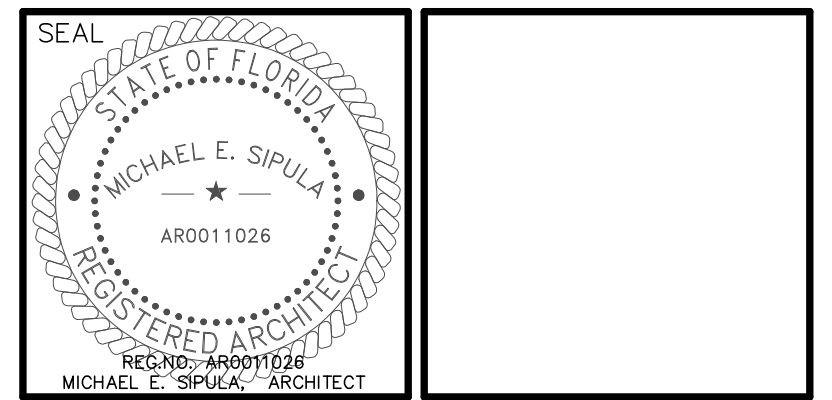


# Emmanuel Baptist Church



5391 JOHNSON ROAD \* COCONUT CREEK, FLORIDA 33073

## CONSULTANTS

### SURVEYOR

CALVIN, GIORDANO & ASSOCIATES, INC.  
1800 ELLER DRIVE, SUITE 600  
FORT LAUDERDALE, FLORIDA 33316  
tel.: (954)921-7781 info@cgasolutions.com

### ARCHITECT

JMS DESIGN, INC  
16106 75th AVENUE NORTH  
PALM BEACH GARDENS, FLORIDA 33418  
tel.: (561)745-2120 designfl@aol.com

### CIVIL ENGINEERING

PHILIPPIANS 419, INC. dba COOPER CONSULTING SERVICES  
6097 N.W. 79TH WAY  
PARKLAND, FLORIDA 33067  
tel.: (954)592-9638 jcooper@coopercivil.com

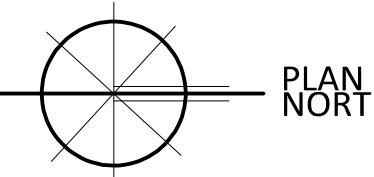
### LANDSCAPE ARCHITECT

AGTLAND \* LANDSCAPE ARCHITECTURE  
132 NORTH SWINTON AVENUE  
DELRAY BEACH, FLORIDA 33444  
tel.: (561)276-5050 office@agtland.com



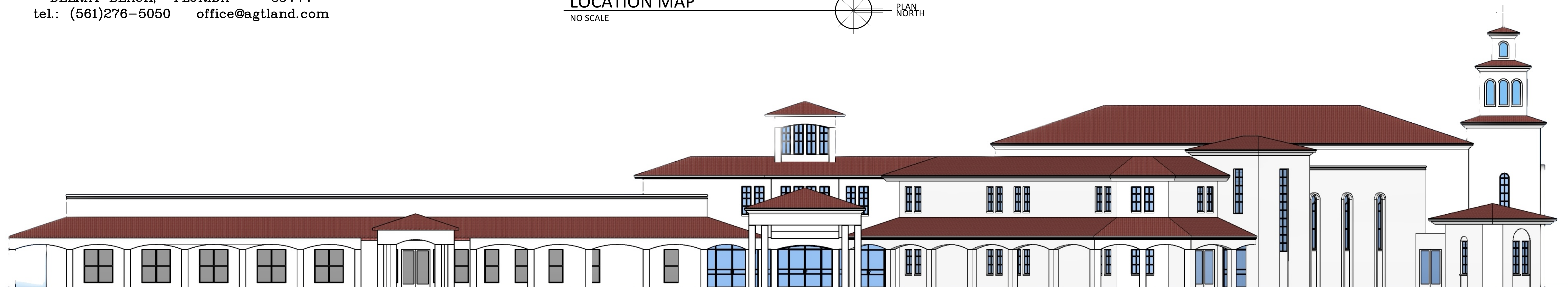
LOCATION MAP

NO SCALE



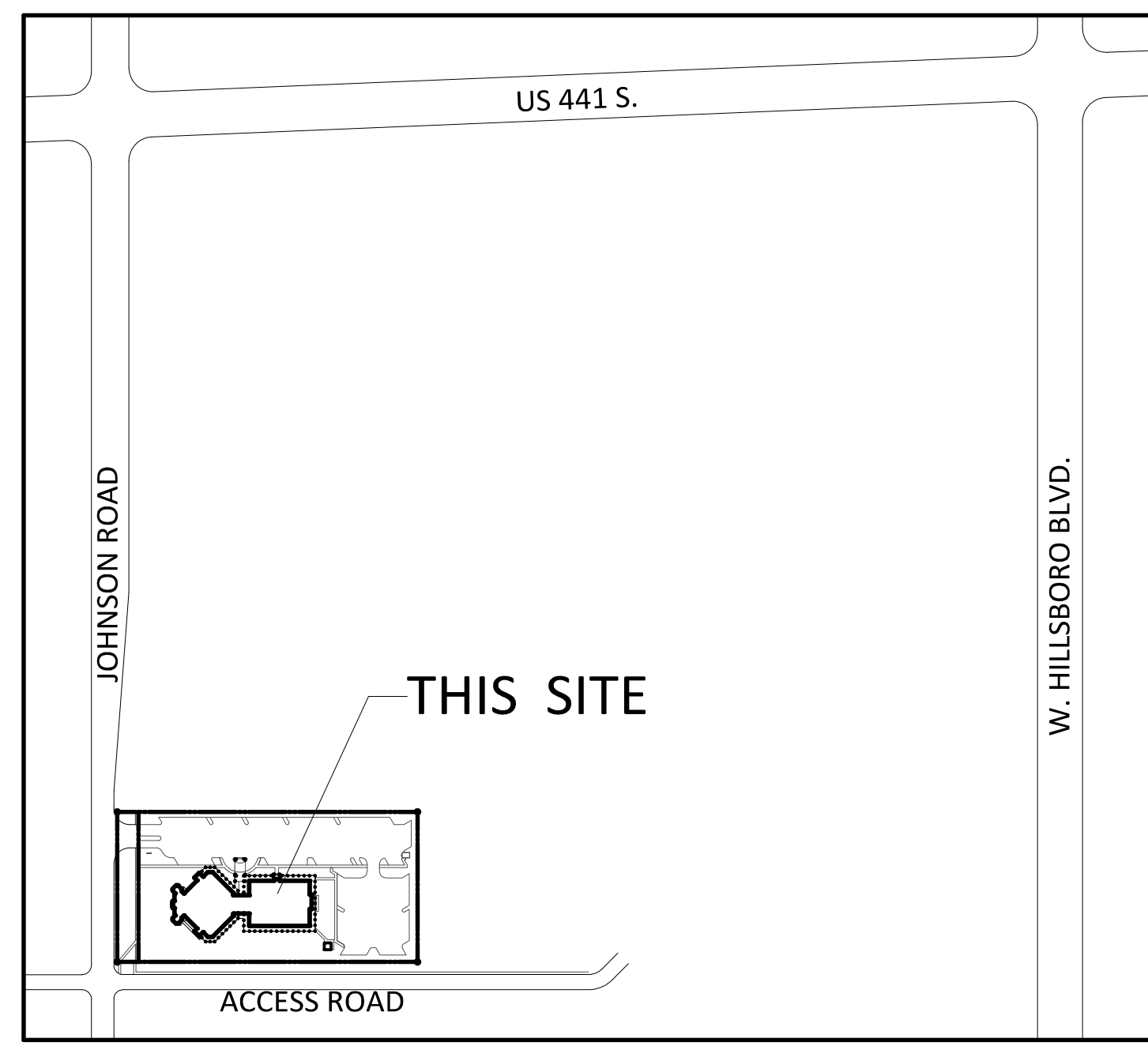
## DRAWING INDEX

SITE WORKS:	1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY
	SP100	SITE & FIRE PROTECTION PLAN, SITE DATA
	SL100	SITE LIGHTING PLAN, NOTES & DETAILS
ARCHITECT:	A100	FIRST FLOOR PLAN
	A200	SECOND FLOOR PLAN
	A400	ELEVATIONS & GREEN BUILDING CHECK LIST
	A401	RENDERING VIEWS
CIVIL WORKS:	D1	DEMOLITION PLAN
	C1	PAVING, GRADING AND DRAINAGE PLAN
	C2	WATER AND SEWER PLAN
	C3	PAVEMENT MARKINGS AND SIGNAGE PLAN
	C4	GENERAL NOTES AND DETAILS
LANDSCAPE:	LP-1	LANDSCAPE PLAN - NOTES & DETAILS
	LP-2	DETAILS AND SPECIFICATIONS
	TR-1	TREE REMOVAL PLAN - NOTES & DETAILS
	TR-2	EXISTING TREE INVENTORY

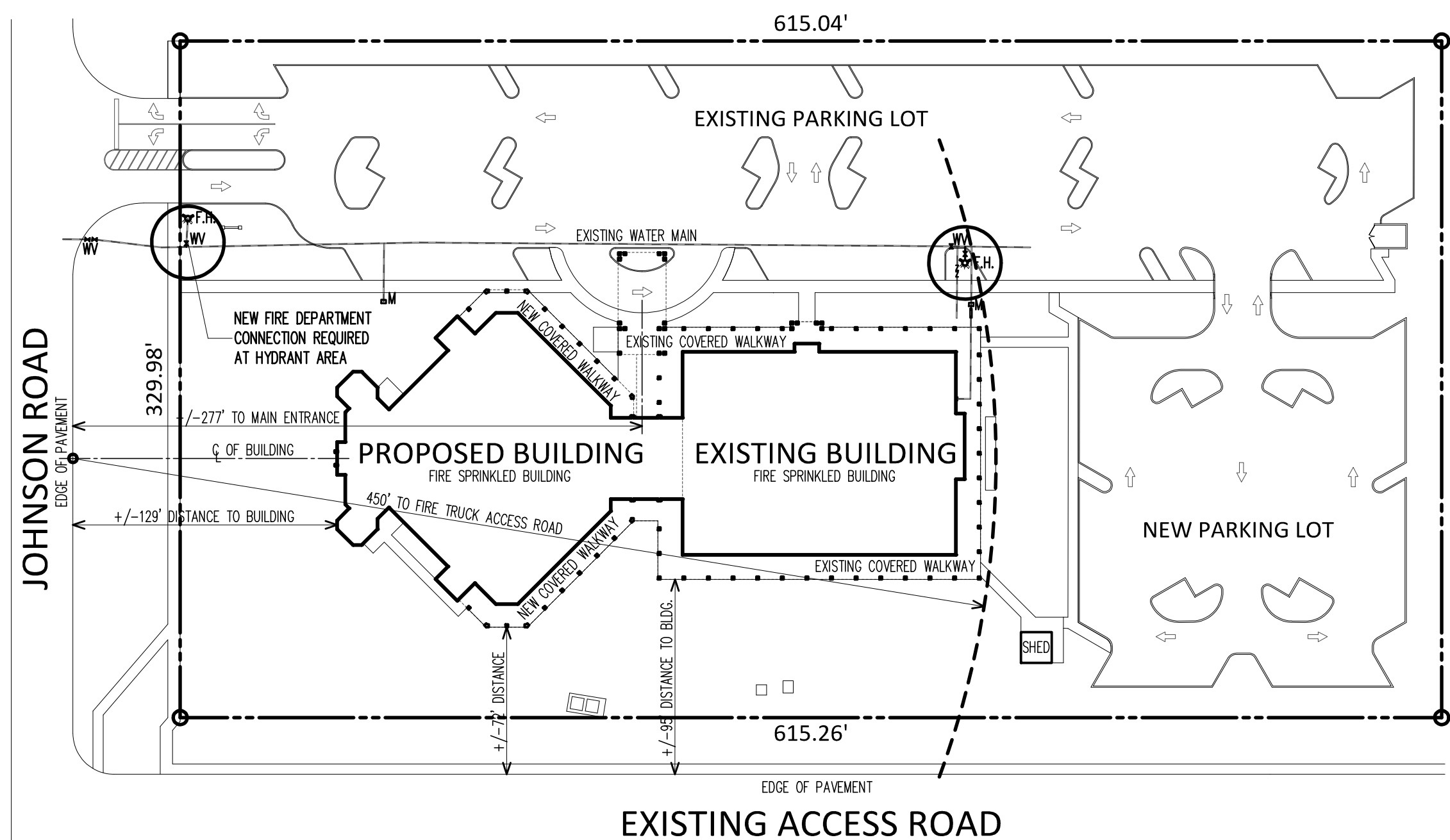
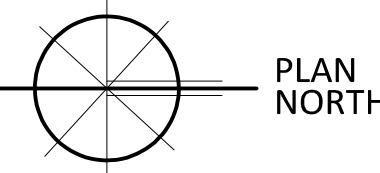




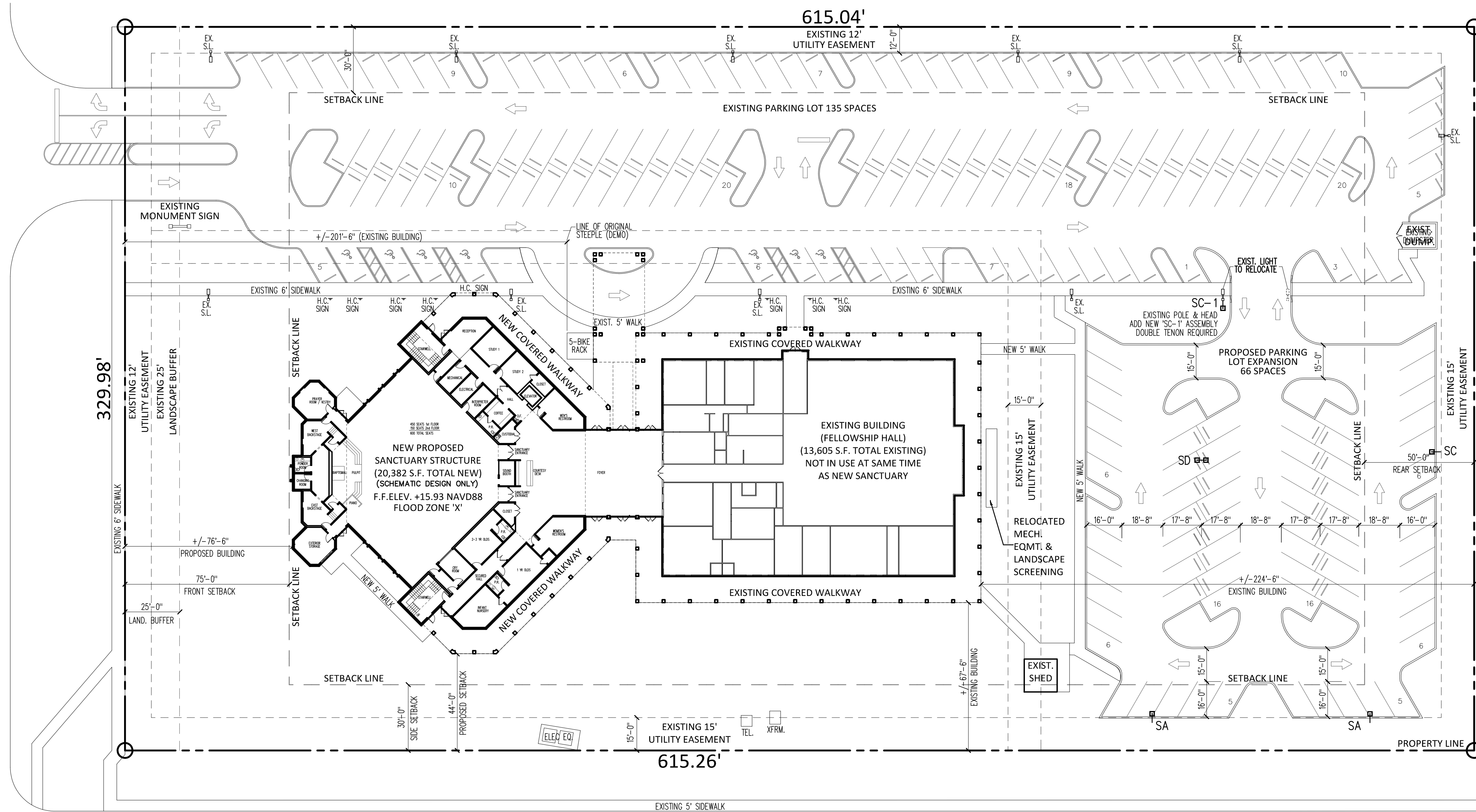
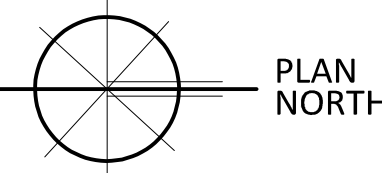




