

**From:** [do-not-reply@coconutcreek.net](mailto:do-not-reply@coconutcreek.net)  
**To:** [DRC](#)  
**Cc:** [PERMITS@BDGLLP.COM](mailto:PERMITS@BDGLLP.COM); [PERMITS@BDGLLP.COM](mailto:PERMITS@BDGLLP.COM)  
**Subject:** A new Development Review Application has been filled out!  
**Date:** Monday, September 30, 2024 10:42:52 AM

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DRC Webform application

APPLICATION INFORMATION

Temporary DRA# = 425

Application Type: Special Land Use Special Land Use

Base Fee:

Total Residential: 0.00

Total Non-Residential: 0.00

Total Fees:

Project Name: FIFTH THIRD BANK, COCONUT CREEK

Project Location: 4805 COCONUT CREEK PARKWAY, COCONUT CREEK, FL 33063

Plat Name: COCONUT CREEK PLAZA

Folio No: 484230130015

Future Land Use: UNITED STATES

Summary of Request: DEMOLITION OF EXISTING RESTAURANT AND NEW CONSTRUCTION OF A BANK FACILITY ONE-LEVEL BUILDING APPROX. 1,900 SQ FT GROSS INCLUDING A DRIVE-THRU WITH TWO LANES EQUIPPED WITH ONE VAT PNEUMATIC TUBE AND ONE ATM LANE

SUBMITTAL COORDINATOR INFORMATION

Contact Name: MICHAELA KEGLEY

Contact Phone: 8135646200

Company Name: BDG ARCHITECTS

Email: [PERMITS@BDGLLP.COM](mailto:PERMITS@BDGLLP.COM)

Address: 400 N ASHLEY DRIVE SUITE 600

AGENT/APPLICANT INFORMATION

Contact Name: MICHAELA KEGLEY

Contact Phone: 8135646200

Company Name: BDG ARCHITECTS

Email: [PERMITS@BDGLLP.COM](mailto:PERMITS@BDGLLP.COM)

Address: 400 N ASHLEY DRIVE SUITE 600

OWNER INFORMATION

Contact Name: LEIGH PAULL

Contact Phone: 8135646200

Company Name: CENTRO NP COCONUT CREEK OWNER LLC

Email: [PERMITS@BDGLLP.COM](mailto:PERMITS@BDGLLP.COM)

Address: 200 E BROWARD BLVD, STE 1410, FORT LAUDERDALE, FL 33301

SIGNATURE: /Michaela Kegley/



<b>Site Address</b>	<b>4805 COCONUT CREEK PARKWAY, COCONUT CREEK FL 33063</b>	<b>ID #</b>	4842 30 13 0015
<b>Property Owner</b>	CENTRO NP COCONUT CREEK OWNER LLC	<b>Millage</b>	3212
<b>Mailing Address</b>	200 RIDGE PIKE #100 CONSHOHOCKEN PA 19428	<b>Use</b>	21-01
<b>Abbr Legal Description</b>	COCONUT CREEK PLAZA 113-12 B PT OF PAR A DESC AS, COMM AT NE COR OF TR 48 BLK 93 OF PALM BCH FARMS CO PL #3, SLY 714.78, WLY 535.9, NLY 4.07 TO POB, CONT NLY 170.36, ELY 210, SLY 161.82, WLY 40.63, SWLY 169.56 TO POB AKA: OUT-PARCEL E		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

\* 2024 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
<b>2024*</b>	\$487,700	\$574,020	\$1,061,720	\$1,061,720	
<b>2023</b>	\$487,700	\$574,020	\$1,061,720	\$996,050	\$26,562.01
<b>2022</b>	\$487,700	\$417,800	\$905,500	\$905,500	\$23,486.47

**2024\* Exemptions and Taxable Values by Taxing Authority**

	County	School Board	Municipal	Independent
<b>Just Value</b>	\$1,061,720	\$1,061,720	\$1,061,720	\$1,061,720
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$1,061,720	\$1,061,720	\$1,061,720	\$1,061,720
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$1,061,720	\$1,061,720	\$1,061,720	\$1,061,720

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
7/22/2010	WD*-T	\$100	47294 / 262	\$14.00	34,836	SF
3/1/2002	SW*	\$24,822,000	32965 / 797			
6/1/1998	SW*	\$3,514,286	28601 / 615			
11/7/1995	SW*	\$13,100,000	24130 / 131			
				<b>Adj. Bldg. S.F. (Card, Sketch)</b>		4076
				<b>Eff./Act. Year Built: 1984/1983</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
32			CM					
C			CM					
4076								



## SPECIAL LAND USE JUSTIFICATION STATEMENT

Please fill out the following in **COMPLETE DETAIL**, a restatement does not satisfy code requirements.

<b>GENERAL STANDARDS (Section 13-35f)</b>	
<b>1.</b>	<b>The proposed special land use will be in harmony with nearby uses permitted under Article III of the Land Development Code.</b>  - The bank will provide essential financial services to the community and can be an anchor tenant, driving traffic to the plaza and potentially benefiting other businesses. This will be a full-service bank offering services such as personal and business banking, loans, and ATMs. It will be a customer-friendly location, with ample parking and accessibility for individuals, including those with disabilities. Traffic analysis has been conducted to ensure that the bank will not negatively impact traffic flow or create congestion. The plaza already has adequate parking spaces, and the bank's operating hours will be designed to complement existing tenant hours, minimizing any overlap of peak customer traffic. Additionally, entrances and exits will be clearly marked and comply with safety standards. The proposed bank represents a mutually beneficial addition to the plaza. It complies with all zoning and building regulations, promises to enhance the plaza's value, and will not disrupt the existing tenants, but instead will support their growth by increasing foot traffic and consumer engagement. The overall effect on the plaza will be positive, with potential for long-term benefits for both the owners and tenants.
<b>2.</b>	<b>The proposed special land use will be in harmony with nearby existing uses.</b>  - We have incorporated the architectural style through analyzation of the surrounding areas and previous project conducted in the vicinity of the proposed project. Also conversations with City of Coconut Creek staff to get feedback on the architectural style.
<b>3.</b>	<b>The proposed special land use must be reasonably compatible with surrounding and adjacent uses in its function, its hours of operation, the type and amount of traffic to be generated, the building size and setbacks, and its relationships to the land values.</b>  - Hours will be Mon-Thurs 9am-5pm; Friday 9am-6pm and Saturday 9am-12pm.
<b>4.</b>	<b>The proposed special land use will be in the best interests of the City, the convenience of the community, the public welfare, and be a substantial improvement to the property in the immediate vicinity.</b>  - A pedestrian connection to the adjacent outparcels cannot be provided because the site is surrounded by obstacles: an access road to the east, a drive-thru lane for CITI Bank to the west, and an access road to the shopping center to the north. As a result, there is no safe route for pedestrian access to the nearby outparcel.
<b>5.</b>	<b>The proposed special land use will contribute to the economic stability of the community.</b>  - The community will have economic stability through the use of the drive-thru so that they may do banking transactions in a manner that is convenient and well suited to their needs. There will be four full-time employees
<b>6.</b>	<b>The proposed special land use will not decrease public benefit or increase undesirable impacts other than those resulting from use of the site as permitted by right under Article III of the Land Development Code or some other special land use permitted on the site.</b>  - The raze and rebuild project results in an increase of previous /green area by 5,479 sf. Additional on site stormwater retention is provided with proposed rain garden in the amount of 1,175 cubic feet. On -site lighting is brought into compliance with the current land development code. The demolition of the 4,076 sf high turn over (sit down) restaurant and the construction of a 2,133 sf bank with two (2) drive thru results in a decrease of 166 average daily trips and decrease of 27 AM peak hour trips. Landscaping is brought into compliance with the current LDC requirements. Applicants continue to work with staff on the architectural design and material specifications to comply with the vision and goals of the city.
<b>7.</b>	<b>The proposed special land use will not result in more intensive development than what is approved by the land use element of the Comprehensive Plan.</b>





	<p>- The specific goals emphasize supporting the growth of financial services or the development of essential community services. A bank may align with objectives related to economic stability, job creation, or improving commercial infrastructure. The goals of a bank typically reflect the long-term vision of the institution. These goals guide the bank's overall direction and growth strategy. These goals include profitability, financial stability, customer satisfaction, growth and market expansion, social responsibility, compliance and regulation.</p> <p>Fifth Third Bank is characterized by infrastructure elements because the Infrastructure Element typically refers to essential services and structures that support a community, including utilities, roads, and facilities. A bank, as an institution that provides financial services and facilities, can be considered part of a community's infrastructure, providing an essential service that supports economic activities.</p>
8.	<p><b>The proposed special land use will be consistent with goals, objectives, and policies of the Comprehensive Plan.</b></p> <p>- The specific goals emphasize supporting the growth of financial services or the development of essential community services. A bank may align with objectives related to economic stability, job creation, or improving commercial infrastructure. The goals of a bank typically reflect the long-term vision of the institution. These goals guide the bank's overall direction and growth strategy. These goals include profitability, financial stability, customer satisfaction, growth and market expansion, social responsibility, compliance and regulation.</p> <p>Fifth Third Bank is characterized by infrastructure elements because the Infrastructure Element typically refers to essential services and structures that support a community, including utilities, roads, and facilities. A bank, as an institution that provides financial services and facilities, can be considered part of a community's infrastructure, providing an essential service that supports economic activities.</p>

