



400 N. Ashley Dr, Suite 600
Tampa, FL 33602
www.bdgllp.com

Date: July 3rd, 2025

Lizet Aguiar
City of Coconut Creek
Planning and Zoning Department
4800 W. Copans Rd.
Coconut Creek, FL 33063

Fifth Third Bank Coconut Creek Public Outreach Report

Dear Ms. Aguiar,

A Public Outreach Meeting was held for a proposed Fifth Third Bank located at 4805 Coconut Creek Parkway, Coconut Creek, FL 33063. The meeting was held at the Broward County Library located at 1100 Coconut Creek Blvd., Coconut Creek, FL 33066. The meeting took place in Room 226 on Tuesday, July 1st, 2025 from 5:45 PM-7:45PM. All residents and businesses within a 700 foot radius of the proposed Fifth Third Bank location were provided with notice of the Public Outreach Meeting. This meeting was to present the project and address any questions, concerns, and comments regarding this project. The project was presented using Site plans, Landscape plans, and Renderings. One person attended and had a positive response to our presentation. Please refer to Exhibit A for the Facility Room Request and receipt. Please refer to Exhibit B for the Public Outreach Meeting notice that was mailed and hand delivered to residents and businesses within the plaza. Please refer to Exhibit C for the Mailing List and Map obtained from Broward County GIS.

If you have any questions regarding this meeting, please contact me at Angelina.makowski@bdgllp.com / 813-954-2211

Sincerely,
Angelina Makowski
BDG Architects, LLP



400 N. Ashley Dr, Suite 600
Tampa, FL 33602
www.bdgllp.com

Date: June 10th, 2025

RE: Public Outreach Meeting for Fifth Third Bank Coconut Creek
Project Number: PZ-24090009
4805 Coconut Creek Pkwy, Coconut Creek, FL 33063
Parcel No. 484230130015

Dear Neighbor:

BDG Architects invites you to attend a public outreach meeting for the Fifth Third Bank site located in Coconut Creek. The proposed project will include the demolition of an existing 4,076 SF commercial building and the design and construction of a new retail bank facility: approx.. 1,900 SF one level building including a drive-thru with one VAT and one ATM lane. The site borders Coconut Creek Pkwy to the south and an access road to the north. You are receiving this letter as an adjacent property owner/resident of the proposed project. The purpose of this meeting is to inform property owners and residents about the details of the proposal and address any questions or concerns.

Meeting Location (In Person):

Date: July 1st, 2025

Time: 5:45-7:45 PM

Location: Broward County Library, Room 226
1100 Coconut Creek Blvd.
Coconut Creek, FL 33066

*This event is not sponsored by the Broward County Libraries Division.

If you wish to send written comments, please send them to the below address:

BDG Architects, LLP

Attn: Angelina Makowski

400 N. Ashley Dr. Suite 600

Tampa, FL 33602

Please note, there will be additional opportunities for public input at the City of Coconut Creek Public Hearings.

Sincerely, BDG Architects, LLP

NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
SCHOOL BOARD OF BROWARD COUNTY	ATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301
BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
CENTRO NP COCONUT CREEK OWN LLC		200 RIDGE PIKE #100	CONSHOHOCKEN	PA	19428
CENTRO NP COCONUT CRK	CORP REAL ESTATE ASSMT	PO BOX 32547	CHARLOTTE	NC	28232
CITY OF COCONUT CREEK		4800 W COPANS RD	COCONUT CREEK	FL	33063
1301 LYONS LLC	% SFLRE GROUP LLC	1650 SE 17 ST #214	FORT LAUDERDALE	FL	33316
WALKER,JASON E H/E	WALKER,STACEY	1400 NW 47 AVE	COCONUT CREEK	FL	33063
GUADALUPE,JAVIER H/E	GUADALUPE,ALMA Y	4726 NW 14 ST	COCONUT CREEK	FL	33063
DE FREITAS,ADRIANA MAILE K		7058 NW 70 TER	PARKLAND	FL	33067
CHEA,CONRAD A H/E	CHEA,ROBERT A	4746 NW 14 ST	COCONUT CREEK	FL	33063
SAINT LOUIS,JESULA	FERDINAND,MULLER	4756 NW 14 ST	COCONUT CREEK	FL	33063
HAMMOCK ESTATES HOMEOWNERS ASSN	DAVENPORT PROF PROP MGMT INC	6620 LAKE WORTH RD STE F	LAKE WORTH	FL	33467
BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
SCHOOL BOARD OF BROWARD COUNTY	ATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301
PROJECT SATURN NLP LLC	OAK STREET REAL ESTATE CAP LLC	30 N LA SALLE ST STE 4140	CHICAGO	IL	60602
HAPPINESS INC	REGIONS BANK-JENNIFER BRADFORD	2050 PARKWAY OFFICE CIR #500	BIRMINGHAM	AL	35244
JAMES'S PLACE LLC		265 NEWBURY ST	PEABODY	MA	01960
STRADA CC DEVELOPMENT LLC		1860 SW FOUNTAINVIEW BLVD #200	PORT ST LUCIE	FL	34986
SELF STORAGE COCONUT CREEK	PKWY COCONUT CREEK LLC	1801 S FEDERAL HWY	BOCA RATON	FL	33432
STRADA CC DEVELOPMENT LLC		1860 SW FOUNTAINVIEW BLVD #200	PORT ST LUCIE	FL	34986
COREGRO 4848 COCONUT CREEK LLC		153 E FLAGLER ST #116	MIAMI	FL	33131



Please · Sign · In

[illegible]

