



STILES
ARCHITECTURAL GROUP
Invest·Build·Manage

FL REG. # AA26001798

November 7th, 2022

**GUNTHER VOLKSWAGEN PMDD SITE
PLAN APPLICATION**

Gunther Motor Company (“Gunther”) is requesting development approval to allow expansion of its present Volvo facility to accommodate the inclusion of a Gunther Mitsubishi dealership with shared existing facilities. The current requests approval is for a 1,343-sf. addition to the existing Volvo dealership on the north-east side, the new building will have separate exterior access, but it’ll also have interior access to the existing Volvo Pre-Owned facility.

The Gunther Volkswagen PMDD is regulated by the requirements and guidelines of the MainStreet Design Standards. Prior development of the site is consistent with MainStreet objectives as outlined in the October 23, 2012 and followed by November 21st, 2016 letters which accompanied the site plan application for the construction of the two existing developments in this site. The expansion of the existing building into a Mitsubishi dealership facility keeps with the spirit of the MainStreet objectives as follows:

MainStreet Design Standards

The proposed PMDD is comprehensively planned, and the proposed expansion is consistent with the existing dealership operation and consistent with entitlements and intensity previous approved.

Open Space

The existing site consists of 41.4% open space. This exceeds the minimum PMDD requirement of 16% open space. The added building square footage is 1,343-sf., which constitutes a 0.002% open space reduction of the 17.963 acre site which remains within the PMDD open space requirement.

Building Expansion Design

- Use
The Gunther Motors property is located within the mixed-use transit MS-T sub-district. The existing automobile dealership use is considered as a special land use as in accordance with the Land Development Code.
- Density
The new expansion to the existing 11,842 S.F. Volvo Showroom and Office building consists of a new 1,343 S.F. Mitsubishi showroom and offices. The total square footage combining the existing and new expansion total 13,185 S.F.

- **Height**
The height of the addition is 16'-2". This height is well below the maximum height of 10 stories or 120' allowed in the MS-T sub-district.
- **Setback**
The setback of the new Mitsubishi building is 202'-5" from the property line along State Road 7 with an additional 50' greenway landscape buffer to the street.
- **Street Orientation**
The new Mitsubishi showroom is oriented towards State Road 7. The front façade consists of clear storefront within the showroom area flanked by clear punched windows on either side. Painted stucco finishes the façade.
- **Solar Orientation**
The new Mitsubishi showroom building is a rectangle shape with the longest sides facing east/west and the shortest sides facing north.
- **Shading**
The new Mitsubishi showroom building will consist of a new energy efficient storefront system and painted stucco surfaces.
- **Materials**
The new Mitsubishi showroom building will have a combination of stucco (exterior skin) and energy efficient storefront system.
- **Fenestration**
The new Mitsubishi showroom building consists of clear storefront system that has been specifically engineered to withstand Florida wind requirements.
- **Articulation**
The new Mitsubishi showroom building matches existing Pre-owned building height on the east and north facades, the west façade is lower to receive new gutter system, which also matches existing Pre-owned building height on this side.
- **Roof Tops**
The new Mitsubishi showroom building will have roof sloped towards the west side.

Sustainable and Green Components

Summary: The new Mitsubishi showroom building expansion is not expected to have any certifications, however it'll abide to green standards and there are many Green Globes components incorporated into the existing automobile dealership and the parking garage:

- **Alternative Transportation, Public Transportation Access**
The site is in close proximity to bus lines, thus providing opportunity for employees to ride the bus to and from work. It meets the intent and requirement of the Green Globes credit for alternative transportation.
- **Alternative Transportation, Bicycle Storage & Changing Rooms**
Bike racks, showers and changing facilities are existing in the current Volvo and Volkswagen dealership facilities to encourage employees to ride to work. Biking to work can improve employee health and fitness while alleviating traffic congestion. The new showroom will include a bike rack.
- **Heat Island Effect, Non-Roof**
The non-roof area will use materials with a solar reflectance of at least 29 to reduce local heat island to minimize micro climates and their effect on local habitat. There will be no new pavement with this addition.
- **Light Pollution Reduction**
The existing site lighting design reduces the amount of light at the site boundary. All existing fixtures are directed downward to avoid light pollution. No new light fixtures will be added with this new expansion.
- **Storage & Collection of Recyclables, Required**
Recycling bins are included in each new office space within the addition with capabilities of collecting paper. All building users will have access to existing recycling facilities in order to promote reuse of valuable resources.
- **Recycled Content, 10% (post-consumer + ½ pre-consumer)**
Project specifications will require pre- and post-consumer recycled materials. Gypsum board with high recycled content, cabinet work, concrete, ceiling tile, flooring, trim work, doors and office furniture can be obtained with high recycled content. Owner and the General Contractor, will work together to designate products which meet these characteristics and meet the design standards. Products with high recycled content alleviate the need for virgin materials and decrease the impact of manufacturing on landfills.
- **Regional Materials, 10% Extracted, Processed & Manufactured Regionally**
Project specifications will require regional materials to be used on this project. Owner and the General Contractor will work together to designate products which meet these characteristics and meet the design standards. Regional materials will be extracted, manufactured and processed within 500 miles of the job site in order to reduce the embodied energy required to obtain the materials on the job site.

- **Environmental Tobacco Smoke (ETS) Control, Required**
The building expansion shall be designated non-smoking. There are existing designated exterior smoking areas, these are located 25 feet away from entries, intakes and windows of the building.
- **Low-Emitting Materials, Adhesives & Sealants**
Products which meet low VOC standards will be specified for this project. In order to improve the indoor air quality for the life of the building, adhesives and sealants with no or low Volatile Organic Compounds will be required.
- **Low-Emitting Materials, Paints and Coatings**
Products which meet low VOC standards will be specified for this project. In order to improve the indoor air quality for the life of the building, paints with no or low Volatile Organic Compounds will be required.





SITE PLAN CHECK LIST

All items must be checked and addressed **BEFORE** submittal.

REQUIREMENT CHECKLIST		
	Checklist / Documents	File Name and Type SQ# - Sequential Numbers, see User Guide
GENERAL PART 1	<input type="checkbox"/> Pre-DRC meeting <i>prior</i> to submittal	
	<input type="checkbox"/> Gather Application information (Property info, agent info, etc.)	
SUPPORTING DOCUMENTS PART 2	<input type="checkbox"/> Letter of transmittal (list docs submitted) INCLUDE detail summary of request	Transmittal.pdf
	<input type="checkbox"/> Legal description (if current survey is not provided)	Legal Description.pdf
	<input type="checkbox"/> Proof of Ownership (BCPA, Bill of Sale, Warranty Deed)	Ownership.pdf
	<input type="checkbox"/> Agent authorization from property owner	Authorization.pdf
	<input type="checkbox"/> Description of developer interest, if different than owner	Developer Interest.pdf
	<input type="checkbox"/> Justifications statement demonstrating that the site plan meets the aesthetic design criteria as established in the City's Land Development Code Section 13-37 (<i>please see following page for form</i>)	Aesthetic Design.pdf
PLAN DOCUMENTS PART 3	<input type="checkbox"/> Signed and sealed survey	SQ#-SURV-Project Name.pdf
	<input type="checkbox"/> Recorded Plat (24x36)	SQ#-PLAT-Project Name.pdf
	<input type="checkbox"/> Site plan submissions shall be prepared in accordance with the standards established in the City's Land Development Code Section 13-548 "Required form and information on site plan," (1) through (4). Applicant shall follow these standards. Refer to Municode at the following link: http://library.municode.com/HTML/10928/level4/PTIICOOR_CH13LADECO_ARTIIIZORE_DIV5SIPLRERE.html#PTIICOOR_CH13LADECO_ARTIIIZORE_DIV5SIPLRERE_S13-547REPR	Refer to e-Plan User Guide for the proper naming and order
	<input type="checkbox"/> Sustainable Building requirements https://www.municode.com/library/FL/coconut_creek/codes/code_of_ordinances?nodeId=PTIICOOR_CH13LADECO_ARTIIIZORE_DIV2ZOCLGERE_S13-320GRBUCO	To be included in the site plan package
*** Refer to User Guide for the complete description for the proper File Naming Convention ***		
FEES		
	\$2000 Base fee	
	\$ 100 Per acre over 10 acres	





SITE PLAN AESTHETIC DESIGN CRITERIA

Please fill out the following in COMPLETE DETAIL, a restatement does not satisfy code requirements.