### SPECIFIC STANDARDS FOR ALL USES (Section 13-35g)

1.	<p><b>The proposed use will not reduce the level of service provided on any street to a lower level than would result from a development permitted by right.</b></p> <p>- The proposed facility will not have an adverse impact on the area, as the existing site was previously a restaurant, which likely generated higher traffic than the proposed Fifth Third Bank site.</p>
2.	<p><b>The proposed use will not result in significantly greater amount of through traffic on local streets than would result from a development permitted by right.</b></p> <p>A bank typically generates less traffic than a restaurant for several reasons:</p> <ul style="list-style-type: none"> <li>- <b>Visit Frequency:</b> People usually visit banks for specific transactions, such as deposits, withdrawals, or meetings, which are less frequent compared to the regular visits to a restaurant for meals.</li> <li>- <b>Duration of Visit:</b> Bank visits are typically short in duration, often lasting only a few minutes, while restaurant visits can take much longer, particularly during meals.</li> <li>- <b>Peak Hours:</b> Banks tend to have more concentrated traffic during certain hours (like lunch breaks or just after work), while restaurants experience higher traffic during longer periods, especially during meal times (lunch and dinner).</li> <li>- <b>Customer Flow:</b> Restaurants often serve larger groups and cater to more people simultaneously, especially during peak hours, while bank customers are usually individual or small groups for specific transactions.</li> <li>- <b>Parking and Space Usage:</b> Restaurants often require more parking spaces to accommodate customers who typically arrive by car for longer periods, while bank visitors usually stay for a shorter time, reducing the overall parking demand.</li> </ul> <p>In summary, while both types of establishments generate traffic, a restaurant typically draws more consistent and prolonged customer flow compared to a bank, leading to a higher overall traffic impact.</p>
3.	<p><b>The proposed use will not require extension or enlargement of the thoroughfare system at a higher net public cost than would result from a development permitted by right.</b></p> <ul style="list-style-type: none"> <li>- <b>Visit Frequency:</b> People usually visit banks for specific transactions, such as deposits, withdrawals, or meetings, which are less frequent compared to the regular visits to a restaurant for meals.</li> <li>- <b>Duration of Visit:</b> Bank visits are typically short in duration, often lasting only a few minutes, while restaurant</li> </ul>







	<p>visits can take much longer, particularly during meals.</p> <ul style="list-style-type: none"> <li>- <b>Peak Hours:</b> Banks tend to have more concentrated traffic during certain hours (like lunch breaks or just after work), while restaurants experience higher traffic during longer periods, especially during meal times (lunch and dinner).</li> <li>- <b>Customer Flow:</b> Restaurants often serve larger groups and cater to more people simultaneously, especially during peak hours, while bank customers are usually individual or small groups for specific transactions.</li> <li>- <b>Parking and Space Usage:</b> Restaurants often require more parking spaces to accommodate customers who typically arrive by car for longer periods, while bank visitors usually stay for a shorter time, reducing the overall parking demand.</li> </ul>
4.	<p><b>The proposed use will not require enlargement or alteration of utility facilities, drainage systems, and other utility systems other than what would result from a development permitted by right.</b></p> <ul style="list-style-type: none"> <li>- The proposed Fifth Third Bank site will have no adverse impact on the master stormwater system, as it has less impervious area compared to the existing restaurant. Additionally, the proposed site includes a rain garden, which will provide enhanced treatment to the master stormwater system.</li> </ul>
5.	<p><b>The proposed use will not demand greater municipal public safety services exceeding the demand resulting from a development permitted by right.</b></p> <ul style="list-style-type: none"> <li>- The redevelopment results in a decrease of impervious coverage of 5,479 sf. A 1,175 cubic feet of additional on-site stormwater retention within a proposed rain garden is provided. The combination of the rain garden and the decrease impervious coverage results a reduction in stormwater discharge to the master drainage system of the Coconut Creek Plaza and a reduction of nutrients loading with the addition of the rain garden.</li> <li>- The proposed bank is significantly smaller, has less employees and requires significantly less potable water, sewer and electrical than a high turn over restaurant. The restaurant had significantly greater occupancy load, greater plumbing fixture counts and a greater overall demand for electric.</li> <li>- The redevelopment results in a decrease of 166 average daily trips and 27 AM peak hour.</li> </ul>
6.	<p><b>If a special land use is combined with other special land uses or permitted uses on a site, the overall intensity and scale of uses on the site is appropriate given the adequacy of proposed buffers and setbacks and the land uses of surrounding properties.</b></p> <ul style="list-style-type: none"> <li>- The site plan was modified to provide the required 20 foot landscape buffer adjacent to Coconut Creek Parkway. This allows for all existing mature canopy trees to remain. Any additional ground cover or shrubs will be added as required by the LDC.</li> <li>- A larger 12.2 foot landscape buffer is provided adjacent to the shopping center access drive and eastern property line. The enlarged landscape buffer has been provided to preserve and allow for further growth of four existing canopy trees. The eastern buffer will be supplemented as needed to meet the LDC requirements.</li> <li>- The existing western landscape buffer increased from 4.7 feet to approximately 37 feet. The rain garden and trash enclosure is located within this buffer. However, the locations of both allowed for the preservation of the single existing mature canopy tree within the existing buffer.</li> <li>- There are no existing canopy trees with the existing rear/northern buffer. The proposed buffer will provide hedges and accent trees to screen the property.</li> </ul>

#### STANDARDS FOR NONRESIDENTIAL USES IN RESIDENTIAL DISTRICTS (Sec. 13-35h)

1.	<p><b>The location of the proposed special land use will not be hazardous or inconvenient to the residential character of the area where it is to be located.</b></p> <p>N/A</p>
2.	<p><b>The size of the special land use application and nature and intensity of the operations involved will not be hazardous or inconvenient to the residential character of the area or to long range development in accordance with the land use element of the Comprehensive Plan.</b></p> <p>N/A</p>

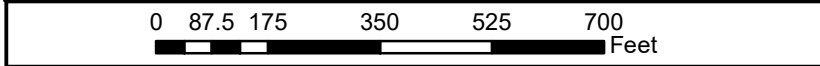




3.	<b>The location of the special land use will not result in isolating an existing or planned residential area from other residential development.</b>
	N/A
4.	<b>The design of buildings for commercial and office space special land uses in residential districts shall be in a manner similar to residential structures in the same general area or neighborhood. Such a finding shall be based on consideration of building mass, height, materials, window arrangements, yards, and other considerations.</b>
	N/A
5.	<b>The proposed use will have direct access to an arterial or collector street. Ingress and egress shall be designed to minimize traffic congestion on the public roadways.</b>
	N/A
6.	<b>Parking areas for special land uses shall be of adequate size for the particular use and shall be properly located and suitably screened from adjoining residential uses, and that ingress and egress shall be designed for maximum safety for vehicles and pedestrians and minimize traffic congestion in the residential district.</b>
	N/A



NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
SCHOOL BOARD OF BROWARD COUNTY	ATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301
BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
CENTRO NP COCONUT CREEK OWN LLC		200 RIDGE PIKE #100	CONSHOHOCKEN	PA	19428
CENTRO NP COCONUT CRK	CORP REAL ESTATE ASSMT	PO BOX 32547	CHARLOTTE	NC	28232
CITY OF COCONUT CREEK		4800 W COPANS RD	COCONUT CREEK	FL	33063
1301 LYONS LLC	% SFLRE GROUP LLC	1650 SE 17 ST #214	FORT LAUDERDALE	FL	33316
WALKER,JASON E H/E	WALKER,STACEY	1400 NW 47 AVE	COCONUT CREEK	FL	33063
GUADALUPE,JAVIER H/E	GUADALUPE,ALMA Y	4726 NW 14 ST	COCONUT CREEK	FL	33063
DE FREITAS,ADRIANA MAILE K		7058 NW 70 TER	PARKLAND	FL	33067
CHEA,CONRAD A H/E	CHEA,ROBERT A	4746 NW 14 ST	COCONUT CREEK	FL	33063
SAINT LOUIS,JESULA	FERDINAND,MULLER	4756 NW 14 ST	COCONUT CREEK	FL	33063
HAMMOCK ESTATES HOMEOWNERS ASSN	DAVENPORT PROF PROP MGMT INC	6620 LAKE WORTH RD STE F	LAKE WORTH	FL	33467
BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
SCHOOL BOARD OF BROWARD COUNTY	ATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301
PROJECT SATURN NLP LLC	OAK STREET REAL ESTATE CAP LLC	30 N LA SALLE ST STE 4140	CHICAGO	IL	60602
HAPPINESS INC	REGIONS BANK-JENNIFER BRADFORD	2050 PARKWAY OFFICE CIR #500	BIRMINGHAM	AL	35244
JAMES'S PLACE LLC		265 NEWBURY ST	PEABODY	MA	01960
STRADA CC DEVELOPMENT LLC		1860 SW FOUNTAINVIEW BLVD #200	PORT ST LUCIE	FL	34986
SELF STORAGE COCONUT CREEK	PKWY COCONUT CREEK LLC	1801 S FEDERAL HWY	BOCA RATON	FL	33432
STRADA CC DEVELOPMENT LLC		1860 SW FOUNTAINVIEW BLVD #200	PORT ST LUCIE	FL	34986
COREGRO 4848 COCONUT CREEK LLC		153 E FLAGLER ST #116	MIAMI	FL	33131





400 N. Ashley Dr, Suite 600  
Tampa, FL 33602  
[www.bdgllp.com](http://www.bdgllp.com)

Date: June 10th, 2025

*RE: Public Outreach Meeting for Fifth Third Bank Coconut Creek*  
*Project Number: PZ-24090009*  
*4805 Coconut Creek Pkwy, Coconut Creek, FL 33063*  
*Parcel No. 484230130015*

Dear Neighbor:

BDG Architects invites you to attend a public outreach meeting for the Fifth Third Bank site located in Coconut Creek. The proposed project will include the demolition of an existing 4,076 SF commercial building and the design and construction of a new retail bank facility: approx.. 1,900 SF one level building including a drive-thru with one VAT and one ATM lane. The site borders Coconut Creek Pkwy to the south and an access road to the north. You are receiving this letter as an adjacent property owner/resident of the proposed project. The purpose of this meeting is to inform property owners and residents about the details of the proposal and address any questions or concerns.

**Meeting Location (In Person):**

**Date:** July 1<sup>st</sup>, 2025

**Time:** 5:45-7:45 PM

**Location:** Broward County Library, Room 226  
1100 Coconut Creek Blvd.  
Coconut Creek, FL 33066

\*This event is not sponsored by the Broward County Libraries Division.

If you wish to send written comments, please send them to the below address:

BDG Architects, LLP

Attn: Angelina Makowski

400 N. Ashley Dr. Suite 600

Tampa, FL 33602

Please note, there will be additional opportunities for public input at the City of Coconut Creek Public Hearings.