Thank you for Attending



FIFTH THIRD BRANCH BANK



4805 Coconut Creek Parkway
Coconut Creek , FL 33063





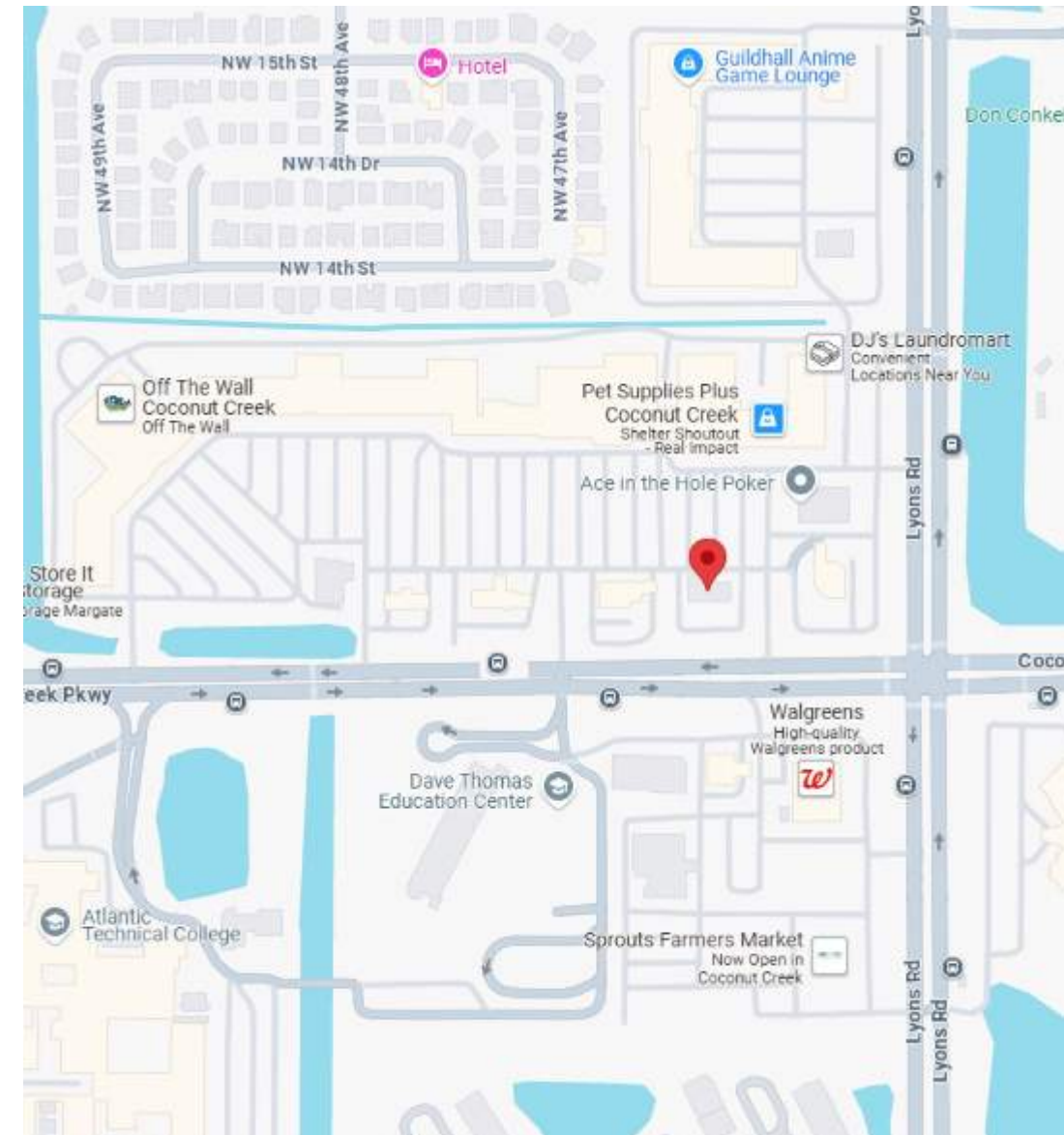
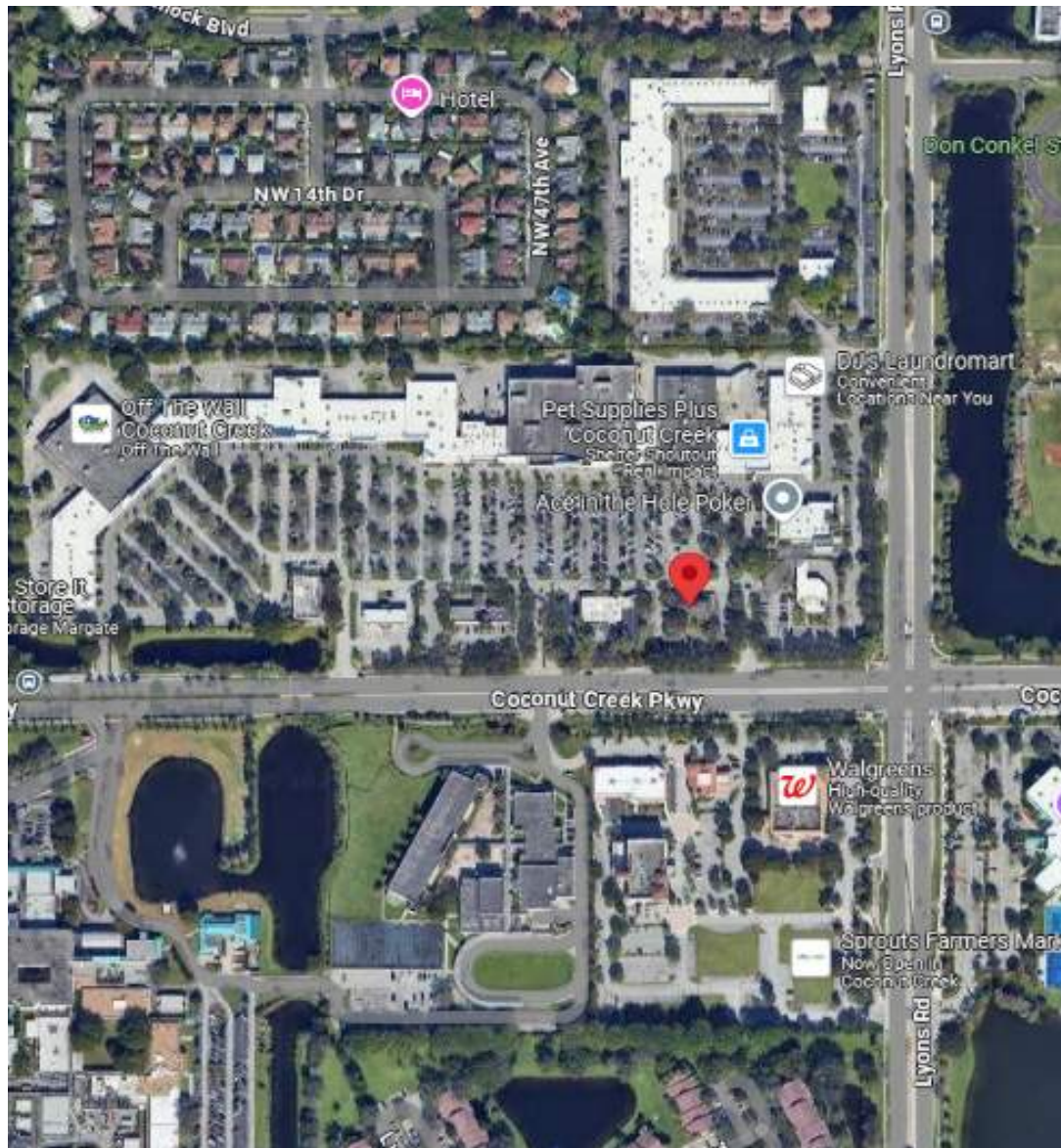
AGENDA