AESTHETIC DESIGN CRITERIA (Section 13-37)	
1.	<p><i>Harmonious and efficient organizations.</i> The site plan shall be organized harmoniously and efficiently in relation to topography, the size and type of plot, the character of adjoining property, and the type and size of buildings. The site will be developed to facilitate orderly development of surrounding property.</p> <p>The new Gunther building addition to the existing pre-owned building is a one story building that will be sensitive to the surrounding site by maintaining efficient vehicular circulation, human scale proportions and green principles. The site is already utilized as a car dealership.</p>
2.	<p><i>Preservation of natural state.</i> Desirable vegetation or other unique natural features shall be preserved in their natural state when practical. Tree and soil removal and filling of natural watercourses shall be minimized.</p> <p>The Gunther addition takes place within existing inventory parking area, minimally impacting existing green areas where connection to the existing building takes place.</p>
3.	<p><i>Enhancement of residential privacy.</i> The site plan shall provide reasonable visual and sound privacy for all adjacent dwelling units. Fences, walks, barriers and vegetation shall be arranged for protection and privacy.</p> <p>The site is located within the Forntage Road (perimeter) Greenway since it is on State Road 7. The building is on the northwest area of the site and faces a commercial plaza to the North, State Road 7 to the West, Mercedes Benz auto dealership to the South, and a retention area to the East.</p>
4.	<p><i>Emergency access.</i> Structures and other site features shall be arranged to permit practical emergency vehicle access to all sides of buildings.</p> <p>An emergency site plan study/simulation has been done to assure the ability of ingress and egress of emergency vehicles. Computer modeling and large prototypical municipality trucks have been used to create such simulation. Plan remain unchanged from when it was approved in 2016.</p>
5.	<p><i>Access to public ways.</i> Every structure and dwelling unit shall have access to a public street, walkway or other area dedicated to common use.</p> <p>The addition to the existing building uses the existing stained concrete sidewalk. (remains unchanged from when it was approved in 2016).</p>
6.	<p><i>Pedestrian circulation.</i> A pedestrian circulation system shall be provided which is separate from the vehicular circulation system.</p> <p>Existing sidewalks remain unchanged from when it was approved in 2016. Access to the new expansion uses these same access points.</p>
7.	<p><i>Design of access and egress drives.</i> The location, size, and numbers of ingress and egress drives to a site will be designed to minimize the negative impacts on public and private streets and on adjacent property.</p> <p>All existing access and egress drives are to remain from when it was approved in 2013.</p>
8.	<p><i>Coordination with off-site vehicular and pedestrian circulation systems.</i> The arrangement of rights-of-way or easements for vehicular and pedestrian circulation shall coordinate the pattern of existing and planned streets and pedestrian or bicycle pathways in the area.</p> <p>The existing twelve foot sidewalk along State Road 7 gives an ample and attractive path for pedestrians and bicyclists to move through the site to adjacent properties. The immediate landscape will remain unchanged from when it was approved in 2016.</p>
9.	<p><i>Stormwater control.</i> Protective measures shall ensure that removal of stormwater runoff will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made for construction of wastewater facilities including grading, gutters, and piping to direct stormwater and prevent erosion. Surface water on all paved areas shall be collected at intervals which do not obstruct vehicular or pedestrian traffic.</p> <p>Extensive use of pervious areas through the use of lanscape, pervious pavers, and a retention pond to the east of the property minimizes stormwater run-off and avoid minicipal drainage intact. This remains unchanged from when it was approved in 2016.</p>



10.	Exterior lighting. Location, type, size and direction of exterior lighting shall not glare or direct illumination which interferes with adjacent properties or safety of public rights-of-way.
	All existing exterior lights are shielded and directed downward to avoid light pollution. No additional light fixtures are required to meet required light levels. New building addition will not have new exterior lights.
11.	Protection of property values. Elements of a site plan shall be arranged to have minimum negative impact on values of adjoining property.
	The new addition is limited to the north side of the existing Pre-owned Volvo one-story building. The building will continue the existing Pre-owned Volvo one-story building's architectural elements, therefore not changing any existing aesthetics of the site and surrounding areas.

Gunther Volvo - Coconut Creek**Note: All responses to this checklist are to reflect efforts ABOVE minimum code requirements.**

LAND DEVELOPMENT CODE - Section 13-320: Green Building Construction	
GREEN STANDARDS	DESCRIPTION (description of use in development)
13-320(b)(1)	
LEED Accredited Professional	Project Manager: Adriana Murillo, LEED AP, Stiles Architectural Group
Sustainable Site Development	
Construction Pollution Prevention	The design team will develop a Construction Environmental Management Plan that will follow Green Globes existing certification.
Construction site materials recycling	The design team will follow existing Waste Management Plan as part of Green Globes existing certification.
Stormwater management	The project uses existing rain water collectors to minimize impact on sewer.
Alternative transportation	The project includes existing bike racks adjacent to the building
Minimizing heat island effect	Project will continue to utilize high albedo hardscape surfaces for its driveways. Also, we will use a high albedo roof system.
Water Efficiency	
Innovative water technologies	The project uses existing rain water collectors to minimize impact on sewer.
Water efficient	We will collect water from our on-site retention pond for irrigation.
Energy Efficiency	
Minimum energy performance	The project will have interior lighting sensors and an insulated laminated low-e glass storefront system.
On-site renewable energy	The project includes existing smart benches with solar panels at the front of the property.
Indoor Environmental Quality	
Indoor air quality	Low or no VOC paints. Storefront system will allow daylighting deep into spaces while maximizing views to the exterior.
Materials and Recycling	
Recycling of demolition waste	There's an existing waste management plan.
Storage and collection of recyclables post occupancy	There's an existing recycling program and adding recycling bins inside all new offices.
Building re-use	Existing building is Green Globes certified. New expansion will not be certified, however it'll follow Green Globes Design, Construction and Operation requirements.
Regional materials	Contractor to make a commitment of using local materials or extracted and transported within 500 miles
13-320(b)(3)	
Acknowledgement to maintain the green building components for the life of the building.	Alejandro Echeverri, Architect

GREEN PLAN ACTION ITEMS

ACTION ITEMS

DESCRIPTION (description of use in development)

<p>Action 1.6 – Ensure 100% of new development projects throughout the City contain <i>conspicuous displays of green technology</i> that function in the project design while providing a social, artistic, and environmental value.</p>	<p>The project includes two existing solar smart benches (includes solar panels) at the front of the property that allow pedestrians to charge their equipment creating an area of social interaction. The project includes two existing electric charging parking spaces at no extra cost to the consumer. Existing rain barrels collect storm water for gray water use.</p>
<p>Action 2.2 – Achieve 40% green roof coverage for new construction in MainStreet Project Area and 10% greenroof coverage for new construction for areas outside of MainStreet. (i.e. high albedo paint on roof)</p>	<p>The project will have a high albedo roof for the new addition.</p>
<p>Action 5.1 – Increase recycling throughout the City by 25% by 2014 and 50% by 2020.</p>	<p>Existing recycling program continue to be implemented.</p>
<p>Action 5.3 – Require all construction and demolition debris to divert 75% of waste from landfills.</p>	<p>Refer to note #14 on A-1.0</p>
<p>Action 6.2 – Bicycle parking on site</p>	<p>Existing bike racks are adjacent to the building.</p>
<p>Action 6.4 – Alternative vehicle parking.</p>	<p>There are two existing electric charging parking spaces.</p>

Note: All responses to this checklist are to reflect efforts ABOVE minimum code requirements.

Major Janitorial Service, Inc.
322 NE 1st Court
Dania Beach, FL 33004
954-648-6248 or 954-929-0227

December 9, 2022

Ref: Volvo at Coconut Creek

We have been cleaning the Gunther Volvo building with a Green Clean sustainable program ever since it has been open for business. I have personally completed cleaning seminars and received certificates in Green Cleaning and L.E.E.D. we are OSHA trained and compliant. We maintain a sanitizing for COVID certificate. I will attach some of the certificates that apply to this program.

Our cleaning program for the Gunther Volvo building consists of six days a week sanitizing during the day and deep cleaning seven nights a week. We have been directed to maintain the building using an Earth Friendly program. This is a brief outline of that program.

Cleaning chemicals and hand soap used in the facility are always **Green Certified**. Attached you will find the Spartan list. Below you will find the products from the attached list that we use in the Gunther Volvo building.

- 1) Clean by Peroxy-**Green Seal Certified** all purpose cleaner. Used on windows, mirrors, floors, walls carpets, restrooms, kitchens, tile and grout. It is formulated with peroxide.
- 2) Xcelente-**Green Seal Certified**-multi-purpose, hard surface cleaner, phosphate-free formula is used on floors and hard surfaces.
- 3) Trash can liners are recycled eco-friendly. They have a eco logo and DFE designation.
- 4) Hand soap is Lite N Foamy-**Green Seal Certified** bio-based foaming handwash formulated with ingredients made from renewable resources.
- 5) Biorenewables Glass Clearer-**Green Seal Certified**

Gunther allows us to order all the restroom supplies. At their direction we have always used tissue and hand towels that are 50% or more recycled with a Eco logo and DFE designation. The trash liners are used sparingly and carefully and have always been more than 50% recycled for better sustainability.

The daily Sanitizing Program consists of wiping all high touched areas. All horizontal surfaces and restrooms are sanitized daily with hospital grade HDQ and NABC both have the COVID protection claim.

We are continually improving this Earth friendly Green cleaning program with the balanced focus of helping the Earth and keeping those enjoying the Earth healthy. Hope this brief outline helps.

Kim Lewis Major
Major Janitorial SERVICE Inc.



Green Seal™, Inc. Proudly Presents Certification to Spartan Chemical Company, Inc.