Sincerely, BDG Architects, LLP





*Please · Sign · In*

[illegible]

*Thank you for Attending*



400 N. Ashley Dr, Suite 600  
Tampa, FL 33602  
[www.bdgllp.com](http://www.bdgllp.com)

Date: July 3rd, 2025

Lizet Aguiar  
City of Coconut Creek  
Planning and Zoning Department  
4800 W. Copans Rd.  
Coconut Creek, FL 33063

**Fifth Third Bank Coconut Creek Public Outreach Report**

Dear Ms. Aguiar,

A Public Outreach Meeting was held for a proposed Fifth Third Bank located at 4805 Coconut Creek Parkway, Coconut Creek, FL 33063. The meeting was held at the Broward County Library located at 1100 Coconut Creek Blvd., Coconut Creek, FL 33066. The meeting took place in Room 226 on Tuesday, July 1<sup>st</sup>, 2025 from 5:45 PM-7:45PM. All residents and businesses within a 700 foot radius of the proposed Fifth Third Bank location were provided with notice of the Public Outreach Meeting. This meeting was to present the project and address any questions, concerns, and comments regarding this project. The project was presented using Site plans, Landscape plans, and Renderings. One person attended and had a positive response to our presentation. Please refer to Exhibit A for the Facility Room Request and receipt. Please refer to Exhibit B for the Public Outreach Meeting notice that was mailed and hand delivered to residents and businesses within the plaza. Please refer to Exhibit C for the Mailing List and Map obtained from Broward County GIS.

If you have any questions regarding this meeting, please contact me at [Angelina.makowski@bdgllp.com](mailto:Angelina.makowski@bdgllp.com) / 813-954-2211

Sincerely,  
Angelina Makowski  
BDG Architects, LLP



# FIFTH THIRD BRANCH BANK



4805 Coconut Creek Parkway  
Coconut Creek , FL 33063





# AGENDA

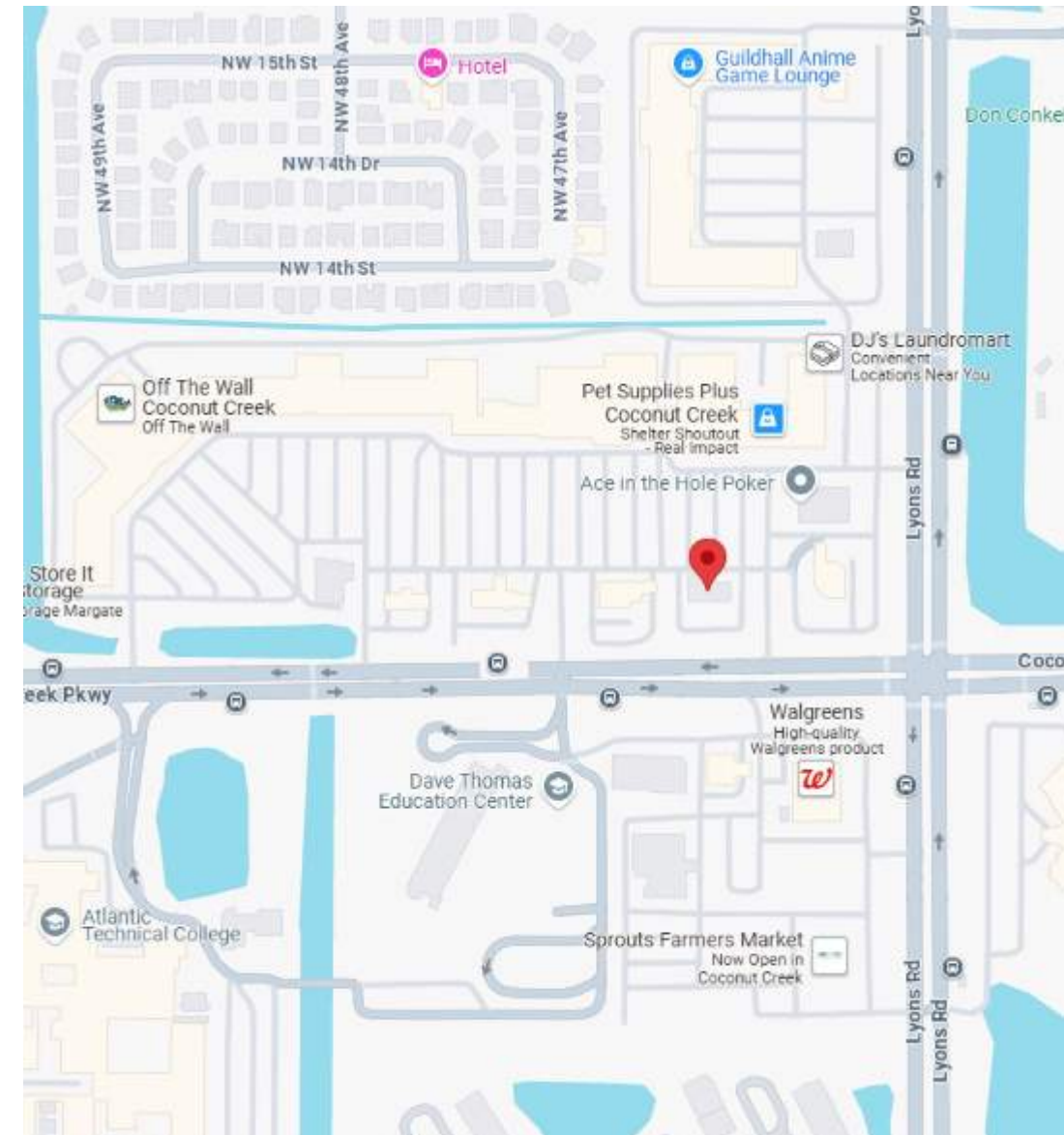
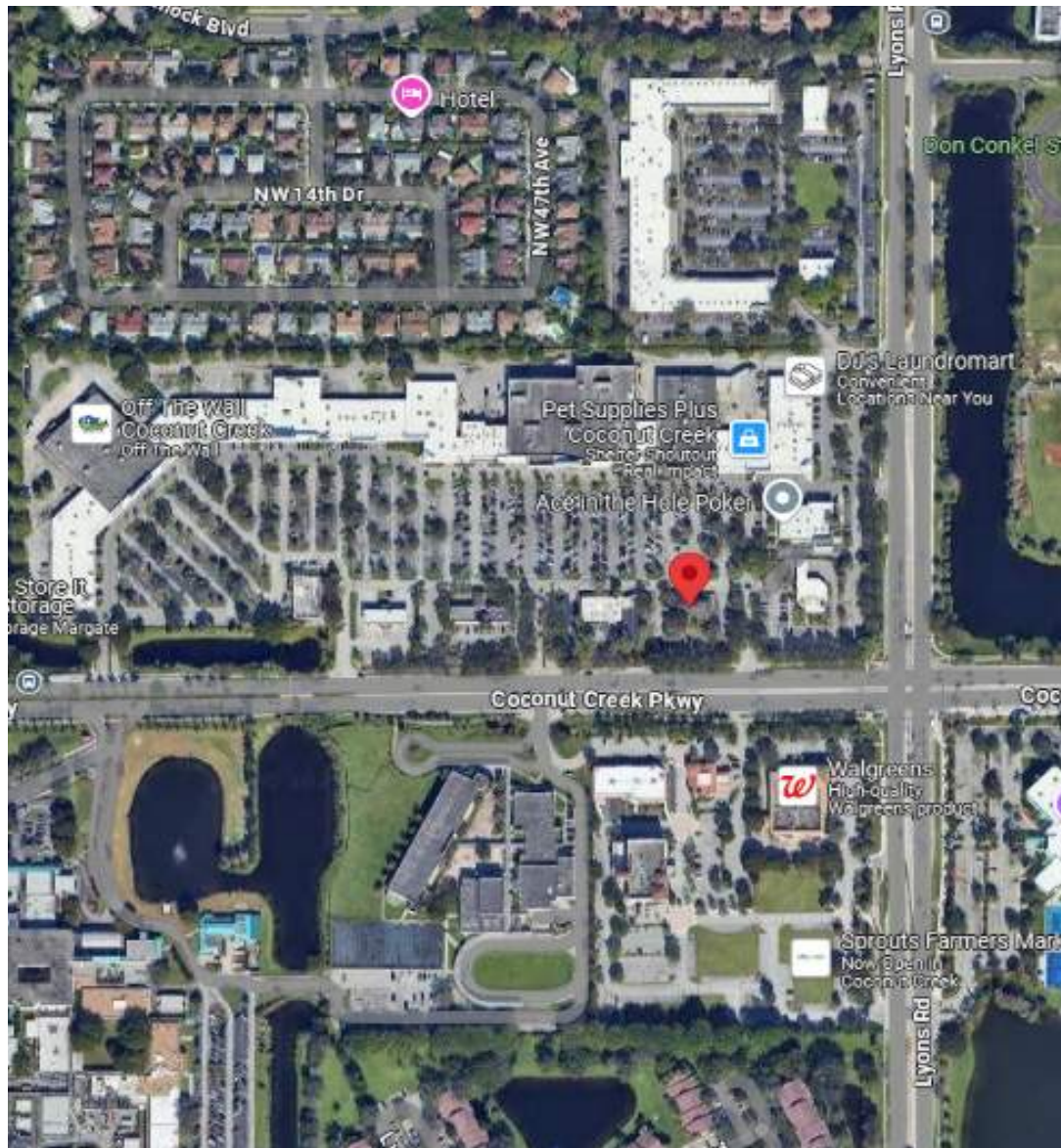
- Site Plan Aesthetic Design
  - Sustainability Features
    - Q&A / Feedback



