

From: do-not-reply@coconutcreek.net
To: [DRC](#)
Cc: PERMITS@BDGLLP.COM; PERMITS@BDGLLP.COM
Subject: A new Development Review Application has been filled out!
Date: Monday, September 30, 2024 10:42:52 AM

DRC Webform application

APPLICATION INFORMATION

Temporary DRA# = 425

Application Type: Special Land Use Special Land Use

Base Fee:

Total Residential: 0.00

Total Non-Residential: 0.00

Total Fees:

Project Name: FIFTH THIRD BANK, COCONUT CREEK

Project Location: 4805 COCONUT CREEK PARKWAY, COCONUT CREEK, FL 33063

Plat Name: COCONUT CREEK PLAZA

Folio No: 484230130015

Future Land Use: UNITED STATES

Summary of Request: DEMOLITION OF EXISTING RESTAURANT AND NEW CONSTRUCTION OF A BANK FACILITY ONE-LEVEL BUILDING APPROX. 1,900 SQ FT GROSS INCLUDING A DRIVE-THRU WITH TWO LANES EQUIPPED WITH ONE VAT PNEUMATIC TUBE AND ONE ATM LANE

SUBMITTAL COORDINATOR INFORMATION

Contact Name: MICHAELA KEGLEY

Contact Phone: 8135646200

Company Name: BDG ARCHITECTS

Email: PERMITS@BDGLLP.COM

Address: 400 N ASHLEY DRIVE SUITE 600

AGENT/APPLICANT INFORMATION

Contact Name: MICHAELA KEGLEY

Contact Phone: 8135646200

Company Name: BDG ARCHITECTS

Email: PERMITS@BDGLLP.COM

Address: 400 N ASHLEY DRIVE SUITE 600

OWNER INFORMATION

Contact Name: LEIGH PAULL

Contact Phone: 8135646200

Company Name: CENTRO NP COCONUT CREEK OWNER LLC

Email: PERMITS@BDGLLP.COM

Address: 200 E BROWARD BLVD, STE 1410, FORT LAUDERDALE, FL 33301

SIGNATURE: /Michaela Kegley/



SPECIAL LAND USE JUSTIFICATION STATEMENT

Please fill out the following in **COMPLETE DETAIL**, a restatement does not satisfy code requirements.

GENERAL STANDARDS (Section 13-35f)	
1.	<p>The proposed special land use will be in harmony with nearby uses permitted under Article III of the Land Development Code.</p> <p>- The bank will provide essential financial services to the community and can be an anchor tenant, driving traffic to the plaza and potentially benefiting other businesses. This will be a full-service bank offering services such as personal and business banking, loans, and ATMs. It will be a customer-friendly location, with ample parking and accessibility for individuals, including those with disabilities. Traffic analysis has been conducted to ensure that the bank will not negatively impact traffic flow or create congestion. The plaza already has adequate parking spaces, and the bank's operating hours will be designed to complement existing tenant hours, minimizing any overlap of peak customer traffic. Additionally, entrances and exits will be clearly marked and comply with safety standards. The proposed bank represents a mutually beneficial addition to the plaza. It complies with all zoning and building regulations, promises to enhance the plaza's value, and will not disrupt the existing tenants, but instead will support their growth by increasing foot traffic and consumer engagement. The overall effect on the plaza will be positive, with potential for long-term benefits for both the owners and tenants.</p>
2.	<p>The proposed special land use will be in harmony with nearby existing uses.</p> <p>- We have incorporated the architectural style through analyzation of the surrounding areas and previous project conducted in the vicinity of the proposed project. Also conversations with City of Coconut Creek staff to get feedback on the architectural style.</p>
3.	<p>The proposed special land use must be reasonably compatible with surrounding and adjacent uses in its function, its hours of operation, the type and amount of traffic to be generated, the building size and setbacks, and its relationships to the land values.</p> <p>- Hours will be Mon-Thurs 9am-5pm; Friday 9am-6pm and Saturday 9am-12pm.</p>
4.	<p>The proposed special land use will be in the best interests of the City, the convenience of the community, the public welfare, and be a substantial improvement to the property in the immediate vicinity.</p> <p>- A pedestrian connection to the adjacent outparcels cannot be provided because the site is surrounded by obstacles: an access road to the east, a drive-thru lane for CITI Bank to the west, and an access road to the shopping center to the north. As a result, there is no safe route for pedestrian access to the nearby outparcel.</p>
5.	<p>The proposed special land use will contribute to the economic stability of the community.</p> <p>- The community will have economic stability through the use of the drive-thru so that they may do banking transactions in a manner that is convenient and well suited to their needs. There will be four full-time employees</p>
6.	<p>The proposed special land use will not decrease public benefit or increase undesirable impacts other than those resulting from use of the site as permitted by right under Article III of the Land Development Code or some other special land use permitted on the site.</p> <p>- The raze and rebuild project results in an increase of previous /green area by 5,479 sf. Additional on site stormwater retention is provided with proposed rain garden in the amount of 1,175 cubic feet. On -site lighting is brought into compliance with the current land development code. The demolition of the 4,076 sf high turn over (sit down) restaurant and the construction of a 2,133 sf bank with two (2) drive thru results in a decrease of 166 average daily trips and decrease of 27 AM peak hour trips. Landscaping is brought into compliance with the current LDC requirements. Applicants continue to work with staff on the architectural design and material specifications to comply with the vision and goals of the city.</p>
7.	<p>The proposed special land use will not result in more intensive development than what is approved by the land use element of the Comprehensive Plan.</p>



	<p>- The specific goals emphasize supporting the growth of financial services or the development of essential community services. A bank may align with objectives related to economic stability, job creation, or improving commercial infrastructure. The goals of a bank typically reflect the long-term vision of the institution. These goals guide the bank's overall direction and growth strategy. These goals include profitability, financial stability, customer satisfaction, growth and market expansion, social responsibility, compliance and regulation.</p> <p>Fifth Third Bank is characterized by infrastructure elements because the Infrastructure Element typically refers to essential services and structures that support a community, including utilities, roads, and facilities. A bank, as an institution that provides financial services and facilities, can be considered part of a community's infrastructure, providing an essential service that supports economic activities.</p>
8.	<p>The proposed special land use will be consistent with goals, objectives, and policies of the Comprehensive Plan.</p> <p>- The specific goals emphasize supporting the growth of financial services or the development of essential community services. A bank may align with objectives related to economic stability, job creation, or improving commercial infrastructure. The goals of a bank typically reflect the long-term vision of the institution. These goals guide the bank's overall direction and growth strategy. These goals include profitability, financial stability, customer satisfaction, growth and market expansion, social responsibility, compliance and regulation.</p> <p>Fifth Third Bank is characterized by infrastructure elements because the Infrastructure Element typically refers to essential services and structures that support a community, including utilities, roads, and facilities. A bank, as an institution that provides financial services and facilities, can be considered part of a community's infrastructure, providing an essential service that supports economic activities.</p>

SPECIFIC STANDARDS FOR ALL USES (Section 13-35g)

1.	<p>The proposed use will not reduce the level of service provided on any street to a lower level than would result from a development permitted by right.</p> <p>- The proposed facility will not have an adverse impact on the area, as the existing site was previously a restaurant, which likely generated higher traffic than the proposed Fifth Third Bank site.</p>
2.	<p>The proposed use will not result in significantly greater amount of through traffic on local streets than would result from a development permitted by right.</p> <p>A bank typically generates less traffic than a restaurant for several reasons:</p> <ul style="list-style-type: none"> - Visit Frequency: People usually visit banks for specific transactions, such as deposits, withdrawals, or meetings, which are less frequent compared to the regular visits to a restaurant for meals. - Duration of Visit: Bank visits are typically short in duration, often lasting only a few minutes, while restaurant visits can take much longer, particularly during meals. - Peak Hours: Banks tend to have more concentrated traffic during certain hours (like lunch breaks or just after work), while restaurants experience higher traffic during longer periods, especially during meal times (lunch and dinner). - Customer Flow: Restaurants often serve larger groups and cater to more people simultaneously, especially during peak hours, while bank customers are usually individual or small groups for specific transactions. - Parking and Space Usage: Restaurants often require more parking spaces to accommodate customers who typically arrive by car for longer periods, while bank visitors usually stay for a shorter time, reducing the overall parking demand. <p>In summary, while both types of establishments generate traffic, a restaurant typically draws more consistent and prolonged customer flow compared to a bank, leading to a higher overall traffic impact.</p>
3.	<p>The proposed use will not require extension or enlargement of the thoroughfare system at a higher net public cost than would result from a development permitted by right.</p> <ul style="list-style-type: none"> - Visit Frequency: People usually visit banks for specific transactions, such as deposits, withdrawals, or meetings, which are less frequent compared to the regular visits to a restaurant for meals. - Duration of Visit: Bank visits are typically short in duration, often lasting only a few minutes, while restaurant



	<p>visits can take much longer, particularly during meals.</p> <ul style="list-style-type: none"> - Peak Hours: Banks tend to have more concentrated traffic during certain hours (like lunch breaks or just after work), while restaurants experience higher traffic during longer periods, especially during meal times (lunch and dinner). - Customer Flow: Restaurants often serve larger groups and cater to more people simultaneously, especially during peak hours, while bank customers are usually individual or small groups for specific transactions. - Parking and Space Usage: Restaurants often require more parking spaces to accommodate customers who typically arrive by car for longer periods, while bank visitors usually stay for a shorter time, reducing the overall parking demand.
4.	<p>The proposed use will not require enlargement or alteration of utility facilities, drainage systems, and other utility systems other than what would result from a development permitted by right.</p> <ul style="list-style-type: none"> - The proposed Fifth Third Bank site will have no adverse impact on the master stormwater system, as it has less impervious area compared to the existing restaurant. Additionally, the proposed site includes a rain garden, which will provide enhanced treatment to the master stormwater system.
5.	<p>The proposed use will not demand greater municipal public safety services exceeding the demand resulting from a development permitted by right.</p> <ul style="list-style-type: none"> - The redevelopment results in a decrease of impervious coverage of 5,479 sf. A 1,175 cubic feet of additional on-site stormwater retention within a proposed rain garden is provided. The combination of the rain garden and the decrease impervious coverage results a reduction in stormwater discharge to the master drainage system of the Coconut Creek Plaza and a reduction of nutrients loading with the addition of the rain garden. - The proposed bank is significantly smaller, has less employees and requires significantly less potable water, sewer and electrical than a high turn over restaurant. The restaurant had significantly greater occupancy load, greater plumbing fixture counts and a greater overall demand for electric. - The redevelopment results in a decrease of 166 average daily trips and 27 AM peak hour.
6.	<p>If a special land use is combined with other special land uses or permitted uses on a site, the overall intensity and scale of uses on the site is appropriate given the adequacy of proposed buffers and setbacks and the land uses of surrounding properties.</p> <ul style="list-style-type: none"> - The site plan was modified to provide the required 20 foot landscape buffer adjacent to Coconut Creek Parkway. This allows for all existing mature canopy trees to remain. Any additional ground cover or shrubs will be added as required by the LDC. - A larger 12.2 foot landscape buffer is provided adjacent to the shopping center access drive and eastern property line. The enlarged landscape buffer has been provided to preserve and allow for further growth of four existing canopy trees. The eastern buffer will be supplemented as needed to meet the LDC requirements. - The existing western landscape buffer increased from 4.7 feet to approximately 37 feet. The rain garden and trash enclosure is located within this buffer. However, the locations of both allowed for the preservation of the single existing mature canopy tree within the existing buffer. - There are no existing canopy trees with the existing rear/northern buffer. The proposed buffer will provide hedges and accent trees to screen the property.