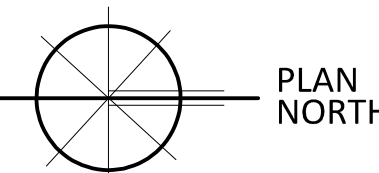
**LOCATION MAP**  
NO SCALE



**1 PROPOSED FIRE PROTECTION PLAN**  
SCALE: 1" = 60'-0"



**1 PROPOSED SITE PLAN**  
SCALE: 1" = 30'-0"



**SITE DEVELOPMENT INFORMATION:**

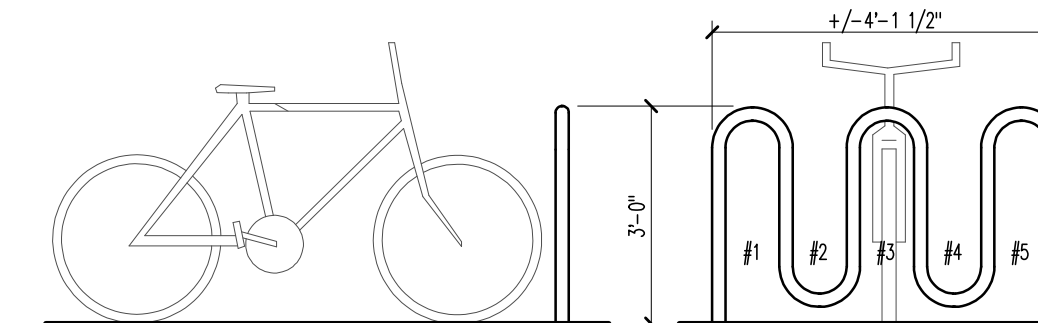
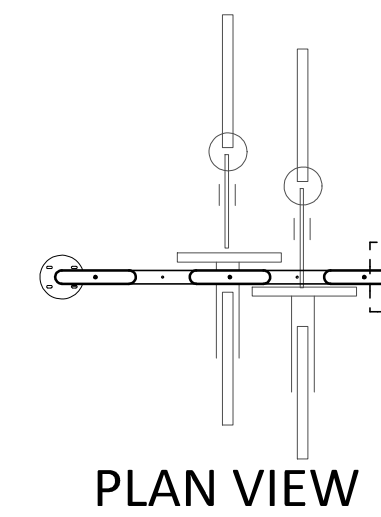
Code Allowable (Sec. 13-334)		Original Approved Site Plan Data With Vested Fellowship Hall		Proposed This Site	
Current Zoning	CF	Approved by SPA	Existing Built	Existing Built	Proposed This Site
Building Use	Assembly Group A-3 (Place of Worship)				
Construction Type	Type IIIA (Sprinkled) with Area Adjustments				
Original Site Area	5.00 ac. (217,800 s.f.)				
Existing Site Area	4.86 ac. (202,950 s.f.) Site reduced due to Johnson Road 45' R.O.W. Widening				
Lot Width	200' min. 329.77' existing				
Lot Depth	300' min. 615.04' existing				
Front Setback	75' +/-20'-6" +/- 76'-6"				
Side Setback	30' +/- 67'-6" +/- 44'-0"				
Rear Setback	50' +/-224'-6" +/-224'-6"				
Building height (Roof/Steeple)	50'	30'-0" / 42'-0"	30'-0" / 42'-0"	38'-3" / 50'-0"	
Building height (Top of Cross)		+/-61'-0" (shown)	+/-40'-0"	59'-6"	
Building FAR	80% (max. allowable)	11.53% ( 23,400 s.f.)	6.60% ( 13,380 s.f.)	16.75% ( 34,000 s.f.)	
Building coverage	35% (max. allowable)	11.53% ( 23,400 s.f.)	6.60% ( 13,380 s.f.)	13.80% ( 28,000 s.f.)	
Open Space (minimum)	10% (min. required)	88.47% (179,550 s.f.)	93.40% (189,570 s.f.)	86.20% (174,950 s.f.)	

**SITE AREA DATA (EXISTING & PROPOSED)**

Category	Area	Area	Area
1. Total Site Area	4.66 ac	202,950 s.f.	
2. Impervious			
a. Existing Building (Conditioned Footprint)	0.31 ac	13,380 s.f.	27,915 s.f.
Existing Building (Un-conditioned Shed)		225 s.f.	Total Proposed Footprint
b. Proposed Building (Conditioned Footprint)	0.33 ac	14,310 s.f.	6,072 s.f.
Proposed 2nd Floor (Conditioned)		6,072 s.f.	33,987 s.f. Total Proposed FAR
c. Existing Pavement (Parking Lot & Drives)	1.19 ac	51,723 s.f.	78,182 s.f.
d. Proposed Pavement (New Parking Lot)	0.61 ac	26,459 s.f.	Total VUA
e. Existing Covered Walks, Sidewalks & Pads	0.24 ac	10,331 s.f.	14,540 s.f.
f. Proposed Covered Walks, Sidewalks & Pads	0.09 ac	4,209 s.f.	Total Misc.
Total Impervious	2.77 ac	120,637 s.f.	
3. Pervious (Landscape, Retention/Detention Area)			
a. Existing Pervious Area	2.92 ac	127,291 s.f.	
b. Proposed Pervious Area	1.89 ac	82,313 s.f.	
Total	4.66 ac	202,950 s.f.	

**PARKING (OVERALL - EXISTING & PROPOSED)**

Category	Code Allowable (Sec. 13-334)	Original Approved With Vested Fellowship Hall Required / Provided	Totals for this proposal Required / Provided
Seats in Sanctuary		400	600
Total Building Square Feet		13,380 s.f.	33,987 s.f.
Total Parking Spaces	1/3 Seats required	133 136	200 202
Standard Spaces		128 129	193 195
H.C. Spaces	5 spaces for 101-150 spaces	5 7	7 7
Bicycle Parking (Rack)	7 spaces for 201-300 spaces		
	1 space / 10,000 s.f. required	no 0	4 5



**BICYCLE RACK DETAIL**  
SCALE: 3/8" = 1'-0"

REVISIONS:  
07-07-23 PER DRC REVIEW #2 COMMENTS

**JMS ARCHITECTURAL DESIGN INC.**  
PLANNING & CONSULTING  
16106 75th AVENUE N • PALM BEACH GARDENS, FL 33418  
TEL (561) 745-2120 FAX (561) 745-1707 E-MAIL: design@aol.com

PLANS AND SPECIFICATIONS ARE THE PROPERTY OF JMS ARCHITECTURAL DESIGN INC. NO REPRODUCTION OF THESE DOCUMENTS IS PERMITTED WITHOUT EXPRESS WRITTEN PERMISSION. PLANS AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF JMS ARCHITECTURAL DESIGN INC.

DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. REPORT ANY DISCREPANCIES TO THE ARCHITECT.

**Emmanuel Baptist Church**  
5391 JOHNSON ROAD • COCONUT CREEK, FLORIDA 33073

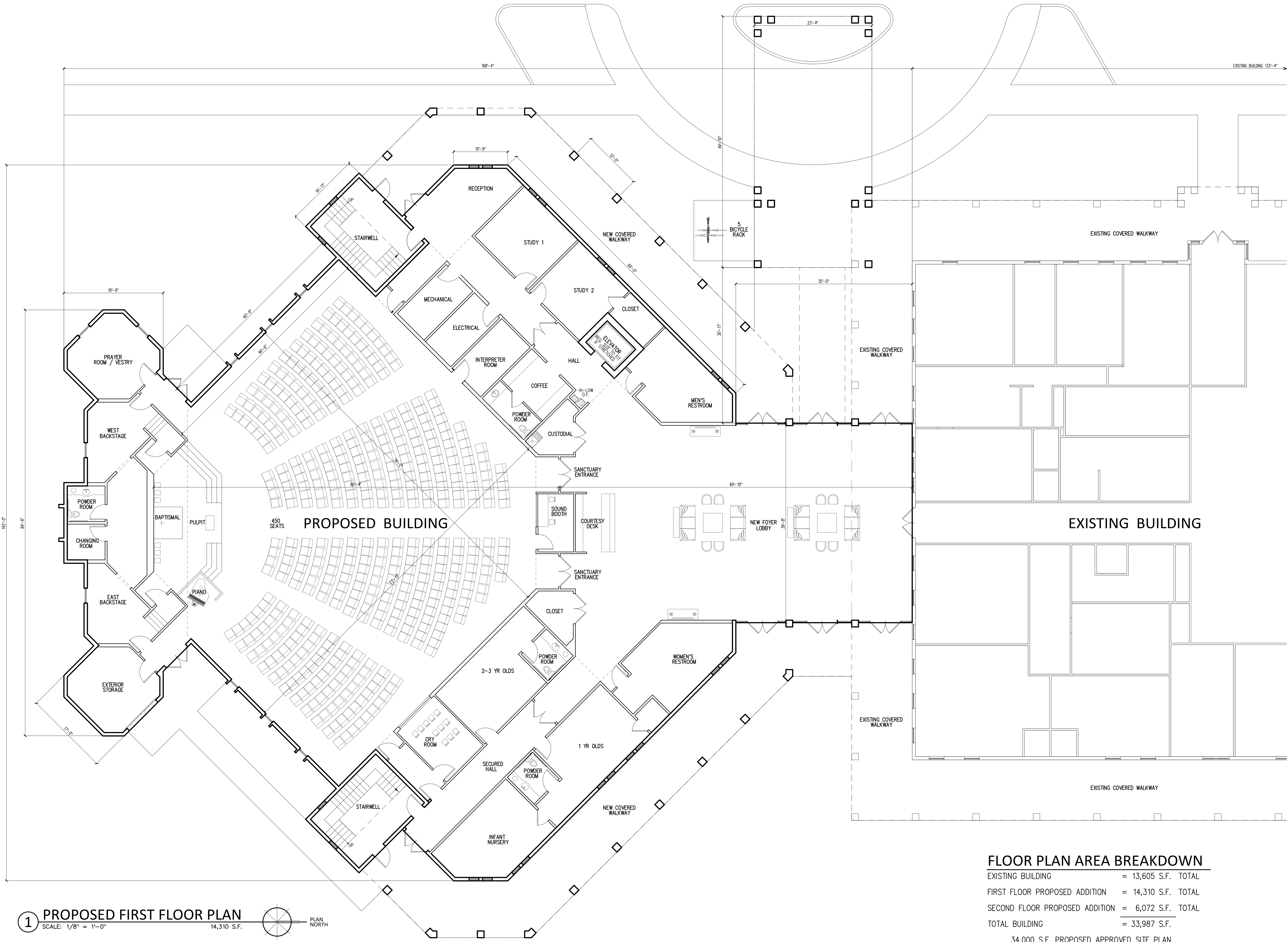
SEAL  
STATE OF FLORIDA  
MICHAEL E. SIPULA  
REGISTERED ARCHITECT  
AR0011028  
REG. NO. AR0011028  
MICHAEL E. SIPULA, ARCHITECT

DATE: 04-27-23 PROJECT #: 23001  
**SP100**  
SHEET









**1 PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 14,310 S.F. PLAN NORTH

**FLOOR PLAN AREA BREAKDOWN**

EXISTING BUILDING	= 13,605 S.F.	TOTAL
FIRST FLOOR PROPOSED ADDITION	= 14,310 S.F.	TOTAL
SECOND FLOOR PROPOSED ADDITION	= 6,072 S.F.	TOTAL
TOTAL BUILDING	= 33,987 S.F.	
34,000 S.F. PROPOSED APPROVED SITE PLAN		

REVISIONS:


**JMS ARCHITECTURAL DESIGN INC.**  
 PLANNING & CONSULTING  
 16106 75th AVENUE N • PALM BEACH GARDENS, FL 33418  
 TEL (561) 745-2120 FAX (561) 745-1707 E-MAIL: design@jmsa.com

PLANS AND SPECIFICATIONS ARE THE PROPERTY OF JMS ARCHITECTURAL DESIGN INC. NO REPRODUCTION OR DISTRIBUTION OF THESE DOCUMENTS IS PERMITTED WITHOUT EXPRESS WRITTEN PERMISSION. PLANS ARE PRELIMINARY AND ARE NOT TO BE USED FOR ANY CONSTRUCTION DETAILS. WELL ALL LOCAL BUILDING CODES & ORDINANCES.  
 DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. REPORT ANY DISCREPANCIES TO THE ARCHITECT.

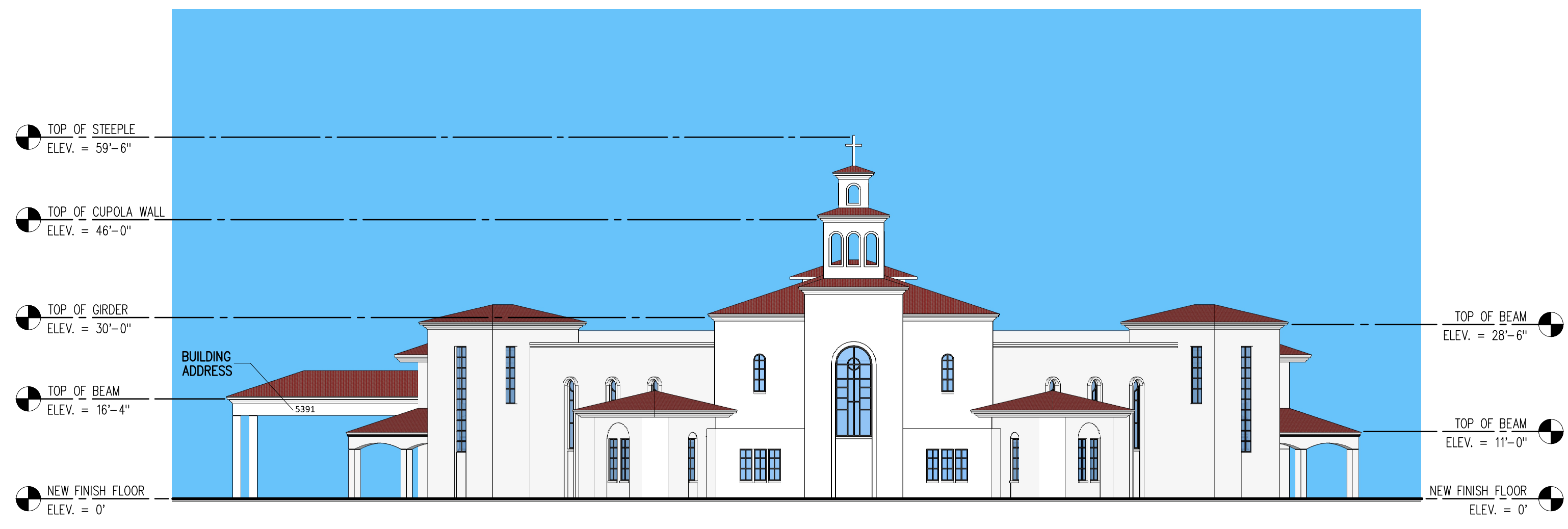
**Emmanuel Baptist Church**  
 5391 JOHNSON ROAD • COCONUT CREEK, FLORIDA 33073

SEAL  
 STATE OF FLORIDA  
 MICHAEL E. SIPULA  
 A0011026  
 REGISTERED ARCHITECT  
 REG. NO. A0011026  
 MICHAEL E. SIPULA, ARCHITECT

