.

Meeting minutes have been included to show proof of public participation.

4. Additional comments may be provided at DRC meeting and/or upon review of revised application.

Acknowledged.

5. Acknowledgements to DRC comments may not always demonstrate compliance. Corrected plans shall be re-submitted per digital submittal requirements.

Corrected plans have been re-submitted.

### Site Plan

6. Sec.13-402(5)(b) - Miscellaneous uses shall provide parking as follows: Parks: One (1) parking space per five thousand (5,000) sq ft of passive land area. Active recreational facilities (tennis, volleyball, racquetball, basketball, etc.) and their associated areas shall require one (1) space for each two (2) possible users, up to the capacity for said facilities. Any parking combinations of active and passive uses shall be determined by the Sustainable Development Director.

Parking requirements have been provided on the Site Data table.

7. Sec.13-405 – Shared usage – Required parking spaces may be permitted through a site plan review process to be utilized for meeting the parking requirements of two (2) separate permitted uses when it is clearly established by the applicant that these two (2) uses will primarily utilize these spaces at different times of the day, week, month or year.

Acknowledged.

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8. Sec.13-406 - Bicycle parking facilities shall be provided by installation of a stationary bike rack at a ratio of 1 space per 10,000 square feet of total floor area.

A bike rack has been provided.

9. Sec.13-407(b) – When units determining the total number of required off-street parking spaces result in a fractional space, any such fraction shall require a full off-street parking space.

Acknowledged.

10. Sec.13-407(c)(1) – In the case of mixed uses, the total requirement for off-street parking spaces shall be the sum of the requirements of the various uses computed separately.

Acknowledged.

11. Show dimensions of existing half ( $\frac{1}{2}$ ) right-of-way width.

Plans have been updated to show ROW width.

12. Building 2 reflects no A/C pads. Show location of ground mounted equipment.

Plans have been updated to show the equipment.

### **Fences**

13. Provide notes on plan identifying type, material, height and color of all proposed fences.

See Amenity Plan for Fencing Details.

14. Indicate what sections of fence is proposed to have the mesh screening.

No sections of the fencing are proposed to have mesh screening.

15. Clarify if fencing is proposed around multi-purpose fields. If so, please note that:

Fencing is not proposed around multi-purpose fields.

- Fences for game courts, fields and paved activities areas exceeding six (6) feet in height shall be subject to required setbacks of the main structure.
- No fence shall exceed ten (10) feet in height except for racquetball/handball courts.
- Fence shall be screened from adjacent properties with a continuous planting strip.

16. Fences and walls within non-residential zoning districts shall not exceed eight (8) feet in height.

Acknowledged.

### **Elevations**

17. Sec.13-37(c)(3)e. – Mechanical equipment or other utility hardware on the roof, ground or building shall be screened from public view with materials harmonious with the building, or they shall be so located as not to be visible from any public ways.

The plans have been updated to show a screening wall around the AC Units and Dumpsters.

### **Signage**

18. Several code sections are identified below to assist in the development of a master sign plan.

Acknowledged.



19. Sec.13-459 – Schedule of permitted signs.
20. Sec.13-460 – General provisions for all signs.
21. Sec.13-460(k) – Cabinet signs.
22. Sec.13-460(n) – Additional description of services provided or attributes.
23. Sec.13-466.6 – Ground identification signs.
24. Sec.13-466.8 – Wall identification signs.
25. Sec.13-467.4 – Directional signs. (if applicable)
26. Sec.13-468.1 – Address signs. (mandatory)

The building address number has been provided on the exterior elevation within the architecture plans.

27. Sec.13-471 – Sign review procedures.