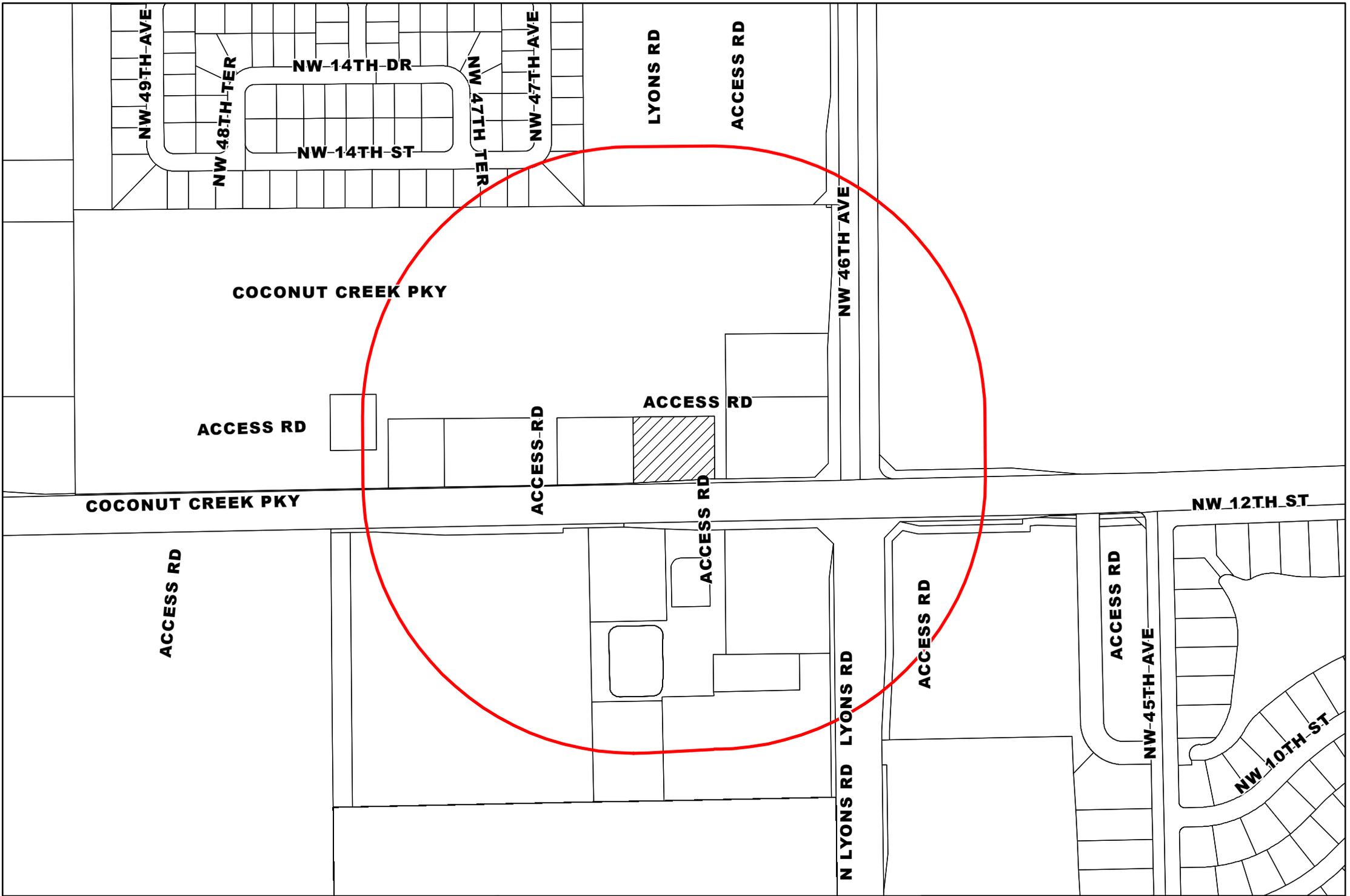
STANDARDS FOR NONRESIDENTIAL USES IN RESIDENTIAL DISTRICTS (Sec. 13-35h)

1.	<p>The location of the proposed special land use will not be hazardous or inconvenient to the residential character of the area where it is to be located.</p> <p>N/A</p>
2.	<p>The size of the special land use application and nature and intensity of the operations involved will not be hazardous or inconvenient to the residential character of the area or to long range development in accordance with the land use element of the Comprehensive Plan.</p> <p>N/A</p>



3.	The location of the special land use will not result in isolating an existing or planned residential area from other residential development.
	N/A
4.	The design of buildings for commercial and office space special land uses in residential districts shall be in a manner similar to residential structures in the same general area or neighborhood. Such a finding shall be based on consideration of building mask, height, materials, window arrangements, yards, and other considerations.
	N/A
5.	The proposed use will have direct access to an arterial or collector street. Ingress and egress shall be designed to minimize traffic congestion on the public roadways.
	N/A
6.	Parking areas for special land uses shall be of adequate size for the particular use and shall be properly located and suitably screened from adjoining residential uses, and that ingress and egress shall be designed for maximum safety for vehicles and pedestrians and minimize traffic congestion in the residential district.
	N/A

NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
SCHOOL BOARD OF BROWARD COUNTY	ATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301
BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
CENTRO NP COCONUT CREEK OWN LLC		200 RIDGE PIKE #100	CONSHOHOCKEN	PA	19428
CENTRO NP COCONUT CRK	CORP REAL ESTATE ASSMT	PO BOX 32547	CHARLOTTE	NC	28232
CITY OF COCONUT CREEK		4800 W COPANS RD	COCONUT CREEK	FL	33063
1301 LYONS LLC	% SFLRE GROUP LLC	1650 SE 17 ST #214	FORT LAUDERDALE	FL	33316
WALKER,JASON E H/E	WALKER,STACEY	1400 NW 47 AVE	COCONUT CREEK	FL	33063
GUADALUPE,JAVIER H/E	GUADALUPE,ALMA Y	4726 NW 14 ST	COCONUT CREEK	FL	33063
DE FREITAS,ADRIANA MAILE K		7058 NW 70 TER	PARKLAND	FL	33067
CHEA,CONRAD A H/E	CHEA,ROBERT A	4746 NW 14 ST	COCONUT CREEK	FL	33063
SAINT LOUIS,JESULA	FERDINAND,MULLER	4756 NW 14 ST	COCONUT CREEK	FL	33063
HAMMOCK ESTATES HOMEOWNERS ASSN	DAVENPORT PROF PROP MGMT INC	6620 LAKE WORTH RD STE F	LAKE WORTH	FL	33467
BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
SCHOOL BOARD OF BROWARD COUNTY	ATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301
PROJECT SATURN NLP LLC	OAK STREET REAL ESTATE CAP LLC	30 N LA SALLE ST STE 4140	CHICAGO	IL	60602
HAPPINESS INC	REGIONS BANK-JENNIFER BRADFORD	2050 PARKWAY OFFICE CIR #500	BIRMINGHAM	AL	35244
JAMES'S PLACE LLC		265 NEWBURY ST	PEABODY	MA	01960
STRADA CC DEVELOPMENT LLC		1860 SW FOUNTAINVIEW BLVD #200	PORT ST LUCIE	FL	34986
SELF STORAGE COCONUT CREEK	PKWY COCONUT CREEK LLC	1801 S FEDERAL HWY	BOCA RATON	FL	33432
STRADA CC DEVELOPMENT LLC		1860 SW FOUNTAINVIEW BLVD #200	PORT ST LUCIE	FL	34986
COREGRO 4848 COCONUT CREEK LLC		153 E FLAGLER ST #116	MIAMI	FL	33131



0 87.5 175 350 525 700 Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



FIFTH THIRD COCONUT CREEK
DATE OF PRINT: 06/03/2025



400 N. Ashley Dr, Suite 600
Tampa, FL 33602
www.bdgllp.com

Date: June 10th, 2025

*RE: Public Outreach Meeting for Fifth Third Bank Coconut Creek
Project Number: PZ-24090009
4805 Coconut Creek Pkwy, Coconut Creek, FL 33063
Parcel No. 484230130015*

Dear Neighbor:

BDG Architects invites you to attend a public outreach meeting for the Fifth Third Bank site located in Coconut Creek. The proposed project will include the demolition of an existing 4,076 SF commercial building and the design and construction of a new retail bank facility: approx.. 1,900 SF one level building including a drive-thru with one VAT and one ATM lane. The site borders Coconut Creek Pkwy to the south and an access road to the north. You are receiving this letter as an adjacent property owner/resident of the proposed project. The purpose of this meeting is to inform property owners and residents about the details of the proposal and address any questions or concerns.

Meeting Location (In Person):

Date: July 1st, 2025

Time: 5:45-7:45 PM

Location: Broward County Library, Room 226

1100 Coconut Creek Blvd.

Coconut Creek, FL 33066

*This event is not sponsored by the Broward County Libraries Division.

If you wish to send written comments, please send them to the below address:

BDG Architects, LLP

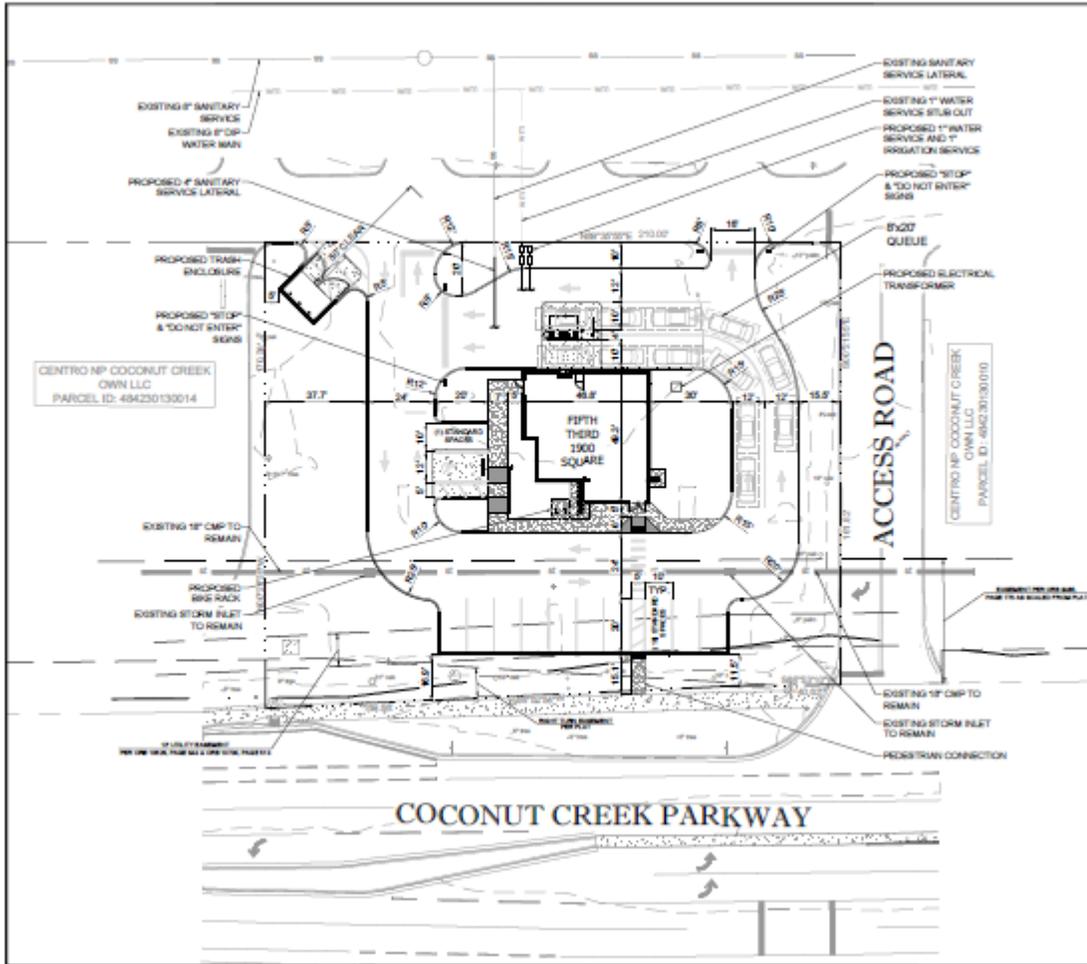
Attn: Angelina Makowski

400 N. Ashley Dr. Suite 600

Tampa, FL 33602

Please note, there will be additional opportunities for public input at the City of Coconut Creek Public Hearings.