# Site Plan Aesthetic Design

## Project Location

- 4805 Coconut Creek Parkway  
Coconut Creek , FL 33063





# Site Plan Aesthetic Design

## Harmonious and Efficient

- Exterior Color
- Stone Masonry Base
- <10% Accent Color



New Bank Front View



New Bank Back View



Chase Bank



Bank of America



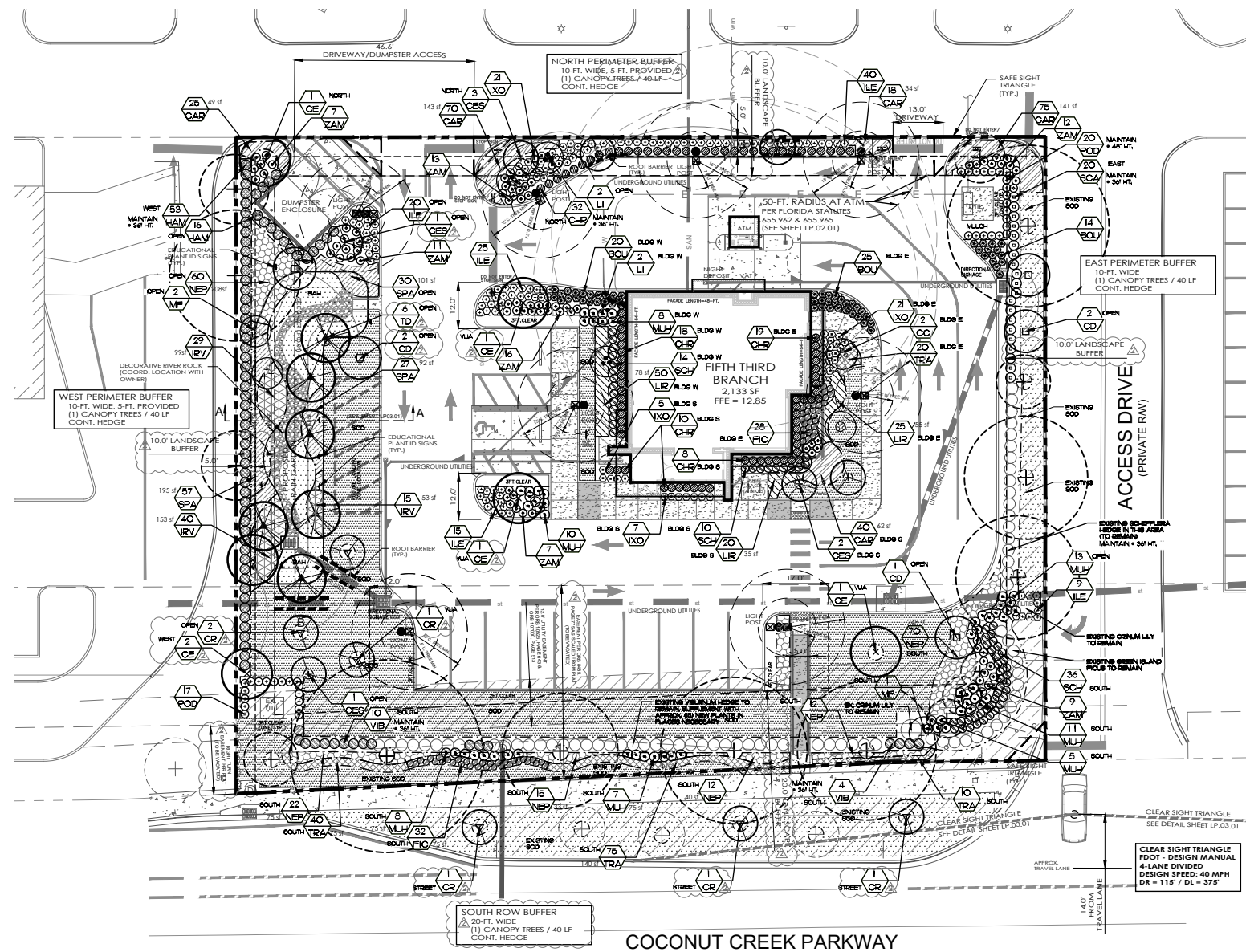
Citibank



# Site Plan Aesthetic Design











## Preservation of Natural State

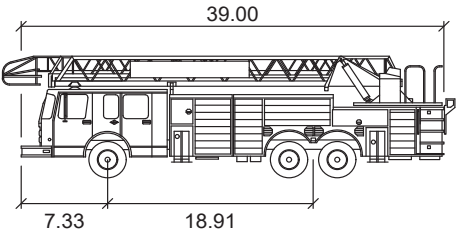
- Tree & soil removal kept to a minimum
- Site complies with landscape requirements

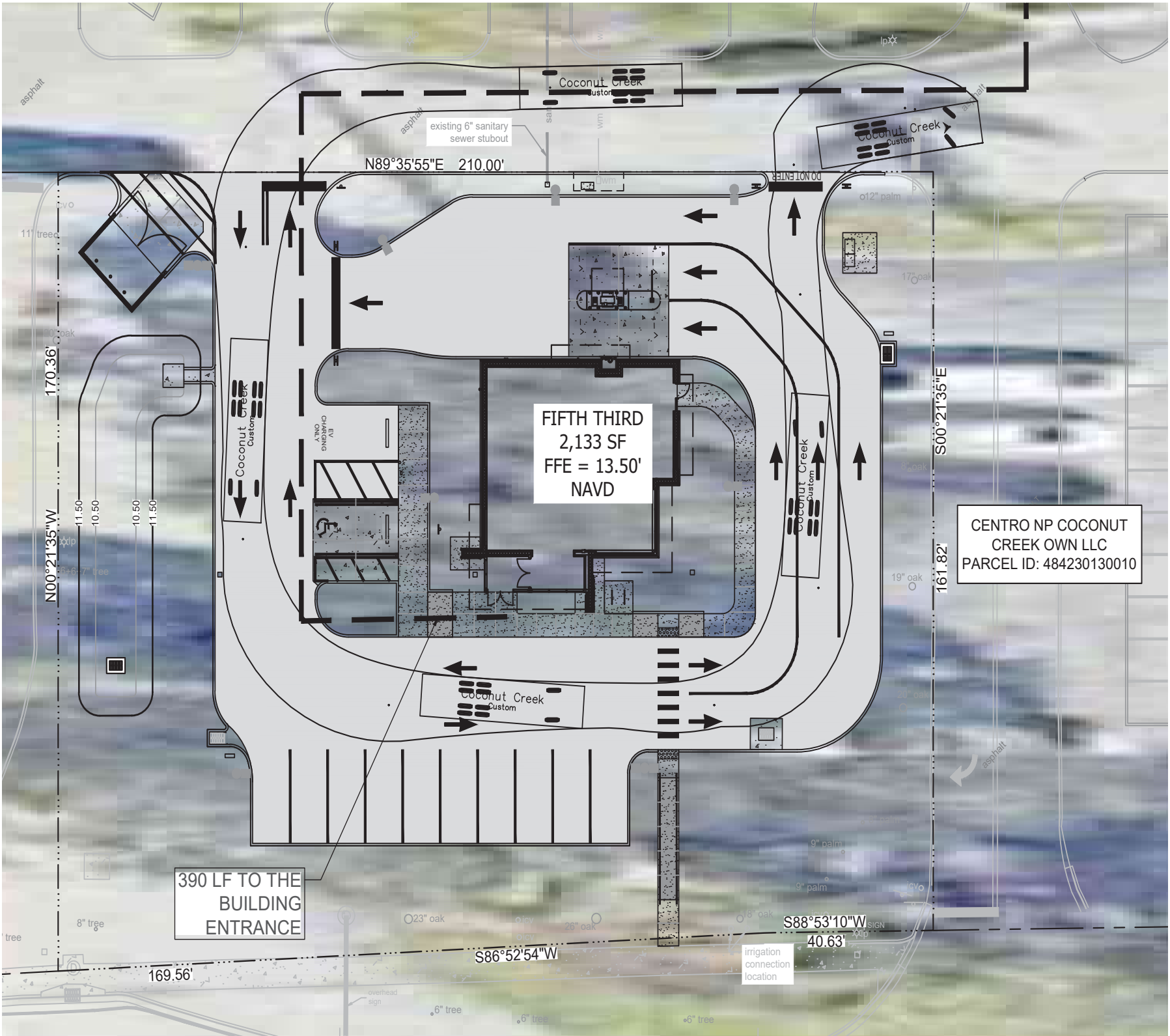


# Site Plan Aesthetic Design

## Emergency Access

SITE PLAN LEGEND:	
	DIRECTIONAL ARROW
	HANDICAP PARKING
	PROPOSED PAVEMENT STRIPE
	PROPOSED CURB
	EXISTING CURB
	PROPERTY LINE
	NEW CONCRETE
	NEW CONCRETE
	NEW ASPHALT PAVEMENT
	EXISTING CONCRETE

TRUCK LEGEND	
	
Coconut Creek	
	feet
Width	: 9.00
Track	: 7.16
Lock to Lock Time	: 6.0
Steering Angle	: 50.0