- Site Plan Aesthetic Design
 - Sustainability Features
 - Q&A / Feedback

Site Plan Aesthetic Design

Project Location

- 4805 Coconut Creek Parkway
Coconut Creek , FL 33063



Site Plan Aesthetic Design

Harmonious and Efficient

- Exterior Color
- Stone Masonry Base
- <10% Accent Color



New Bank Front View



New Bank Back View



Chase Bank



Bank of America

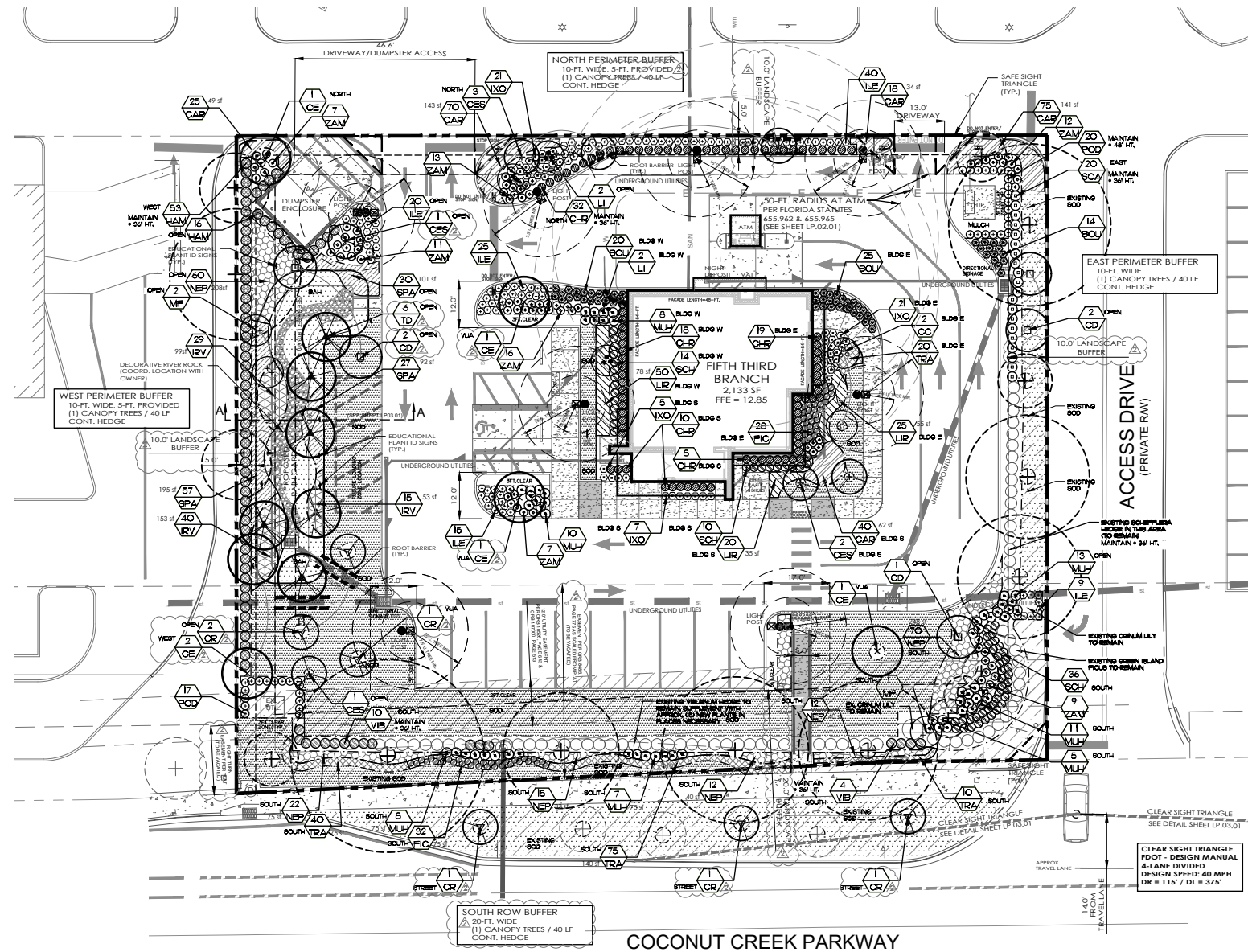


Citibank

Site Plan Aesthetic Design











Preservation of Natural State

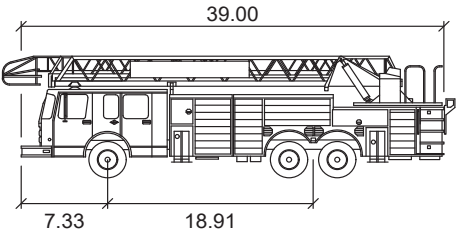
- Tree & soil removal kept to a minimum
- Site complies with landscape requirements

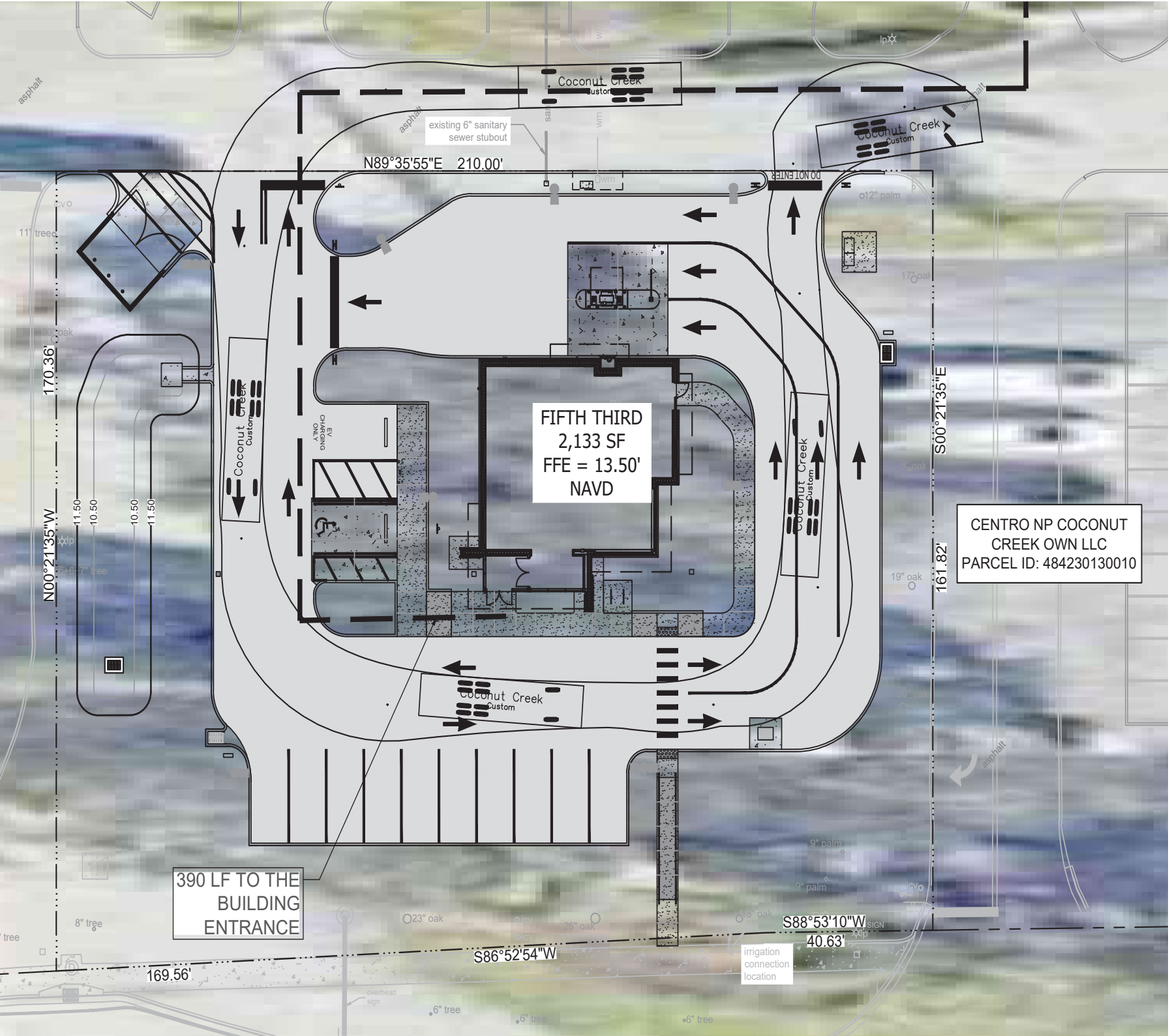


Site Plan Aesthetic Design

Emergency Access

SITE PLAN LEGEND:	
	DIRECTIONAL ARROW
	HANDICAP PARKING
	PROPOSED PAVEMENT STRIPE
	PROPOSED CURB
	EXISTING CURB
	PROPERTY LINE
	NEW CONCRETE
	NEW CONCRETE
	NEW ASPHALT PAVEMENT
	EXISTING CONCRETE