DATE: 04-27-23 PROJECT #: 23001  
**A100**  
 SHEET



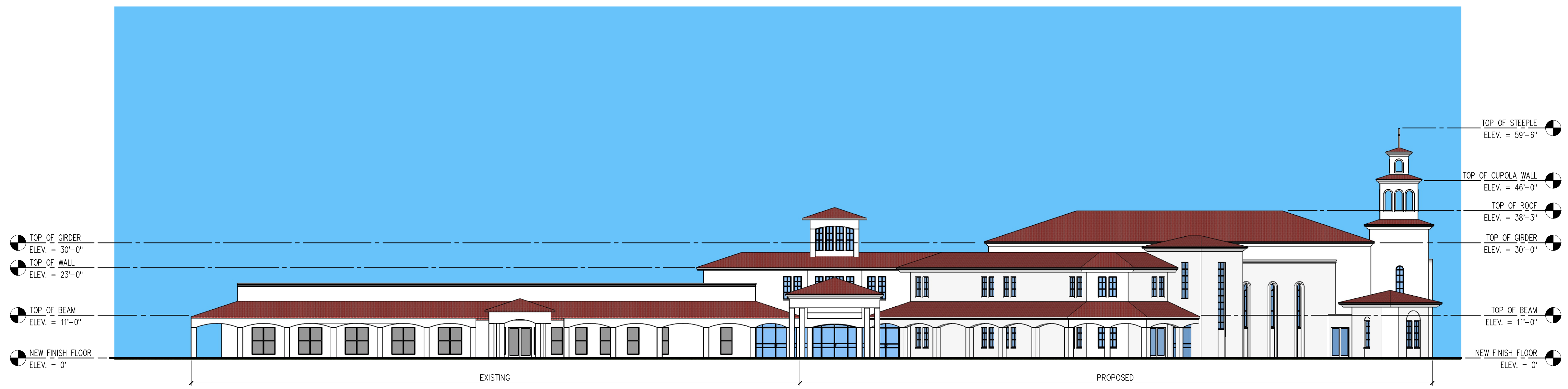




**3 SOUTH ELEVATION**  
SCALE: 1/16"=1'-0"

**TYPICAL EXTERIOR FINISHES**

- WALLS: CMU W/ LIGHT TEXTURE STUCCO
  - COLUMNS: CONCRETE W/LIGHT TEXTURE STUCCO
  - TRIM: SMOOTH STUCCO
  - FASCIA: SMOOTH CEDAR OR STUCCO
  - WINDOWS: SOLAR TINT GLASS IN WHITE ALUMINUM FRAME
  - DOORS: MATCH WINDOWS OR PAINTED WHITE
  - ROOF TILE: CONCRETE SPANISH - S ROOF TILE
  - SIDE WALKS: BROOM FINISH W/ BRICK PAVER ACCENT
- COLORS:  
WALLS & COLUMNS TO BE OFF WHITE (YELLOW TINT-CREAM)  
TRIM AND FASCIA TO BE WHITE  
ROOF TILE TO BE TERRA COTTA



**2 WEST ELEVATION**  
SCALE: 1/16"=1'-0"



**1 EAST ELEVATION**  
SCALE: 1/16"=1'-0"

LAND DEVELOPMENT CODE Section 13-320: Green Building Construction Checklist	
GREEN STANDARDS	DESCRIPTION
13-320(b)(1)	
LEED Accredited Professional	The applicant will retain the required services of a LEED Accredited Professional as part of the permit/construction plans design team.
<b>Sustainable Site Development</b>	
Construction Pollution Prevention	Site and Building Contractors will maintain watering protocols during certain phases to minimize dust and dirt from being blown off site.
Construction site materials recycling	All Site and Building Contractors will be required to sort and dispose of construction debris at the respective refuse recycling facility.
Stormwater management	Site and Building Contractors will implement silt protection at all drains during construction. The drainage plan utilizes underground water storage with capacity that allows for soil absorption before overflow into the City's stormwater system.
Alternative transportation	Bike racks have been provided.
Minimizing heat island effect	New parking area has parking space rows of 5, 6, and 8 spaces each, all of which are less than the code maximum of 10 spaces. Site has a large total area of existing mature tree canopy, almost all of which is being retained for the new project. Trees are being added to enhance the existing building as well as the new building and parking areas.
<b>Water Efficiency</b>	
Innovative water technologies	Sensors will be provided for the irrigation and for the new lavatories.
Water efficient	Owner will utilize high efficiency plumbing fixtures and low flow toilets.
<b>Energy Efficiency</b>	
Minimum energy performance	The site will continue to use propane gas and will use the most recent Florida building code for energy efficiency.
On-site renewable energy	Owner will investigate the option for PV solar panels and/or solar hot water for the new building.
<b>Indoor Environmental Quality</b>	
Indoor air quality	The owner intends for the new building to meet ASHRAE 62.1 2004 Standard "ventilation for acceptable indoor air quality". The new building will use low VOC paint where feasible.
<b>Materials and Recycling</b>	
Recycling of demolition waste	All Site and Building Contractors will be required to sort and dispose of construction debris at the respective refuse recycling facility.
Storage and collection of recyclables post occupancy	The facility does not produce a significant amount of trash, but the owner will attempt to implement a recycling program for paper and plastics.
Building re-use	Site and Building Contractors will look to reuse any suitable demolition materials as fill for the new project, but there will be very minimal demolition; for any phases of the project.
Regional materials	Plant materials will be locally sourced. Owner will investigate locally sourced construction materials on behalf of the Contractor and use products with recycled content where appropriate.
13-320(b)(3)	
Acknowledgement to maintain the green building components for the life of the building.	
<b>GREEN PLAN ACTION ITEMS</b>	
<b>ACTION ITEMS</b>	<b>DESCRIPTION (description of use in development)</b>
Action 1.6 Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic, and environmental value.	The LEED Professional will advise as to which initiatives on the site are appropriate for signage and/or conspicuous recognition.
Action 2.1 Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public and private land by 2020.	New parking area has parking space rows of 5, 6, and 8 spaces each, all of which are less than the code maximum of 10 spaces. Site has a large total area of existing mature tree canopy, almost all of which is being retained for the new project. Trees are being added to enhance the existing building as well as the new building and parking areas.
Action 2.2 Achieve 40% greenroof coverage for new construction in Main Street Project Area and 10% green roof coverage for new construction for areas outside of Main Street. (i.e. high albedo paint on roof)	Design team will look at options for high-efficiency roof covering options, including high albedo paint and green grass.
Action 5.1 Increase recycling throughout the City by 25% by 2014 and 50% by 2020.	Owner will encourage members and guests in an ongoing effort of stewardship initiatives, including but not limited to reuse and recycling of materials and minimizing content that ends up in the local landfill.
Action 5.3 Require at construction and demolition debris to divert 75% of waste from landfills.	An agreement will be executed with the contractor to haul 75% of a minimum, of construction waste to an appropriate recycling center. The executed agreement will be made available prior to building permit.
<b>NOTE: Applicant acknowledges that "The Green Building Components" of this property will be maintained for the life of the building.</b>	

REVISIONS:  
07-07-23 PER BPC REVIEW #7 COMMENTS

**JMS ARCHITECTURAL DESIGN INC.**  
PLANNING & CONSULTING

16106 75th AVENUE N • PALM BEACH GARDENS, FL 33418  
TEL (561) 745-2120 FAX (561) 745-1707 E-MAIL: jdesign@jms.com

PLANS AND SPECIFICATIONS ARE THE PROPERTY OF JMS ARCHITECTURAL DESIGN INC. NO REPRODUCTION OR REPLICATION OF THESE DOCUMENTS IS PERMITTED WITHOUT EXPRESS WRITTEN PERMISSION. IT IS THE USER'S RESPONSIBILITY TO VERIFY ALL LOCAL BUILDING CODES & ORDINANCES.

DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. REPORT ANY DISCREPANCIES TO THE ARCHITECT.

**Emmanuel Baptist Church**  
5391 JOHNSON ROAD • COCONUT CREEK, FLORIDA 33073

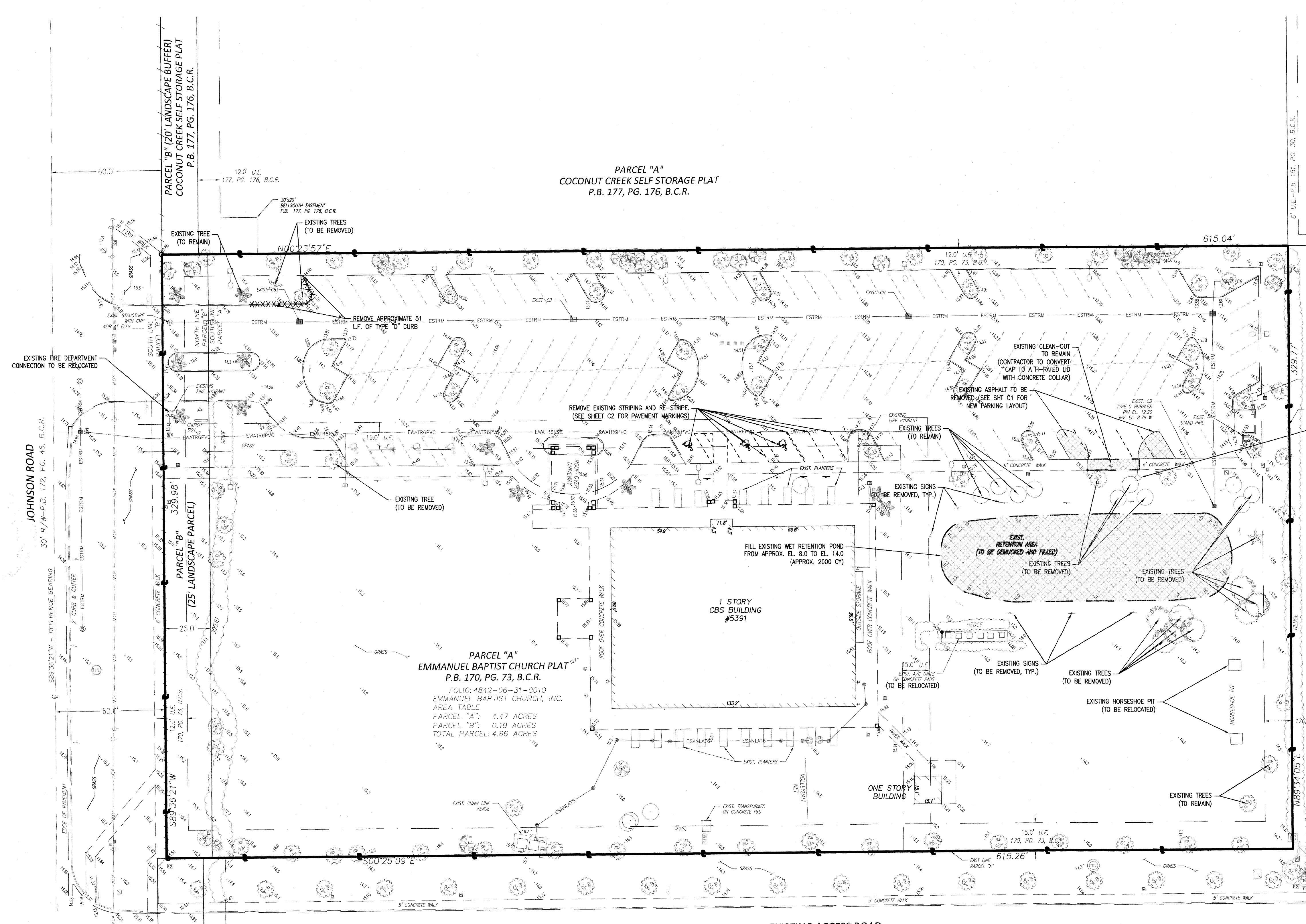
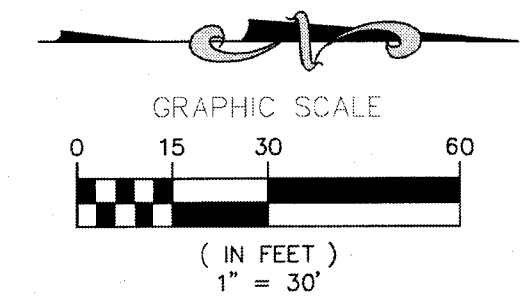
SEAL  
STATE OF FLORIDA  
MICHAEL E. SIPULA  
REGISTERED ARCHITECT  
REG. NO. 146201528  
MICHAEL E. SIPULA ARCHITECT

DATE: 04-27-23 PROJECT #: 23001  
**A400**  
SHEET









**SYMBOL LEGEND**

- = BACKFLOW PREVENTOR
- = BOLLARD
- = CATCH BASIN
- = CLEANOUT
- = COLUMN
- = CONCRETE POWER POLE
- = DRAINAGE MANHOLE
- = DOUBLE DETECTOR CHECK VALVE
- = ELECTRIC HANDHOLE
- = ELECTRIC METER RACK
- = FENCE
- = FIBER OPTIC
- = FIRE HYDRANT
- = FOUND PROPERTY CORNER
- = FPL TRANSFORMER PAD
- = GAS METER
- = GAS VALVE
- = GREASE TRAP MANHOLE
- = GUY ANCHOR
- = IRRIGATION VALVE
- = LAMP POST
- = MAST ARM
- = OVERHEAD ELECTRIC
- = SANITARY MANHOLE
- = SANITARY VALVE
- = SIGN
- = TELEPHONE HANDHOLE
- = TRAFFIC SIGNAL HANDHOLE
- = WATER METER
- = WATER VALVE
- = WOOD POST
- = WOOD POWER POLE

**ABBREVIATIONS**

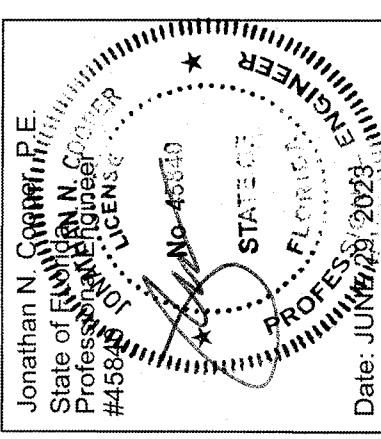
- ALUM. = ALUMINUM
- BLDG. = BUILDING
- CATV = CABLE TELEVISION
- CL = CENTERLINE
- CLF = CHAIN LINK FENCE
- COL. = COLUMN
- CONC. = CONCRETE
- CBS = CONCRETE BLOCK W STUCCO
- C&G = CURB & GUTTER
- E-O-P = EDGE-OF-PAVEMENT
- FPL = FLORIDA POWER & LIGHT
- FND. = FOUND
- I.P. = IRON PIPE
- I.R. = IRON ROD
- IRC = IRON ROD & CAP
- LB = LICENSED BUSINESS
- B.C.R. = BROWARD COUNTY RECORDS
- N&D = NAIL AND DISK
- NAVDB8 = NORTH AMERICAN DATUM OF 1988
- O.R.B. = OFFICIAL RECORDS BOOK
- PG. = PAGE
- PRM = PERMANENT REFERENCE MONUMENT
- P.B. = PLAT BOOK
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- R/W = RIGHT-OF-WAY
- W = WITH

**LEGAL DESCRIPTION**

All of Parcel "A" and Parcel "B" of EMMANUEL BAPTIST CHURCH, according to the plat thereof recorded in Plat Book 170, Page 73, of the Public Records of Broward County, Florida.  
 Said lands situate within the City of Coconut Creek, Broward County, Florida, containing 4.66 Acres, more or less.