Sincerely, BDG Architects, LLP





400 N. Ashley Dr, Suite 600
Tampa, FL 33602
www.bdgllp.com

Date: July 3rd, 2025

Lizet Aguiar
City of Coconut Creek
Planning and Zoning Department
4800 W. Copans Rd.
Coconut Creek, FL 33063

Fifth Third Bank Coconut Creek Public Outreach Report

Dear Ms. Aguiar,

A Public Outreach Meeting was held for a proposed Fifth Third Bank located at 4805 Coconut Creek Parkway, Coconut Creek, FL 33063. The meeting was held at the Broward County Library located at 1100 Coconut Creek Blvd., Coconut Creek, FL 33066. The meeting took place in Room 226 on Tuesday, July 1st, 2025 from 5:45 PM-7:45PM. All residents and businesses within a 700 foot radius of the proposed Fifth Third Bank location were provided with notice of the Public Outreach Meeting. This meeting was to present the project and address any questions, concerns, and comments regarding this project. The project was presented using Site plans, Landscape plans, and Renderings. One person attended and had a positive response to our presentation. Please refer to Exhibit A for the Facility Room Request and receipt. Please refer to Exhibit B for the Public Outreach Meeting notice that was mailed and hand delivered to residents and businesses within the plaza. Please refer to Exhibit C for the Mailing List and Map obtained from Broward County GIS.

If you have any questions regarding this meeting, please contact me at Angelina.makowski@bdgllp.com / 813-954-2211

Sincerely,
Angelina Makowski
BDG Architects, LLP



FIFTH THIRD BRANCH BANK



4805 Coconut Creek Parkway
Coconut Creek , FL 33063





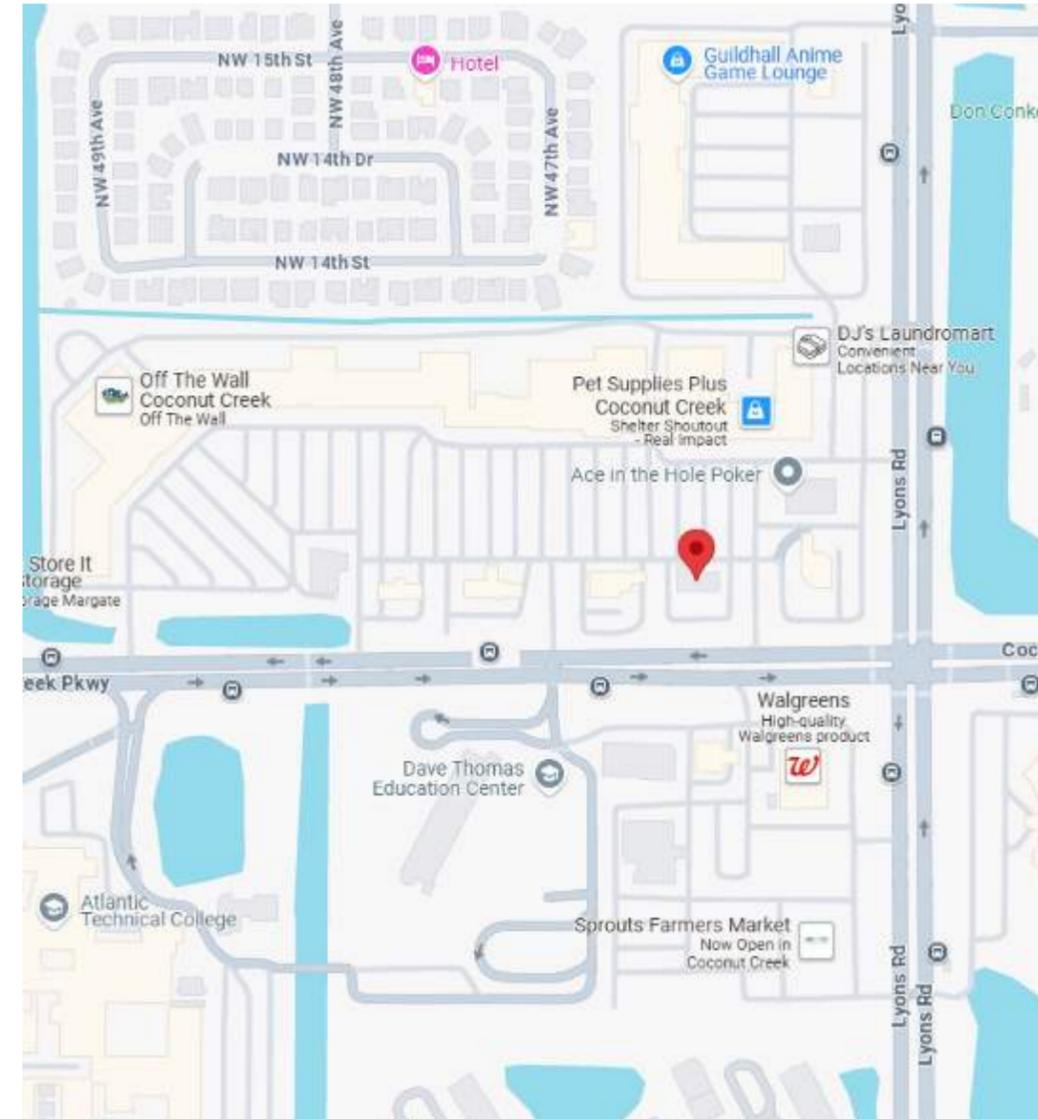
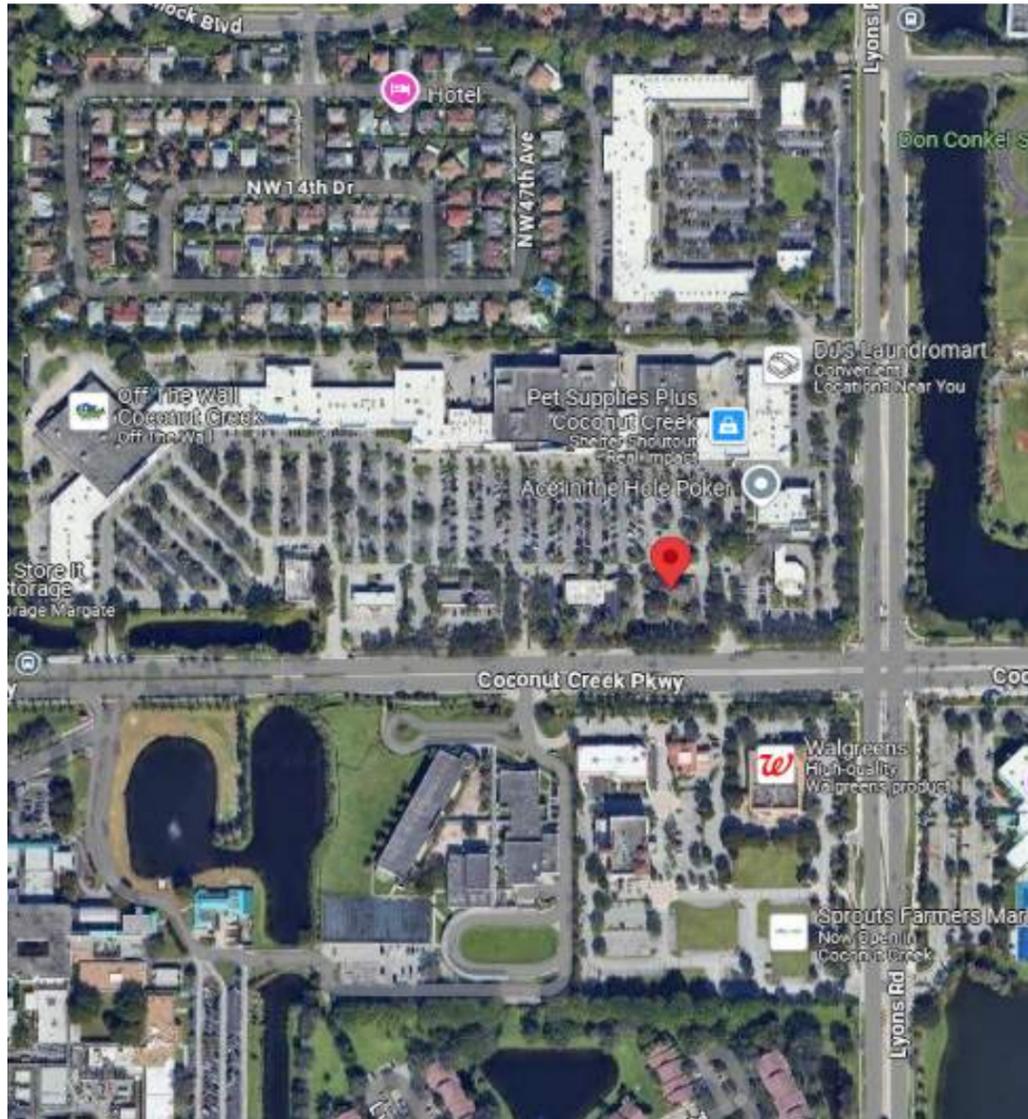
AGENDA