TRUCK LEGEND	
	
Coconut Creek	
	feet
Width	: 9.00
Track	: 7.16
Lock to Lock Time	: 6.0
Steering Angle	: 50.0

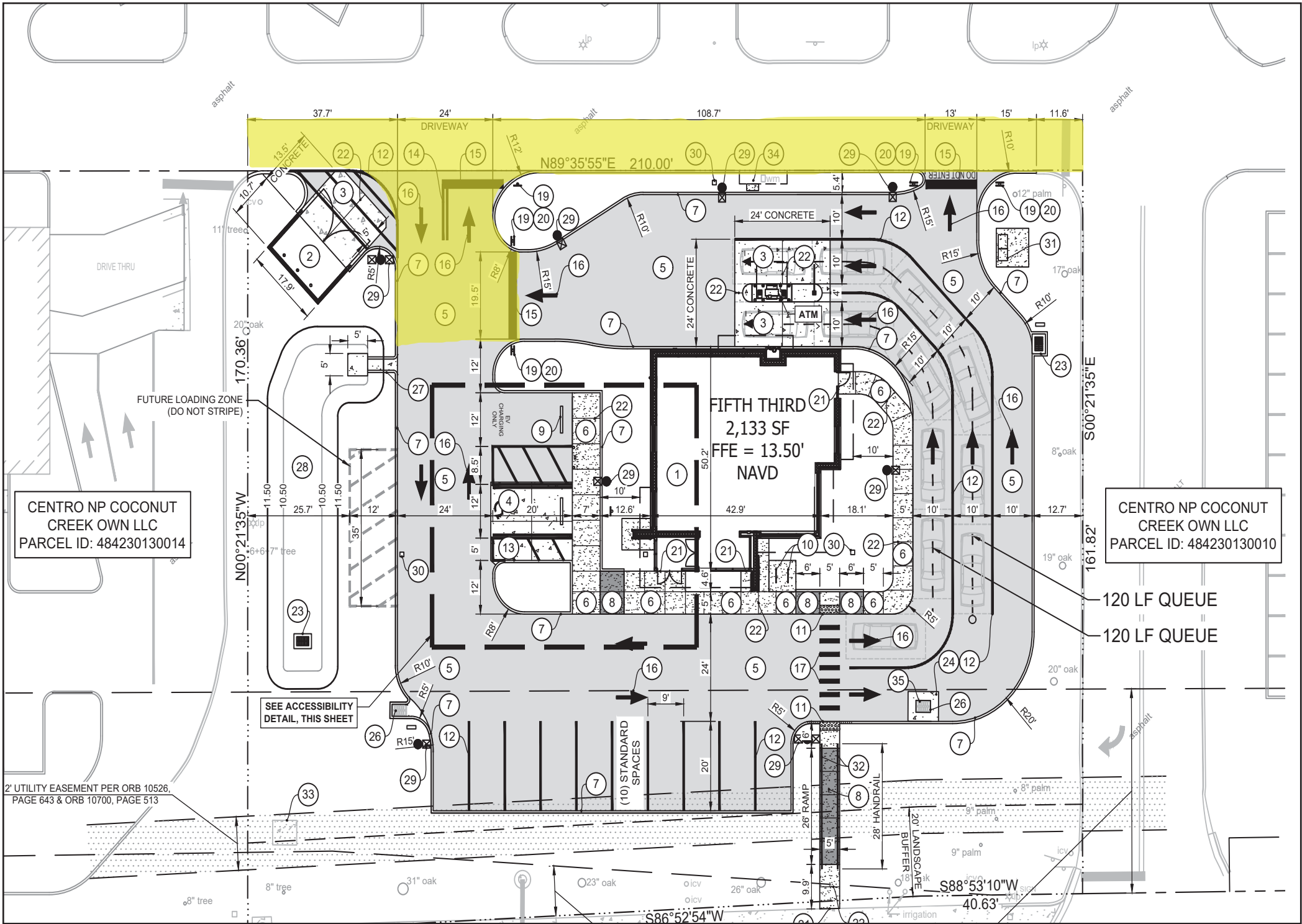


Access to Public Ways



Site Plan Aesthetic Design

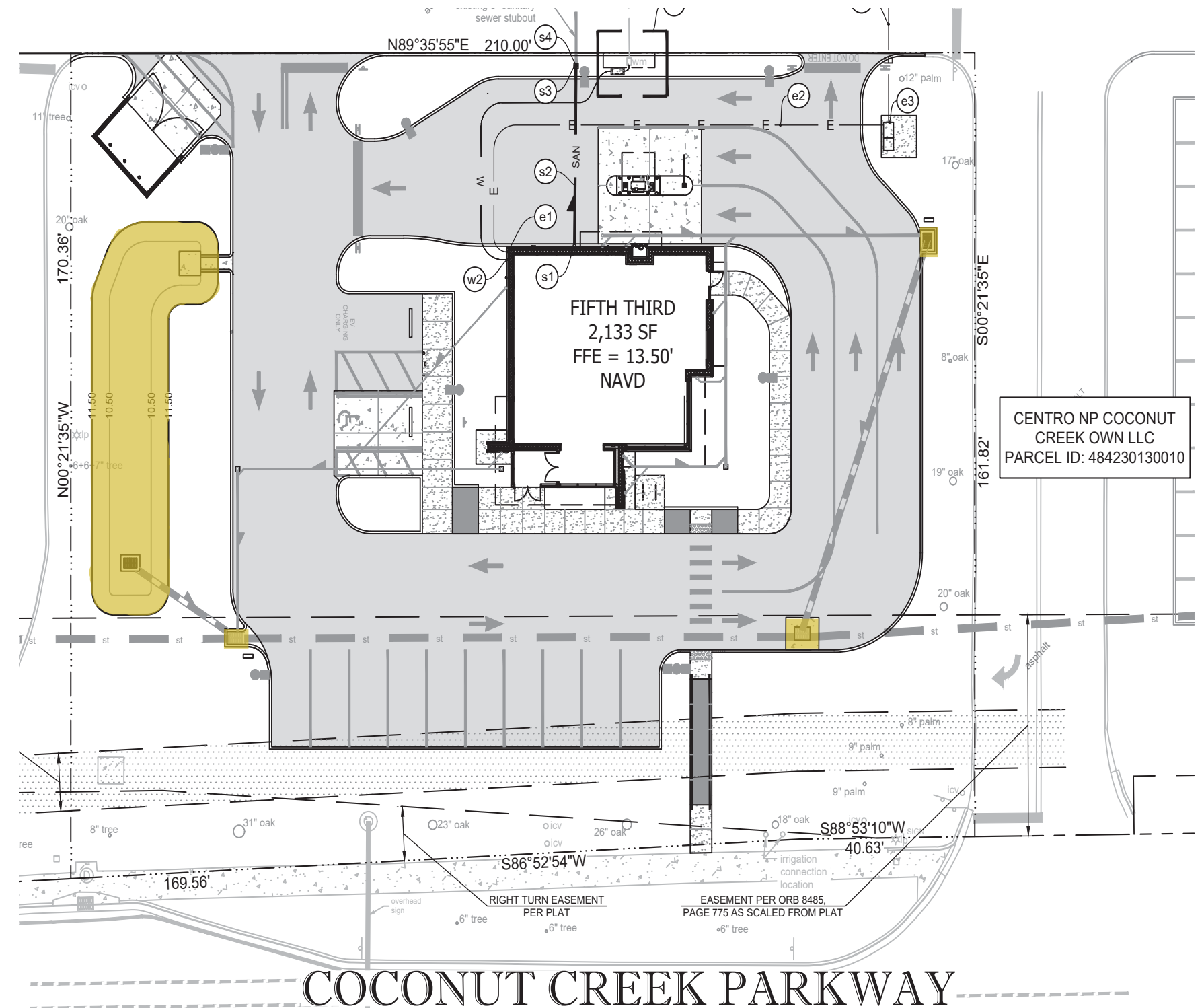
Design of Access and Egress Drive



Site Plan Aesthetic Design

Stormwater Control

- Storm-water will be contained on site
- Existing utilities & storm inlets are adequate for modifications

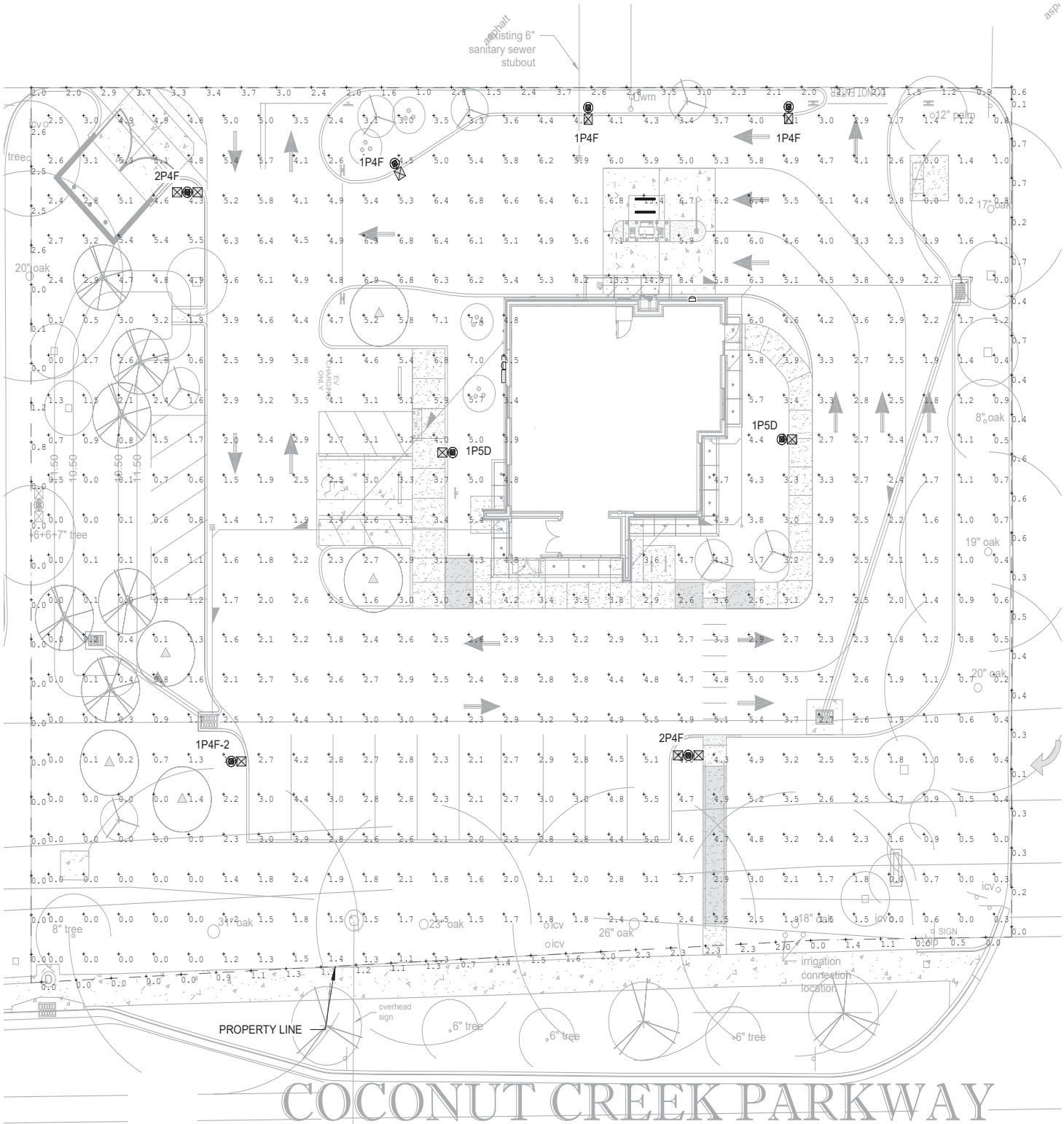


Site Plan Aesthetic Design

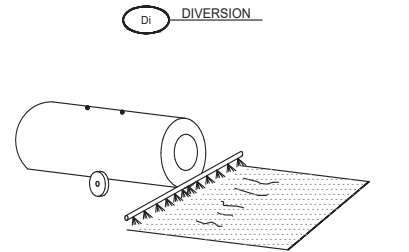
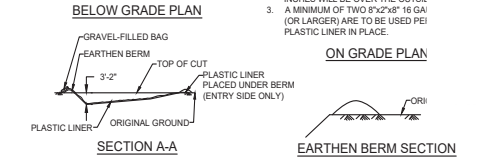