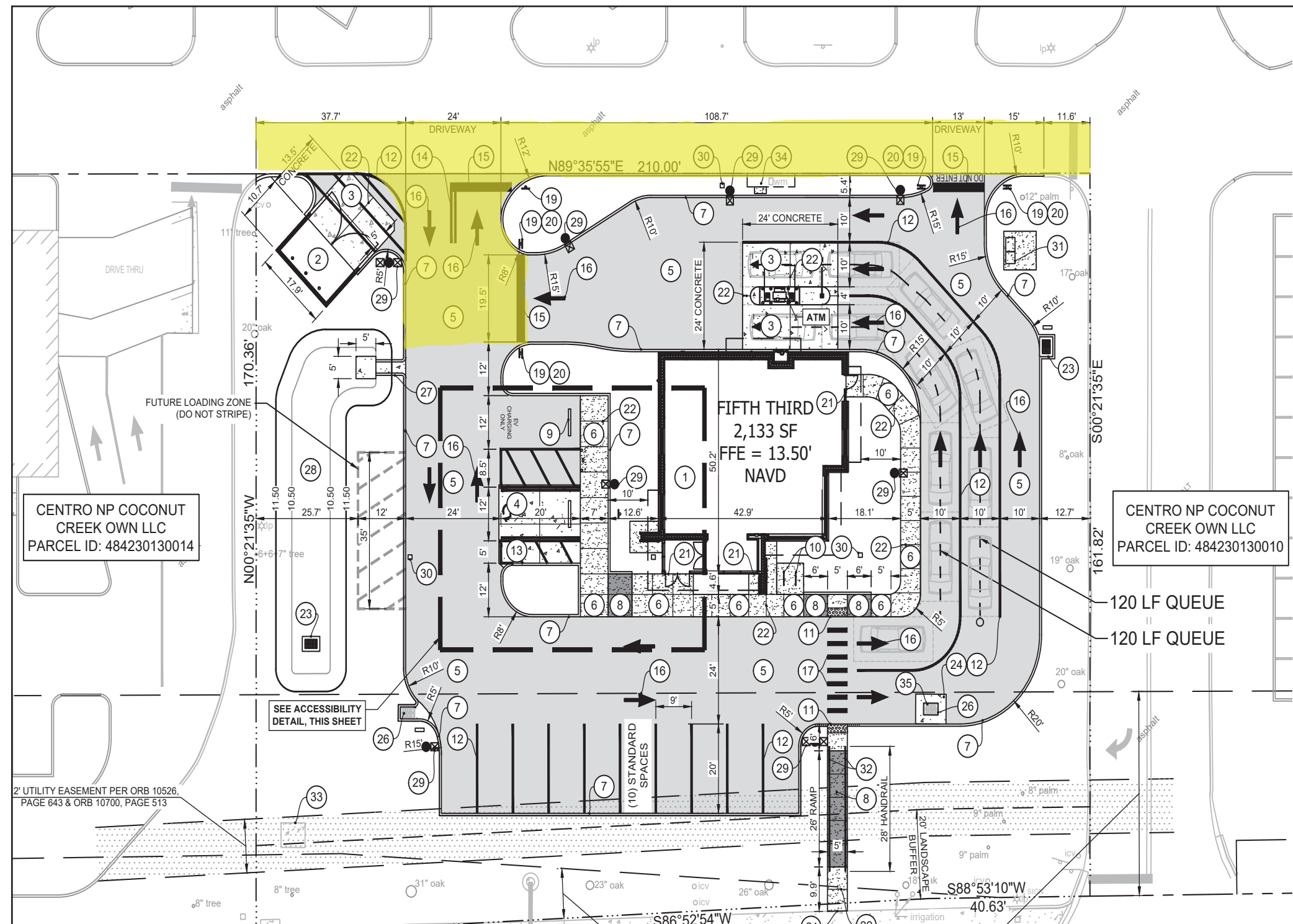




## Access to Public Ways



## Design of Access and Egress Drive



- Storm-water will be contained on site
- Existing utilities & storm inlets are adequate for modifications

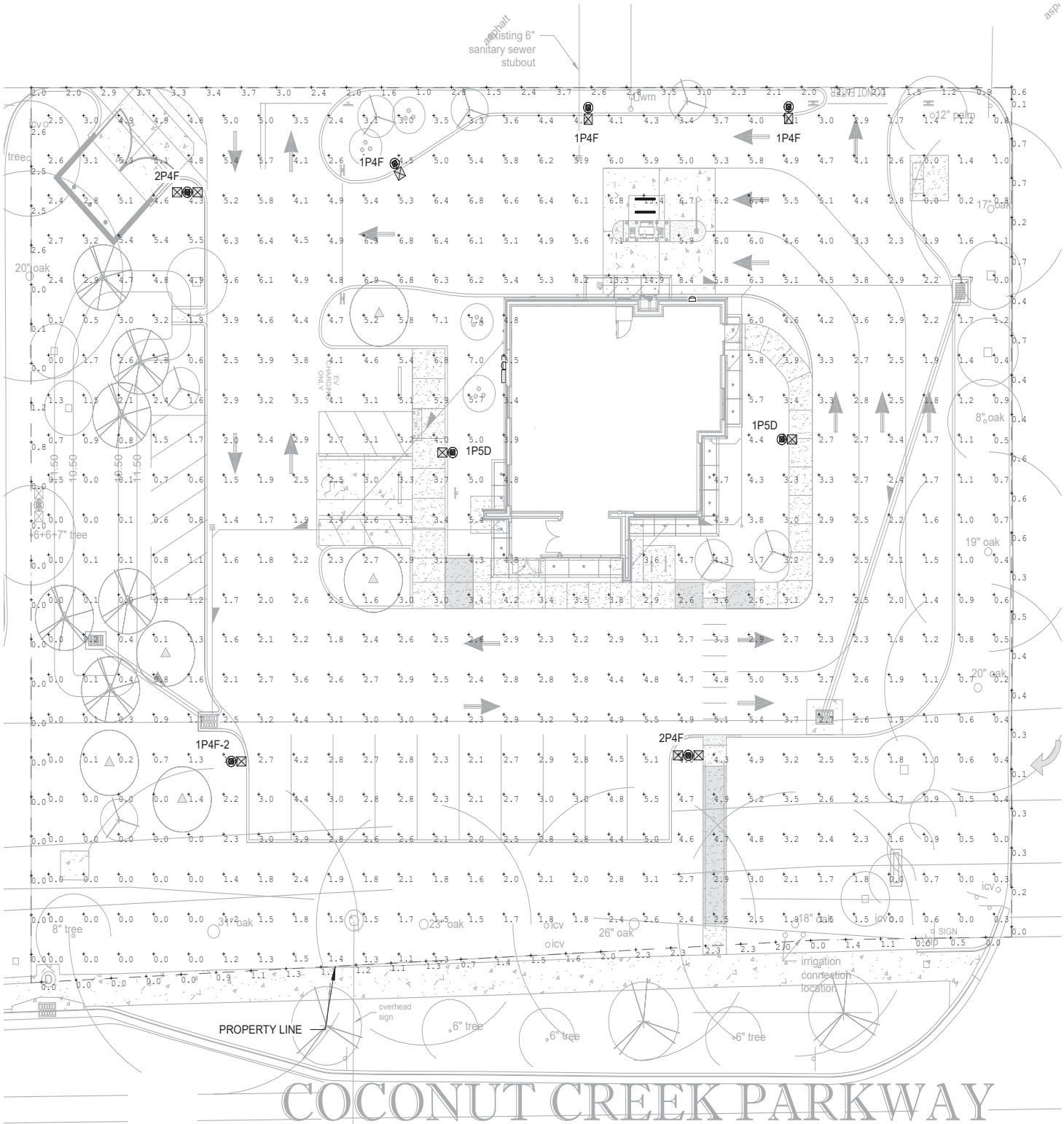


# Site Plan Aesthetic Design

## Exterior Lighting

- Photometrics plan is complete
- No glare or direct illumination to the adjacent properties or public right of way

CALCULATION SUMMARY AT GRADE(OCCUPIED)							
LABEL	CALCTYPE	UNIT	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOTS(OCCUPIED)	ILLUMINANCE	FC	3.23	5.5	2.0	1.62	2.75
DRIVEWAY/PARKING LOTS(OCCUPIED)	ILLUMINANCE	FC	3.84	14.9	1.2	3.20	12.42
5FT TRASH ENCLOSURE(OCCUPIED)	ILLUMINANCE	FC	3.97	5.4	2.4	1.65	2.25
PROPERTY LINE	ILLUMINANCE	FC	1.18	3.7	0.0	N.A.	N.A.





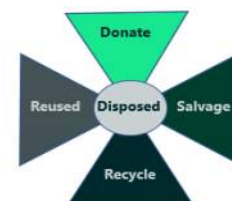


# Sustainability Features

## Construction Site Materials Recycling

### Waste Diversion Management Plan

Project Management Fifth Third Bank Acco  
21-Jul-22



### Reporting

The following Waste Diversion documentation must be completed and returned to the CBRE PJM no later than 30 days after Turnover date.

- Completed Waste Diversion Tracker
- Supporting Documentation
  - o Receipts/Tickets
  - o Form 187 (if furniture was donated)
  - o Furniture Weight and Value Estimator (if furniture was donated)

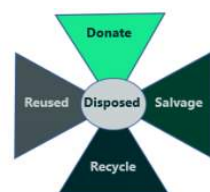
### Waste Management Guidelines

#### Intent

To reduce waste disposed of in landfills by redirecting to reusing, recycling, and donating materials. This guide is intended to assist GCs with providing an accurate waste diversion tracker with supporting documentation from accredited organizations.

All projects must recycle at least 75% of all construction waste.

CBRE requires all projects to divert at least **75%** of waste from the landfill.