- Site Plan Aesthetic Design
 - Sustainability Features
 - Q&A / Feedback

Site Plan Aesthetic Design

Project Location

- 4805 Coconut Creek Parkway
Coconut Creek , FL 33063



Site Plan Aesthetic Design

Harmonious and Efficient

- Exterior Color
- Stone Masonry Base
- <10% Accent Color



New Bank Front View



New Bank Back View



Chase Bank



Bank of America

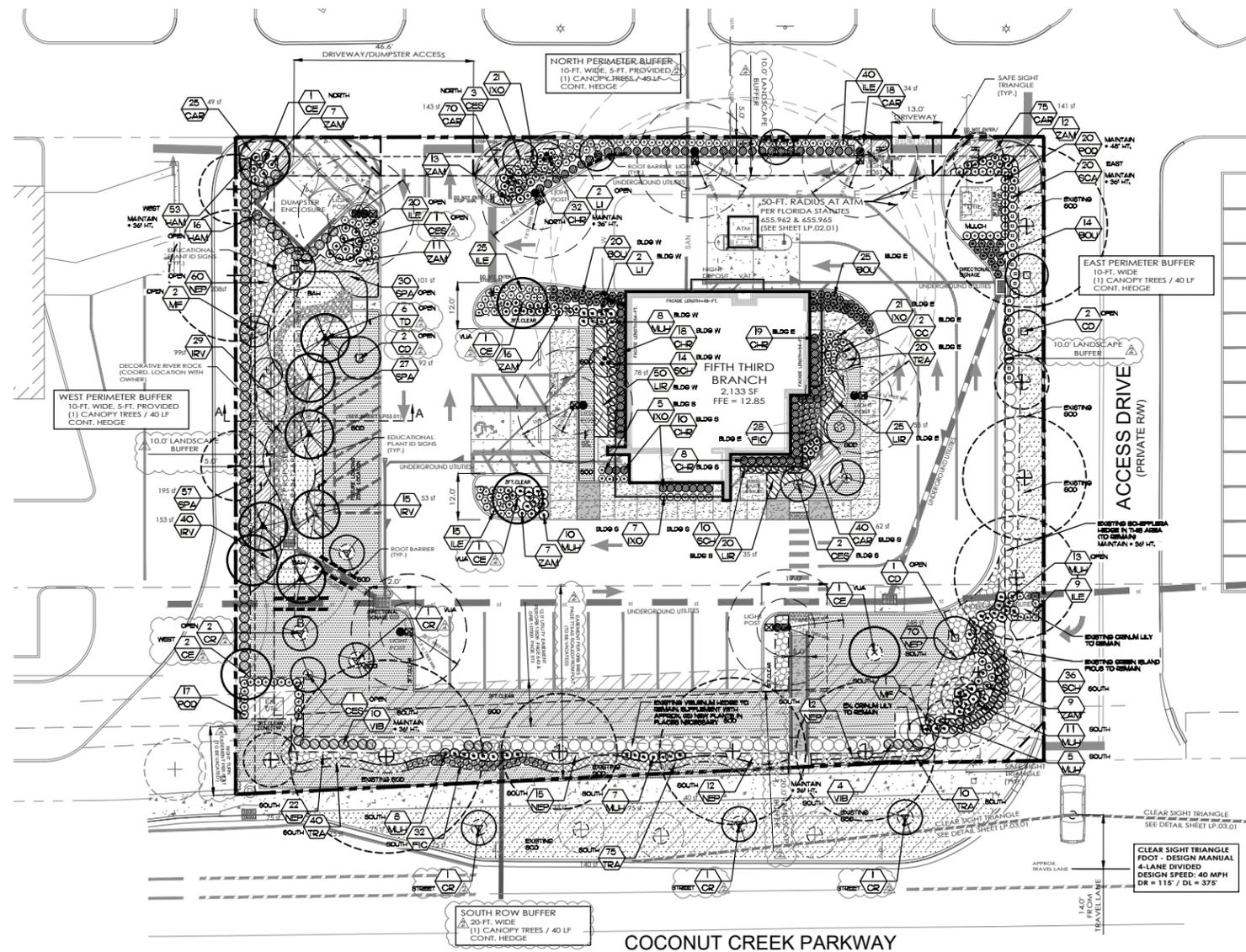


Citibank

Site Plan Aesthetic Design

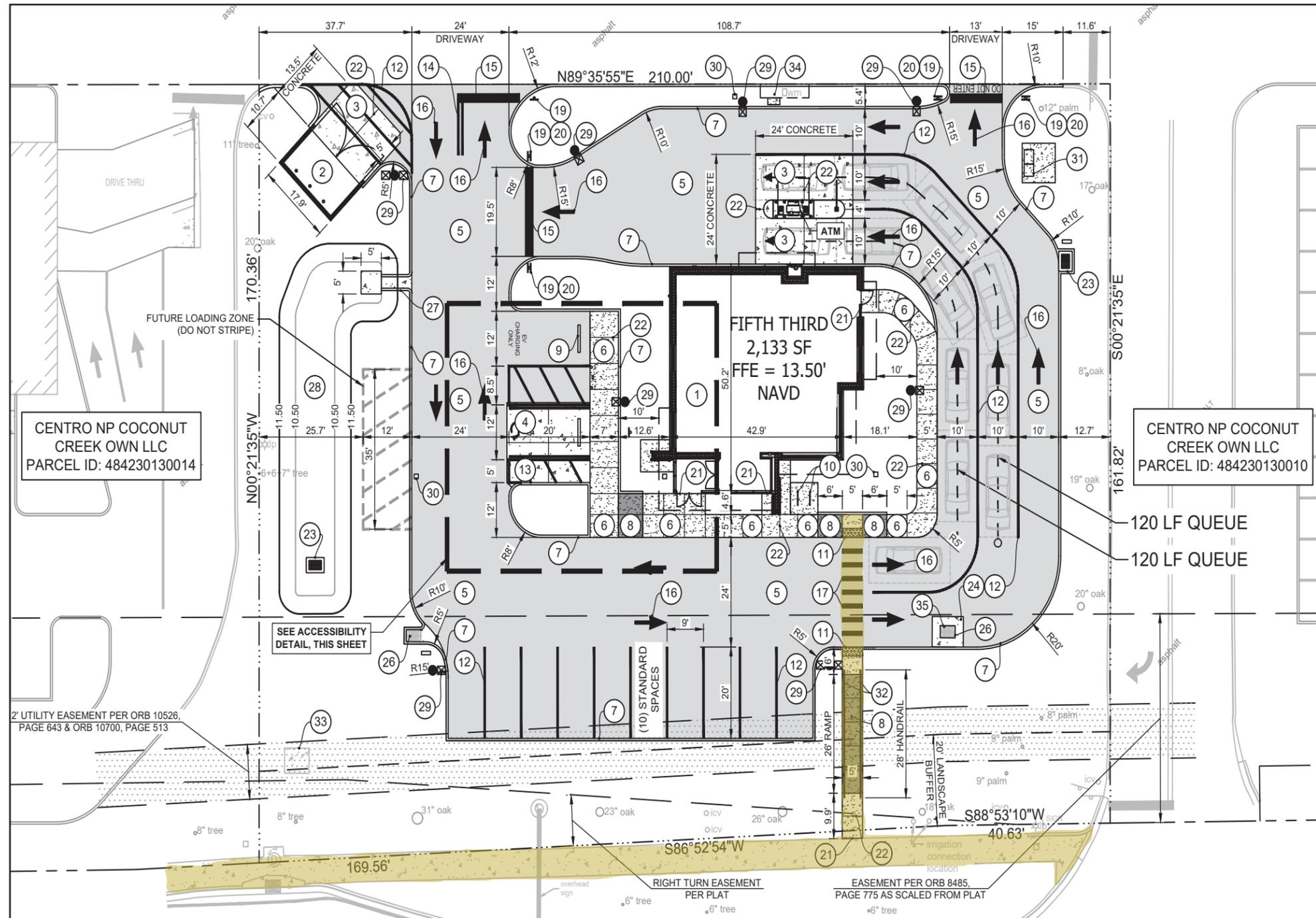
Preservation of Natural State

- Tree & soil removal kept to a minimum
- Site complies with landscape requirements