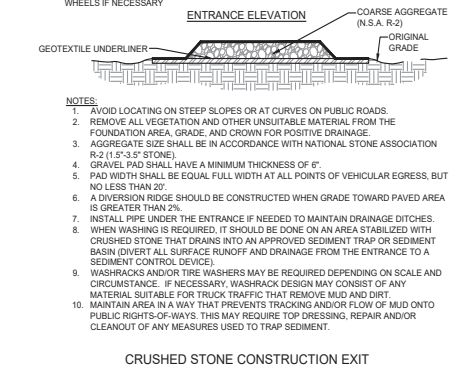
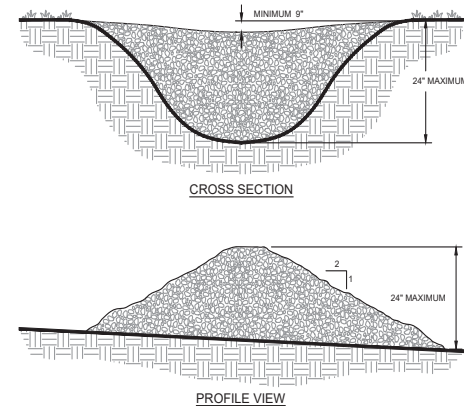
Exterior Lighting

- Photometrics plan is complete
- No glare or direct illumination to the adjacent properties or public right of way

CALCULATION SUMMARY AT GRADE(OCCUPIED)							
LABEL	CALCTYPE	UNIT	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOTS(OCCUPIED)	ILLUMINANCE	FC	3.23	5.5	2.0	1.62	2.75
DRIVEWAY/PARKING LOTS(OCCUPIED)	ILLUMINANCE	FC	3.84	14.9	1.2	3.20	12.42
5FT TRASH ENCLOSURE(OCCUPIED)	ILLUMINANCE	FC	3.97	5.4	2.4	1.65	2.25
PROPERTY LINE	ILLUMINANCE	FC	1.18	3.7	0.0	N.A.	N.A.