EBC SANCTUARY ADDITION

COCONUT CREEK, FLORIDA



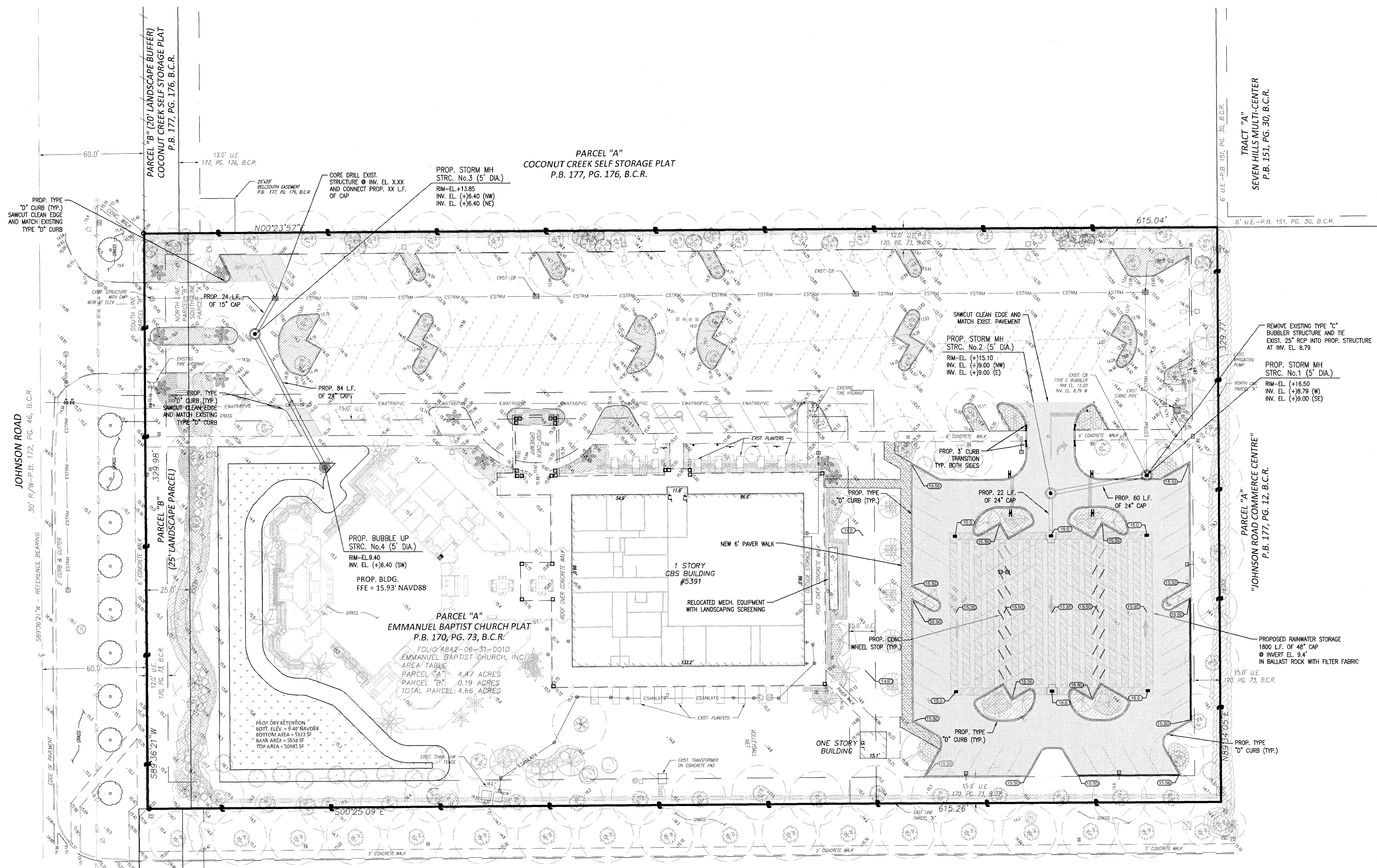
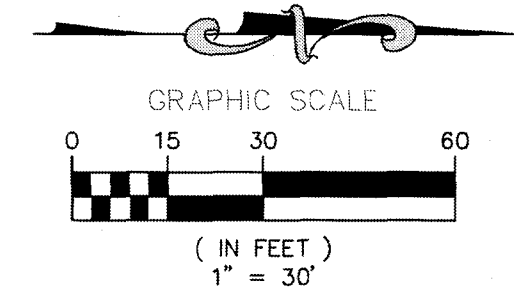
Philippians 419, Inc. d/b/a  
 Cooper Consulting Services  
 1250 MANGROVE LANE  
 P.O. BOX 236  
 Coconut Creek, FL 34138  
 Phone 954-592-9638, email: jcooper@gmmail.com  
 State of Florida Certificate of Authorization #31477

Revisions		
No.	Date	Description

**PRELIMINARY  
 DEMOLITION PLAN**

D1

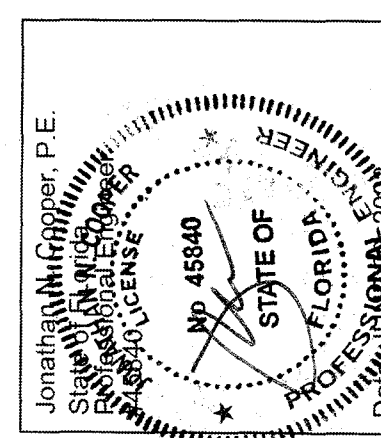




**LEGEND**

- PROP. PAVEMENT CONSTRUCTION
- PROP. RETENTION AREA
- EXISTING PAVEMENT AND/OR CONC. REMOVAL
- EXISTING PAVEMENT AND/OR CONC. REMOVAL
- PROP. PAVEMENT ELEVATION
- EXIST. ELEVATION

**EBC SANCTUARY ADDITION**  
COCONUT CREEK, FLORIDA



Philippians 419, Inc. d/b/a  
Cooper Consulting Services  
1250 MANGROVE LANE  
P.O. BOX 236  
Chokoloskee, FL 34138  
Phone 954 592 9638, email=jcooper@gmail.com  
State of Florida Certificate of Authorization #31477

**Revisions**

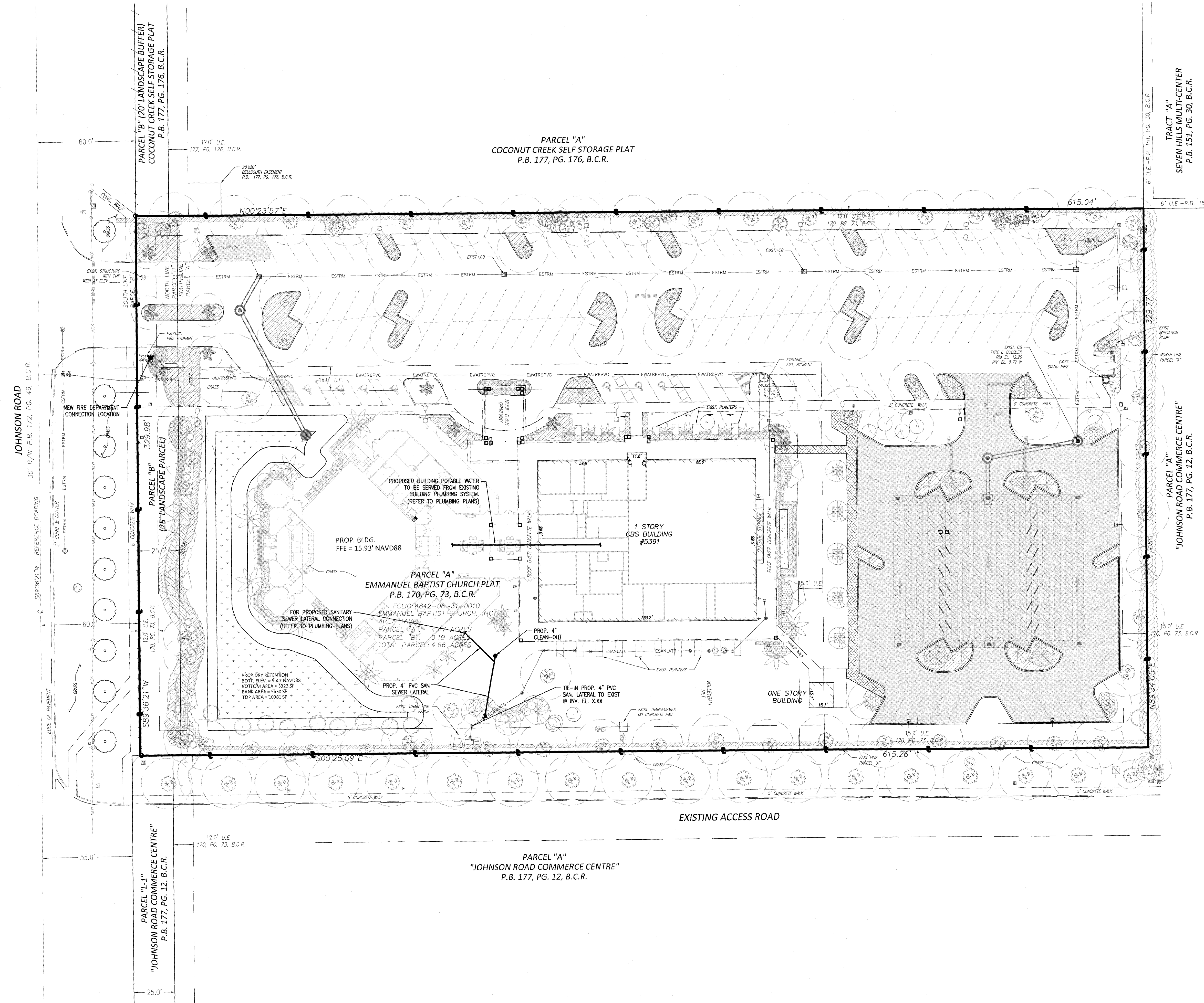
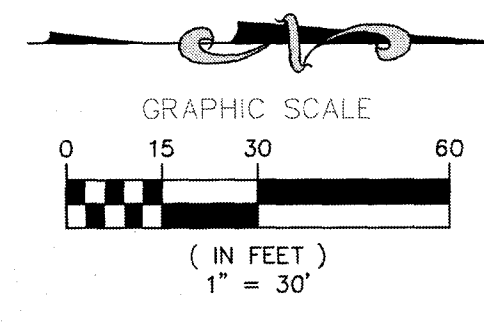
No.	Date	Description

**PRELIMINARY  
PAVING GRADING AND DRAINAGE PLAN**



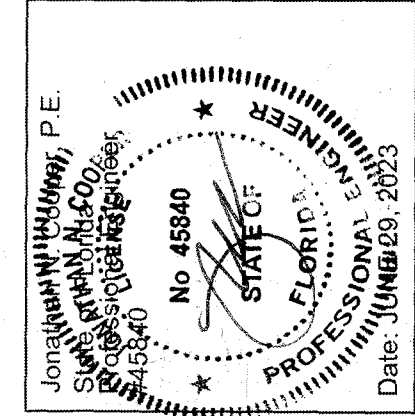
C1





**LEGEND**

- PROP. PAVEMENT CONSTRUCTION
- PROP. RETENTION AREA
- EXISTING PAVEMENT AND/OR CONC. REMOVAL
- EXISTING PAVEMENT AND/OR CONC. REMOVAL



**Phillipians 419, Inc. d/b/a**  
Cooper Consulting Services  
1250 MANGROVE LANE  
P.O. BOX 236  
Chokoloskee, FL 34138  
Phone 954 592 9638, email=icooper@gmail.com  
State of Florida Certificate of Authorization #314177

**Revisions**

No.	Date	Description

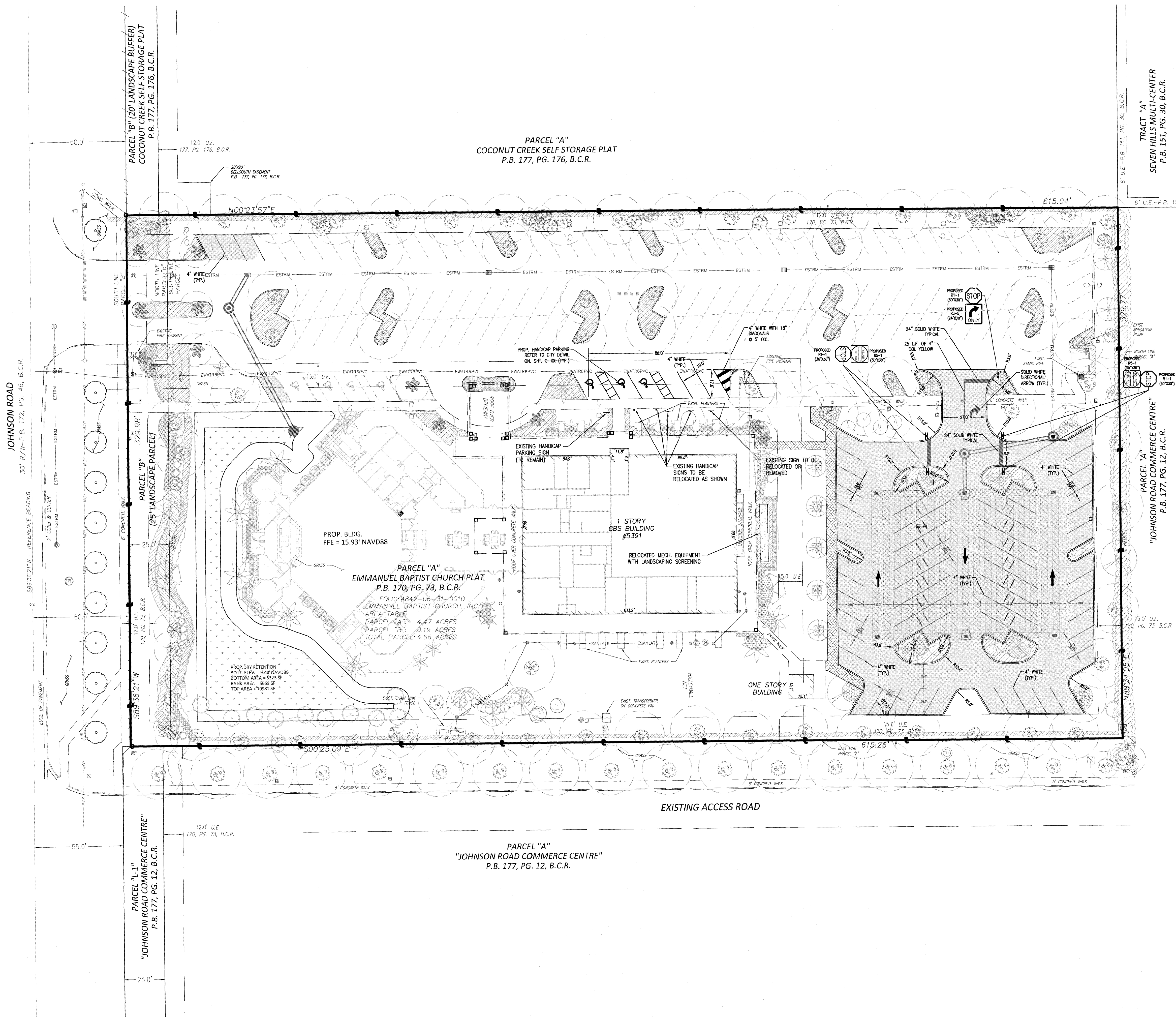
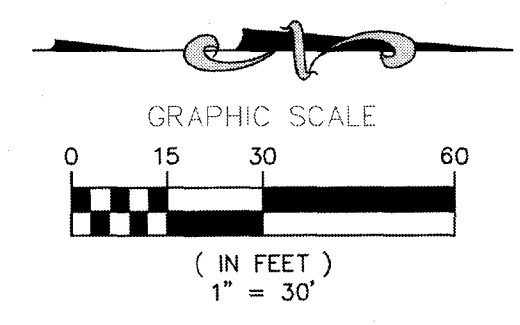
**PRELIMINARY  
WATER AND SEWER PLAN**



C2

**EBC SANCTUARY ADDITION**  
COCONUT CREEK, FLORIDA





JOHNSON ROAD  
30' R/W - P.B. 172, PG. 46, B.C.R.

TRACT "A"  
SEVEN HILLS MULTI-CENTER  
P.B. 151, PG. 30, B.C.R.

PARCEL "A"  
"JOHNSON ROAD COMMERCE CENTRE"  
P.B. 177, PG. 12, B.C.R.

PARCEL "L-1"  
"JOHNSON ROAD COMMERCE CENTRE"  
P.B. 177, PG. 12, B.C.R.

PARCEL "A"  
"JOHNSON ROAD COMMERCE CENTRE"  
P.B. 177, PG. 12, B.C.R.