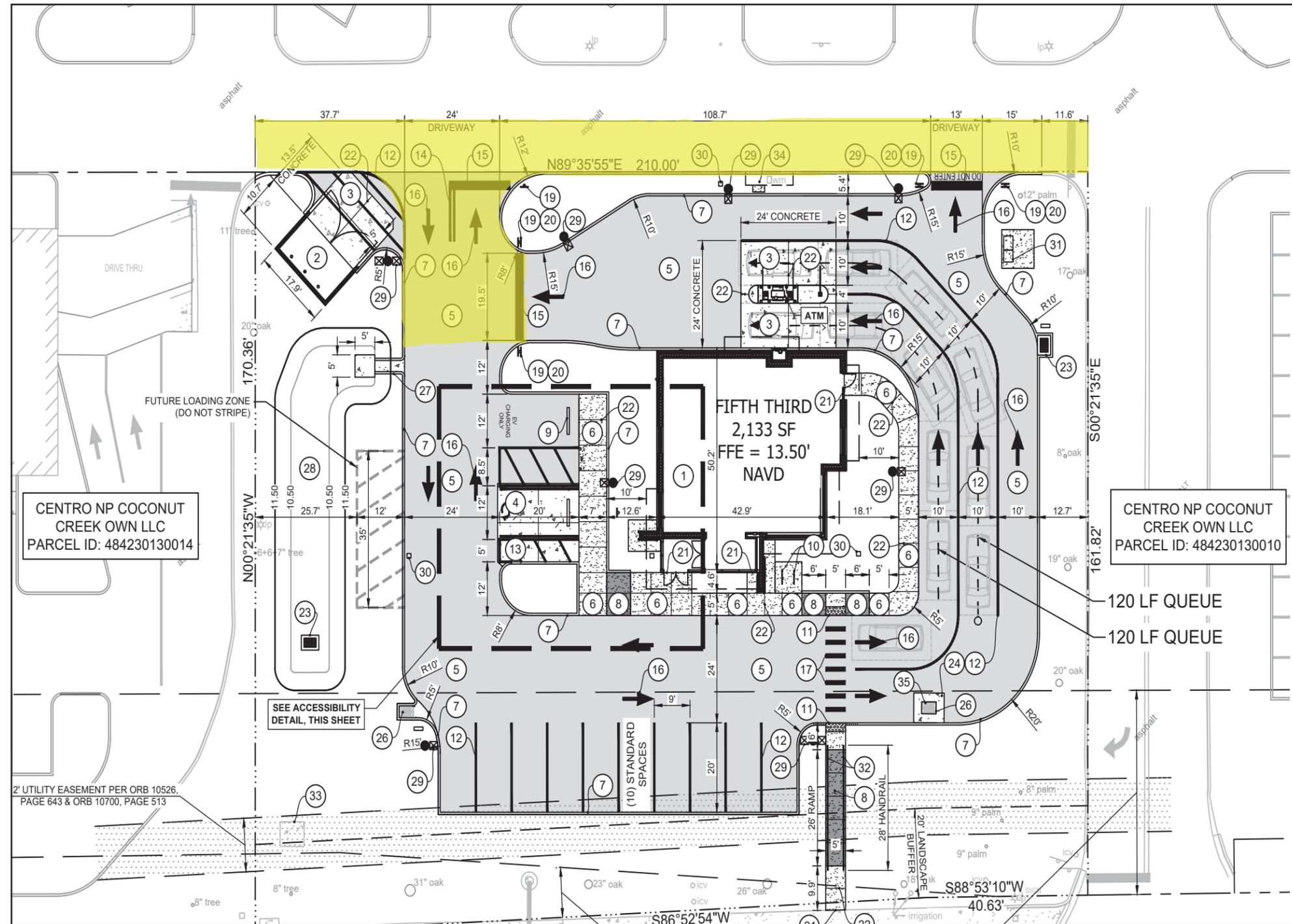
Site Plan Aesthetic Design

Access to Public Ways



Site Plan Aesthetic Design

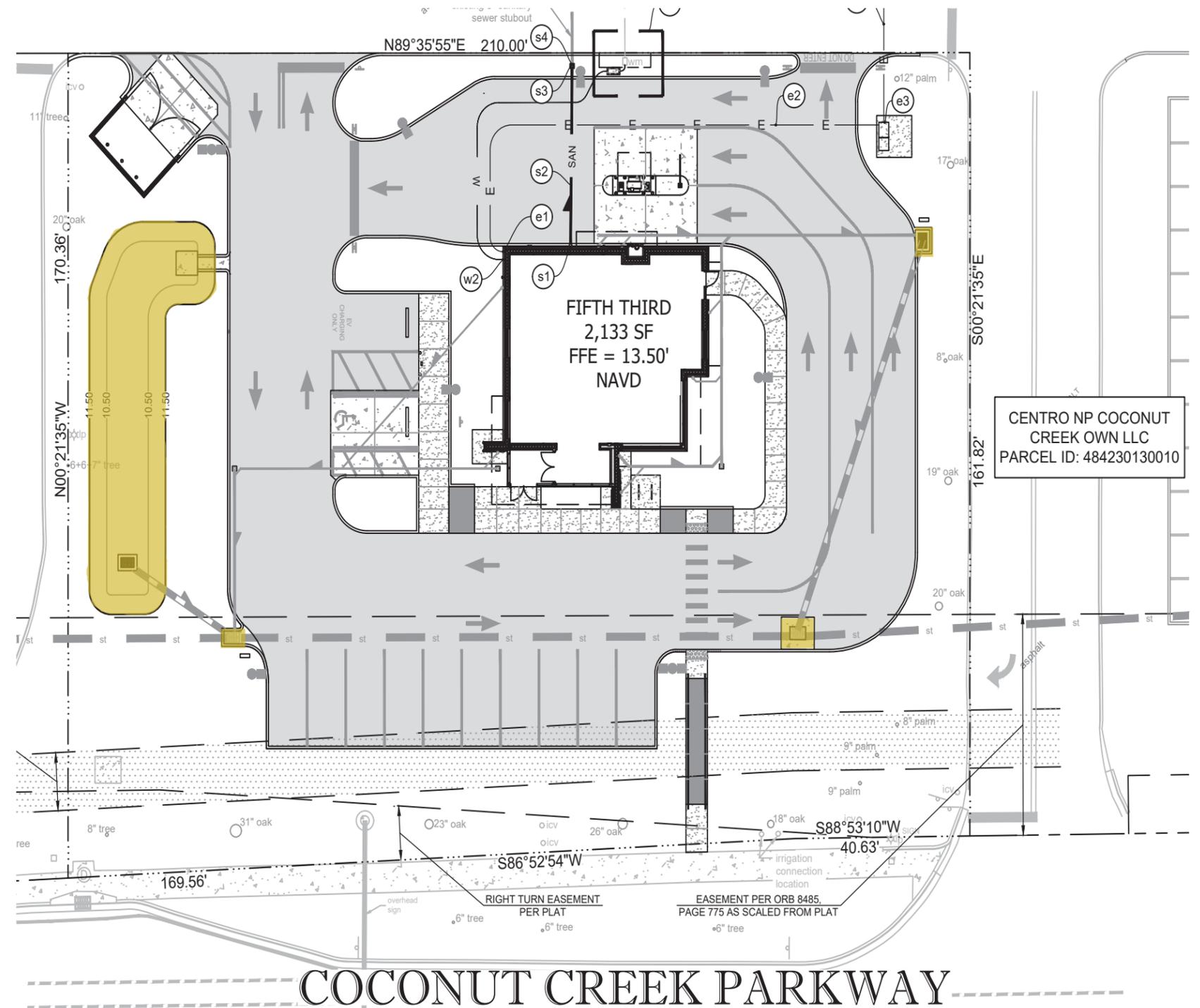
Design of Access and Egress Drive



Site Plan Aesthetic Design

Stormwater Control

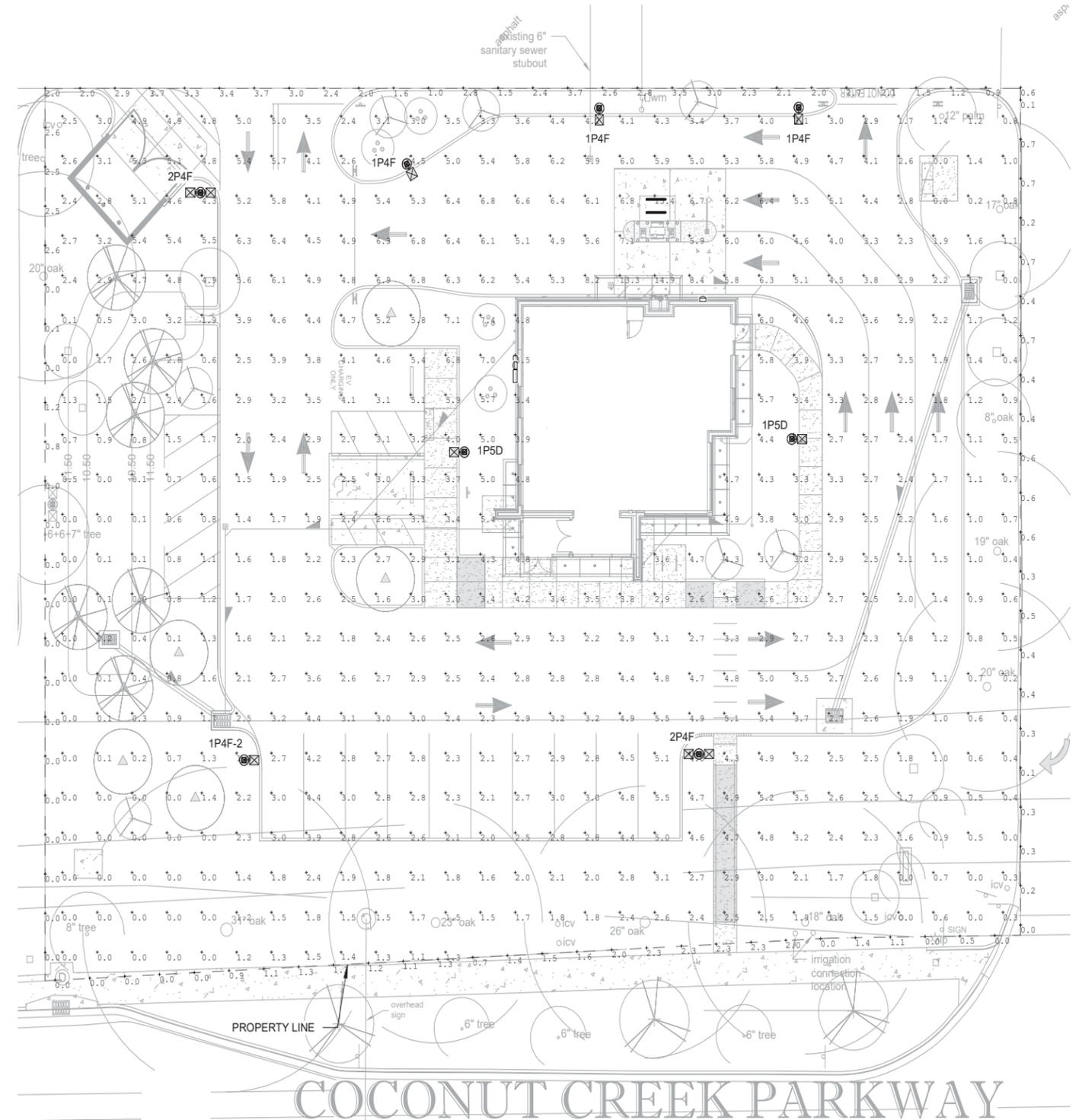
- Storm-water will be contained on site
- Existing utilities & storm inlets are adequate for modifications



Site Plan Aesthetic Design

Exterior Lighting

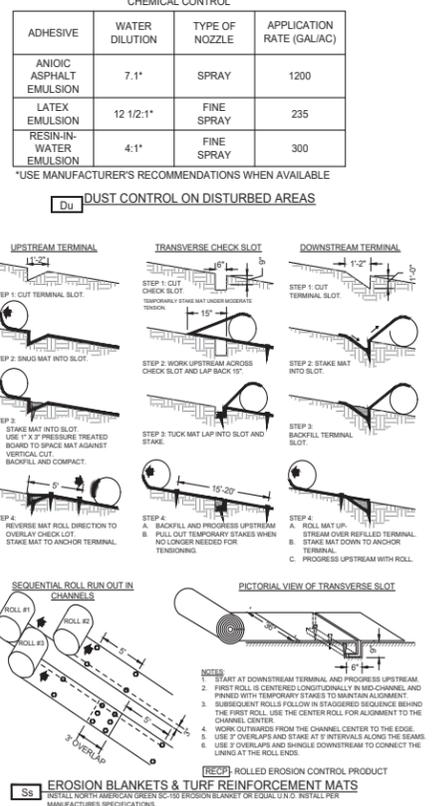
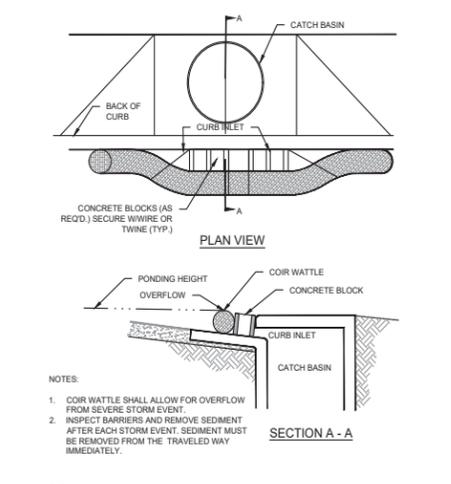
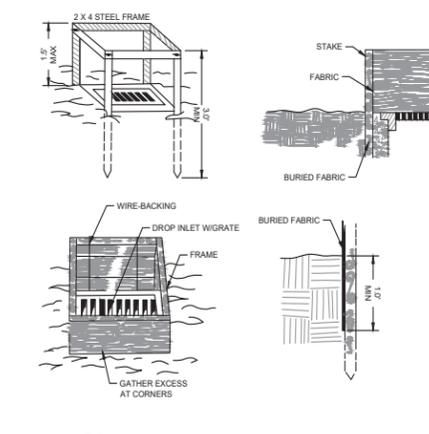
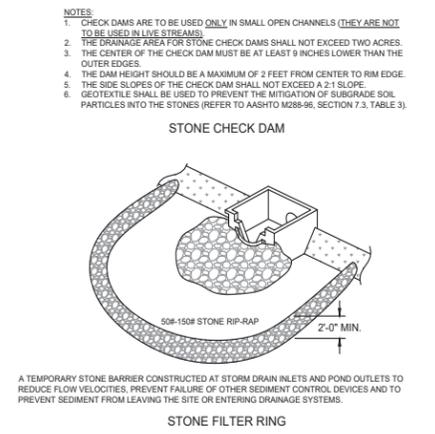
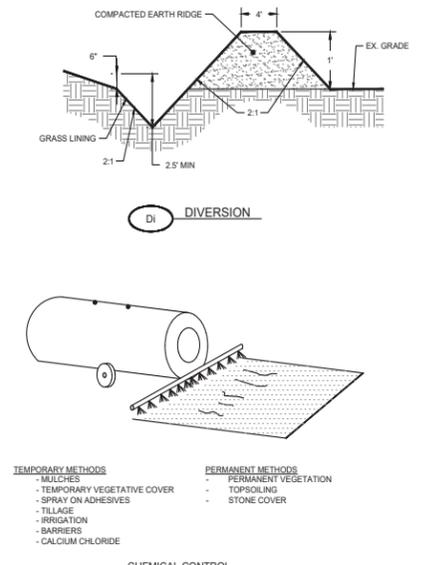
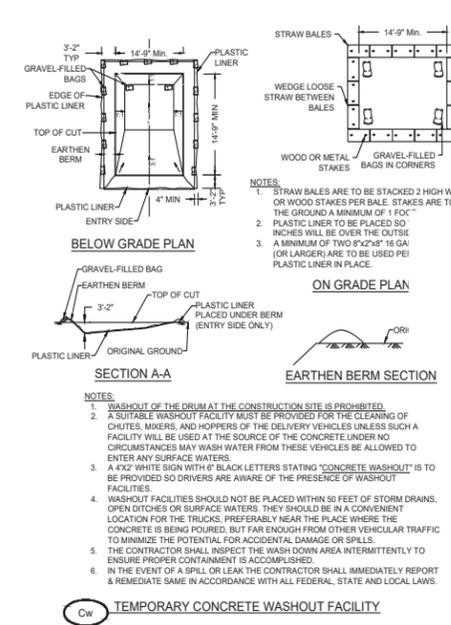
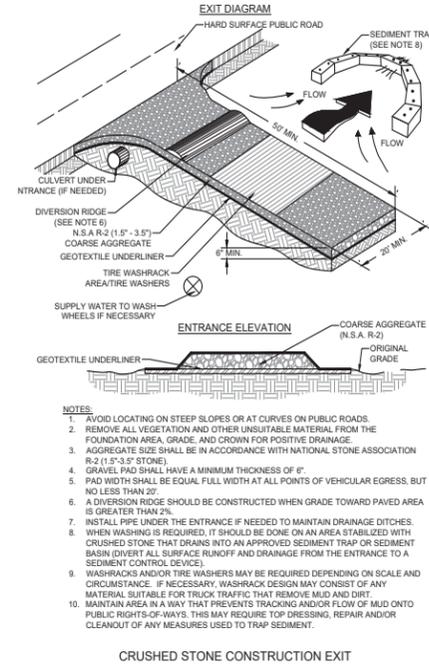
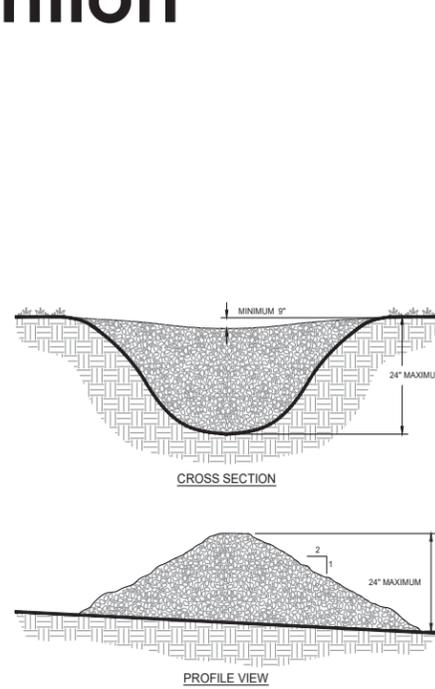
- Photometrics plan is complete
- No glare or direct illumination to the adjacent properties or public right of way