Construction Pollution Prevention

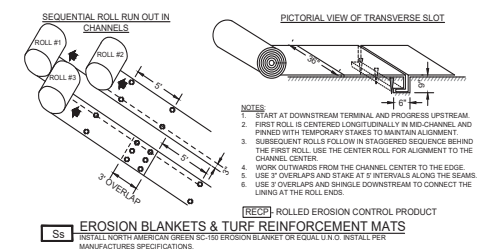
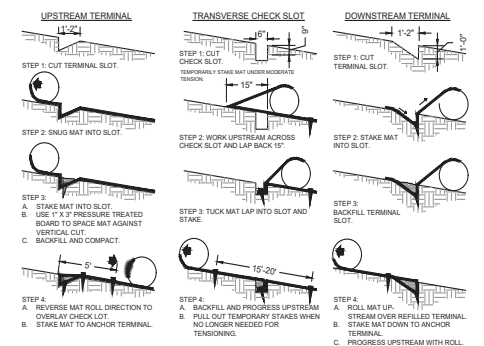


TEMPORARY METHODS	PERMANENT METHODS
- MULCHES	- PERMANENT VEGETATION
- TEMPORARY VEGETATIVE COVER	- TOPSOILING
- SPRAY ON ADHESIVES	- STONE COVER
- TILLAGE	
- IRRIGATION	
- BARRIERS	
- CALCIUM CHLORIDE	

CHEMICAL CONTROL			
ADHESIVE	WATER DILUTION	TYPE OF NOZZLE	APPLICATION RATE (GAL/AC)
ANIONIC ASPHALT EMULSION	7:1*	SPRAY	1200
LATEX EMULSION	12 1/2:1*	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1*	FINE SPRAY	300

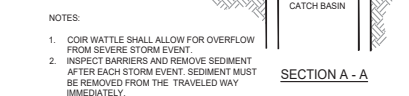
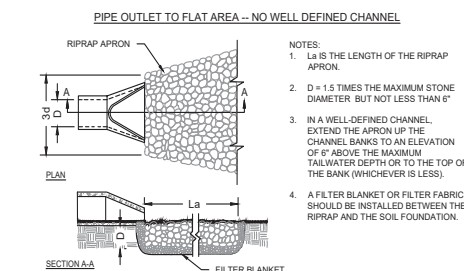
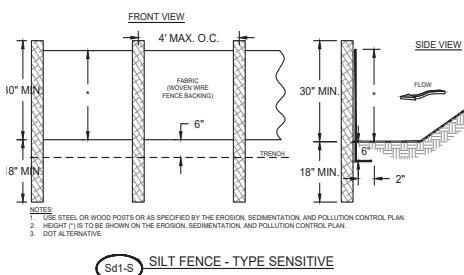
*USE MANUFACTURER'S RECOMMENDATIONS WHEN AVAILABLE

DUST CONTROL ON DISTURBED AREAS



Ss **EROSION BLANKETS & TURF REINFORCEMENT MATS**
INSTALL NORTH AMERICAN GREEN SC-150 EROSION BLANKET OR EQUAL U.N.O. INSTALL PER
MANUFACTURER'S SPECIFICATIONS

EROSION CONTROL KEYED NOTES	
①	CRUSHED STONE CONSTRUCTION ENTRANCE AND CONCRETE TRUCK WASHOUT AREA
②	SILT FENCE
③	LIMITS OF CONSTRUCTION (0.77 AC)
④	INLET PROTECTION



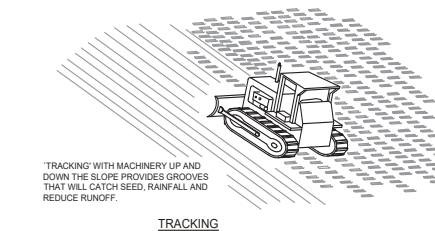
NOTES:

1. COIR WATTLE SHALL ALLOW FOR OVERFLOW FROM SEVERE STORM EVENT.
2. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

CATCH BASIN

SECTION A - A

S42.B CURB INLET SEDIMENT BARRIER (COIR WATTLE)



'TRACKING' WITH MACHINERY UP AND DOWN THE SLOPE PROVIDES GROOVES THAT WILL CATCH SEED, RAINFALL AND REDUCE RUNOFF.

TRACKING

Sustainability Features

Construction Site Materials Recycling

Waste Diversion Management Plan

Project Management Fifth Third Bank Acco
21-Jul-22



Reporting

- The following Waste Diversion documentation must be completed and returned to the CBRE PJM no later than 30 days after Turnover date.
- Completed Waste Diversion Tracker
 - Supporting Documentation
 - o Receipts/Tickets
 - o Form 187 (if furniture was donated)
 - o Furniture Weight and Value Estimator (if furniture was donated)

Waste Management Guidelines

Intent
To reduce waste disposed of in landfills by redirecting to reusing, recycling, and donating materials. This guide is intended to assist GCs with providing an accurate waste diversion tracker with supporting documentation from accredited organizations.
All projects must recycle at least 75% of all construction waste.

CBRE requires all projects to divert at least **75%** of waste from the landfill.