Green Seal™, Inc. certifies that the following products comply with the Green Seal Standard for Cleaners for Industrial and Institutional Use (GS-37, 2011) and are licensed to use the Green Seal Certification Mark:

BioRenewables Glass Cleaner ♦ Clean by Peroxy All Purpose Cleaner ♦ Green Solutions All Purpose Cleaner
Green Solutions Carpet Cleaner ♦ Green Solutions Glass Cleaner ♦ Green Solutions Industrial Cleaner
Tribase Multi-Purpose Cleaner

(specific package sizes listed in certification letter)

Certified this 11th day of May, 2010.
Recertified the 13th day of January, 2012.

A handwritten signature in black ink, appearing to read "Mark T. Petruzzi".

Mark T. Petruzzi, Vice President of Certification



November 10, 2022

Mr. David Klaus
Gunther Motor Company
4300 N State Road 7
Coconut Creek, Florida 33073

**Re: Gunther Mitsubishi – Coconut Creek
Coconut Creek, Florida
Trip Generation Analysis**

Dear Mr. Klaus:

Kimley-Horn and Associates, Inc. has performed a trip generation analysis for the proposed modification of the existing automobile sales dealership located at 4350 North State Road 7 in Coconut Creek, Florida. The proposed modification consists of expanding the existing 11,842 square-foot building by 1,343 square feet. A site plan is provided in Attachment A.

A trip generation analysis was conducted using the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 11th Edition for the existing development and proposed redevelopment. The trip generation for the existing development and proposed redevelopment was determined using ITE Land Use Code (LUC) 840 (Automobile Sales [New]).

A multimodal (public transit, bicycle, and pedestrian) factor based on US Census *Means of Transportation to Work* data was reviewed for the census tract in the vicinity of the redevelopment. The US Census data indicated that there is a 0.2 percent (0.2%) multimodal factor within the vicinity of the redevelopment. It is expected that a portion of employees, patrons, and visitors will choose to walk, bike, or use public transit to and from the proposed redevelopment.

As shown in Table 1, the proposed redevelopment is expected to result in three (3) net new trips during the A.M. peak hour and three (3) net new trips during the P.M. peak hour. Detailed trip generation calculations are contained in Attachment B.

Table 1: Proposed Net New Trip Generation				
A.M. Peak Hour (P.M. Peak Hour)				
Land Use (ITE Code)	Scale	Entering Trips	Exiting Trips	Net New External Trips
<i>Existing Development</i>				
Automobile Sales [New] (840)	11,842 square feet	16 (17)	6 (25)	22 (42)
<i>Proposed Redevelopment</i>				
Automobile Sales [New] (840)	13,185 square feet	18 (18)	7 (27)	25 (45)
<i>Net New Redevelopment</i>				
Net New Vehicle Trips		2 (1)	1 (2)	3 (3)

Based on the number of trips generated by the proposed expansion, we do not believe that further study is needed for the redevelopment's traffic impact. If you have any questions regarding this analysis, please feel free to contact me.

Sincerely,

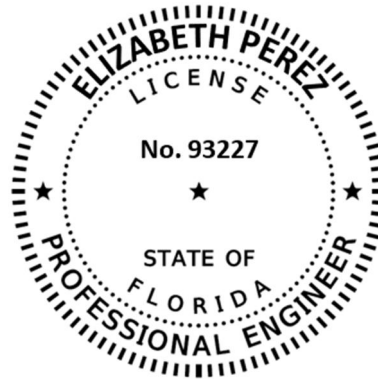
KIMLEY-HORN AND ASSOCIATES, INC.



Elizabeth Perez, P.E.

Attachments

- A – Site Plan
- B – Trip Generation Calculations

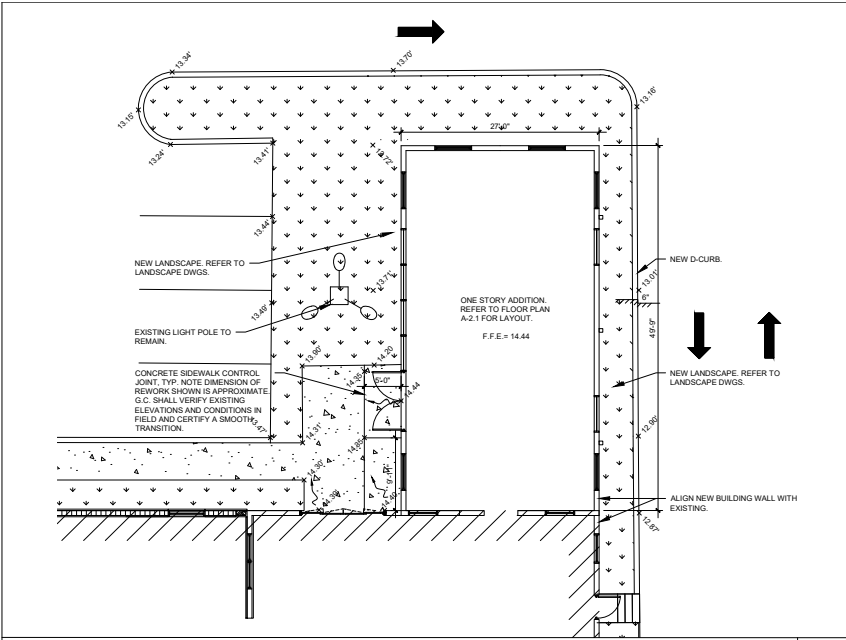


This item has been digitally signed and sealed by Elizabeth Perez, P.E. on November 10, 2022, using a Digital Signature.

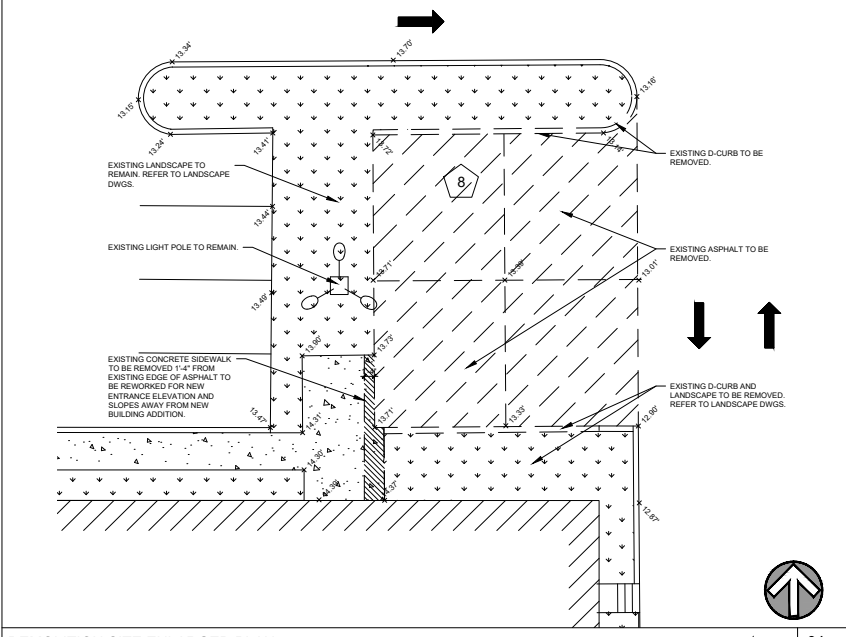
Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Elizabeth Perez, P.E.
Florida Registration Number 93227
Kimley-Horn and Associates, Inc.
8201 Peters Road
Plantation, Florida 33324

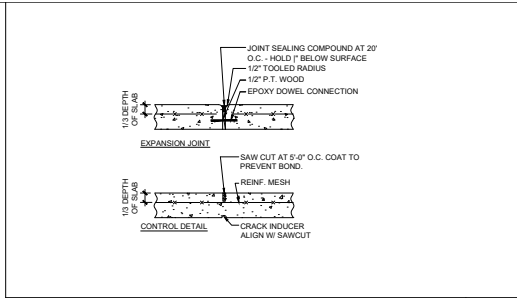
Attachment A
Site Plan



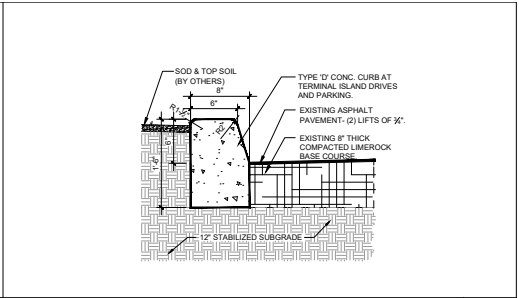
NEW SITE ENLARGED PLAN SCALE: 1/4"=1'-0" 05