PARCEL "A"  
EMMANUEL BAPTIST CHURCH PLAT  
P.B. 170, PG. 73, B.C.R.  
FOLIO: R842-06-31-0010  
EMMANUEL BAPTIST CHURCH, INC.  
AREA TABLE  
PARCEL "A": 4.47 ACRES  
PARCEL "B": 0.19 ACRES  
TOTAL PARCEL: 4.66 ACRES

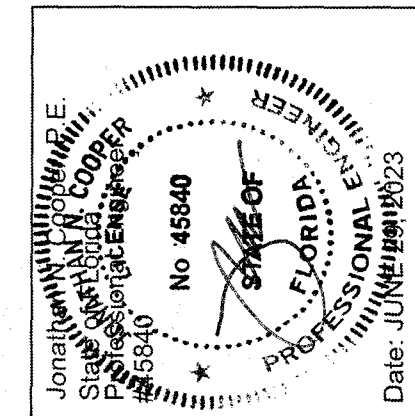
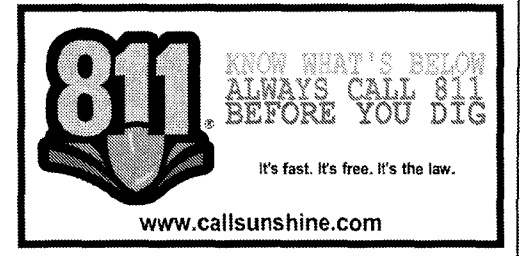
PROP. BLDG.  
FFE = 15.93 NAVD88

1 STORY  
CBS BUILDING  
#5391

ONE STORY  
BUILDING

EXISTING ACCESS ROAD

**PRELIMINARY  
PAVEMENT MARKING AND SIGNAGE PLAN**



Philipians 419, Inc. d/b/a  
Cooper Consulting Services  
1250 MANGROVE LANE  
P.O. BOX 236  
Chokoloskee, FL 34138  
Phone: 954.592.9638, email: icoper@gmail.com  
State of Florida Certificate of Authorization #31477

Revisions		
No.	Date	Description

**EBC SANCTUARY ADDITION**  
COCONUT CREEK, FLORIDA

C3







**PLANT LIST**

CAT. #	TREE CANOPY AREA S.F.	KEY	QTY	PLANT AND SPECIFICATION
2 (150 sf)	750	**BA	5	Bulnesia arborea (Verawood) 12' ht., 5' spr., 4' c.t., 2" cal., matched, full
2 (150 sf)	450	CB	3	Cassia bakeriana (Pink Shower Tree) 12' ht., 5' spr., 4' c.t., 2" cal.
3 (100 sf)	700	N**CS	7	Cordia sebestena (Geiger Tree) 12' ht., 5' spr., 4' c.t., 2" cal.
2 (150 sf)	1200	N**IA	8	Chrysophyllum oliviforme (Satinleaf) 12' ht., 5' spr., 4' c.t., 2" cal.
2 (150 sf)	900	N**IA	8	Ilex attenuata (Eagleston) (Eagleston Holly) 10' ht., 4' spr., 4' c.t., 2" cal., matched, full
3 (100 sf)	600	**LJ	6	Ligustrum japonicum (Japanese Privet) 8' ht., 4' spr., 1.5" cal., multitrunk, symm., full
3 (100 sf)	500	**LI	5	Lagerstroemia indica (Crape Myrtle) 12' ht., 5' spr., 4' c.t., multi-trunked
3 (100 sf)	1000	N**MF	10	Myrcianthes fragrans (Simpson Stopper) 12' ht., 5' spr., 4' c.t., 2" cal.
4 (50 sf)	650	PE1	13	Podocarpus elegans (Alexander Palm) 14' o.d. ht., 8' c.t., b&b, matched.
1 (300 sf)	900	N**QV	3	Quercus virginiana (Live Oak) 12' ht., 5' spr., 2" cal., full
3 (100 sf)	900	N RE	9	Ravastrea regia (Royal Palm) 25' o.d. ht., b&b, matched.
1 (300 sf)	3,000	N**TD	10	Taxodium distichum (Bald Cypress) 12' ht., 5' spr., 4' c.t., 2" cal.

TOTAL REPLACEMENT CANOPY 11,550 S.F.  
TOTAL TREES 85

KEY	QTY	PLANT AND SPECIFICATION
<b>SHRUBS, GROUNDCOVERS AND ACCENTS</b>		
N**CHR	16	Chrysobalanus icaco (Cocoplum Hedge) 24" ht., 24" spr., 24" o.c.
**CRO	12	Codiaeum variegatum (Magnificent Croton) 20" ht., 20" spr., 24" o.c.
DOM	7	Dombeya spp. (Tropical Snowball) 36" ht., 36" spr., 36" o.c.
ED	8	Elaeocarpus decipiens (Japanese Blueberry) 6'-8' ht., 4' spr., 4' c.t., conical shaped, matched
IXO	22	Ixora spp. 'nora grant' (Nora Grant Ixora) 20" ht., 20" spr., 24" o.c.
N MUH	90	Muhlenbergia capillaris (Muhly Grass) 20" ht., 20" spr., 30" o.c.
N PSY	32	Psychotria nervosa (Wild Coffee) 30" ht., 20" spr., 24" o.c.
PL	2	Polystichum longifolium (Mast Tree) 30" ht., 30" spr., 30" o.c.
POD	109	Podocarpus macrophyllus (Podocarpus Hedge) 30" ht., 20" spr., 24" o.c.
PRC	33	Philodendron rojo congo (Philodendron Rojo Congo) 30" ht., 30" spr., 30" o.c.
N FAK	37	Tripsacum dactyloides (Fakahatchee Grass) 36" ht., 36" spr., 36" o.c.
N**SER	19	Serenoa repens 'Silver' (Saw Palmetto) 3' ht., 3' spr., 5" o.c.
<b>TOTAL SHRUBS 387</b>		
<b>GROUNDCOVERS</b>		
ARA	462	Arachis glabrata (Perennial Peanut) 12" ht., 8" spr., 12" o.c.
**FGI	124	Ficus microcarpa (Green Island) 14" ht., 14" spr., 18" o.c.
N**IVS	402	Ilex vomitoria 'Schillings' (Yaupon Holly) 14" ht., 14" spr., 18" o.c.
JAS	83	Jasminum multiflorum (Downy Jasmine) 14" ht., 14" spr., 18" o.c.
**LIR	590	Liriope muscari 'big blue' (Liriope) 14" ht., 14" spr., 18" o.c.
N**NEP	280	Nephrolepis Exaltata (Boston Fern) 12" ht., 8" spr., 20" o.c.
N**ERN	581	Erodia littoralis (Golden Creeper) 14" ht., 14" spr., 18" o.c.
<b>TOTAL GROUNDCOVERS 2,522</b>		

N DENOTES NATIVE SPECIES  
\*\* DENOTES DROUGHT TOLERANT SPECIES  
SOD ST. AUGUSTINE 'PALMETTO' SOD. CONTRACTOR TO REPLACE ANY SOD DAMAGED DURING CONSTRUCTION. CONTRACTOR TO DETERMINE QUANTITY.  
MULCH NON-CYPRESS MULCH. 3" DEPTH. CONTRACTOR TO DETERMINE QUANTITY.

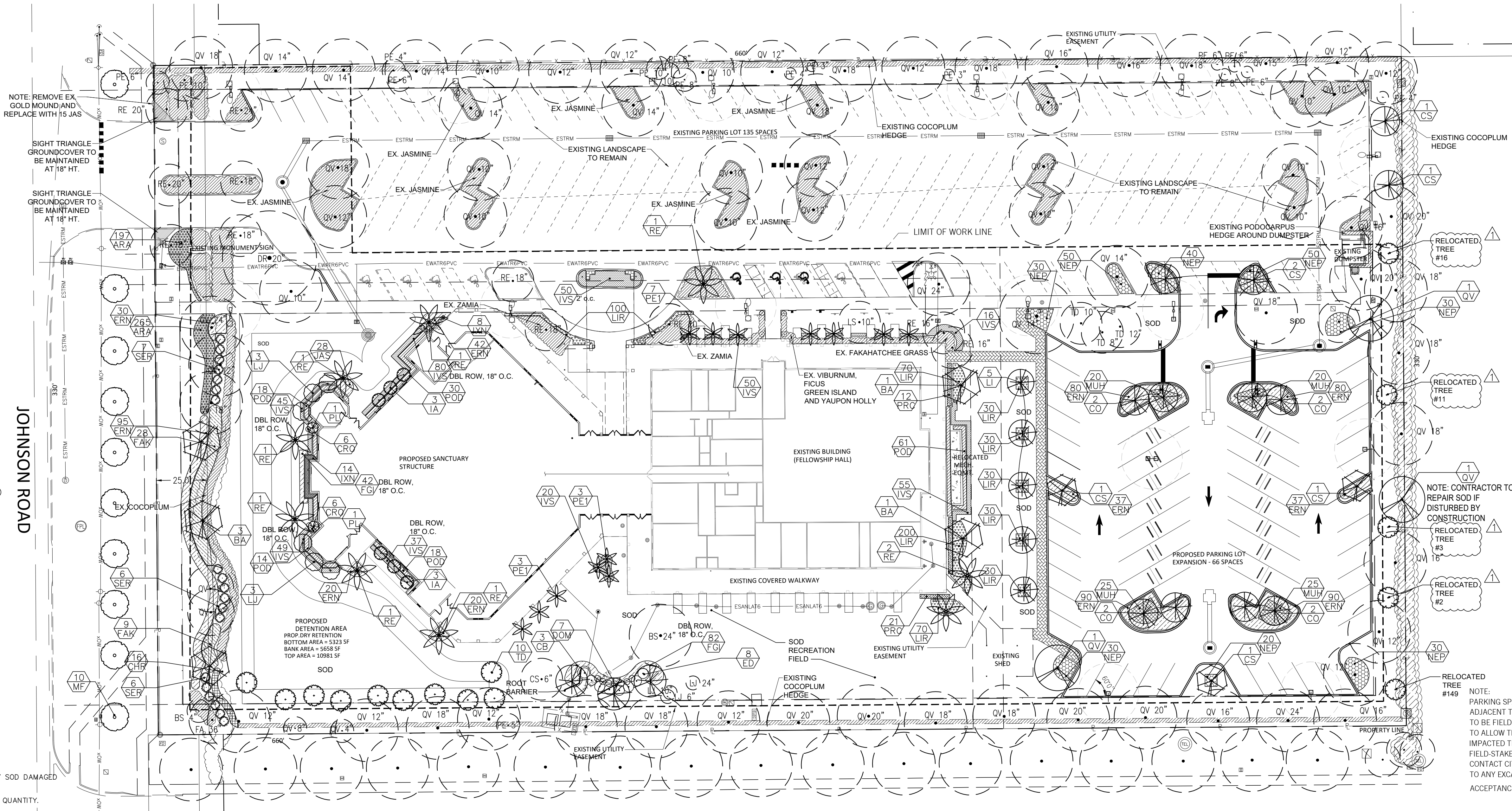
**TREE ABBREVIATION KEY**

BS	GUMBO LIMBO
CS	GEIGER TREE
DR	ROYAL POINCIANA
QV	LIVE OAK
RE	ROYAL PALM
TD	BALD CYPRESS

**LANDSCAPE TABULAR DATA**

CATEGORY	REQUIREMENT	VEGETATION REQUIRED	VEGETATION PROVIDED	EXISTING	PROPOSED
<b>PERIMETER VEGETATION</b>					
EAST PROPERTY LINE (615 L.F.)	1 CANOPY TREE / 40 L.F.	16 TREES	16 TREES	16	0
	CONTINUOUS HEDGE	CONTINUOUS HEDGE	CONTINUOUS HEDGE		
NORTH PROPERTY LINE (330 L.F.)	1 CANOPY TREE / 40 L.F.	9 TREES	9 TREES	8	0
	CONTINUOUS HEDGE	CONTINUOUS HEDGE	CONTINUOUS HEDGE		
WEST PROPERTY LINE (615 L.F.)	1 CANOPY TREE / 40 L.F.	16 TREES	16 TREES	16	0
	CONTINUOUS HEDGE	CONTINUOUS HEDGE	CONTINUOUS HEDGE		
<b>ROADWAY BUFFER</b>					
SOUTH PROPERTY LINE (282 L.F.)	1 TREE / 2000 S.F.	4 TREES	4 TREES	4	0
25' LANDSCAPE PARCEL: 7,050 S.F.	40 SHRUBS / 2000 S.F.	141 SHRUBS	197 SHRUBS PLUS CONTINUOUS HEDGE		
<b>R.O.W. STREET TREES</b>					
SOUTH PROPERTY LINE (282 L.F.)	1 TREE / 30 L.F.	10 TREES	10 TREES	0	10
<b>VEHICULAR USE AREA</b>					
	1 TREE EVERY INTERMEDIATE / 1 TREE EVERY END ISLAND	41 TREES	41 TREES	25	16
<b>LANDSCAPING BETWEEN BUILDING AND PARKING</b>					
TREES	1 / 40 L.F. OF BUILDING	435 L.F. = 11 TREES	11 (9 TREES AND 2 PALMS)	4	7
SHRUBS	20 / 40 L.F. OF BUILDING	218 SHRUBS	300 SHRUBS		
GROUNDCOVERS	30 / 40 L.F. OF BUILDING	326 GROUNDCOVERS	561 GROUNDCOVERS		
<b>OVERALL SITE LANDSCAPE REQUIREMENTS</b>					
TREES	1/1,000 S.F. GREENSPACE	82,313 S.F. = 83 TREES	83 TREES	41	42
SHRUBS	5/1,000 S.F. GREENSPACE	82,313 S.F. = 411 SHRUBS	1,845 SHRUBS		
<b>TOTALS</b>		<b>190 TREES REQUIRED</b>	<b>190 TREES</b>	<b>114</b>	<b>76</b>
		<b>1,096 SHRUBS/GROUNDCOVERS PLUS CONT. HEDGE</b>	<b>2,716 SHRUBS/GROUNDCOVERS PROVIDED PLUS CONT. HEDGE</b>		

NOTE: THIS COMMENT SHEET IS TO BE PLACED ON ALL LANDSCAPE PLANS 'AS IS'.



**EXISTING ACCESS ROAD**

**CITY OF COCONUT CREEK STANDARD LANDSCAPE NOTES**

- All landscape and specifications shall meet or exceed the minimum requirements as provided in the City of Coconut Creek Land Development Code. Plans are incomplete without written notes and specifications.
- All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, 6th edition. Trees shall not be topped, tapered, or shaped prior to installation. Landscape shall be placed to edge of abutting streets, canals, lakes or other lands.
- All mechanical equipment, air conditioning, irrigation pump stations and equipment, FPL transformers, pool pumps, etc., must be screened on three (3) sides by landscape shrubs.
- NOTE: The quantity of screening shrubs is in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust on-center spacing as necessary and/or provide additional plants to provide an adequate screen.
- Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two inches, tree trunks excluded. Measurement shall be made from top of root ball planted at proper elevation. Guying/taking practices shall not permit nails, screws, wires, etc., to penetrate outer surfaces of trees, palms or other plant material. Trees, palms and plant material rejected due to this practice shall be replaced with the inspector on site.
- Burlap material, wire cages, plastic/canvas straps, etc., must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material REMOVED ENTIRELY prior to planting the tree or shrub.
- All plant material shall be free of pests, insects, disease, weeds, etc.
- All required landscape material shall be installed using a planting soil mix comprised of a type appropriate to the individual proposed plant material and the native soil found on the site.
- All plant material shall be planted at the proper depth, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
- All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area. Color-treated or dyed mulch will not be accepted.
- Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit to the satisfaction of the inspector.
- Refer to Coconut Creek Fire Equipment Clear Zone diagram to maintain a safe zone fronting fire hydrants. Do not plant trees, shrubs or groundcover within Electric Meter Clear Zone. Provide a safe zone as described by the Electrical Inspector.
- All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with 50% overlap (minimum) using rust free water, except preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed onto impervious surfaces and/or impervious surfaces and/or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 6:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agency. Irrigation permits and plans shall be submitted for approval at time of building permits.
- All non-single family or duplex irrigation systems other than City water systems shall require a South Florida Water Management District water use permit prior to issuance of an irrigation permit and installation of the irrigation system as required.
- All site amenities to include site street lights, landscape common open space, irrigation common open space, buffers, berms, landscape entry features, etc. leading up to and including the model center and/or first certificate of occupancy must be completed and functional prior to issuance of the first requested certificate of occupancy.
- The height of all required, designed and installed berms shall be from the highest adjacent point whether it is the sidewalk, parking area, vehicular use area, surrounding ground, etc. Where a berm abuts a sidewalk, there shall be a one (1) foot level sod area adjacent to the sidewalk prior to the start of incline for the berm.
- An inspection is required prior to the backfilling of trees/palms in all parking medians and islands.