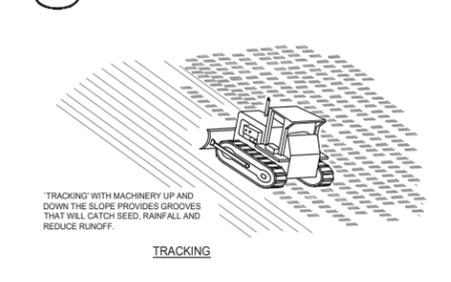
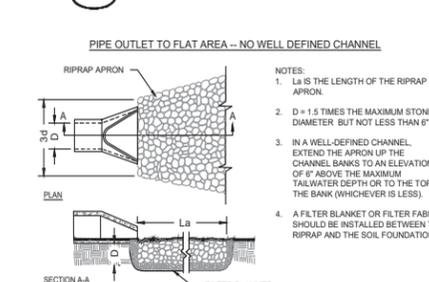
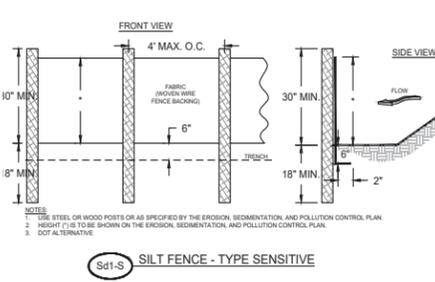
CALCULATION SUMMARY AT GRADE(OCCUPIED)							
LABEL	CALCTYPE	UNIT	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOTS(OCCUPIED)	ILLUMINANCE	FC	3.23	5.5	2.0	1.62	2.75
DRIVEWAY/PARKING LOTS(OCCUPIED)	ILLUMINANCE	FC	3.84	14.9	1.2	3.20	12.42
5FT TRASH ENCLOSURE(OCCUPIED)	ILLUMINANCE	FC	3.97	5.4	2.4	1.65	2.25
PROPERTY LINE	ILLUMINANCE	FC	1.18	3.7	0.0	N.A.	N.A.

Sustainability Features

Construction Pollution Prevention



EROSION CONTROL KEYED NOTES	
1	CRUSHED STONE CONSTRUCTION ENTRANCE AND CONCRETE TRUCK WASHOUT AREA
2	SILT FENCE
3	LIMITS OF CONSTRUCTION (0.77 AC)
4	INLET PROTECTION



Sustainability Features

Construction Site Materials Recycling

Waste Diversion Management Plan

Project Management Fifth Third Bank Acco
21-Jul-22



Reporting

The following Waste Diversion documentation must be completed and returned to the CBRE PJM no later than 30 days after Turnover date.

- Completed Waste Diversion Tracker
- Supporting Documentation
 - o Receipts/Tickets
 - o Form 187 (if furniture was donated)
 - o Furniture Weight and Value Estimator (if furniture was donated)

GC (or Waste Diversion coordinator appointed by GC) is responsible in collecting all the receipts and combine the total on one final tracker.

If less than 75% or no waste was diverted- a detailed explanation is **required** in the comment section of the Waste Diversion form.

Waste Management Guidelines

Intent

To reduce waste disposed of in landfills by redirecting to reusing, recycling, and donating materials. This guide is intended to assist GCs with providing an accurate waste diversion tracker with supporting documentation form accredited organizations.

All projects must recycle at least 75% of all construction waste.

CBRE requires all projects to divert at least **75%** of waste from the landfill.



Managing Waste Diversion

Sustainability Features

Alternative Transportation



Bike Racks

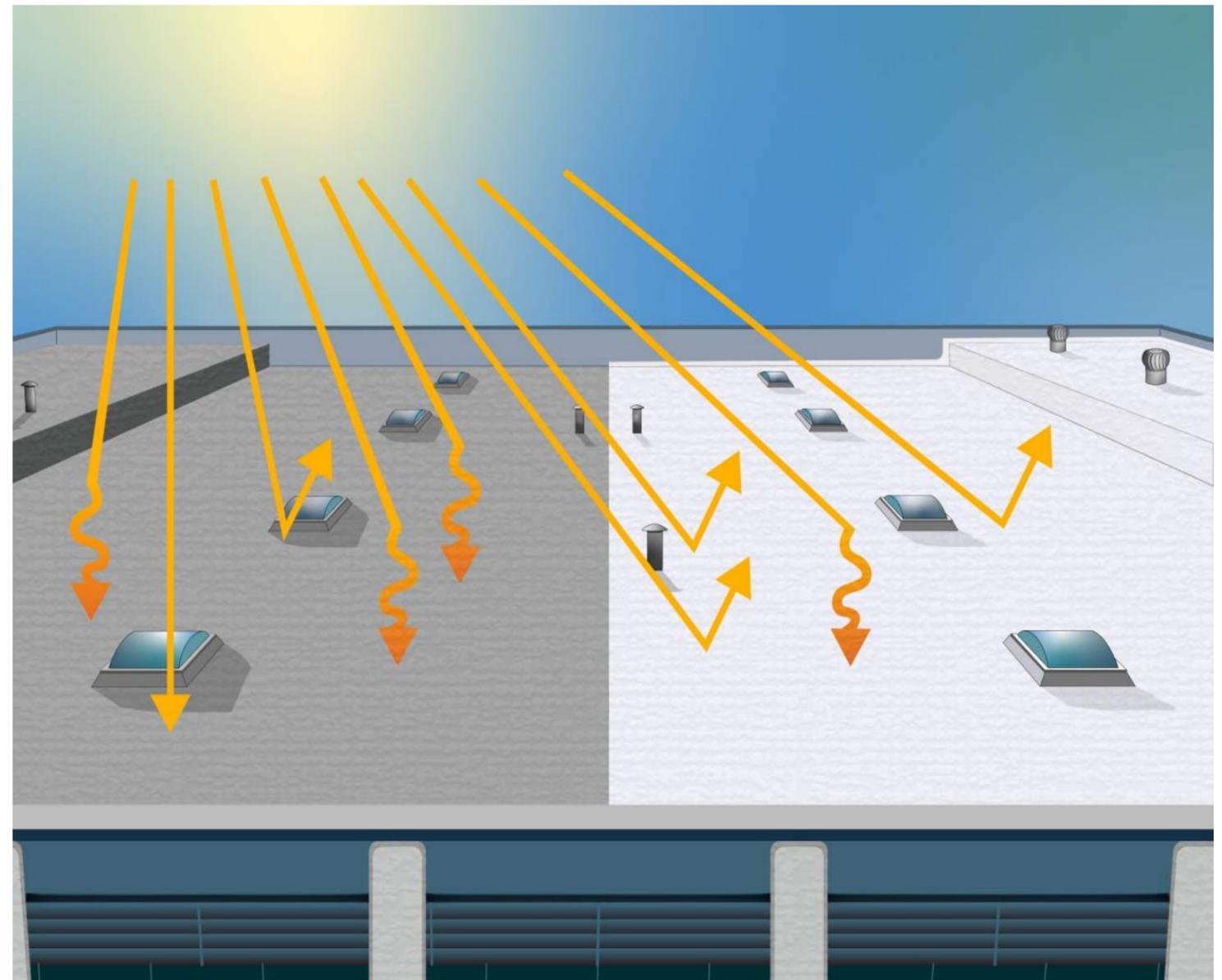
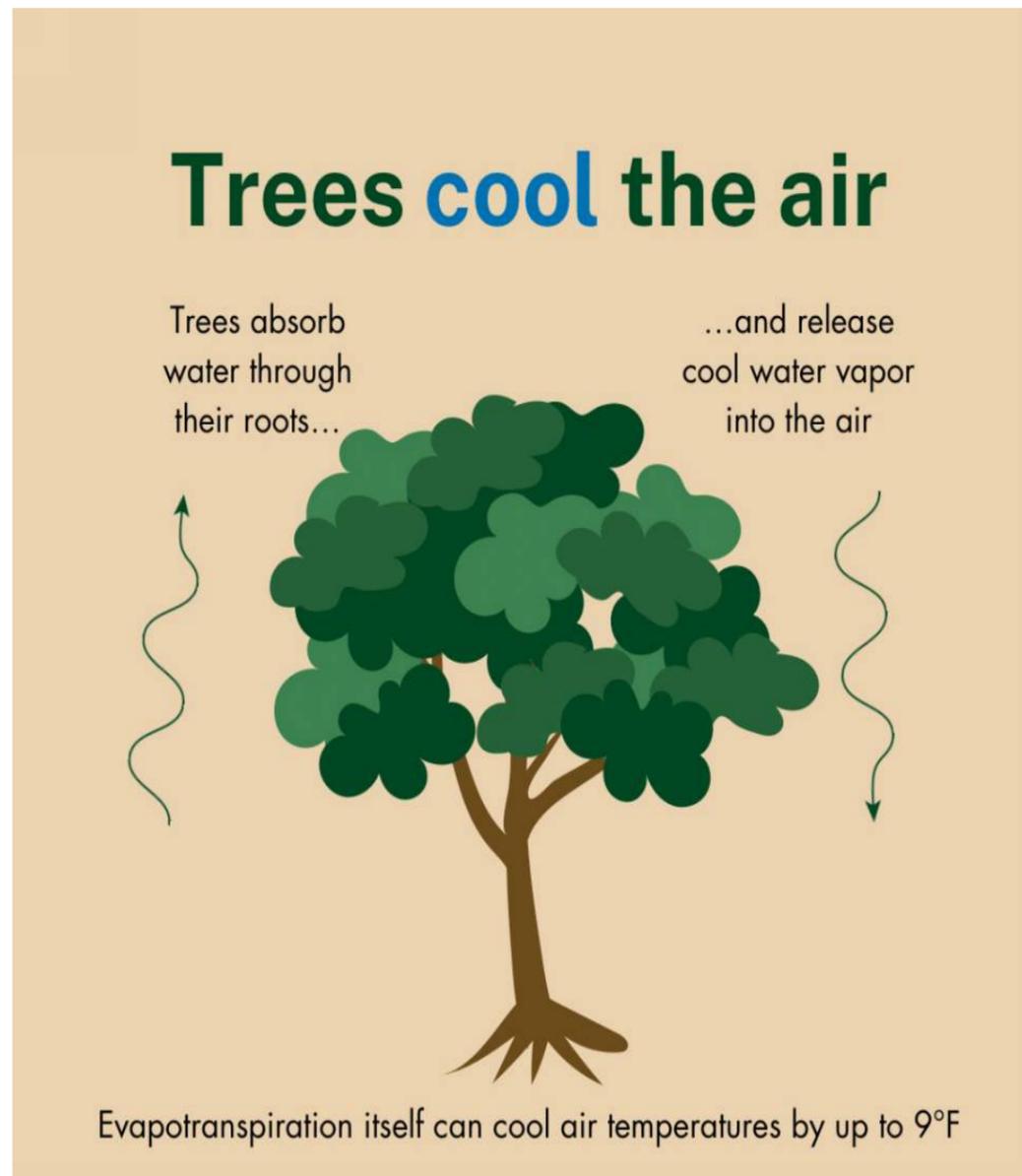