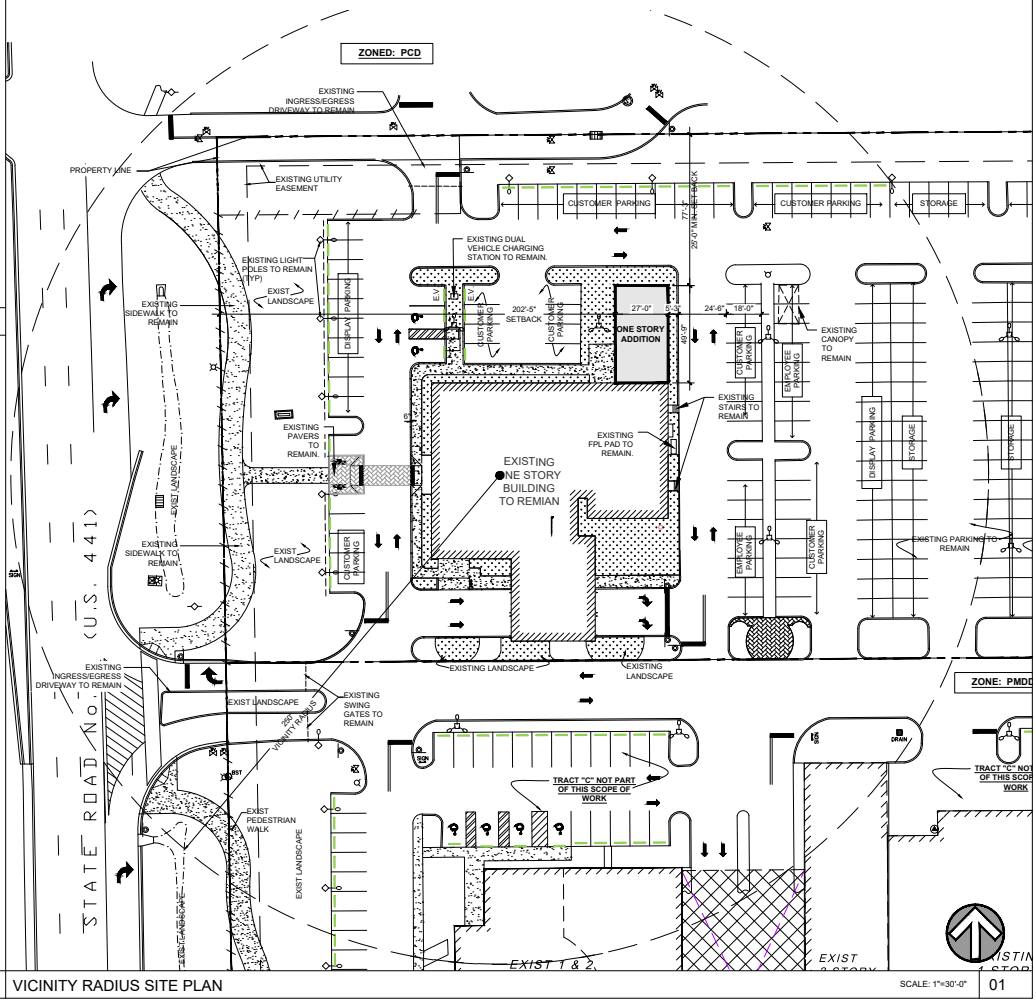
DEMOLITION SITE ENLARGED PLAN SCALE: 1/4"=1'-0" 04



CONCRETE SIDEWALK CONTROL JOINT DETAIL SCALE: 1"=1'-0" 03



D-CURB DETAIL SCALE: 1"=1'-0" 02



VICINITY RADIUS SITE PLAN SCALE: 1"=30'-0" 01

REVISIONS:

SEAL

CONSULTANT
KEVIN CRUZ
 FL Reg # 97952
 7/26/2022

STILLER ARCHITECTURAL GROUP
 201 East Las Olas Blvd
 Fort Lauderdale, Florida
 954 + 627- 9180 333031
 FL REG # AA-26001788

GUNTER MITSUBISHI COCONUT CREEK
 4350 NORTH STATE ROAD 7
 COCONUT CREEK, FL 33073

VICINITY RADIUS SITE PLAN

A-1.0

PROJECT NO.
74113
 DRAWN BY:
A.S.
 CHECKED BY:
A.H. P.C.
 DATE:
JULY 26, 2022

Attachment B
Trip Generation Calculations

AM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY AM PEAK HOUR TRIP GENERATION

	ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS					
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total			
						In	Out																					
GROUP 1	1	Automobile Sales (New)	11	840	11.842	ksf	73%	27%	16	6	22	0.2%	0	16	6	22	0.0%	0	16	6	22	0.0%	0	16	6	22		
	2																											
	3																											
	4																											
	5																											
	6																											
	7																											
	8																											
	9																											
	10																											
	11																											
	12																											
	13																											
	14																											
	15																											
		ITE Land Use Code	Rate or Equation		Total:		16	6	22	0.2%	0	16	6	22	0.0%	0	16	6	22	0.0%	0	16	6	22				
		840	Y=1.86(X)																									

PROPOSED WEEKDAY AM PEAK HOUR TRIP GENERATION

	ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS						
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total				
						In	Out																						
GROUP 2	1	Automobile Sales (New)	11	840	13.185	ksf	73%	27%	18	7	25	0.2%	0	18	7	25	0.0%	0	18	7	25	0.0%	0	18	7	25			
	2																												
	3																												
	4																												
	5																												
	6																												
	7																												
	8																												
	9																												
	10																												
	11																												
	12																												
	13																												
	14																												
	15																												
		ITE Land Use Code	Rate or Equation		Total:		18	7	25	0.2%	0	18	7	25	0.0%	0	18	7	25	0.0%	0	18	7	25					
		840	Y=1.86(X)																										

	IN	OUT	TOTAL
NET NEW TRIPS	2	1	3

PM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY PM PEAK HOUR TRIP GENERATION

	ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS					
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total			
						In	Out																					
GROUP 1	1	Automobile Sales (New)	11	840	11.842	ksf	40%	60%	17	25	42	0.2%	0	17	25	42	0.0%	0	17	25	42	0.0%	0	17	25	42		
	2																											
	3																											
	4																											
	5																											
	6																											
	7																											
	8																											
	9																											
	10																											
	11																											
	12																											
	13																											
	14																											
	15																											
		ITE Land Use Code	Rate or Equation		Total:		17	25	42	0.2%	0	17	25	42	0.0%	0	17	25	42	0.0%	0	17	25	42				
		840	Y=1.81*(X)+20.91																									

PROPOSED WEEKDAY PM PEAK HOUR TRIP GENERATION

	ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		BASELINE TRIPS			MULTIMODAL REDUCTION		GROSS TRIPS			INTERNAL CAPTURE		EXTERNAL VEHICLE TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS						
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total				
						In	Out																						
GROUP 2	1	Automobile Sales (New)	11	840	13.185	ksf	40%	60%	18	27	45	0.2%	0	18	27	45	0.0%	0	18	27	45	0.0%	0	18	27	45			
	2																												
	3																												
	4																												
	5																												
	6																												
	7																												
	8																												
	9																												
	10																												
	11																												
	12																												
	13																												
	14																												
	15																												
		ITE Land Use Code	Rate or Equation		Total:		18	27	45	0.2%	0	18	27	45	0.0%	0	18	27	45	0.0%	0	18	27	45					
		840	Y=1.81*(X)+20.91																										

	IN	OUT	TOTAL
NET NEW TRIPS	1	2	3

MEANS OF TRANSPORTATION TO WORK

Note: This is a modified view of the original table produced by the U.S. Census Bureau. This download or printed version may have missing information from the original table.

Census Tract 106.06, Broward County, Florida

Label	Estimate	Margin of Error
▼ Total:	4,302	±670
▼ Car, truck, or van:	3,931	±485
Drove alone	3,633	±486
▼ Carpooled:	298	±195
In 2-person carpool	276	±190
In 3-person carpool	22	±37
In 4-person carpool	0	±20
In 5- or 6-person carpool	0	±20
In 7-or-more-person carpool	0	±20
▼ Public transportation (excluding taxicab):	9	±16
Bus	0	±20
Subway or elevated rail	0	±20
Long-distance train or commuter rail	9	±16
Light rail, streetcar or trolley (carro público in Puerto Rico)	0	±20
Ferryboat	0	±20
Taxicab	13	±20
Motorcycle	0	±20
Bicycle	0	±20
Walked	0	±20
Other means	0	±20
Worked from home	349	±392

Multimodal Reduction: $(9)/4302 = 0.2\%$

Table Notes

MEANS OF TRANSPORTATION TO WORK

Survey/Program: American Community Survey

Universe: Workers 16 years and over

Year: 2020

Estimates: 5-Year

Table ID: B08301

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, for 2020, the 2020 Census provides the official counts of the population and housing units for the nation, states, counties, cities, and towns. For 2016 to 2019, the Population Estimates Program provides estimates of the population for the nation, states, counties, cities, and towns and intercensal housing unit estimates for the nation, states, and counties.

Source: U.S. Census Bureau, 2016-2020 American Community Survey 5-Year Estimates

2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: Change to Means of Transportation.

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.

Workers include members of the Armed Forces and civilians who were at work last week.

The 2016-2020 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Explanation of Symbols:

-

The estimate could not be computed because there were an insufficient number of sample observations. For a ratio of medians estimate, one or both of the median estimates falls in the lowest interval or highest interval of an open-ended distribution.

N

The estimate or margin of error cannot be displayed because there were an insufficient number of sample cases in the selected geographic area.

(X)

The estimate or margin of error is not applicable or not available.

median-

The median falls in the lowest interval of an open-ended distribution (for example "2,500-")

median+

The median falls in the highest interval of an open-ended distribution (for example "250,000+").

**

The margin of error could not be computed because there were an insufficient number of sample observations.