Managing Waste Diversion

Sustainability Features

Alternative Transportation



Bike Racks

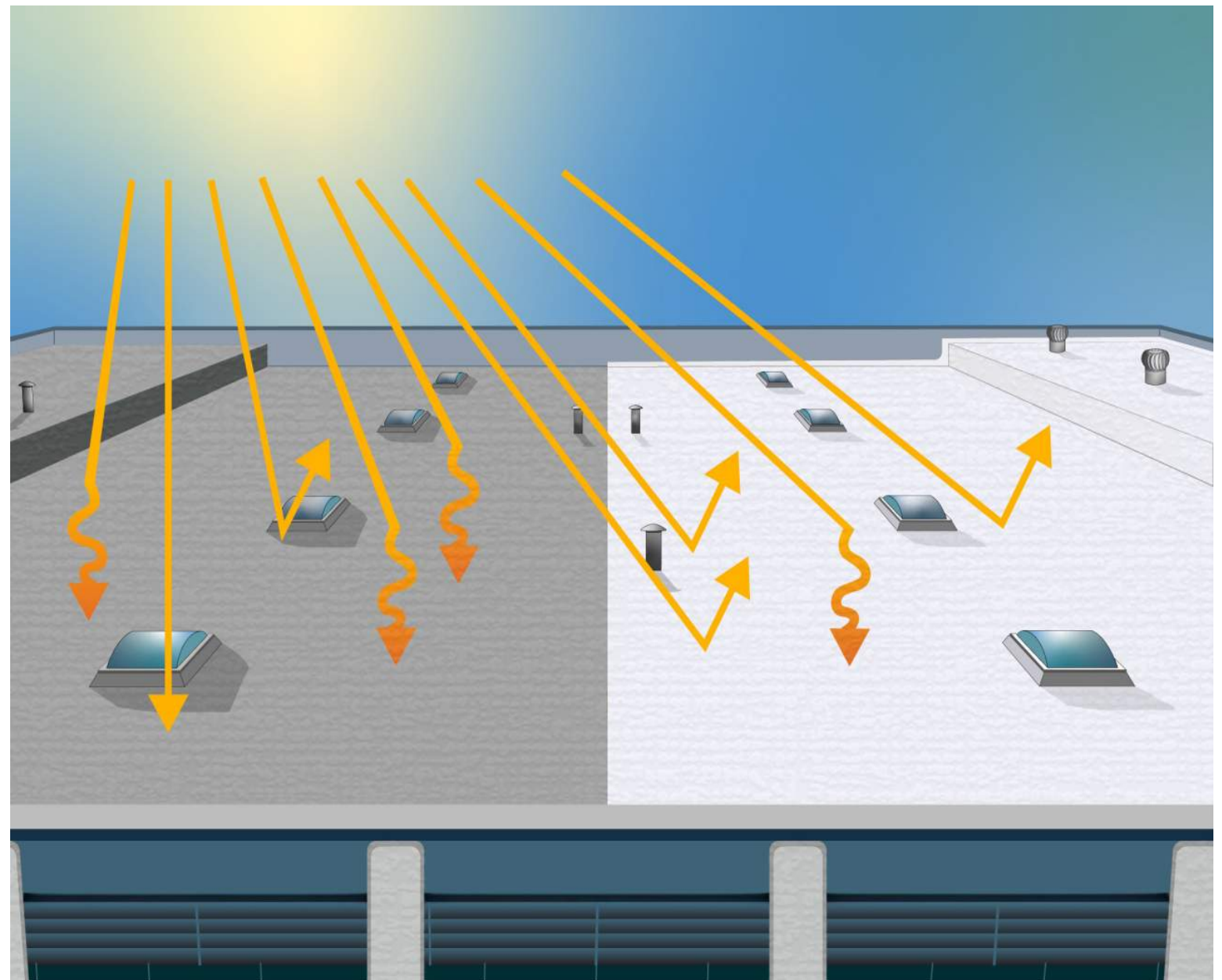
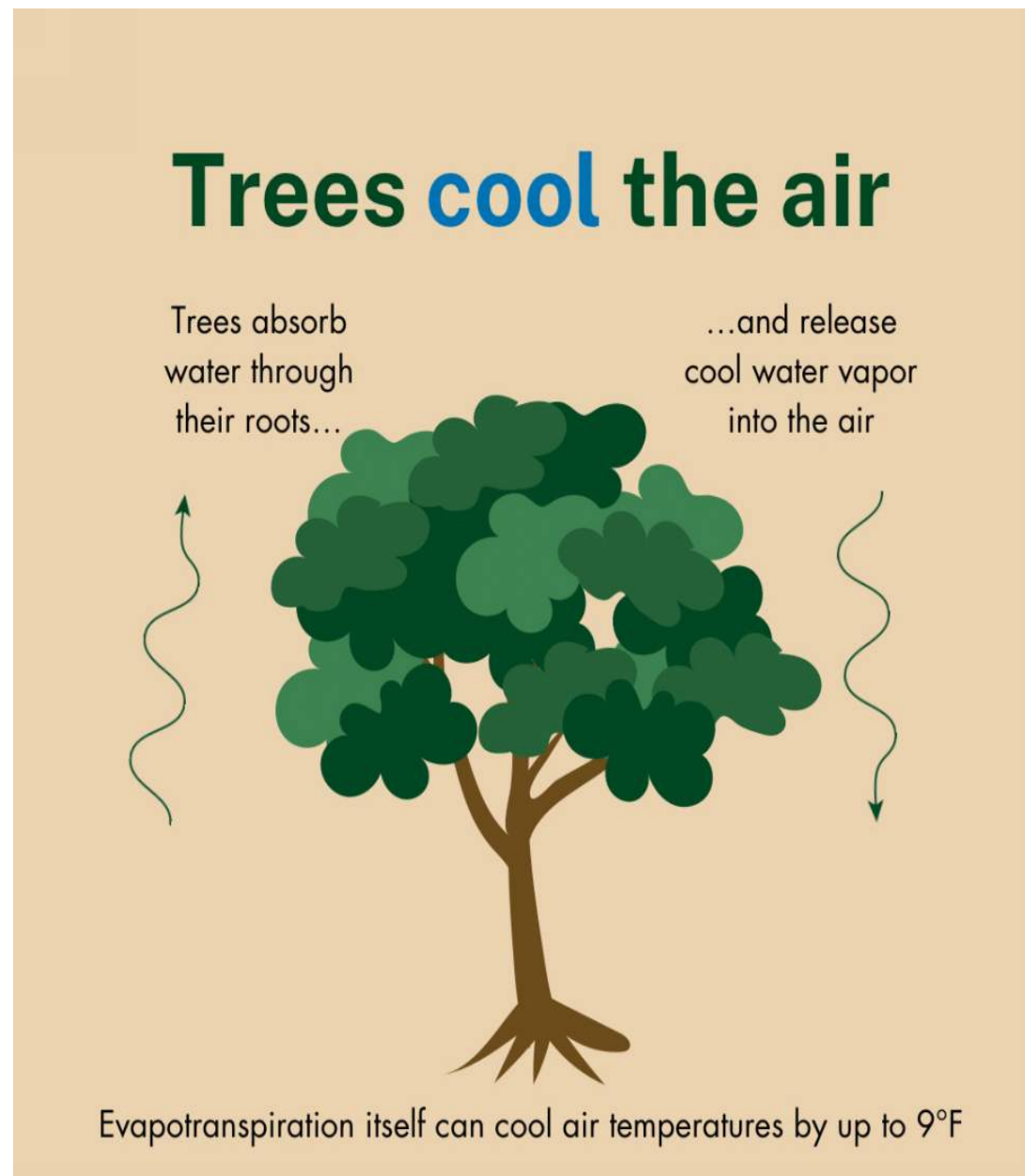