Electric Vehicle Charging Station

Sustainability Features

Minimize Heat Island Effect

- Generous Tree Canopy
- Cool Roof - White TPO



Sustainability Features

Innovative Water Technologies

- Battery-Powered Faucets
- Efficient Toilets
- Water Fountain with Touchless Bottle Filler.

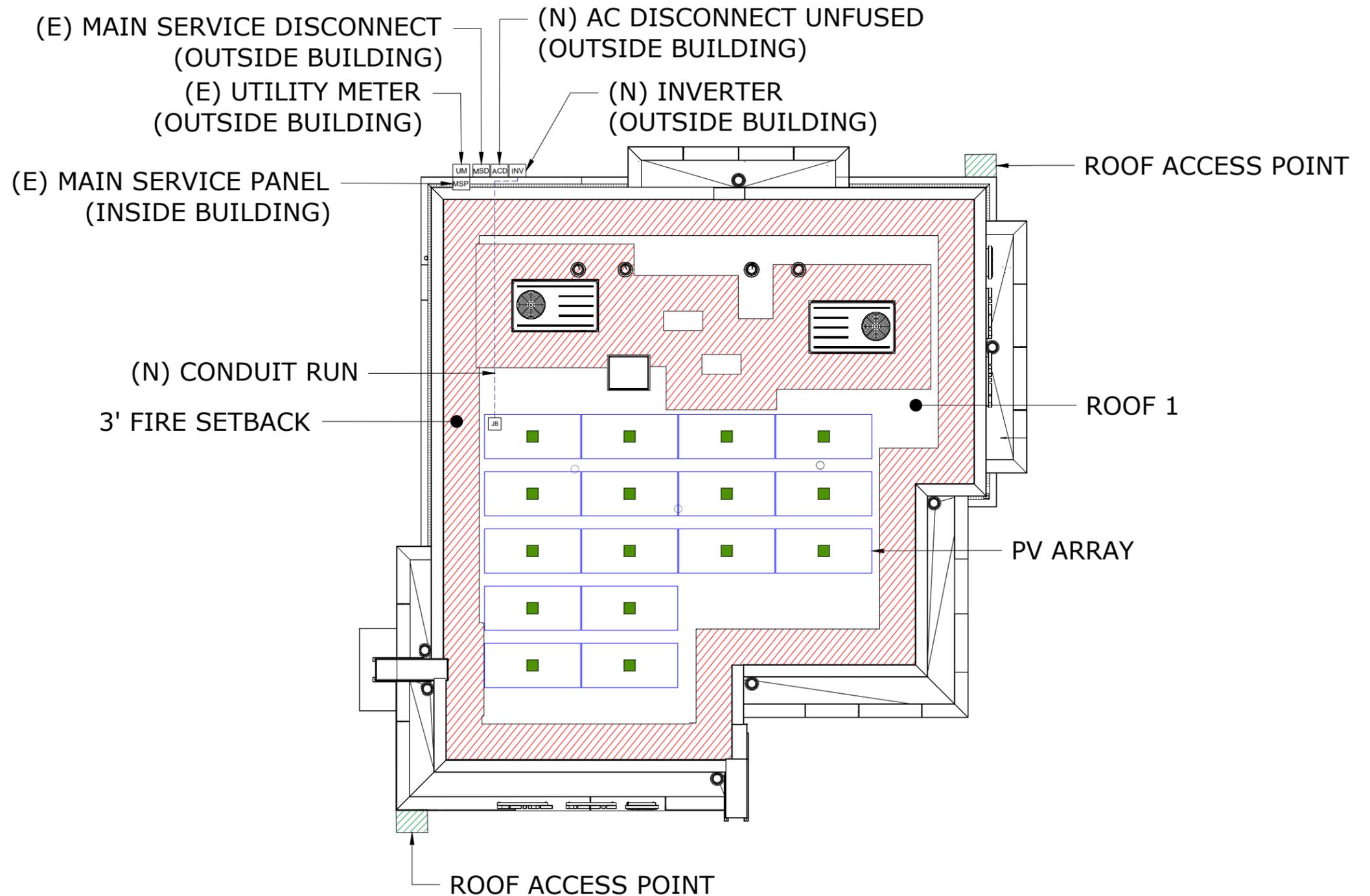


Sustainability Features

Energy Efficiencies

- Solar Power Panels
- Efficient HVAC System

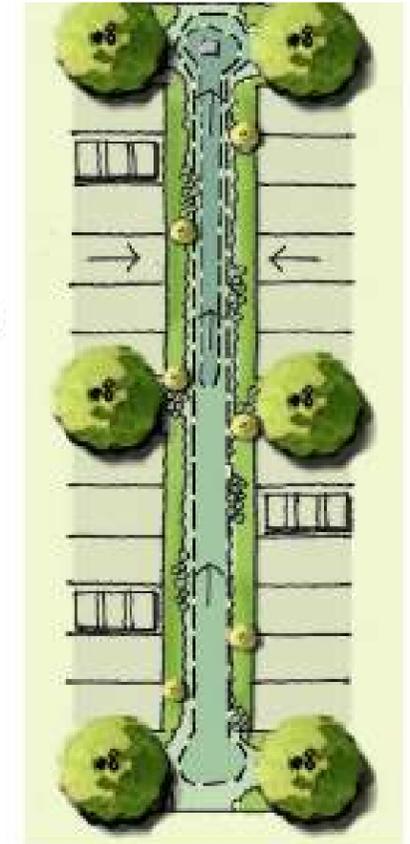
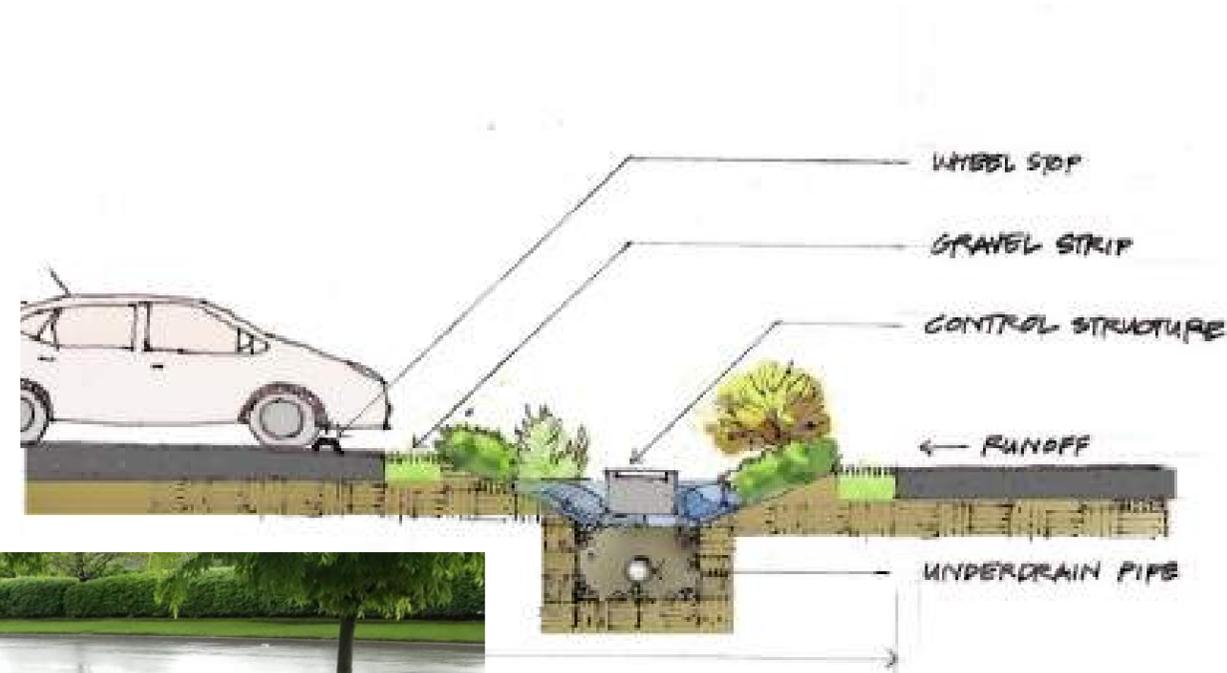
LEGENDS	
UM	- UTILITY METER
MSP	- MAIN SERVICE PANEL
MSD	- MAIN SERVICE DISCONNECT
ACD	- AC DISCONNECT
JB	- JUNCTION BOX
■	- OPTIMIZER
○ □	- VENT, ATTIC FAN (ROOF OBSTRUCTION)
- - -	- CONDUIT
▨	- FIRE SETBACK
▧	- ROOF ACCESS POINT