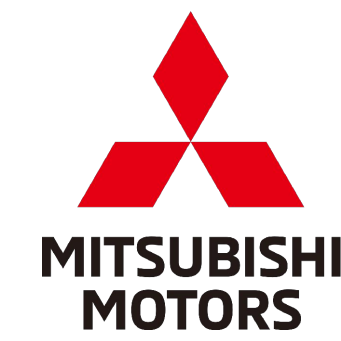
The margin of error could not be computed because the median falls in the lowest interval or highest interval of an open-ended distribution.

A margin of error is not appropriate because the corresponding estimate is controlled to an independent population or housing estimate. Effectively, the corresponding estimate has no sampling error and the margin of error may be treated as zero.

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

GUNTHER



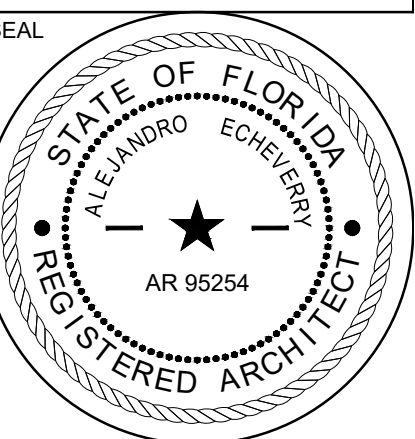
PRE-OWNED ADDITION: 4350 NORTH STATE ROAD 7 COCONUT CREEK, FL 33073

INDEX OF DRAWINGS

REVISIONS

NO.	DATE	DESCRIPTION
X	01-17-23	
X	11-09-22	
X	07-29-22	
X	X	CS-1 COVER SHEET
X	X	SHEET 1 OF 2 SURVEY
X	X	SHEET 2 OF 2 SURVEY
X	X	SP-1 MASTER SITE PLAN
X	X	A-1.0 PARTIAL SITE PLANS
X	X	A-1.1 SITE FIRE TRUCK PLAN
X	X	A-1.2 SITE DETAILS
X	X	A-1.3 SITE PHOTOMETRICS PLAN
X	X	A-2.1 FLOOR PLAN
X	X	A-2.2 EXTERIOR ELEVATIONS
X	X	A-7.1 SIGNAGE CRITERIA
X	X	LANDSCAPE ⁴
X	X	TD-1 TREE DISPOSITION PLAN
X	X	LA-1 LANDSCAPE PLAN
X	X	LA-2 LANDSCAPE DETAILS

REVISIONS:
4 OWNER CHANGED 01-16-23



CONSULTANT
ALEJANDRO ECHEVERRY
Fl Reg # 95254
1/17/2023

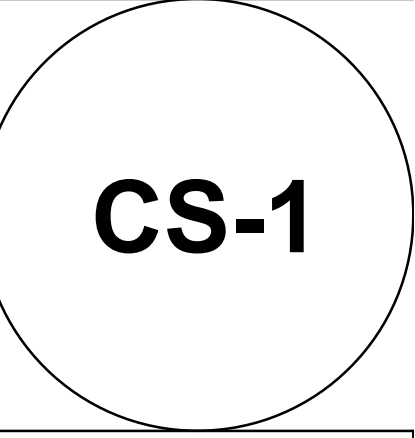
STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida
954 - 627- 9180 33301
FL. REG # AA-26001798



PRE-OWNED ADDITION
GUNTHER MITSUBISHI
COCONUT CREEK
4350 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073

PRE-OWNED ADDITION
GUNTHER MITSUBISHI
COCONUT CREEK
4350 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073

COVER SHEET



PROJECT NO. 74113
DRAWN BY: A.S.
CHECKED BY: A.M./K.C.
DATE: January 17, 2023

OWNER
GUNTHER MOTORS COMPANY
1660 SOUTH STATE ROAD 7
FORT LAUDERDALE, FL 33317
(954) 590-3820

ARCHITECT
STILES ARCHITECTURAL GROUP
301 E. LAS OLAS BLVD.
FT. LAUDERDALE, FL 33301
(954) 627-9180

LANDSCAPE ARCHITECTS
DIXIE LANDSCAPE
P.O. BOX 160328
MIAMI, FL 33116
(305) 884- 5700

MECHANICAL, ELECTRICAL, & PLUMBING ENGINEERS
SGM ENGINEERING
5805 BLUE LAGOON DRIVE
SUITE 285
MIAMI, FL 33126
(954) 421-1944

STRUCTURAL ENGINEER
BLANEY ENGINEERING INC.
1040 WOODCOCK ROAD,
SUITE 190
ORLANDO, FL 32803
(407) 894-9910

SURVEYOR
STONER & ASSOCIATES
4341 SOUTHWEST 62ND AVENUE
DAVIE, FLORIDA 33314
PH: (954) 585-0997
FAX: (954) 585-3927

LEGAL DESCRIPTION:
TRACT A AND TRACT C, WHITWORTH PLAT NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 164, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LAND DESCRIPTION

OCCUPANT LOADS BY GENDER
(REFER TO OCCUPANCY LOAD CALCULATIONS)

	OCCUPANT LOAD	# MALE	# FEMALE
BUSINESS	120	60	60
TOTAL	120	60	60

PLUMBING FIXTURE COUNT (FBC PLUMBING TABLE 403.1)

BUSINESS (B)

	WATER CLOSETS 1 PER 25 (1ST 50) 1 PER 50 (THEREAFTER)	LAVATORIES 1 PER 40 (1ST 80) 1 PER 80 (THEREAFTER)	DRINK FOUNTAIN 1 PER 100 (PER 410.1)	SERVICE SINK
REQUIRED	3	2	2	1
PROVIDED	3	3	2	1

CONSULTANTS

PLUMBING FIXTURE COUNT

APPLICABLE BUILDING CODES

BUILDING CODE: 2020 FLORIDA BUILDING CODE, 7TH EDITION
FIRE LIFE SAFETY CODE: 7TH EDITION FLORIDA FIRE PREVENTION CODE (INCLUSIVE OF NFPA 1 & NFPA 101, 2018 EDITION)
ACCESSIBILITY CODE: 2020 FLORIDA ACCESSIBILITY CODE
PLUMBING CODE: 2020 FLORIDA PLUMBING CODE
MECHANICAL CODE: 2020 FLORIDA MECHANICAL CODE
ELECTRICAL CODE: 2020 NATIONAL ELECTRICAL CODE

BUILDING TYPE
PER 2020 FLORIDA BUILDING CODE
SPRINKLER SYSTEM: NOT FIRE SPRINKLERED.

CONSTRUCTION TYPE
TYPE II-B (TABLE 503)

FIRE RESISTIVE RATING REQUIREMENTS:
STRUCTURAL FRAME: (TABLE 601)
EXTERIOR BEARING WALLS: 0 HR
INTERIOR BEARING WALLS: 0 HR
NON-BEARING EXTERIOR WALLS: 0 HR
FLOOR CONSTRUCTION: 0 HR
ROOF CONSTRUCTION: 0 HR
THIS ADDITION SHALL COMPLY WITH CHAPTER 11 (ADDITION) OF THE 2014 FBC EXISTING BUILDING CODE.

BUILDING OCCUPANCY TYPE:
BUSINESS - GROUP 'B' (MOTOR VEHICLE SHOWROOM) STORAGE - GROUP 'S1' (SERVICE DRIVE-UP)
MERCANTILE CLASS B (BUSINESS - INCIDENTAL USE PERMITTED AS PER FPPC 6.1.14.1.3)

OCCUPANCY FIRE SEPARATIONS
N/A

BUILDING LIMITATIONS:
ALLOWABLE AREA: (TABLE 503) BUSINESS (B) - 1 STORY / 23,000 SF
ACTUAL AREA: BUSINESS (EXISTING OFFICES & SHOWROOM) 11,842 S.F.
NEW OFFICES & SHOWROOM 1,343 S.F.
TOTAL = 13,185 S.F.
ALLOWABLE BUILDING HEIGHT: 110'-0"
ACTUAL BUILDING HEIGHT: 25'-7" TOP OF RAISED PARAPET (SHOWROOM)

INTERIOR FINISHES:
PER 2020 FLORIDA BUILDING CODE
WALLS & CEILINGS: MINIMUM INTERIOR FINISH: EXIT ENCLOSURES AND PASSAGEWAYS CLASS 'A' CORRIDORS CLASS 'B' ROOMS AND ENCLOSED SPACES CLASS 'C'
FLOORING: MINIMUM INTERIOR FINISH: EXIT ENCLOSURES AND PASSAGEWAYS CLASS 'I' CORRIDORS CLASS 'I' ROOMS AND ENCLOSED SPACES CLASS 'I'

PER 7th EDITION FLORIDA FIRE PREVENTION CODE
WALLS & CEILINGS: EXIT ENCLOSURES AND PASSAGEWAYS - OTHERS - MERC. A OR B A OR B
FLOORING: EXIT ENCLOSURES AND PASSAGEWAYS - OTHERS - MERC. I OR II NOT REQUIRED

LIFE SAFETY:
PER 2020 FLORIDA BUILDING CODE
MEANS OF EGRESS: ALLOWABLE OCCUPANT LOADS: BUSINESS 1 PERSON / 150 S.F. (TABLE 1004.1.1)
ACTUAL OCCUPANT LOADS: BUSINESS 13,185 / 150 = 88 OCC.