Electric Vehicle Charging Station

Sustainability Features

Minimize Heat Island Effect

- Generous Tree Canopy
- Cool Roof - White TPO



Sustainability Features

Innovative Water Technologies

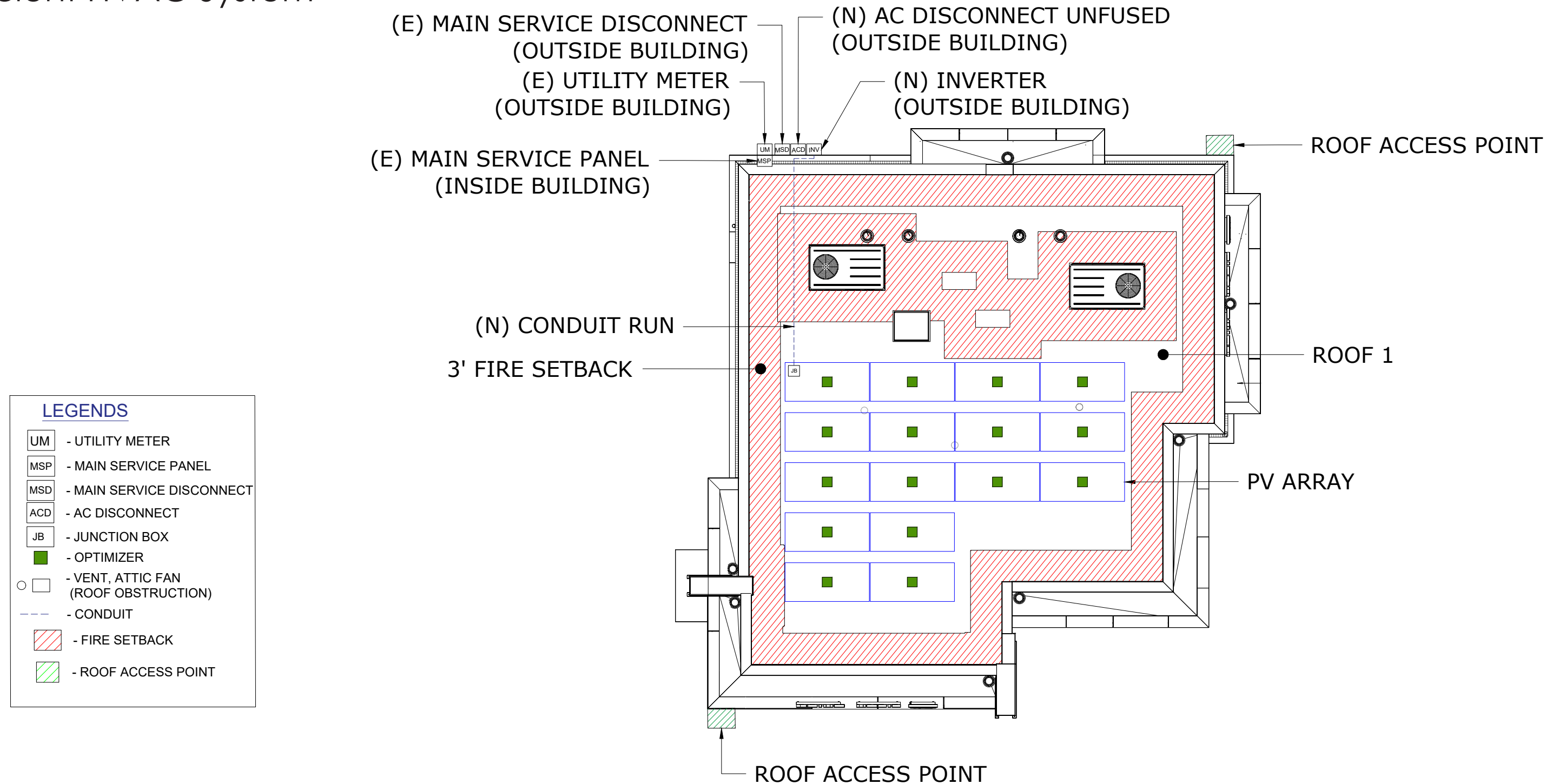
- Battery-Powered Faucets
- Efficient Toilets
- Water Fountain with Touchless Bottle Filler.



Sustainability Features

Energy Efficiencies

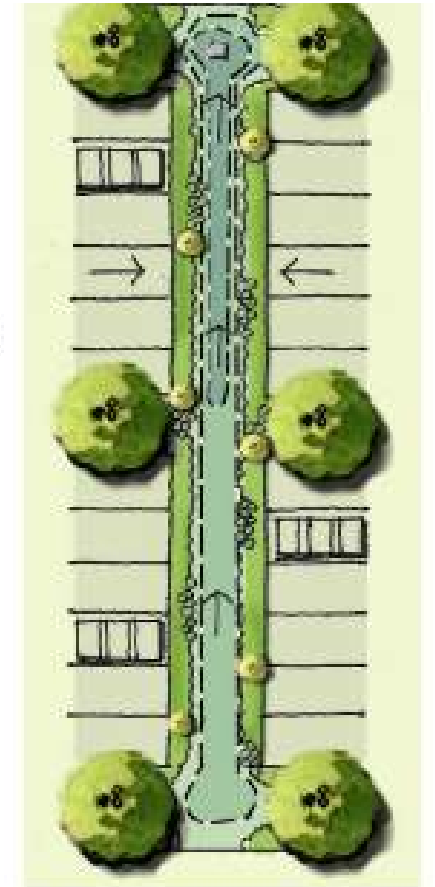
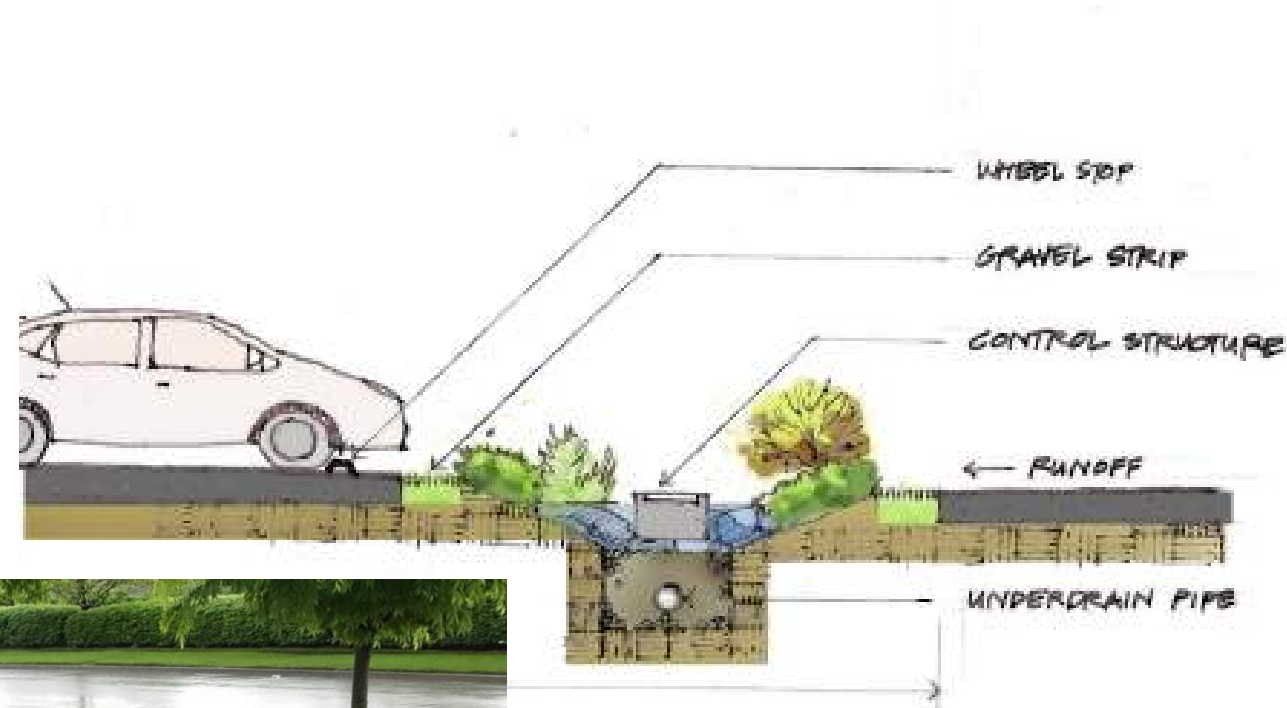
- Solar Power Panels
- Efficient HVAC System



Sustainability Features

Conspicuous Display of Green Technology

- Bioswals





FIFTH THIRD

Questions!