**MITIGATION DATA**

TREE CATEGORY	REPLACEMENT TREE CATEGORY	EQUIVALENT REPLACEMENT CANOPY AREA IN S.F.	REPLACEMENT	SPECIES UTILIZED
CATEGORY 1	300 SF	1-5 trees	1	
CATEGORY 2	150 SF	6-10 trees	2	
CATEGORY 3	100 SF	11-20 trees	3	
CATEGORY 4	50 SF	21-50 trees	4	
		51+	5	

NOTE: TOTAL S.F. CANOPY TO BE MITIGATED: 5,091 S.F.  
TOTAL TREES REQUIRED FOR MITIGATION: 16 Category 1 (or equivalent)  
TOTAL MITIGATION PROVIDED: 11,550 S.F.

**GREEN CITY PLAN - TREE CANOPY ACHIEVED**

PROJECT AREA = 202,950 S.F.  
CANOPY ACHIEVED = 101,619 S.F. OR 50% CANOPY ACHIEVED

**SPECIES DIVERSIFICATION**

TREES:  
THERE ARE 85 PROPOSED TREES/PALMS PROVIDED ON SITE. NO MORE THAN 22 (25%) OF ONE SPECIES CAN BE USED.  
26% ARE PALMS  
74% ARE TREES  
SMALL TREES NO MORE THAN 10% - 8% ARE SMALL TREES 8' HT.  
MEDIUM TREES NO MORE THAN 30% - 8% ARE MEDIUM TREES 10' HT.  
LARGE TREES MIN. 40% REQUIRED - 67% ARE LARGE SHADE TREES 12' HT.

SHRUBS:  
THERE ARE 387 PROPOSED SHRUBS PROVIDED ON SITE. NO MORE THAN 97 (25%) OF ONE SPECIES CAN BE USED.

GROUNDCOVERS:  
THERE ARE 2,522 PROPOSED GROUNDCOVER PROVIDED ON SITE. NO MORE THAN 630 (25%) OF ONE SPECIES CAN BE USED.

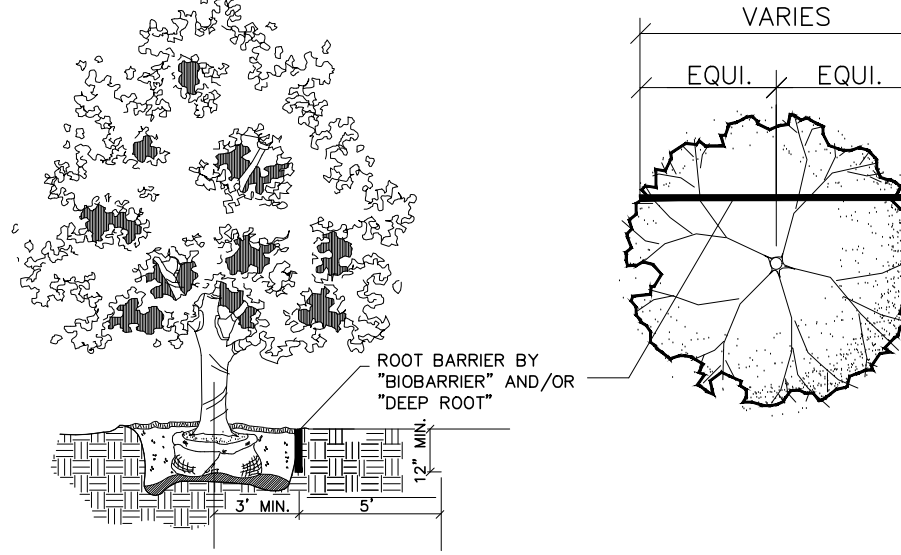
**NATIVE CALCULATIONS**

REQUIRED: 50% NATIVE EXCLUDING GROUNDCOVER AND TURF GRASSES  
THERE ARE 85 PROPOSED TREES/PALMS ON THE PLAN. 62% ARE NATIVE (53)  
THERE ARE 387 PROPOSED SHRUBS ON THE PLAN. 50% ARE NATIVE (194)  
THERE ARE 2,522 PROPOSED GROUNDCOVERS ON THE PLAN. 50% ARE NATIVE (1,261)

VUA LANDSCAPE AREA CALCULATION  
VEHICULAR USE AREA = 78,182 S.F.  
78,182 S.F. / 100 S.F. = 781 S.F. OF REQUIRED LANDSCAPE AREA  
THIS REQUIRED LANDSCAPE AREA IS ACHIEVED BY PARKING LOT ISLANDS.  
OVER 781 S.F. OF LANDSCAPE AREA IS PROPOSED IN THE LANDSCAPE ISLANDS.

**NOTE**

CITY HAS REQUIRED THAT THE CONTRACTOR SET UP PRE-CONSTRUCTION MEETING WITH THE CITY LANDSCAPE INSPECTOR PRIOR TO ANY LANDSCAPE OR IRRIGATION WORK.



**ROOT BARRIER DETAIL**

SCALE: 1"=30'-0"

PROJECT  
**EMMANUEL BAPTIST CHURCH**  
COCONUT CREEK, FL

**LANDSCAPE PLAN**

PROJ. NO.	FILE NAME
MB/CBP	DRAWN
9-9-2022	DATE
4-14-2023	REV.
6-12-2023	



1. GENERAL CONDITIONS

A. SCOPE

- Contractor shall furnish labor, equipment, and materials required to perform all work necessary for the construction of the project as indicated in the drawings. Such work includes but is not limited to the following:
  - Finish grading of planting areas.
  - Planting.
  - Sodding (if required).
- Contractor shall have a competent representative at the site who shall be capable of reading and understanding plans, specifications, and other contract documents. The representative shall be knowledgeable in all areas of landscape construction in Florida.
- Contractor shall be responsible for knowledge of the contents of these specifications and the requirements of any accompanying drawings.

B. DRAWINGS

The drawings and plant lists together with these written specifications shall be considered as one contract document and shall be accordingly read together. The drawings and specifications remain the property of the Landscape Architect and, if required, shall be returned to him upon completion of the work. The Contractor shall keep one copy of the drawings and the specifications at the construction site for the use of the Landscape Architect, Owner, and their representatives.

C. REQUIREMENTS OF REGULATORY AGENCIES

- Perform work in accordance with all applicable codes, laws, and regulations required by authorities having jurisdiction over such work and provide for all inspections and permits required by Federal, State, and local authorities in furnishing, transporting and installing materials.
- Certificates of inspection required by law for transportation shall accompany invoice for each shipment of plants. File copies of certificates with Landscape Architect or Owner after acceptance of material. Inspection by Federal or State Governments at place of growth does not preclude rejection of plants at project site.

D. PROTECTION OF WORK AND PROPERTY

- Contractor is responsible for maintaining adequate protection of his work from, injury and loss resulting from the execution of this contract. He must make good all repairs and replacements to the satisfaction of the Landscape Architect or the Owner except where caused by the Owner or his agents. He must provide all safety or protective measures required by public authorities or local conditions.
- Existing plant material to remain must be protected by barriers or fences at the drip line surrounding the material. No burning, storage, or parking shall be permitted within these protected areas. Contractor shall notify the Landscape Architect or Owner of any situation he feels may damage the existing plants to remain in the normal execution of this contract. Do not proceed with such work until directed by the Landscape Architect or Owner. Contractor damaged plants shall be replaced with plants of the same species, size, and quality as those damaged at no cost to the Owner. The Landscape Architect shall determine the extent and value of the damaged plants.

E. CHANGES IN THE WORK

- The Owner reserves the right to make changes in the work and thereby changes in the cost of the work within the conditions of the original contract. All changes shall be in written form and once accepted, shall become a part of the contract documents.
- The Contractor shall not begin any work on extras or changes from the contract document before written approval has been given by the Owner or Owner's representative. Any work done prior to such written approval may or may not be paid for, at the discretion of the Owner.

F. OWNER'S RIGHT TO DO WORK

The Owner reserves the right, upon two (2) days written notice to the Contractor to remedy any neglected provisions of the contract and to deduct the cost of the work or deficiencies from the contract payments.

G. SURFACE AND SUBSURFACE OBSTRUCTIONS

It is the Contractor's responsibility to acquaint himself with the existence and location of all surface and subsurface structures and installations, existing or proposed, before commencing work. Any damage by the Contractor during the execution of this contract shall be made good at the Contractor's own time and expense. If subsurface construction or obstructions are encountered during planting, alternate locations may be selected by the Landscape Architect or Owner.

H. OWNER'S RIGHT TO TERMINATE

Should the Contractor at any time fail, refuse, or neglect to comply with the provisions of this contract, the Owner or his representative shall without prejudice to any other rights or remedy and after having given seven (7) days written notice to the Contractor, terminate the contract and take possession of the premises. The cost of completion will be deducted from the amount of the contract.

I. COORDINATION OF WORK

Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.

J. INSPECTION OF SITE

- Contractor shall visit the site and inspect site conditions as they exist prior to submitting bid.
- No additional compensation nor relief from any obligation of the contract will be granted because of lack of knowledge of the site or of the conditions under which the work will be accomplished.

II. PLANTING SPECIFICATIONS

A. PLANT MATERIALS

- Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project, unless otherwise noted.
- Quantities, sizes, and spacing will be determined by the drawings and specifications. Where discrepancies exist, the Landscape Architect or Owner is to be notified for clarification. Contractor shall be responsible for completing installation as called for in the plans, plant lists, and specifications.

B. ABBREVIATIONS ON PLANT LIST

- B&B – Balled and burlapped. Plants shall be dug with a firm natural ball of earth of sufficient size to encompass the fibrous root system necessary for recovery of the plant. Broken or loose balls will not be accepted.
- G. – One (1) gallon container.
- R.C. – Rooted cutting. A cutting which has calloused and produced roots. Applies equally to cuttings rooted in a propagation bed or in individual containers.
- Cal. – Caliper of trunk measured four (4) feet above the ground.
- C.T. – Clear trunk. Measurement from top of root ball to first branching.
- G.W. – Grey wood area on palms between ground level and base of fronds.

- O.A. HT. – Overall height from ground level to midpoint of current season's growth.
- SPR. – Spread measured across the average diameter of plant.
- O.C. – On center. Horizontal spacing of plants center to center.
- P.P.P.– Plants per pot.

Container sizes are only a guide. Contractor is responsible for size and quantity of plant material as specified. No container material shall be rootbound. Where B&B material is specified, container material will not be accepted without written consent of Landscape Architect or Owner.

C. QUALITY AND SIZE

Plants shall have a habit of growth which is normal for the species and shall be free from physical damage, insects or pests, and adverse conditions that would prevent thriving growth. Measurements specified in the plant list are the minimum acceptable sizes. All plant materials used shall be true to name and size in conformance with the Grades and Standards for Nursery Plants, State Plant Board of Florida, and shall be graded Florida No. 1 or greater, except where noted in the contract documents. Plants shall be graded before pruning. Any necessary pruning shall be done after planting, and with the consent of the Landscape Architect or Owner. Plants which do not meet the requirements will not be accepted.

D. SUBSTITUTIONS

No substitutions shall be accepted without the written consent of the Landscape Architect, Owner or their representatives. Proof must be submitted that the plant in question is not available in the type or size specified. The Landscape Architect or Owner shall determine the nearest equivalent replacement.

E. TRANSPORTATION AND STORAGE

All plant material shall be protected from possible injury or breakage of branches. All plants shall be delivered adequately covered to prevent windburn, drying, or damage. Plants which can not be planted immediately shall be adequately heeled in and protected from the drying of sun and wind. All plants shall be watered as necessary until planting. Storage period shall not exceed 72 hours. All palms shall have their buds tied with burlap strips to remain in place until the tree is well established in its new location. (This may be waived with the consent of the Landscape Architect or Owner). Trees moved by crane or winch shall be adequately protected from chain marks and girdling by approved methods.

F. INSPECTION

No plant material shall be planted until it is inspected and approved by the Landscape Architect, Owner or their representatives. Contractor shall give the Landscape Architect or Owner two (2) days notice for inspection of plant material. Inspection may be waived at the discretion of the Landscape Architect or Owner, in which case, the Contractor will still be responsible for complying with all specifications. Contractor shall be responsible for all inspections of plant material that may be required by State or Federal authorities and inspection certificates shall be submitted to the Landscape Architect or Owner. Rejected material shall be replaced at no additional cost. Landscape Architect, at his discretion, may tag any or all plant material in the nursery.

G. PLANTING SOIL

Planting soil shall consist of fertile friable soil of a sandy loam nature and shall be derived from 50% minimum amount of decomposed organic matter (muck or peat) and 50% clean sand with no trace of salinity. There must be a slight acid reaction to the soil. Planting soil shall be free from stones, plants, roots, clods, sticks and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth. Planting soil shall be applied in accordance with the Methods of Installation and details.

H. MULCH

Mulch shall be approved (as per Municipality) non-cypress mulch, unless otherwise specified, and shall be free of weeds, weed seeds, sticks and other foreign materials. It shall be applied to a minimum three (3) inch depth, unless otherwise specified, and moistened at the time of application to prevent wind displacement.

I. COMMERCIAL FERTILIZER

Commercial fertilizer shall be an organic fertilizer containing equal percentages of nitrogen, phosphoric acid and potash as available plant food by weight. 50% of the nitrogen shall be derived from natural organic sources. The trace elements of iron and magnesium must also be present. The minimum analysis acceptable shall be 62N-62P-62K. Fertilizer shall be dry, free flowing, and delivered to the site in unopened original containers, each bearing the manufacturers guarantee analysis. If Milorgonite with trace elements is to be used, application rates are as follows:

Trees:	12 lbs./2"-3" caliper tree
7gal + :	4 lbs./container
3gal :	1 lb./container
1 Gal. Can:	.5 lbs./container
4" Pot:	.25 lbs./container
Groundcover Beds	10 lbs./100 sq. ft.

Fertilizer shall be spread before laying mulch and at the above recommended rates, unless otherwise specified. If plant tablets are called for, they shall be Agriform 20-10-5 formula, 21 gram tablets. Tablets shall be placed mid-way to the plant ball in the backfill material and at manufacturer's rates, unless otherwise specified.

J. WATER

Water is to be furnished by the Owner. The Contractor shall transport as required.

K. SOD (WHEN APPLICABLE)

Sod shall be one year old and of the variety indicated in the plant list. Sod shall be dense, vigorous, and green, with the produced roots. Sod shall be at least three times at a 2"-2 1/2" height before lifting from the field. Sod shall have a good root development and compact growth and contain no weeds, vermin, fungus, or other diseases. No sod shall be used which is not certified as being free of the imported fire ant. All sticks, stones, and other foreign material over one inch in diameter shall be removed from the top 2" of soil. Grade areas to be sodded so that the top of sod will be the finished grade. Solid sod shall be laid with closely abutting joints with a tamped or rolled even surface. Avoid a continuous seam along the line of water flow in swales. Place sod at right angles to slope. All sod edges shall be neat and even and conform to the shape of the planting plans. Rolling may be required at the discretion of the Landscape Architect or Owner. If the Landscape Architect or Owner determines that top-dressing is required after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in. Rolling and top-dressing shall be done at no extra cost to the Owner.

L. SEED (WHERE APPLICABLE)

Grass seed shall be of the mixture called for in the plant list. It shall be a standard grade seed of the current or last year's crop. Seed which has become wet, moldy, or otherwise damaged will not be accepted. Seed must come in unopened packages with the procurer's guaranteed analysis attached. Weed seed content shall not exceed 0.25%. Before any planting, the ground shall be plowed or scarified to a depth of at least 4" and shall be raked and smoothed evenly to establish a final grade. All sticks, and other foreign material over one inch in diameter shall be removed. Contractor shall use the Hydromulch seeding method and supply all material and equipment necessary to perform the specified work. Seed shall be applied at a rate of 2-3 pounds per 1000 sq. ft. (90-100 lbs./acre). Mulch shall be "Silva Fiber" processed wood fiber or approved equal and applied at the rate of 50 lbs./acre. All materials shall be uniformly blended in an agitating system using clean water and applied uniformly in the rates specified. Contractor shall be responsible for proper watering of the seeded areas in order to avoid runoff, and for keeping the ground moist until the grass is re-established, and watering for proper growth until the work is accepted. Contractor shall repair erosion caused by excessive rainfall or watering at no extra cost to the Owner. Any areas which are damaged or do not germinate within the first thirty (30) days shall be re-seeded and maintained until grass is established. Grass shall be vigorous and healthy and coverage shall be at least 95% prior to final acceptance.