PER 7th EDITION FLORIDA FIRE PREVENTION CODE
MERCANTILE: 1 PERSON / 30 S.F. BUSINESS IN MERC. 1 PERSON / 150 S.F. (TABLE 7.3.1.2)
ACTUAL OCCUPANT LOADS: MERCANTILE 13,185 / 30 = 440 OCC (BUSINESS - INCIDENTAL USE PERMITTED AS PER FPPC 6.1.14.1.3)

MAXIMUM DEAD-END CORRIDOR: BUSINESS - 20 FT. (SECTION 1020.4)
MAXIMUM TRAVEL DISTANCE: BUSINESS - 200 FT. (TABLE 1017.2)
COMMON PATH LIMIT: BUSINESS - 75 FT. (1006.21)
EGRESS WIDTH PER OCCUPANT: 0.2 IN. LEVEL (TABLE 1005.1)
MIN. CORRIDOR WIDTH: 44 IN. (1017.2) MIN. CLEAR OPENING EXIT DOORS: 32 IN. (1008.1.1)

1st FLR. TOTAL EGRESS WIDTH REQUIRED: 88 OCCUPANTS X 0.2 IN. = 17.6 IN.
1st FLR. TOTAL EGRESS WIDTH PROVIDED: 400 IN. 5 DOORS (164") 2 DOUBLE DOORS IN SHOWROOM (144") 1 DOUBLE DOORS IN THIS ADDITION (92")

TOTAL EGRESS WIDTH REQUIRED: 440 OCCUPANTS X 0.2 IN. = 88 IN.
TOTAL EGRESS WIDTH PROVIDED: 400 IN. 5 DOORS (164") 2 DOUBLE DOORS IN SHOWROOM (144") 1 DOUBLE DOORS IN THIS ADDITION (92")

SITE PARKING CALCULATIONS:

REQUIRED PARKING	EXISTING AREA	PARKING REQUIRED	PROPOSED AREA	PARKING REQUIRED
VOLKSWAGEN SHOWROOM GENERAL OFFICE	1200 sq.ft.	6,642 = 34	6,642 = 34	6,642 = 34
PARTS STORAGE	1500 sq.ft.	11,779 = 24	11,779 = 24	11,779 = 24
SERVICE OFFICE	1300 sq.ft.	6,137 = 21	6,137 = 21	6,137 = 21
ADMINISTRATIVE OFFICES	1300 sq.ft.	6,952 = 23	6,952 = 23	6,952 = 23
SERVICE BAYS	1150 sq.ft.	35,056 = 234	35,056 = 234	35,056 = 234
VOLVO PRE-OWNED OFFICES	1300 sq.ft.	3,269 = 11	3,269 = 11	3,269 = 11
NEW SHOWROOM & OFFICES	1300 sq.ft.	8,573 = 29	8,573 = 29	8,573 = 29
MITSUBISHI NEW SHOWROOM & OFFICES	1300 sq.ft.	-	1,343 = 5	1,343 = 5
GRAND TOTAL		86,768	404	88,111

PROVIDED PARKING

EXISTING	PROPOSED
VOLKSWAGEN SURFACE PARKING: 288 (TOTAL) 88 CUSTOMER 46 DISPLAY 154 INVENTORY	288 (TOTAL) 88 CUSTOMER 46 DISPLAY 154 INVENTORY
PARKING GARAGE LEVEL 1: 83 CUSTOMER PARKING LEVEL 2: 175 INVENTORY (SHARED) LEVEL 3: 166 EMPLOYEE	83 CUSTOMER PARKING 175 INVENTORY (SHARED) 166 EMPLOYEE
VOLVO SURFACE PARKING: 415 (TOTAL) 52 CUSTOMER 16 EMPLOYEE 35 DISPLAY 312 INVENTORY (SHARED)	407 (TOTAL) 52 CUSTOMER 16 EMPLOYEE 27 DISPLAY 312 INVENTORY (SHARED)
TOTAL PARKING	1,127 PARKING SPACES
ACCESSIBLE PARKING	REQ. 8 PROVIDED 8
ELECTRIC RECHARGE PARKING (ER)	2 SPACES (PROVIDED)
BICYCLE PARKING	1 RACK PROVIDED @ 3 BICYCLES PER RACK = 3 BICYCLES

PARKING ANALYSIS

- JURISDICTION: CITY OF COCONUT CREEK, FLORIDA
- ADDRESS: 4350 NORTH STATE ROAD 7
- ZONING DESIGNATION: EXISTING PMDD
- OCCUPANCY: VOLVO: GROUP B (BUSINESS) - SHOWROOM/ OFFICES
VOLKSWAGEN: GROUP B (BUSINESS) - SHOWROOM/ OFFICES GROUP S-1 (STORAGE) - SERVICE/ PARKING GARAGE GROUP S-2 (STORAGE) - PARTS
MITSUBISHI: GROUP B (BUSINESS) - SHOWROOM/OFFICES
- CURRENT LAND USE: RAC
- LAND USE: TRANSIT ORIENTED CORRIDOR
- SITE AREA: GROSS SITE (TRACTS A & C) 770,742 (17.639 ACRES) PER SURVEY
PROVIDED: VOLVO: +25'-7" (1 STORY) TOP OF PARAPET
VOLKSWAGEN: (EXISTING) +43'-7" (T.O. PARKING GARAGE TOWER)
MITSUBISHI: +16'-2" (1 STORY) TOP OF PARAPET
- BUILDING HEIGHT: PROVIDED
- WATER SERVICE: CITY OF COCONUT CREEK
- SEWER SERVICE: CITY OF COCONUT CREEK

SITE CALCULATIONS - EXISTING & PROPOSED

GROSS SITE AREA	EXISTING	PROPOSED
770,742 SF (17.639 ACRES)		
SITE COVERAGES		
BUILDING FOOTPRINT	122,857 SF (15.9% OF SITE)	124,000 SF (15.9% OF SITE)
SIDEWALKS	24,915 SF (3.2% OF SITE)	24,968 SF (3.2% OF SITE)
VEHICULAR USE AREAS	304,101 SF (39.5% OF SITE)	302,705 SF (39.5% OF SITE)
TOTAL IMPERVIOUS AREA	451,873 SF (58.6% OF SITE)	451,873 SF (58.6% OF SITE)
ON-SITE LAKE	132,249 SF (17.2% OF SITE)	132,249 SF (17.2% OF SITE)
LANDSCAPE / GREEN AREA	186,820 SF (24.2% OF SITE)	186,820 SF (24.2% OF SITE)
TOTAL PERVIOUS AREA	319,069 SF (41.4% OF SITE)	319,069 SF (41.4% OF SITE)
GRAND TOTAL	770,742 SF 100%	770,742 SF 100%

OPEN SPACE CALCULATION
PROP. SITE TOTAL OPEN SPACE REQUIRED (16%) = 123,319 SF (2.831 AC.)
(INCLUDES ALL OF PLAT TRACTS 'A' & 'C' - TOTAL AREA OF 17.693 ACRES)

REQUIRED OPEN SPACE	ACRES	%	OPEN SPACE BONUS	ACRES	%
PARK & GREENWAY TRAIL (PERVIOUS AREA)	0.118	0.67	PARK & GREENWAY TRAIL	0.330	1.86
LANDSCAPE BUFFERS	1.180	6.67	PUBLIC PLAZA	0	0
OTHER PVIOUS AREAS / GREEN ROOFTOPS	2.903	16.62	PUBLIC GATHERING AREA	0	0
WATER BODIES			OUTDOOR PUBLIC RECREATION	0	0
WIDTH GREATER THEN 100 FEET = 100% CREDIT	3.036	17.2	WATER BODIES - 100%		
WIDTH GREATER THEN 60 FEET = 50% CREDIT	0	0	(WIDTH LESS THEN 60 FEET WITH PEDESTRIAN SIDEWALK/BRIDGES)	0	0
WIDTH LESS THEN 60 FEET = 0% CREDIT	0	0	TOTAL (PROVIDED)	0.330	1.86
TOTAL (PROVIDED)	7.313	41.34			

BUILDING SITE SETBACK DATA

YARD SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	100'	113.47'
NORTH SIDE	25'	374.70'
SOUTH SIDE	25'	91.9'
REAR	25'	484.92'