Sustainability Features

Conspicuous Display of Green Technology

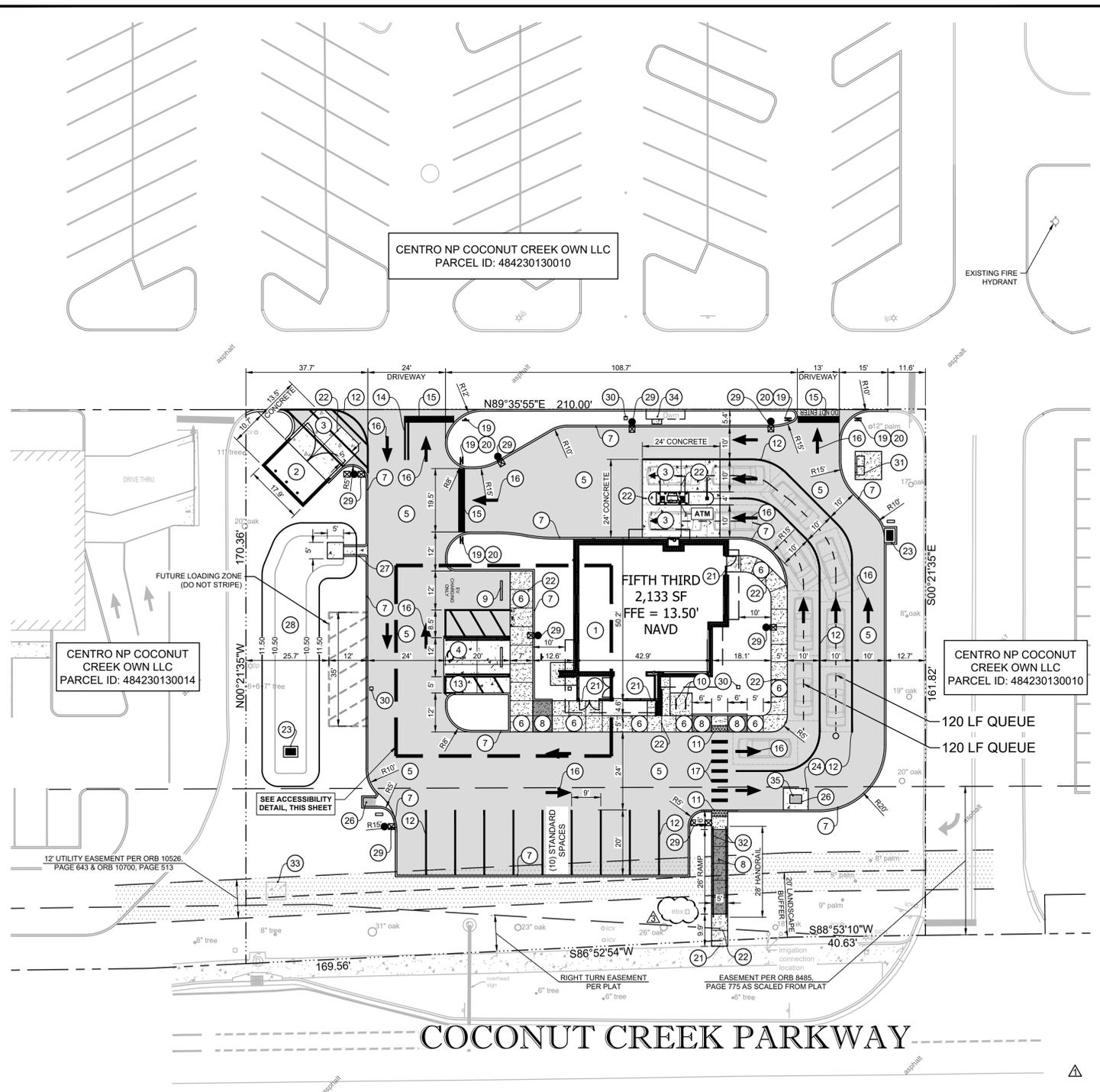
- Bioswals





FIFTH THIRD

Questions!

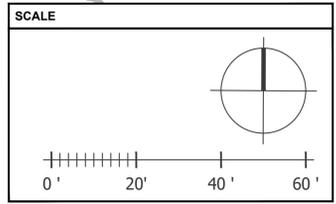


SITE PLAN GENERAL NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
2. EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
3. BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
4. ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
5. ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED.

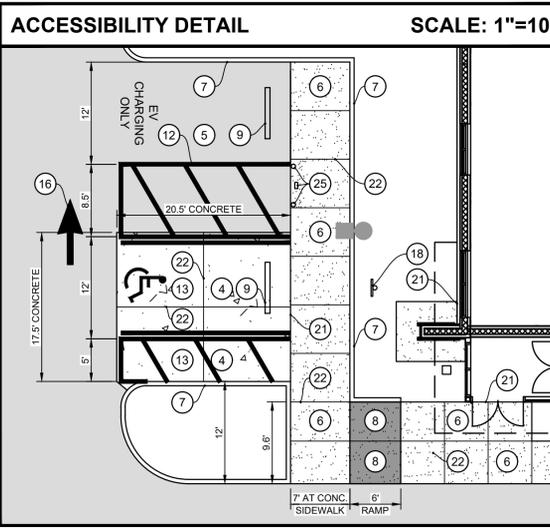
LANDSCAPE NOTE

1. CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
2. CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
3. CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.



KEYED NOTES

1	NEW BUILDING (SEE ARCHITECTURAL DRAWINGS).
2	NEW TRASH ENCLOSURE (SEE ARCHITECTURAL DRAWING).
3	NEW 6" CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
4	NEW 6" BLACKTINT CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
5	NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C05.01.
6	NEW 4" CONCRETE SIDEWALK. SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C05.01.
7	NEW TYPE "D" CURB PER CITY OF COCONUT CREEK STANDARD 635. SEE COCONUT CREEK DETAILS, SHEET C05.05.
8	NEW ADA RAMP. SEE DETAILS, SHEET C05.01.
9	NEW WHEEL STOP (TYPICAL OF 2). SEE DETAILS, SHEET C05.01.
10	NEW BICYCLE RACK. SEE DETAILS, SHEET C05.01.
11	NEW DETECTABLE WARNING. SEE DETAILS, SHEET C05.01.
12	NEW 6-INCH "WHITE" PARKING/AISLE STRIPE (CONTINUOUS PAINT).
13	NEW ACCESSIBLE PARKING SPACE AND ACCESS AISLE PER CITY OF COCONUT CREEK DETAIL 622. SEE COCONUT CREEK DETAILS, SHEET C05.05.
14	NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT).
15	NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
16	NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT). SEE DETAILS, SHEET C05.01.
17	NEW 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 36" O.C. (CONTINUOUS PAINT).
18	NEW ACCESSIBLE PARKING SIGN PER CITY OF COCONUT CREEK DETAIL 622. SEE COCONUT CREEK DETAILS, SHEET C05.05.
19	NEW 30" R1-1 "STOP" SIGN (TYPICAL OF 5). SEE DETAILS, SHEET C05.02.
20	NEW 30" R5-1 "DO NOT ENTER" SIGN (TYPICAL OF 4). SEE DETAILS, SHEET C05.02.
21	NEW EXPANSION JOINT. SEE DETAILS, SHEET C05.01.
22	NEW CONTROL JOINT. SEE DETAILS, SHEET C05.01.
23	NEW STORMWATER STRUCTURE. SEE STORM PIPING PLAN, SHEET C03.02.
24	NEW CONCRETE COLLAR. SEE DETAILS, SHEET C05.02.
25	NEW ELECTRICAL STUB-UP FOR FUTURE ELECTRIC VEHICLE (EV) CHARGING STATION WITH 4" BOLLARD(S). SEE ELECTRICAL SHEET FOR MORE DETAILS.
26	EXISTING STORMWATER STRUCTURE TO REMAIN.
27	NEW CONCRETE FLUME PER CITY OF COCONUT CREEK DETAIL 659. SEE COCONUT CREEK DETAILS, SHEET C05.05.
28	NEW RAIN GARDEN. REFER TO LANDSCAPE PLAN, SHEET LP.01.01.
29	NEW LIGHT POLE. SEE ELECTRICAL SITE PLAN.
30	NEW CLEANOUT CONCRETE PAD.
31	NEW PAD MOUNTED TRANSFORMER. SEE ELECTRICAL SITE PLAN.
32	NEW HANDRAIL (56 LF TOTAL). CONTRACTOR TO FIELD MEASURE PRIOR TO FABRICATION. SEE DETAILS, SHEET C05.02.
33	EXISTING TRANSFORMER TO REMAIN.
34	NEW BACKFLOW PREVENTER CONCRETE PAD.
35	EXISTING INLET TOP TO BE RAISED TO MATCH PROPOSED ELEVATION. SEE DETAILS, SHEET C05.02.



LEGEND

---	PROPERTY LINE
---	EXISTING TO REMAIN
▨	EXISTING CONCRETE TO REMAIN
▨	PROPOSED CONCRETE LESS THAN 6"
▨	PROPOSED CONCRETE 6" OR GREATER
▨	NEW ASPHALT PAVEMENT
---	SETBACK/BUFFER
---	PROPOSED CURB
---	PROPOSED CURB AND GUTTER

SITE DATA

SITE ADDRESS: 4805 COCONUT CREEK PARKWAY
COCONUT CREEK, FLORIDA 33063

PIN: 4842 30 13 0015

BUILDING AREA: 2,133 SF BUILDING

EXISTING ZONING: B-4 REGIONAL SHOPPING

SITE AREA: 34,758 SF / .80 AC

EXISTING USE: EXISTING RESTAURANT

FUTURE USE: BANK WITH DRIVE THRU

PARKING DATA

BANK PARKING REQUIRED: 1 SPACE PER 200' SF OF G.F.A.
2,133 SF x (1 / 200 SF) = 11 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING = 9 SPACES
ADA PARKING = 1 SPACE
EV PARKING = 2 SPACES
TOTAL PARKING PROVIDED = 12 SPACES

PARKING SPACE SIZE: 10' x 20' MINIMUM

DRIVE THROUGH QUEUE: 6 SPACES PER ATM LANE
6 SPACES PER TELLER LANE
10' x 18' QUEUE SIZE

LOADING ZONE: *NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.

LANDSCAPE REQUIREMENTS:

LANDSCAPE BUFFER - FRONT (COCONUT CREEK PARKWAY)	= 20'	REQUIRED
LANDSCAPE BUFFER - SIDE (EAST)	= 10'	
LANDSCAPE BUFFER - REAR	= 10'	

BUILDING REQUIREMENTS:

BUILDING SETBACK - FRONT (COCONUT CREEK PARKWAY)	= 150'	REQUIRED
BUILDING SETBACK - REAR	= 100'	
BUILDING SETBACK - SIDE	= 100'	
MAXIMUM BUILDING HEIGHT	= 72'	

FLOOD ZONE:

THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X", AND X "SHADED" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 120031, PANEL NUMBER 0355, SUFFIX H, EFFECTIVE AUGUST 18, 2014, FOR COCONUT CREEK, FLORIDA.

MATERIAL QUANTITIES

ASPHALT PAVEMENT	= 13,770 SF
CONCRETE SIDEWALK	= 1,380 SF
CONCRETE	= 1,120 SF
BLACKTINT CONCRETE	= 361 SF
CONCRETE CURB	= 990 LF

PRE SITE AREAS

AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	34,758	0.80	100%
BUILDING	4,130	0.09	12%
TOTAL IMPERVIOUS (INCLUDES BUILDING)	25,183	0.58	72%
TOTAL PERVIOUS (LS + DRY POND AREA)	9,575	0.22	28%

POST SITE AREAS

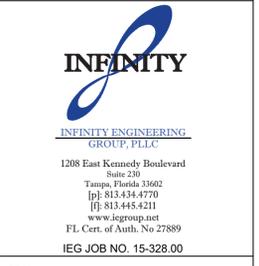
AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	34,758	0.80	100%
BUILDING	2,133	0.05	6%
TOTAL IMPERVIOUS (INCLUDES BUILDING)	19,704	0.45	57%
TOTAL PERVIOUS (LS + DRY POND AREA)	15,054	0.35	43%



400 N Ashley Drive, Suite 400 Tampa, FL 33602
P: 813-323-9233 Lic. #: AA-0003590 W: www.bdgflp.com



FIFTH THIRD BANK
COCONUT CREEK
 4805 COCONUT CREEK PARKWAY
 COCONUT CREEK, FLORIDA 33063



SEAL
NISIT SAPPARKHAO, P.E.
FL REG. NO. 64085

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ISSUE	BY	DATE	DESCRIPTION
△		09/05/24	PERMIT SET
△		12/20/24	DRC COMMENTS #1
△		06/25/25	DRC ROUND 4

PROJECT INFORMATION BLOCK
JOB # 230649
DATE: 09/05/24
DRAWN BY: IEG
CHECKED BY: IEG

SHEET TITLE
 SITE PLAN
SHEET NUMBER
 C02.01