### Managing Waste Diversion



# Sustainability Features

## Alternative Transportation



Bike Racks



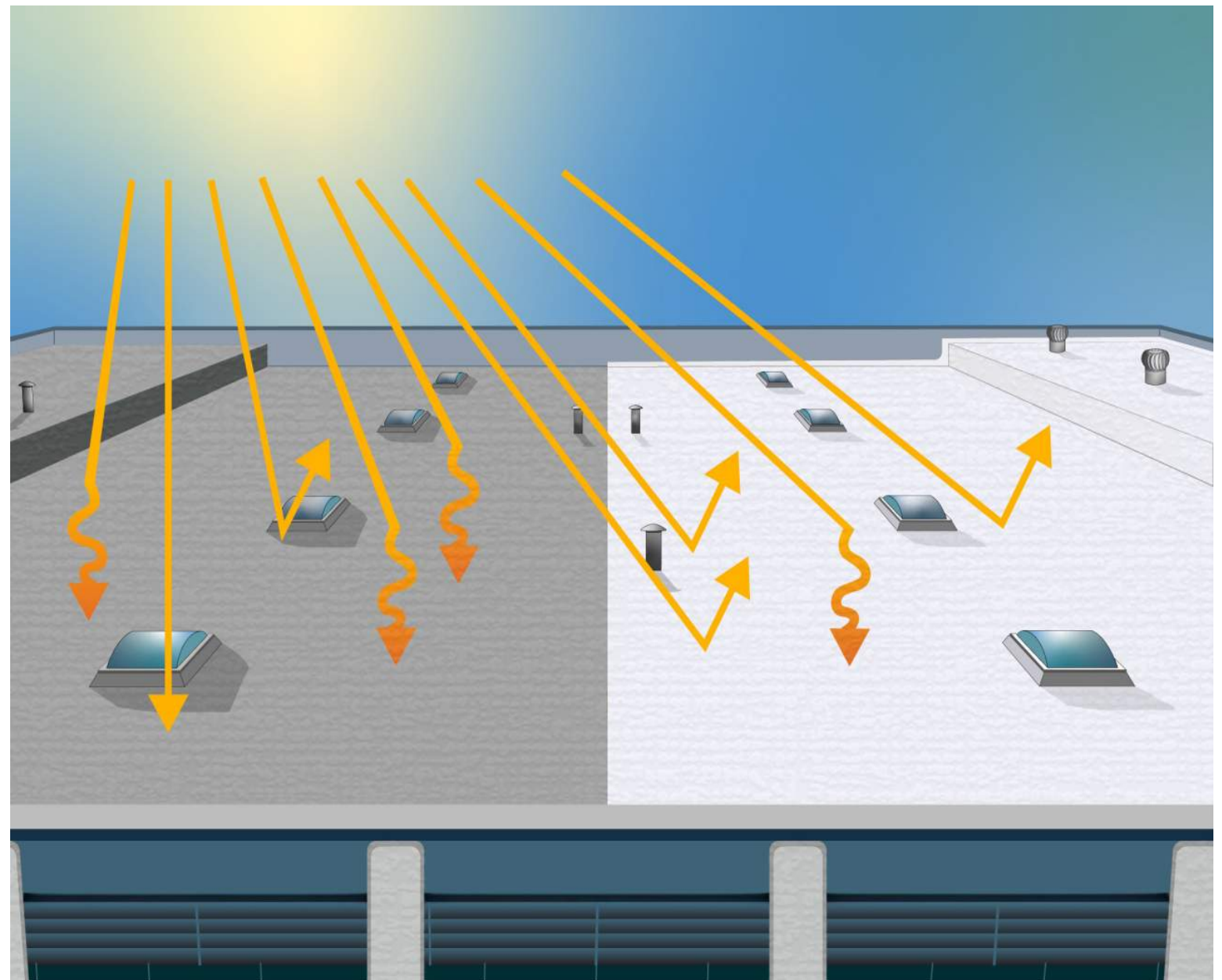
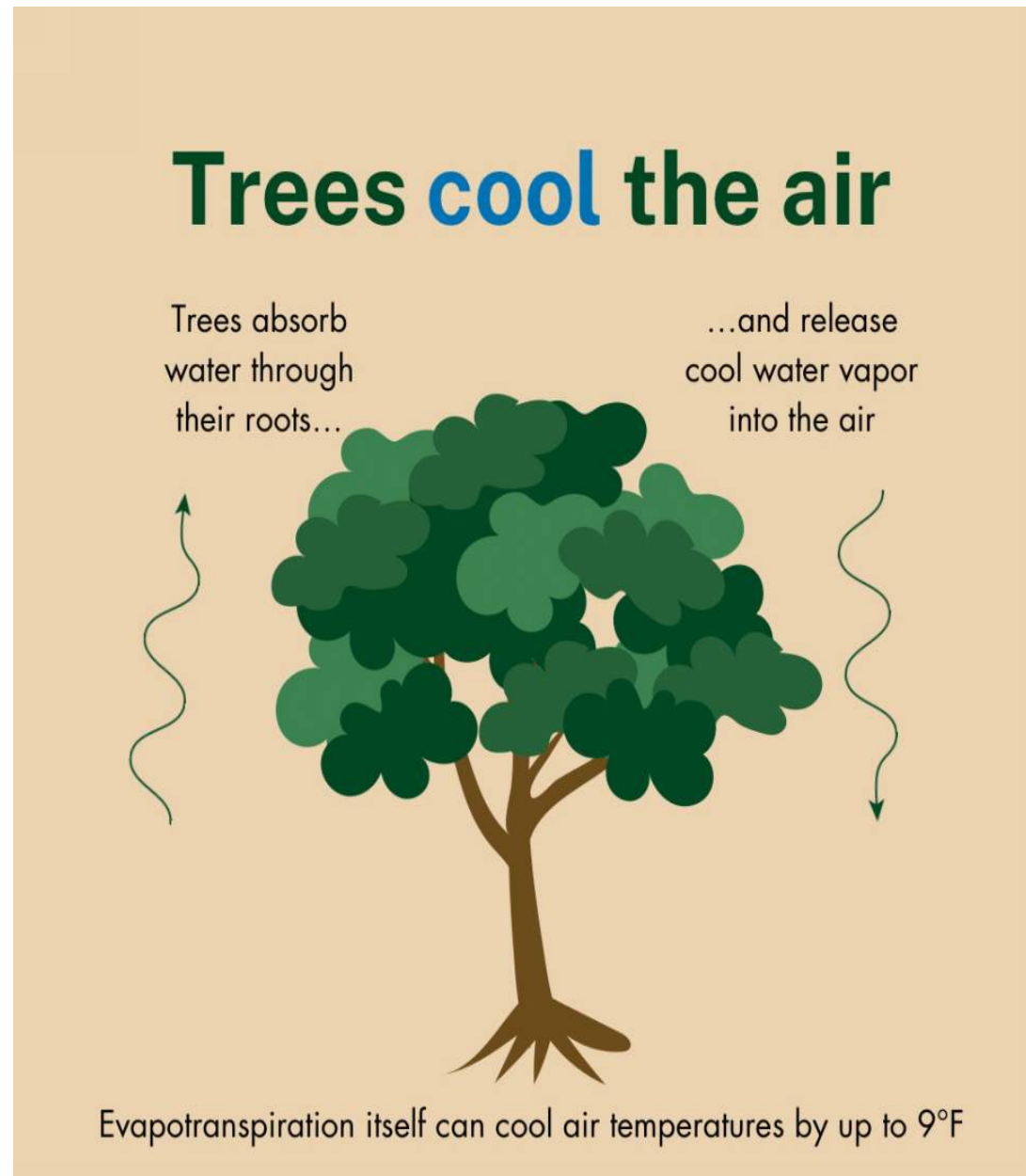
Electric Vehicle Charging Station



# Sustainability Features

## Minimize Heat Island Effect

- Generous Tree Canopy
- Cool Roof - White TPO



# Sustainability Features

## Innovative Water Technologies

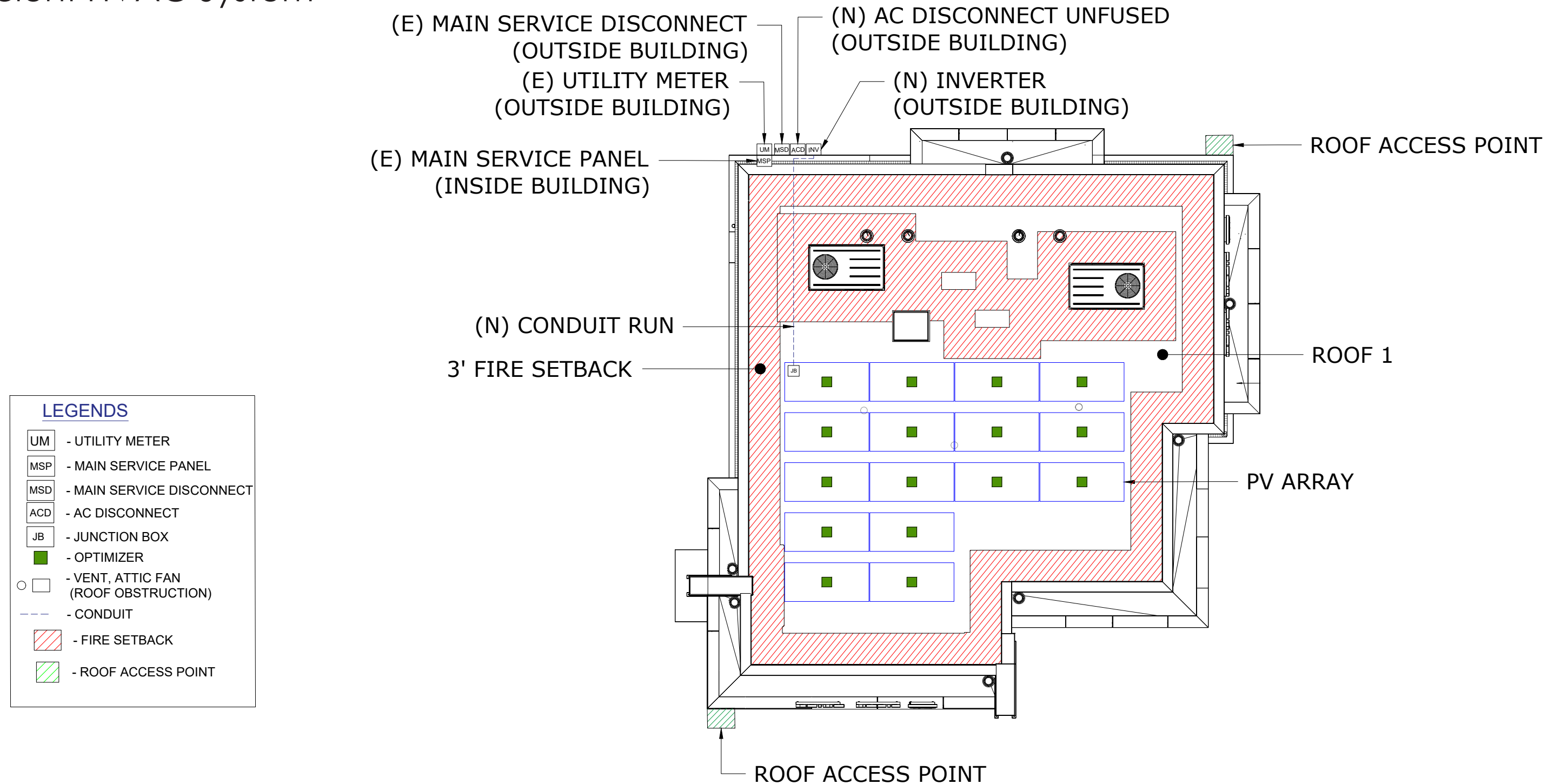
- Battery-Powered Faucets
- Efficient Toilets
- Water Fountain with Touchless Bottle Filler.