III. METHODS OF INSTALLATION

A. LAYOUT

Location of plants and layout of all beds are indicated on the plans. Plant locations are to be staked in the field by the Contractor. Landscape Architect or Owner will check staking of plants in the field and shall adjust to his satisfaction before planting begins. Where surface or subsurface obstructions are encountered or where changes have been made in construction, necessary adjustments will be approved by the Landscape Architect or Owner.

B. EXCAVATION FOR PLANTING

Shrub beds are to be excavated a minimum of 18" and backfilled with planting soil as defined in Section II, G and as shown on details.

Tree and palm planting holes shall be excavated to a minimum depth of four (4) inches deeper than the depth of the root ball except for trees over 10 feet in height (see section III, C).

Holes shall be a minimum of six (6) inches greater in diameter than the root ball for shrubs and eighteen (18) inches greater in diameter for trees. All existing vegetation, including sod, shall be completely removed from all planting beds before planting. Four (4) inches of planting soil shall be incorporated into all planting beds for rooted cuttings. Where applicable, planting holes for all trees, shrubs, and groundcovers shall be excavated through any compacted building subgrade or road rock to undisturbed subsoil or clean sand fill. All excess excavation material shall be removed from the site by the Contractor. Holes shall be back-filled with planting soil as defined in Section II, G and as shown in details. The following is a guide for planting soil quantities:

Trees – 10' or greater	9 cu. ft.
Trees – 8' ht.	6 cu. ft.

Quantities of planting soil needed may be greater if excavation of building subgrade or roadrock is necessary.

C. SETTING TREES AND SHRUBS

All trees and shrubs are to be planted plumb on four (4) inches of planting soil and centered in the planting hole as to give the best appearance in relation to adjacent plants and structures. Trees over ten (10) feet in height shall be planted directly on the undisturbed subgrade. The finished grade level of the plant after settlement shall be the same as that at which the plant was grown. Rootballs on container grown material shall be scarified to prevent a root-bound condition. When the plant holes have been backfilled approximately 2/3 full with planting soil, water thoroughly, saturating rootball, before installing remainder of planting soil to top of hole, eliminating all air pockets. After settlement, add planting soil to the level of the finished grade, allowing three (3) inches for mulch. Form a shallow saucer around each plant by forming a ridge of soil along the edge of the planting hole. All Sabal palmetto are to be planted in sand. Water all plants immediately after planting.

D. PRUNING

Remove dead and broken branches from all plant material. Prune with sharp instrument flush with trunk or branch so as to leave no stubs. Prune to retain typical growth habit of the particular species. Paint cuts over 1 1/2" in diameter with a waterproof antiseptic tree paint.

E. STAKING AND GUYING

Staking and guying of trees, where specified, is an option to be used by the Contractor, who will be responsible for material remaining plumb and straight for all given conditions through the guarantee period. The Landscape Architect, Owner or Owner's representative may require that a tree or trees be staked or guyed if the tree(s) are obviously unstable or pose a threat to person or property if they should fall. Tree support, if required by Landscape Architect or Owner, shall be done according to staking details provided. Staking and guying shall be done at no extra cost to the Owner. No method of support shall be permitted which causes physical damage to the plant. Any method of staking or guying not shown must be approved by the Landscape Architect.

F. MULCHING

All tree and shrub beds shall be mulched immediately after planting to a three (3) inch depth and thoroughly wetted down. Unless otherwise specified, the following configurations will apply:

- Trees and Palms: 3" diameter ring  
 3" wide beds  
 Shrub masses: continuous bed extending 2' outside of plants, in configurations shown on plans
- Ground cover beds: entire surface (mulching of certain ground cover plants may be waived by Landscape Architect)

G. FINISH GRADES

- Finish grades for all sod areas after settlement shall be 1/2" below top of adjacent curbs, walks, walls, and abutments.
- Finish grade of all ground cover beds after mulching and settling shall be 1/2" below finish grade of sod, adjacent curbs, walks and walls.
- Finish grading shall include the removal of all surface rock and other debris that prevents a smooth level surface.

H. CLEANUP

All areas shall be kept clean and orderly as the work progresses. Upon completion of planting, all excess deleterious materials and debris shall be removed from the site or disposed of as directed by the Landscape Architect or Owner. All tags and ribbons shall be removed from trees and shrubs.

I. MAINTENANCE

A maintenance period shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance. Maintenance of new planting shall consist of watering, cultivating, weeding, mulching, restaking, repairing and tightening guys, resetting plants to proper grades and positions, removal of dead materials, restoration of planting saucers, maintaining any barriers or fences, and any other necessary operations. Any damage created by the planting operation shall be repaired promptly. All trees and other B&B material shall be deep watered for a period of least twenty one (21) days after installation and at least once every other day during the (21) day period.

IV. FINAL INSPECTION AND ACCEPTANCE

- Inspection of work to determine completion of contract, but exclusive of the replacement of plant materials under the Warranty Period, will be made by the Landscape Architect or Owner at the conclusion of all planting and at the written request of the Contractor.
- The Contractor will be notified by the Landscape Architect or Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to Warranty.

V. WARRANTY PERIOD AND REPLACEMENT

- The Contractor, as part of this contract, shall guarantee all materials, workmanship, and plant materials for a period of twelve (12) months from the time of final acceptance. Exception: sod shall be guaranteed for thirty (30) days. Guarantee shall apply to the position, health, shape, condition, and specified size and quality of all plant material.
- The guarantee shall be null and void for plant material that is damaged or dies as a result of freeze, hail or hurricane-force winds, provided the material was properly planted and in a healthy growing condition prior to such acts of Nature.
- The Contractor shall not be held responsible for failures due to neglect by Owner or acts of vandalism during the Warranty Period.
- During, or at the end of the Warranty Period, any plant that is dead or not in satisfactory condition, as determined by the Landscape Architect or Owner, shall be replaced by the Contractor at no cost to the Owner. Subsequent replacement costs shall be shared equally by the Owner and the Contractor, should the replacement not survive, unless the plant(s) have not been planted in accordance with previous specifications as determined by the Landscape Architect or Owner. All replacements shall be furnished and planted as specified herein.
- The Warranty Period for replaced plant material shall commence on the date of acceptance of the replaced item(s) of plant material.

VI. ADDENDA

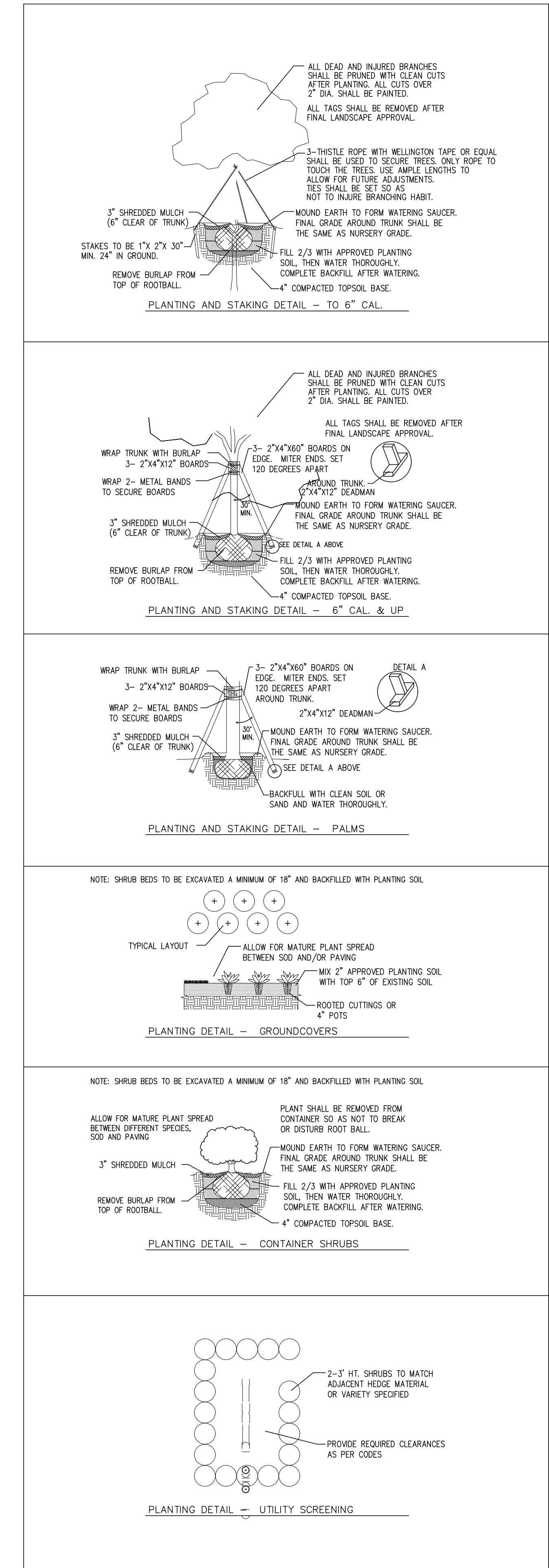
All addenda apply to section(s) specified in the contract documents and therefore are to be considered a part of the contract.

SITE RESTORATION

The contractor shall remove all excess material and shall clean up and restore the site to its original condition or better. All damage, as a result of work under this Contract, done to existing structure, pavement, driveways, paved areas, curbs and gutters, sidewalks, shrubbery, grass, trees, utility poles, utility pipe lines, conduits, drains, catch basins, flagstones, rock, graded or stabilized areas or driveways and including all obstructions not specifically named herein, shall be repaired and restored to a condition acceptable to the Landscape Architect or owner.

CONTRACTOR TO CHECK DRAWINGS AND DATA

The Contractor shall verify all dimensions, quantities, locations, materials and details shown on the Drawings, supplementary drawings, schedules or other data received from the Landscape Architect, and shall notify him of all errors, omissions, conflicts and discrepancies found therein. Failure to discover or correct errors, omissions or discrepancies shall not relieve the Contractor of full responsibility for unsatisfactory work, faulty construction, or improper operation resulting therefrom nor from rectifying such condition at his own expense. He will not be allowed to take advantage of any error or omissions, as full instructions will be furnished by the Landscape Architect or Owner, should any error or omissions be discovered. All schedules are given for the convenience of the Client, Landscape Architect and Contractor and are not guaranteed to be complete.



PROJECT

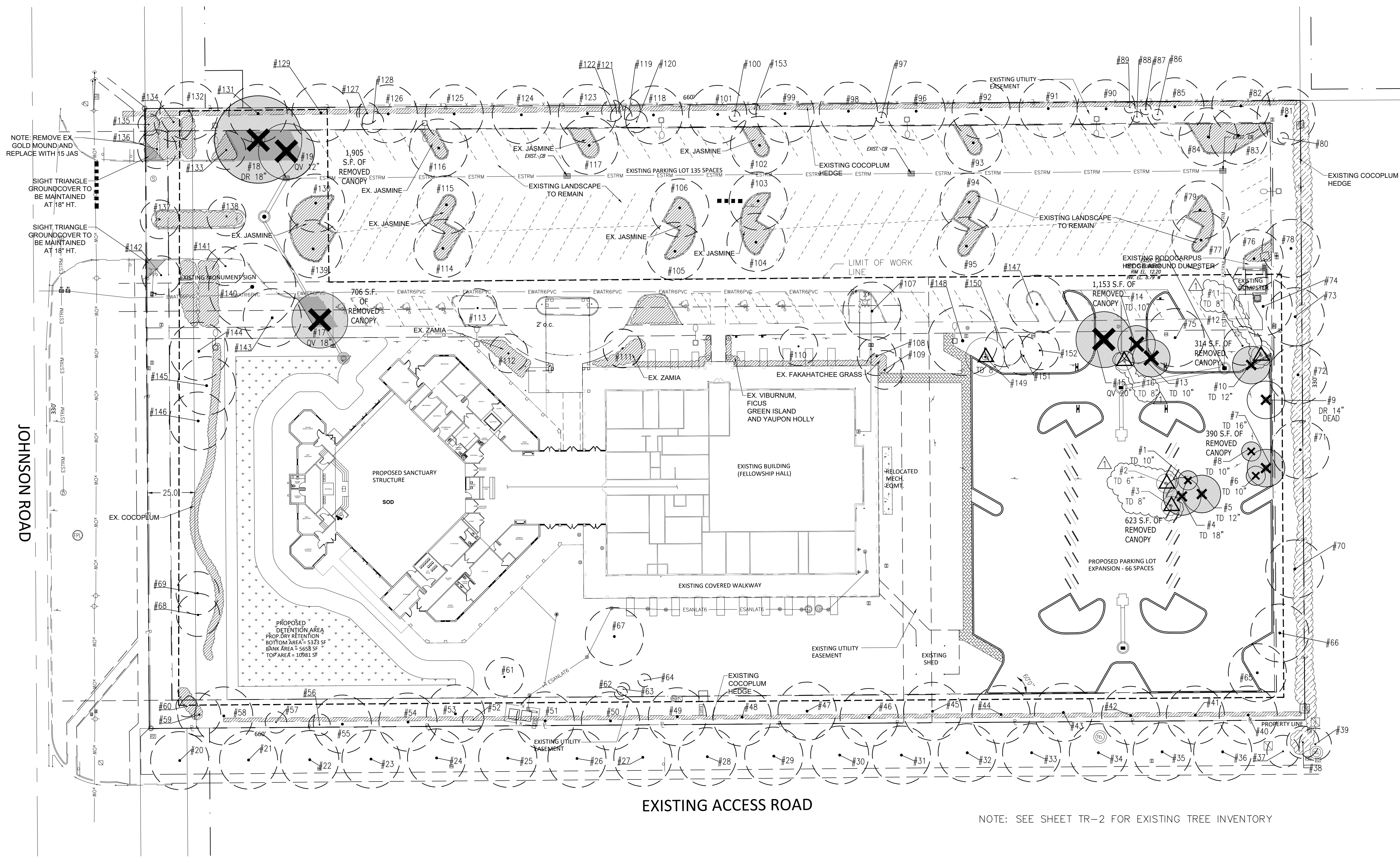
**EMMANUEL BAPTIST CHURCH**  
**COCONUT CREEK, FL**

TITLE

DETAILS AND SPECIFICATIONS

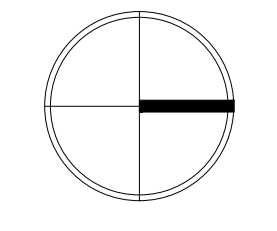
PROJ. NO.	FILE NAME	DRAWN	DATE	REV.
	MB/CBP		9-9-2022	
			4-14-2023	
			6-12-2023	





NOTE: REMOVE EX. GOLD MOUND AND REPLACE WITH 15 JAS  
SIGHT TRIANGLE GROUND COVER TO BE MAINTAINED AT 18" HT.  
SIGHT TRIANGLE GROUND COVER TO BE MAINTAINED AT 18" HT.