# Sustainability Features

## Energy Efficiencies

- Solar Power Panels
- Efficient HVAC System

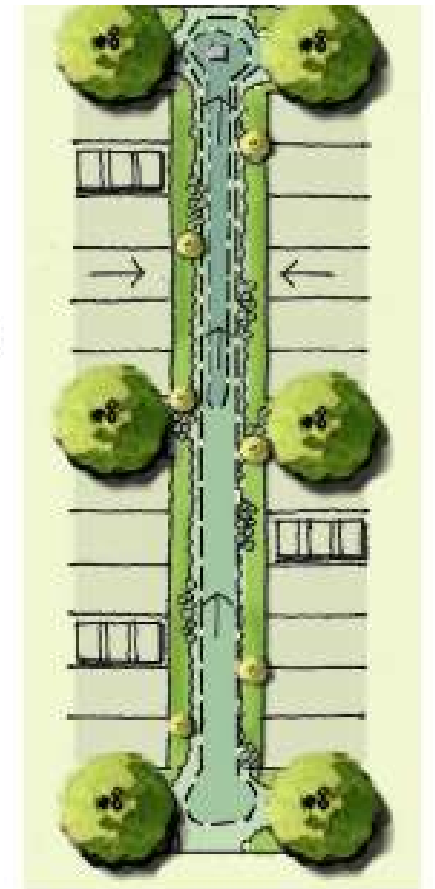
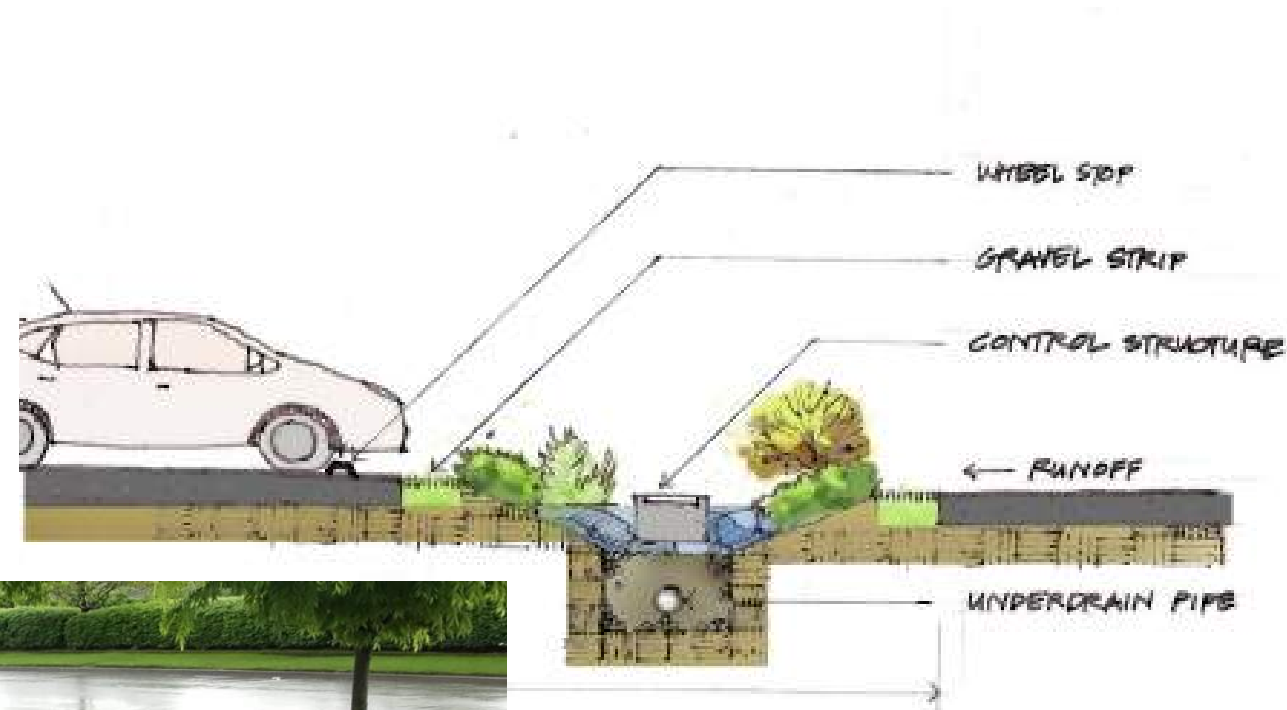




# Sustainability Features

## Conspicuous Display of Green Technology

- Bioswals

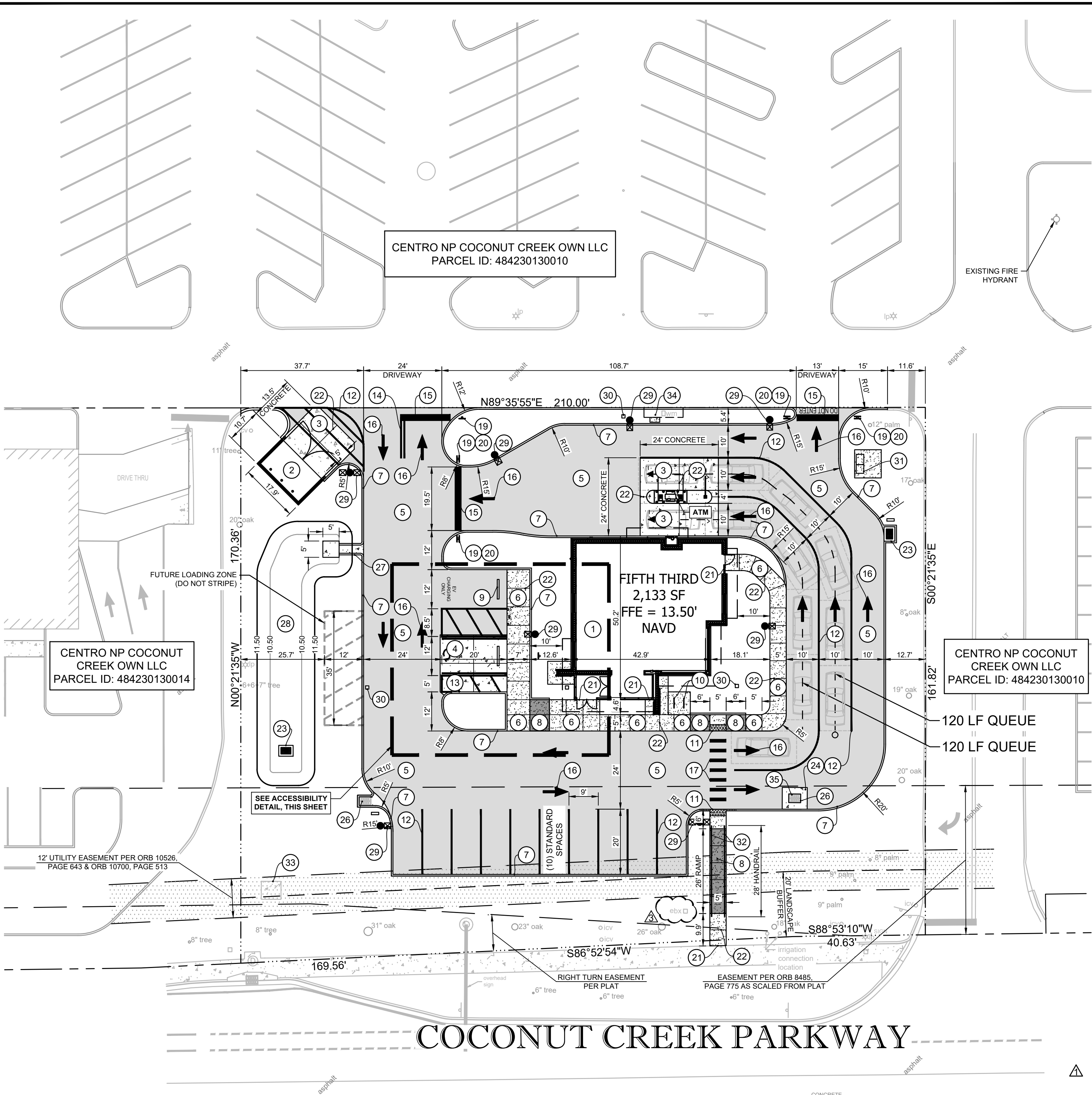




**FIFTH THIRD**

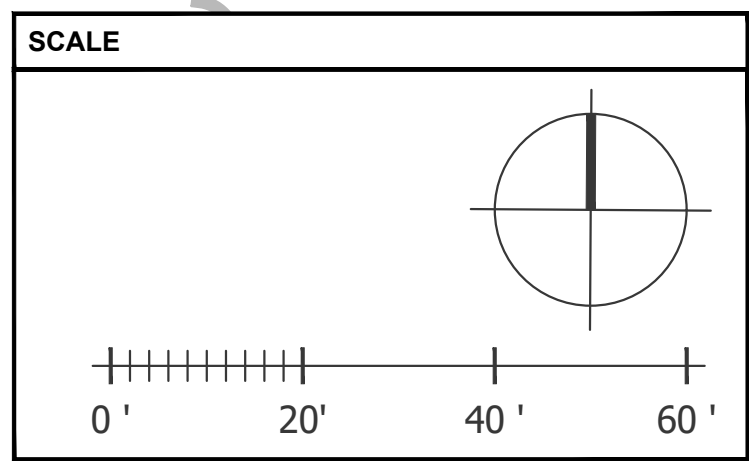
# Questions!





- SITE PLAN GENERAL NOTES**
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
  - EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
  - BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
  - ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
  - ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED

- LANDSCAPE NOTE**
- CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
  - CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
  - CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.



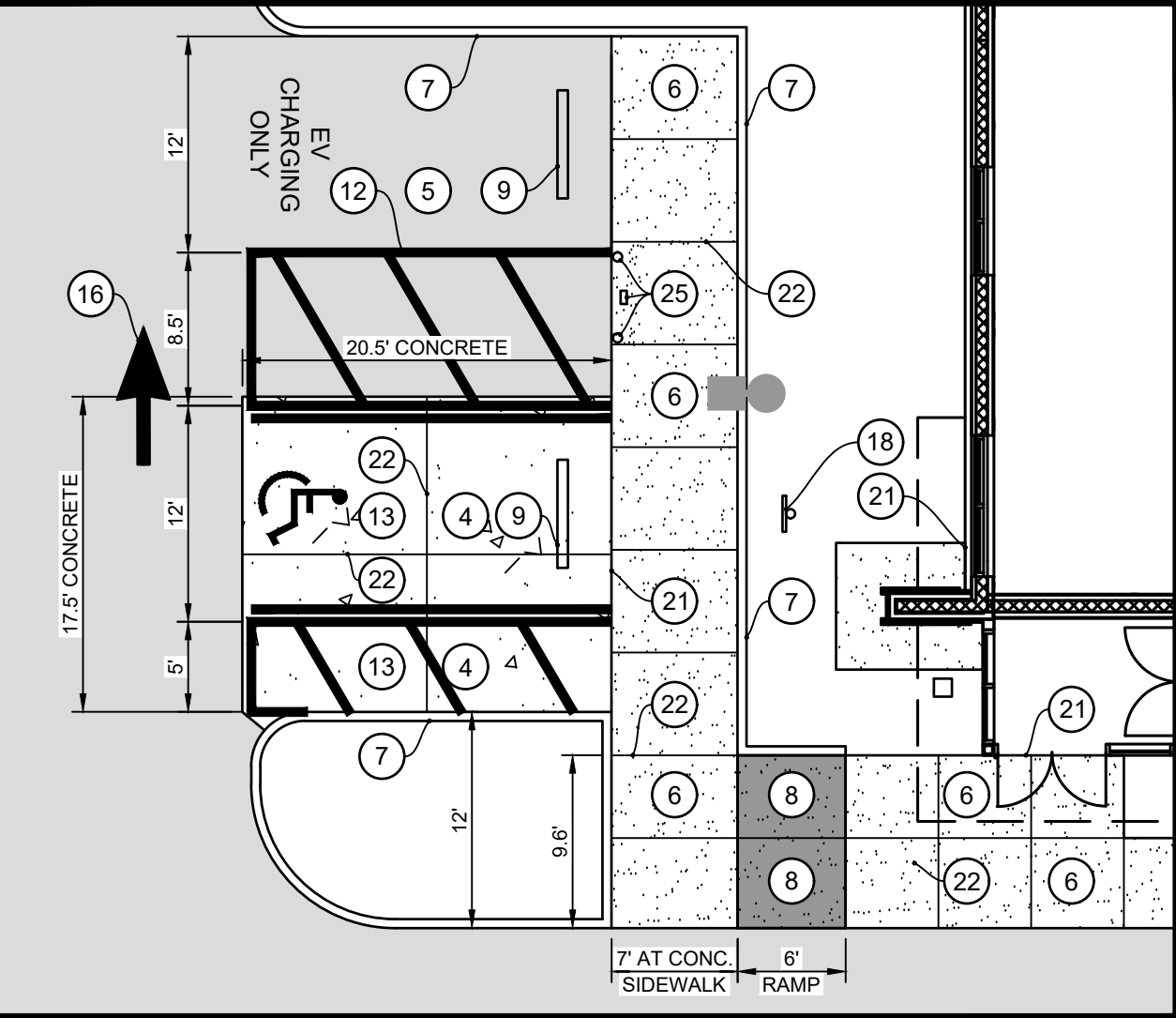
PLAN VIEW SCALE AS NOTED

**KEYED NOTES**

- NEW BUILDING (SEE ARCHITECTURAL DRAWINGS).
- NEW TRASH ENCLOSURE (SEE ARCHITECTURAL DRAWING).
- NEW 6" CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
- NEW 6" BLACKTINT CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
- NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C05.01.
- NEW 4" CONCRETE SIDEWALK. SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C05.01.
- NEW TYPE "D" CURB PER CITY OF COCONUT CREEK STANDARD 635. SEE COCONUT CREEK DETAILS, SHEET C05.05.
- NEW ADA RAMP. SEE DETAILS, SHEET C05.01.
- NEW WHEEL STOP (TYPICAL OF 2). SEE DETAILS, SHEET C05.01.
- NEW BICYCLE RACK. SEE DETAILS, SHEET C05.01.
- NEW DETECTABLE WARNING. SEE DETAILS, SHEET C05.01.
- NEW 6-INCH "WHITE" PARKING/AISLE STRIPE (CONTINUOUS PAINT).
- NEW ACCESSIBLE PARKING SPACE AND ACCESS AISLE PER CITY OF COCONUT CREEK DETAIL 622. SEE COCONUT CREEK DETAILS, SHEET C05.05.
- NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT).
- NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
- NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT). SEE DETAILS, SHEET C05.01.
- NEW 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 36" O.C. (CONTINUOUS PAINT).
- NEW ACCESSIBLE PARKING SIGN PER CITY OF COCONUT CREEK DETAIL 622. SEE COCONUT CREEK DETAILS, SHEET C05.05.
- NEW 30" R1-1 "STOP" SIGN (TYPICAL OF 5). SEE DETAILS, SHEET C05.02.
- NEW 30" R5-1 "DO NOT ENTER" SIGN (TYPICAL OF 4). SEE DETAILS, SHEET C05.02.
- NEW EXPANSION JOINT. SEE DETAILS, SHEET C05.01.
- NEW CONTROL JOINT. SEE DETAILS, SHEET C05.01.
- NEW STORMWATER STRUCTURE. SEE STORM PIPING PLAN, SHEET C03.02.
- NEW CONCRETE COLLAR. SEE DETAILS, SHEET C05.02.
- NEW ELECTRICAL STUB-UP FOR FUTURE ELECTRIC VEHICLE (EV) CHARGING STATION WITH 4" BOLLARD(S). SEE ELECTRICAL SHEET FOR MORE DETAILS.
- EXISTING STORMWATER STRUCTURE TO REMAIN.
- NEW CONCRETE FLUME PER CITY OF COCONUT CREEK DETAIL 659. SEE COCONUT CREEK DETAILS, SHEET C05.05.
- NEW RAIN GARDEN. REFER TO LANDSCAPE PLAN, SHEET LP.01.01.
- NEW LIGHT POLE. SEE ELECTRICAL SITE PLAN.
- NEW CLEANOUT CONCRETE PAD.
- NEW PAD MOUNTED TRANSFORMER. SEE ELECTRICAL SITE PLAN.
- NEW HANDRAIL (56 LF TOTAL). CONTRACTOR TO FIELD MEASURE PRIOR TO FABRICATION. SEE DETAILS, SHEET C05.02.
- EXISTING TRANSFORMER TO REMAIN.
- NEW BACKFLOW PREVENTER CONCRETE PAD.
- EXISTING INLET TOP TO BE RAISED TO MATCH PROPOSED ELEVATION. SEE DETAILS, SHEET C05.02.

**ACCESSIBILITY DETAIL**

SCALE: 1"=10'



**LEGEND**

- PROPERTY LINE
- EXISTING TO REMAIN
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE LESS THAN 6"
- PROPOSED CONCRETE 6" OR GREATER
- NEW ASPHALT PAVEMENT
- SETBACK/BUFFER
- PROPOSED CURB
- PROPOSED CURB AND GUTTER

**SITE DATA**

SITE ADDRESS:	4805 COCONUT CREEK PARKWAY COCONUT CREEK, FLORIDA 33063
PIN:	4842 30 13 0015
BUILDING AREA:	2,133 SF BUILDING
EXISTING ZONING:	B-4 REGIONAL SHOPPING
SITE AREA:	34,758 SF / .80 AC
EXISTING USE:	EXISTING RESTAURANT
FUTURE USE:	BANK WITH DRIVE THRU
<b>PARKING DATA</b>	
BANK PARKING REQUIRED:	1 SPACE PER 200' SF OF G.F.A. 2,133 SF x (1 / 200 SF) = 11 SPACES
TOTAL PARKING PROVIDED:	STANDARD PARKING = 9 SPACES ADA PARKING = 1 SPACE EV PARKING = 2 SPACES TOTAL PARKING PROVIDED = 12 SPACES
PARKING SPACE SIZE:	10' x 20' MINIMUM
DRIVE THROUGH QUEUE:	6 SPACES PER ATM LANE 6 SPACES PER TELLER LANE 10' x 18' QUEUE SIZE
LOADING ZONE:	*NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.
<b>LANDSCAPE REQUIREMENTS:</b>	
LANDSCAPE BUFFER - FRONT (COCONUT CREEK PARKWAY)	= 20'
LANDSCAPE BUFFER - SIDE (EAST)	= 10'
LANDSCAPE BUFFER - REAR	= 10'
<b>BUILDING REQUIREMENTS:</b>	
BUILDING SETBACK - FRONT (COCONUT CREEK PARKWAY)	= 150'
BUILDING SETBACK - REAR	= 100'
BUILDING SETBACK - SIDE	= 100'
MAXIMUM BUILDING HEIGHT	= 72'
<b>FLOOD ZONE:</b>	
THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X", AND X "SHADED" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 120031, PANEL NUMBER 0355, SUFFIX H, EFFECTIVE AUGUST 18, 2014, FOR COCONUT CREEK, FLORIDA.	

**MATERIAL QUANTITIES**

ASPHALT PAVEMENT	= 13,770 SF
CONCRETE SIDEWALK	= 1,380 SF
CONCRETE	= 1,120 SF
BLACKTINT CONCRETE	= 361 SF
CONCRETE CURB	= 990 LF

**PRE SITE AREAS**

AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	34,758	0.80	100%
BUILDING	4,130	0.09	12%
TOTAL IMPERVIOUS (INCLUDES BUILDING)	25,183	0.58	72%
TOTAL PERVIOUS (LS + DRY POND AREA)	9,575	0.22	28%

**POST SITE AREAS**

AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	34,758	0.80	100%
BUILDING	2,133	0.05	6%
TOTAL IMPERVIOUS (INCLUDES BUILDING)	19,704	0.45	57%
TOTAL PERVIOUS (LS + DRY POND AREA)	15,054	0.35	43%



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FIFTH THIRD BANK  
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SEAL  
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FL REG. NO. 64085

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ISSUE	BY	DATE	DESCRIPTION
△		09/05/24	PERMIT SET
△		12/20/24	DRC COMMENTS #1
△		06/25/25	DRC ROUND 4

**PROJECT INFORMATION BLOCK**

JOB # 230649  
DATE: 09/05/24  
DRAWN BY: IEG  
CHECKED BY: IEG

SHEET TITLE

SITE PLAN

SHEET NUMBER

C02.01