JOHNSON ROAD



SCALE: 1"=30'-0"

EXISTING ACCESS ROAD

NOTE: SEE SHEET TR-2 FOR EXISTING TREE INVENTORY

PROJECT  
EMMANUEL BAPTIST CHURCH  
COCONUT CREEK, FL

TITLE  
TREE REMOVAL PLAN

PROJ. NO.	
FILE NAME	
MB/CBP DRAWN	
9-9-2022 DATE	
4-14-2023 REV.	
6-12-2023	

**TREE LEGEND**

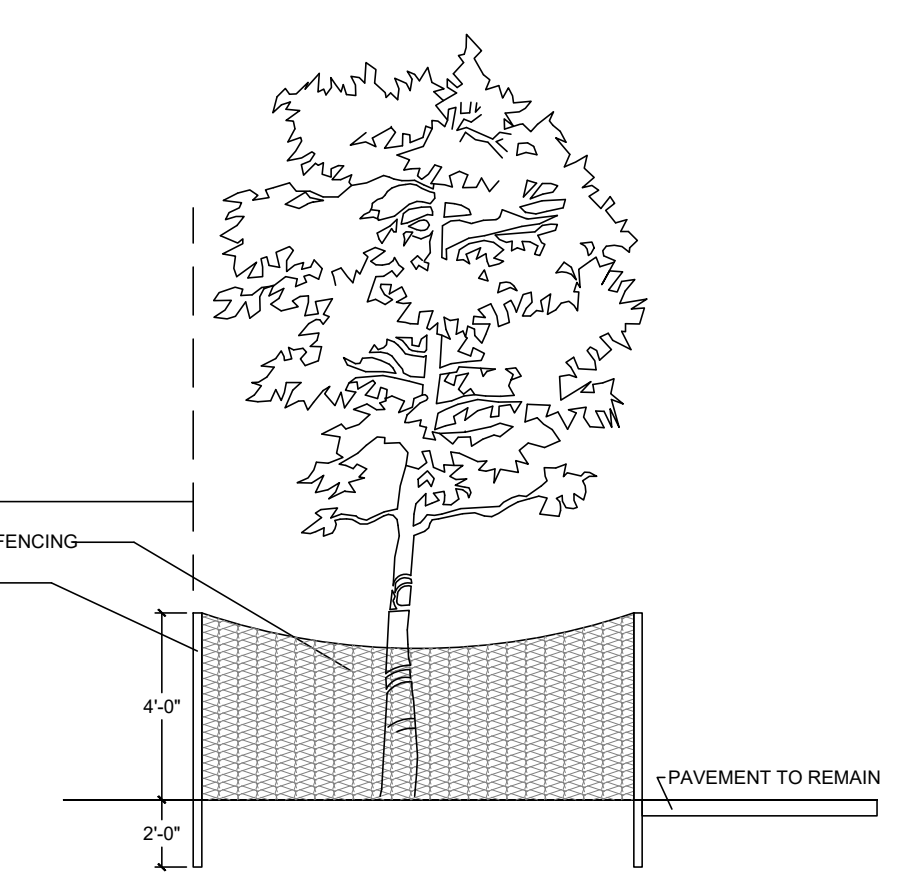
- EXISTING TREE TO REMAIN IN PLACE
- EXISTING TREE TO BE RELOCATED
- EXISTING TREE TO BE REMOVED

**TREE ABBREVIATION KEY**

- BS GUMBO LIMBO
- DR ROYAL POINCIANA
- FA FIG TREE
- LI LIGUSTRUM
- PV PINE
- QV LIVE OAK
- RE ROYAL PALM
- TD BALD CYPRESS
- CS GEIGER TREE
- LS CRAPE MYRTLE

**TREE RELOCATION AND PROTECTION NOTES**

- All trees to be relocated to be tagged in field with orange tree tape
- Tree relocation areas to be selectively cleared and set at final design grade prior to general site clearing and grubbing and according to city code requirements
- If possible all relocations to be done by 90° tree spade. If relocation by tree spade is not feasible, then hand digging will be required
- Tree relocation to be coordinated with general contractor on site to determine scheduling
- Identify all underground utilities prior to tree relocation
- Temporary automatic watering system to be in place prior to commencement
- Relocated trees to be set at final design grade
- All relocated trees to be watered on a daily basis so as to maintain a permanently moist root ball until tree is established
- All existing trees and shrubs to remain in place shall be protected from damage by machinery by installing temporary tree protection fence and installed as indicated on plan. Suitable tree protection methods shall be approved by the City.
- Trees over four inches in caliper that are to be relocated will be root pruned at least eight weeks in advance of their moving date



PLACE ORANGE, PLASTIC FENCING (BY TENSAR OR OTHER APPROVED EQUAL) AROUND INDIVIDUAL TREES AND TREE CLUMPS TO REMAIN ON SITE IN ANY AREAS WITHIN THE LIMITS OF CONSTRUCTION. BARRIER SHALL BE PLACED AT THE EDGE OF THE DRIPLINE OF THE TREE CANOPY OR AS FAR FROM THE TREE AS POSSIBLE WHERE THE CANOPY OVERHANGS PAVEMENT THAT IS TO REMAIN. BARRIER SHALL BE MAINTAINED IN AN UPRIGHT POSITION AT ALL TIMES.

**TREE PROTECTION DETAIL**

N.T.S.

**TREE PROTECTION NOTE**

All existing trees and shrubs to remain in place shall be protected from damage by machinery by installing temporary tree protection fence and installed as indicated on plan. Suitable tree protection methods shall be approved by the City.



QUANTITY	DISPOSITION
14	REMOVE
5	RELOCATE
134	REMAIN

**EXISTING TREE INVENTORY**

\* Note: In instances where tree canopies merge together, the canopy area (SF) has been provided for the area mass. For this reason, the canopy area provided may not equal  $\pi r^2$ .

TREE NO.	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	HEIGHT (FT)	PALMS (GW)	SPREAD (FT)	CANOPY (SF)	CONDITION	DISPOSITION	
1	Taxodium distichum	BALD CYPRESS	10"	15'		10'	623	FAIR	REMOVE	TD
2	Taxodium distichum	BALD CYPRESS	8"	20'		10'		FAIR	RELOCATE	TD
3	Taxodium distichum	BALD CYPRESS	8"	15'		10'		FAIR	RELOCATE	TD
4	Taxodium distichum	BALD CYPRESS	14.5"	30'		20'		FAIR	REMOVE	TD
5	Taxodium distichum	BALD CYPRESS	12"	25'		20'		FAIR	REMOVE	TD
6	Taxodium distichum	BALD CYPRESS	10"	20'		10'	390	FAIR	REMOVE	TD
7	Taxodium distichum	BALD CYPRESS	16"	30'		20'		FAIR	REMOVE	TD
8	Taxodium distichum	BALD CYPRESS	10"	15'		10'		FAIR	REMOVE	TD
9	Delonix regia	ROYAL POINCIANA	14"	NA	NA	NA	NA	DEAD	REMOVE	DR
10	Taxodium distichum	BALD CYPRESS	12"	20'		20'	314	FAIR	REMOVE	TD
11	Taxodium distichum	BALD CYPRESS	8"	20'		10'		FAIR	RELOCATE	TD
12	Taxodium distichum	BALD CYPRESS	12"	25'		20'		FAIR	REMAIN	TD
13	Taxodium distichum	BALD CYPRESS	10"	20'		20'	1,153	FAIR	REMOVE	TD
14	Taxodium distichum	BALD CYPRESS	10"	25'		20'		FAIR	REMOVE	TD
15	Quercus virginiana	LIVE OAK	16"	30'		52'		POOR	REMOVE	QV
16	Taxodium distichum	BALD CYPRESS	8"	20'		10'		FAIR	RELOCATE	QV
17	Quercus virginiana	LIVE OAK	18.5"	30'		54'	706	POOR	REMOVE	QV
18	Delonix regia	ROYAL POINCIANA	19"	40'		60'		VERY POOR	REMOVE	DR
19	Quercus virginiana	LIVE OAK	12"	30'		30'	1,905	FAIR	REMOVE	QV
20	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
21	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
22	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
23	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
24	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
25	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
26	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
27	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
28	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
29	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
30	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
31	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
32	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
33	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
34	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
35	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
36	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
37	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
38	Quercus virginiana	LIVE OAK	8"	30'		25'		FAIR	REMAIN	QV
39		PALM						FAIR	REMAIN	QV
40	Quercus virginiana	LIVE OAK	16"	35'		30'		FAIR	REMAIN	QV
41	Quercus virginiana	LIVE OAK	24"	35'		30'		FAIR	REMAIN	QV
42	Quercus virginiana	LIVE OAK	16"	35'		30'		FAIR	REMAIN	QV
43	Quercus virginiana	LIVE OAK	20"	35'		30'		FAIR	REMAIN	QV
44	Quercus virginiana	LIVE OAK	20"	35'		30'		FAIR	REMAIN	QV
45	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
46	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
47	Quercus virginiana	LIVE OAK	20"	35'		30'		FAIR	REMAIN	QV
48	Quercus virginiana	LIVE OAK	20"	35'		30'		FAIR	REMAIN	QV
49	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
50	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
51	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
52	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
53	Pinus Elliottii	SLASH PINE	5"	35'		30'		FAIR	REMAIN	PE
54	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
55	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
56	Quercus virginiana	LIVE OAK	4"	15'		12'		FAIR	REMAIN	QV
57	Quercus virginiana	LIVE OAK	8"	15'		12'		FAIR	REMAIN	QV
58	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
59	Ficus aurea	STRANGLER FIG	36"			23'		FAIR	REMAIN	FA
60	Bursera simaruba	GUMBO LIMBO	4"			12'		FAIR	REMAIN	BS
61	Cordia sebestena	GEBIGER TREE	6"	25'		20'		FAIR	REMAIN	CS
62	Ligustrum japonicum	LIGUSTRUM	6"	15'		15'		FAIR	REMAIN	LI
63	Ligustrum japonicum	LIGUSTRUM	10"	15'		15'		FAIR	REMAIN	LI
64	Ligustrum japonicum	LIGUSTRUM	24"	15'		15'		FAIR	REMAIN	LI
65	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
66	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
67	Bursera simaruba	GUMBO LIMBO	24"	20'		30'		FAIR	REMAIN	BS
68	Quercus virginiana	LIVE OAK	18"	20'		23'		FAIR	REMAIN	QV
69	Quercus virginiana	LIVE OAK	16"	20'		23'		FAIR	REMAIN	QV
70	Quercus virginiana	LIVE OAK	16"	35'		30'		FAIR	REMAIN	QV
71	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
72	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
73	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
74	Taxodium distichum	BALD CYPRESS	8"	35'		30'		FAIR	REMAIN	TD
75	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
76	Quercus virginiana	LIVE OAK	16"	35'		30'		FAIR	REMAIN	QV
77	Quercus virginiana	LIVE OAK	10"	25'		20'		FAIR	REMAIN	QV
78	Quercus virginiana	LIVE OAK	20"	35'		30'		FAIR	REMAIN	QV
79	Quercus virginiana	LIVE OAK	10"	25'		20'		FAIR	REMAIN	QV
80	Pinus Elliottii	SLASH PINE	4"	15'		6'		FAIR	REMAIN	PE
81	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
82	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
83	Quercus virginiana	LIVE OAK	10"	35'		30'		FAIR	REMAIN	QV
84	Quercus virginiana	LIVE OAK	10"	35'		30'		FAIR	REMAIN	QV
85	Quercus virginiana	LIVE OAK	15"	35'		30'		FAIR	REMAIN	QV
86	Pinus Elliottii	SLASH PINE	6"	20'		15'		FAIR	REMAIN	PE
87	Pinus Elliottii	SLASH PINE	6"	20'		15'		FAIR	REMAIN	PE
88	Pinus Elliottii	SLASH PINE	8"	22'		15'		FAIR	REMAIN	PE
89	Pinus Elliottii	SLASH PINE	6"	20'		15'		FAIR	REMAIN	PE
90	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
91	Quercus virginiana	LIVE OAK	16"	35'		30'		FAIR	REMAIN	QV
92	Quercus virginiana	LIVE OAK	16"	35'		30'		FAIR	REMAIN	QV
93	Quercus virginiana	LIVE OAK	10"	35'		30'		FAIR	REMAIN	QV

94	Quercus virginiana	LIVE OAK	12"	25'		20'		FAIR	REMAIN	QV
95	Quercus virginiana	LIVE OAK	12"	25'		20'		FAIR	REMAIN	QV
96	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
97	Pinus Elliottii	SLASH PINE	3"	15'		6'		FAIR	REMAIN	PE
98	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
99	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
100	Pinus Elliottii	SLASH PINE	4"	15'		6'		FAIR	REMAIN	PE
101	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
102	Quercus virginiana	LIVE OAK	18"	25'		25'		FAIR	REMAIN	QV
103	Quercus virginiana	LIVE OAK	12"	25'		25'		FAIR	REMAIN	QV
104	Quercus virginiana	LIVE OAK	12"	25'		25'		FAIR	REMAIN	QV
105	Quercus virginiana	LIVE OAK	10"	25'		25'		FAIR	REMAIN	QV
106	Quercus virginiana	LIVE OAK	10"	25'		25'		FAIR	REMAIN	QV
107	Quercus virginiana	LIVE OAK	24"	25'		25'		FAIR	REMAIN	QV
108	Roystonea regia	ROYAL PALM	16"			18'		FAIR	REMAIN	RE
109	Roystonea regia	ROYAL PALM	16"			18'		FAIR	REMAIN	RE
110	Lagerstroemia speciosa	QUEEN'S CRAPEMYRTLE	10"			21'		FAIR	REMAIN	LS
111	Roystonea regia	ROYAL PALM	20"			18'		FAIR	REMAIN	RE
112	Roystonea regia	ROYAL PALM	18"			18'		FAIR	REMAIN	RE
113	Roystonea regia	ROYAL PALM	18"			18'		FAIR	REMAIN	RE
114	Quercus virginiana	LIVE OAK	10"	25'		25'		FAIR	REMAIN	QV
115	Quercus virginiana	LIVE OAK	10"	25'		25'		FAIR	REMAIN	QV
116	Quercus virginiana	LIVE OAK	14"	25'		25'		FAIR	REMAIN	QV
117	Quercus virginiana	LIVE OAK	14"	25'		25'		FAIR	REMAIN	QV
118	Quercus virginiana	LIVE OAK	10"	35'		30'		FAIR	REMAIN	QV
119	Pinus Elliottii	SLASH PINE	10"			12'		FAIR	REMAIN	PE
120	Pinus Elliottii	SLASH PINE	8"			12'		FAIR	REMAIN	PE
121	Pinus Elliottii	SLASH PINE	10"			12'		FAIR	REMAIN	PE
122	Pinus Elliottii	SLASH PINE	10"			12'		FAIR	REMAIN	PE
123	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
124	Quercus virginiana	LIVE OAK	12"	35'		30'		FAIR	REMAIN	QV
125	Quercus virginiana	LIVE OAK	10"	35'		30'		FAIR	REMAIN	QV
126	Quercus virginiana	LIVE OAK	14"	35'		30'		FAIR	REMAIN	QV
127	Pinus Elliottii	SLASH PINE	4"			12'		FAIR	REMAIN	PE
128	Pinus Elliottii	SLASH PINE	6"			12'		FAIR	REMAIN	PE
129	Quercus virginiana	LIVE OAK	14"	35'		30'		FAIR	REMAIN	QV
130	Quercus virginiana	LIVE OAK	12"	25'		25'		FAIR	REMAIN	QV
131	Quercus virginiana	LIVE OAK	14"	35'		30'		FAIR	REMAIN	QV
132	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
133	Roystonea regia	ROYAL PALM	24"			18'		FAIR	REMAIN	RR
134	Pinus Elliottii	SLASH PINE	10"	15'		15'		FAIR	REMAIN	PE
135	Pinus Elliottii	SLASH PINE	6"			12'		FAIR	REMAIN	PE
136	Roystonea regia	ROYAL PALM	20"			18'		FAIR	REMAIN	RE
137	Roystonea regia	ROYAL PALM	20"			18'		FAIR	REMAIN	RE
138	Roystonea regia	ROYAL PALM	18"			18'		FAIR	REMAIN	RE
139	Quercus virginiana	LIVE OAK	12"	25'		25'		FAIR	REMAIN	QV
140	Delonix regia	ROYAL POINCIANA	21"	40'		84'		POOR	REMAIN	DR
141	Roystonea regia	ROYAL PALM	18"			18'		FAIR	REMAIN	RE
142	Roystonea regia	ROYAL PALM	18"			18'		FAIR	REMAIN	RE
143	Quercus virginiana	LIVE OAK	10"	25'		25'		FAIR	REMAIN	QV
144	Quercus virginiana	LIVE OAK	24"	25'		25'		FAIR	REMAIN	QV
145	Quercus virginiana	LIVE OAK	12"	25'		25'		FAIR	REMAIN	QV
146	Quercus virginiana	LIVE OAK	18"	35'		30'		FAIR	REMAIN	QV
147	Quercus virginiana	LIVE OAK	14"	25'		25'		FAIR	REMAIN	QV
148	Quercus virginiana	LIVE OAK	14"	40'		40'		FAIR	REMAIN	QV