SITE ANALYSIS - CONT'D

LOCATION MAP

BUILDING CODE ANALYSIS

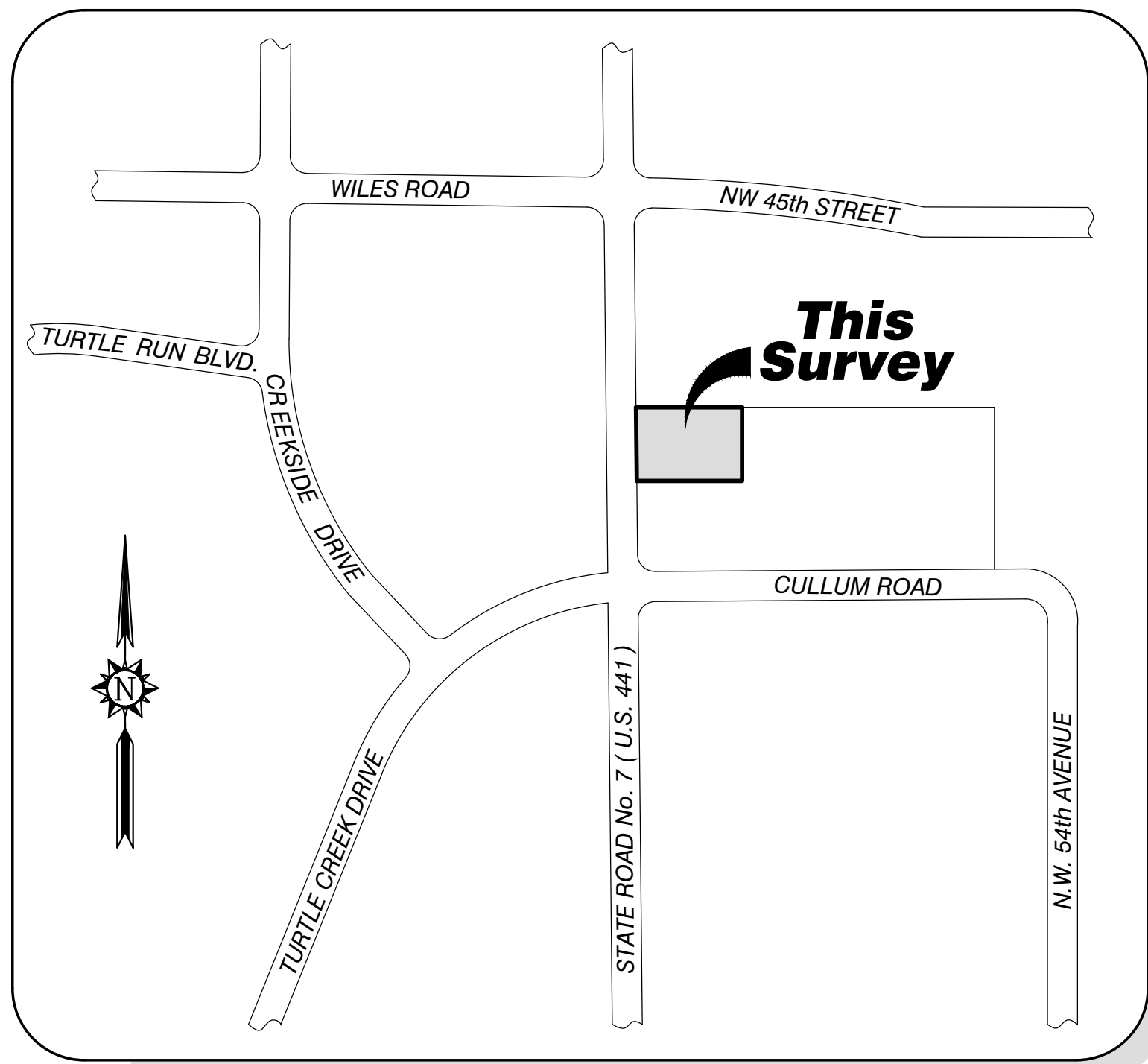
SITE ANALYSIS

LOCATION MAP

SKETCH OF TOPOGRAPHIC AND SPECIFIC PURPOSE (TREE) SURVEY

TREE TABLE			
TREE ID#	COMMON NAME	TRUNK DIAMETER	COMMENTS
4351	QUEEN PALM	8"	
4352	QUEEN PALM	8"	
4353	QUEEN PALM	10"	
4354	QUEEN PALM	8"	
4355	QUEEN PALM	8"	
4356	OAK TREE	14"	
4357	OAK TREE	14"	
4517	UNKNOWN TREE	4"	
4543	UNKNOWN TREE	8"	
4545	UNKNOWN TREE	8"	
4546	UNKNOWN TREE	16"	
4547	UNKNOWN TREE	14"	
4550	QUEEN PALM	8"	
4551	QUEEN PALM	6"	
4552	QUEEN PALM	10"	
4553	QUEEN PALM	8"	
4554	QUEEN PALM	10"	
4555	QUEEN PALM	8"	
4556	UNKNOWN TREE	12"	
4557	OAK TREE	16"	
4558	OAK TREE	12"	
4559	UNKNOWN TREE	24"	
4560	OAK TREE	14"	
4561	UNKNOWN TREE	18"	
4562	OAK TREE	14"	
4563	UNKNOWN TREE	24"	
4564	UNKNOWN TREE	8"	
4565	OAK TREE	20"	
4566	UNKNOWN TREE	24"	
4567	OAK TREE	12"	
4568	UNKNOWN TREE	26"	
4576	OAK TREE	7"	
4577	OAK TREE	8"	
4578	OAK TREE	8"	
4579	OAK TREE	9"	
4580	UNKNOWN TREE	5"	
4581	UNKNOWN TREE	6"	
4582	OAK TREE	7"	
4583	OAK TREE	6"	
5096	OAK TREE	8"	
5097	OAK TREE	8"	
5098	ROYAL PALM	14"	
5099	OAK TREE	8"	
5104	UNKNOWN TREE	8"	
5105	QUEEN PALM	6"	
5106	QUEEN PALM	12"	
5107	QUEEN PALM	8"	
5108	UNKNOWN TREE	8"	
5176	OAK TREE	8"	
5177	ROYAL PALM	14"	
5178	OAK TREE	8"	
5182	UNKNOWN TREE	12"	
5274	UNKNOWN TREE	13"	
5275	QUEEN PALM	6"	
5276	QUEEN PALM	8"	
5277	QUEEN PALM	8"	
5278	QUEEN PALM	8"	
5279	QUEEN PALM	6"	
5280	QUEEN PALM	8"	
5281	QUEEN PALM	8"	
5282	QUEEN PALM	8"	

TREE TABLE			
TREE ID#	COMMON NAME	TRUNK DIAMETER	COMMENTS
5283	QUEEN PALM	8"	
5284	ROYAL PALM	14"	
5285	ROYAL PALM	14"	
5286	ROYAL PALM	16"	
5287	ROYAL PALM	12"	
5288	ROYAL PALM	10"	
5289	UNKNOWN PALM (CLUSTER)	6"	
5290	UNKNOWN PALM (CLUSTER)	6"	
5291	UNKNOWN PALM	6"	
5305	UNKNOWN PALM (CLUSTER)	6"	
5306	UNKNOWN PALM (CLUSTER)	8"	
5310	UNKNOWN PALM	8"	
5311	UNKNOWN PALM	6"	
5312	UNKNOWN PALM	8"	
5313	UNKNOWN PALM	8"	
5363	UNKNOWN PALM (CLUSTER)	6"	
5446	UNKNOWN PALM (CLUSTER)	8"	
5447	UNKNOWN PALM (CLUSTER)	6"	
5448	UNKNOWN TREE (CLUSTER)	4"	
5449	UNKNOWN TREE (CLUSTER)	4"	
5482	CUBAN BELLY PALM	16"	
5483	SABAL PALM	16"	
5484	SABAL PALM	16"	
5485	SABAL PALM	16"	
5486	SABAL PALM	18"	
5487	SABAL PALM	16"	
5512	UNKNOWN PALM (CLUSTER)	4"	
5513	UNKNOWN PALM (CLUSTER)	4"	
5514	UNKNOWN PALM	4"	
5515	UNKNOWN PALM	4"	
5516	UNKNOWN PALM (CLUSTER)	6"	
5517	UNKNOWN TREE	10"	
5518	CUBAN BELLY PALM	14"	
5519	CUBAN BELLY PALM	16"	
5520	CUBAN BELLY PALM	12"	
5521	CUBAN BELLY PALM	14"	
5522	CUBAN BELLY PALM	16"	
5523	UNKNOWN TREE	6"	
5561	UNKNOWN TREE (CLUSTER)	4"	
5562	UNKNOWN TREE (CLUSTER)	4"	
5563	UNKNOWN TREE (CLUSTER)	4"	
5564	COCONUT PALM	12"	
5565	SABAL PALM	14"	
5566	SABAL PALM	16"	
5567	SABAL PALM	14"	
5568	SABAL PALM	14"	
5569	SABAL PALM	16"	
5580	UNKNOWN TREE	4"	
5581	UNKNOWN PALM	6"	
5582	UNKNOWN PALM	10"	
5583	UNKNOWN PALM	6"	
5584	UNKNOWN PALM	6"	
5585	UNKNOWN PALM	8"	
5586	UNKNOWN PALM	10"	
5587	UNKNOWN PALM	6"	
5588	UNKNOWN PALM	8"	
5589	UNKNOWN PALM	10"	
5590	CHRISTMAS PALM	4"	
5591	CHRISTMAS PALM	4"	
5626	UNKNOWN PALM	8"	
5627	UNKNOWN PALM	12"	
5628	UNKNOWN PALM	8"	



Location Map
NOT TO SCALE

SURVEY NOTES:

- THIS SKETCH OF TOPOGRAPHIC AND SPECIFIC PURPOSE (TREE) SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR SURVEYING ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL EMBOSSED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THIS SURVEY HAS BEEN DELIVERED IN PORTABLE DOCUMENT FORMAT (PDF) AND DIGITALLY SIGNED AND SEALED, A VALID SERIAL NUMBER MUST BE PRESENT FOR THE SURVEY TO BE CONSIDERED VALID.
- BOUNDARY LINES AND RIGHT-OF-WAY LINES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE BASED ON PLATS AND/OR RIGHT-OF-WAY MAPS OF RECORD. THIS SKETCH OF SURVEY DOES NOT REPRESENT A SURVEY OF THE BOUNDARY OR RIGHT OF WAY LINES.
- A SEARCH OF THE PUBLIC RECORDS FOR OWNERSHIP, EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS OF RECORD WAS NOT PERFORMED BY STONER & ASSOCIATES, INC. THERE MAY BE ADDITIONAL INFORMATION RECORDED IN THE PUBLIC RECORDS THAT IS NOT SHOWN HEREON. FOR FURTHER INFORMATION, CONTACT A QUALIFIED TITLE COMPANY OR CONSULT THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- THE ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN OF 1988 (NAV88), ESTABLISHED FROM BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK NO. 3201, ELEVATION = 13.628'.
 - NPIC COMMUNITY NAME & COMMUNITY NUMBER: COCONUT CREEK 120031
 - COUNTY NAME: BROWARD COUNTY
 - STATE OF FLORIDA
 - MAP/PANEL NUMBER: 12011C0165
 - SUFFIX: H
 - FIRM INDEX DATE: AUGUST 18, 2014
 - FIRM PANEL EFFECTIVE/REVISED DATE: AUGUST 18, 2014
 - FLOOD ZONE: X
 - BASE FLOOD ELEVATION: NONE
- THE FLOOD ZONE INFORMATION SHOWN HEREON IS BASED UPON THE CURRENT PUBLISHED FLOOD INSURANCE RATE MAP (FIRM) ON THE DATE THIS SURVEY WAS PREPARED. THE DATA CONTAINED IN THE FIRM MAP IS SUBJECT TO CHANGE WITHOUT NOTICE. THE FLOOD ZONE BOUNDARIES (WHEN SHOWN) ARE APPROXIMATE, BASED ON DIGITAL FIRM PANEL MAP IMAGE. FOR THE LATEST FLOOD ZONE INFORMATION CONSULT THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) OR YOUR LOCAL GOVERNMENTAL BUILDING DEPARTMENT.
- CERTAIN FEATURES ARE REPRESENTED BY THE SYMBOLS REFLECTED IN THIS MAP. THE LEGEND OF FEATURES MAY HAVE BEEN ENLARGED FOR CLARITY AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE. THE SYMBOLS HAVE BEEN PLOTTED AT THE APPROXIMATE CENTER OF THE FEATURE BASED UPON THE FIELD LOCATION.
- THIS SKETCH IS INTENDED TO BE DISPLAYED AT A HORIZONTAL SCALE OF 1 INCH = 20 FEET.
- THE HORIZONTAL ACCURACY FOR WELL DEFINED IMPROVEMENTS DEPICTED ON THIS SKETCH IS ONE-TENTH (0.1' ±) OF A FOOT, PLUS OR MINUS. THE VERTICAL (ELEVATIONS) ACCURACY FOR WELL DEFINED IMPROVEMENTS, FEATURES, AND SURFACES DEPICTED ON THIS SURVEY IS TWO-TENTHS (0.2' ±) OF A FOOT, PLUS OR MINUS.
- HEDGES, GROUND COVER, AND OTHER LANDSCAPE FEATURES ARE NOT SHOWN HEREON, UNLESS OTHERWISE NOTED.
- IRRIGATION FEATURES, SUCH AS SPRINKLERS, ARE NOT SHOWN HEREON.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF FENCES AND WALLS.
- SUBSURFACE FEATURES ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION, OR EXCAVATION CONTACT 811 AND/OR THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- THE EXTERIOR BUILDING DIMENSIONS SHOWN HEREON REPRESENT THE OVERALL SIZE OF THE BUILDING (FOOTPRINT). SUBSURFACE BUILDING FOOTINGS AND SUPPORTS WERE NOT LOCATED. CERTAIN ARCHITECTURAL FEATURES MAY NOT BE SHOWN ON THE SURVEY. ROOF OVERHANGS ARE NOT SHOWN UNLESS OTHERWISE NOTED. BUILDING DIMENSIONS AND BUILDING SETBACKS ARE SHOWN ROUNDED TO THE NEAREST ONE-TENTH (0.1) OF A FOOT. BEFORE DESIGN OF IMPROVEMENTS CRITICAL DIMENSIONS SHOWN BE CONFIRMED.
- THE DIMENSIONS SHOWN HEREON ARE BASED UPON U.S. SURVEY FEET AND FRACTIONAL PARTS THEREOF.
- THE SURVEYOR DID NOT INSPECT THIS PROPERTY FOR ENVIRONMENTAL HAZARDS.
- THE INFORMATION DEPICTED ON THIS SKETCH OF SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED ON THE BORDER OF THE DRAWING AND CAN ONLY BE CONSIDERED VALID FOR THIS DATE AND INDICATES THE GENERAL CONDITIONS EXISTING AT THE TIME OF THE FIELD SURVEY.
- THIS SKETCH OF SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THOSE PERSONS OR ENTITIES CERTIFIED TO HEREON. ADDITIONS OR DELETIONS TO THIS SURVEY AND/OR REPORTS BY PEOPLE OR PERSONS OTHER THAN THE SIGNING PARTIES ARE PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY STONER & ASSOCIATES, INC. (S&A). S&A HAS TAKEN PRECAUTIONS TO ENSURE THE ACCURACY OF THIS DOCUMENT AND THE DATA REFLECTED HEREIN. S&A CANNOT NOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE TO THE DATA CONTAINED IN THIS DOCUMENT BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. S&A MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT S&A FOR VERIFICATION OF ACCURACY.

TREE SURVEY NOTES:

- THIS FIRM HAS IDENTIFIED THE VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. FOR POSITIVE IDENTIFICATION OF TREE SPECIES A QUALIFIED LANDSCAPE ARCHITECT OR BOTANIST SHOULD BE CONSULTED. TREES THREE (3') CALIPER INCHES OR LARGER, WHEN MEASURED AT BREAST HEIGHT, ARE SHOWN ON THE SURVEY DRAWING. HEDGES AND GROUND COVER ARE NOT SHOWN THE SURVEY DRAWING. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER, AND AUSTRALIAN PINE ARE NOT SHOWN ON THE SURVEY DRAWING.
- CLUSTERS OF TREES ARE SHOWN GROUPED WITH AN APPROXIMATION OF THE TOTAL NUMBER OF TREES LOCATED WITHIN THE GROUP.
- THE CANOPY DIAMETER AND SPREAD ARE NOT SHOWN HEREON, UNLESS INDICATED OTHERWISE.



ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAV88)

CERTIFIED TO:

GUNTHER MOTOR COMPANY

SURVEYOR'S CERTIFICATE:

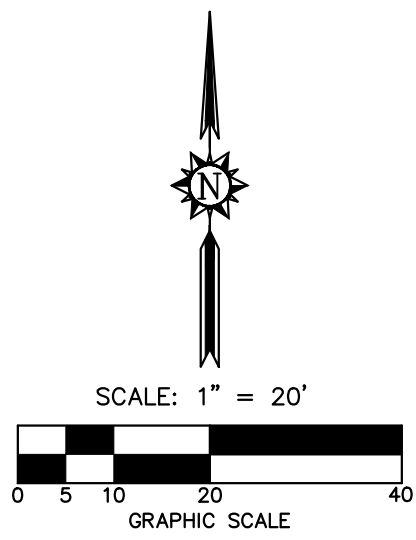
THIS IS TO CERTIFY THAT THIS SKETCH OF TOPOGRAPHIC AND SPECIFIC PURPOSE (TREE) SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

DATE OF SIGNATURE: 7.11.2022

JAMES D. STONER
PROFESSIONAL SURVEYOR AND MAPPER NO. 4039
STATE OF FLORIDA
STONER AND ASSOCIATES, INC. L.B. 6633
jstoner@stonersurveyors.com

DATE	BY	REVISION	NO.
TEL: (954) 585-0997 WWW.STONERSURVEYORS.COM STONER SURVEYORS & MAPPERS Licensed Business No. 6633 4341 S.W. 62nd AVENUE, DAVIE, FLORIDA 33314			
SKETCH OF TOPOGRAPHIC AND SPECIFIC PURPOSE (TREE) SURVEY GUNTHER VOLVO SITE 4350 N STATE ROAD 7 CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA			
LAST DATE OF FIELD SURVEY	DRAWN: DJL	CHECKED: DMS	BOOK/PAGE(S): 1136/26-29
			& DATA COLLECTOR
SEAL			
PROJECT 12-7798			
SHEET NO. 1 OF 2			

SKETCH OF TOPOGRAPHIC AND SPECIFIC PURPOSE (TREE) SURVEY



STATE ROAD No. 7 (U.S. 441)

NORTH BOUND

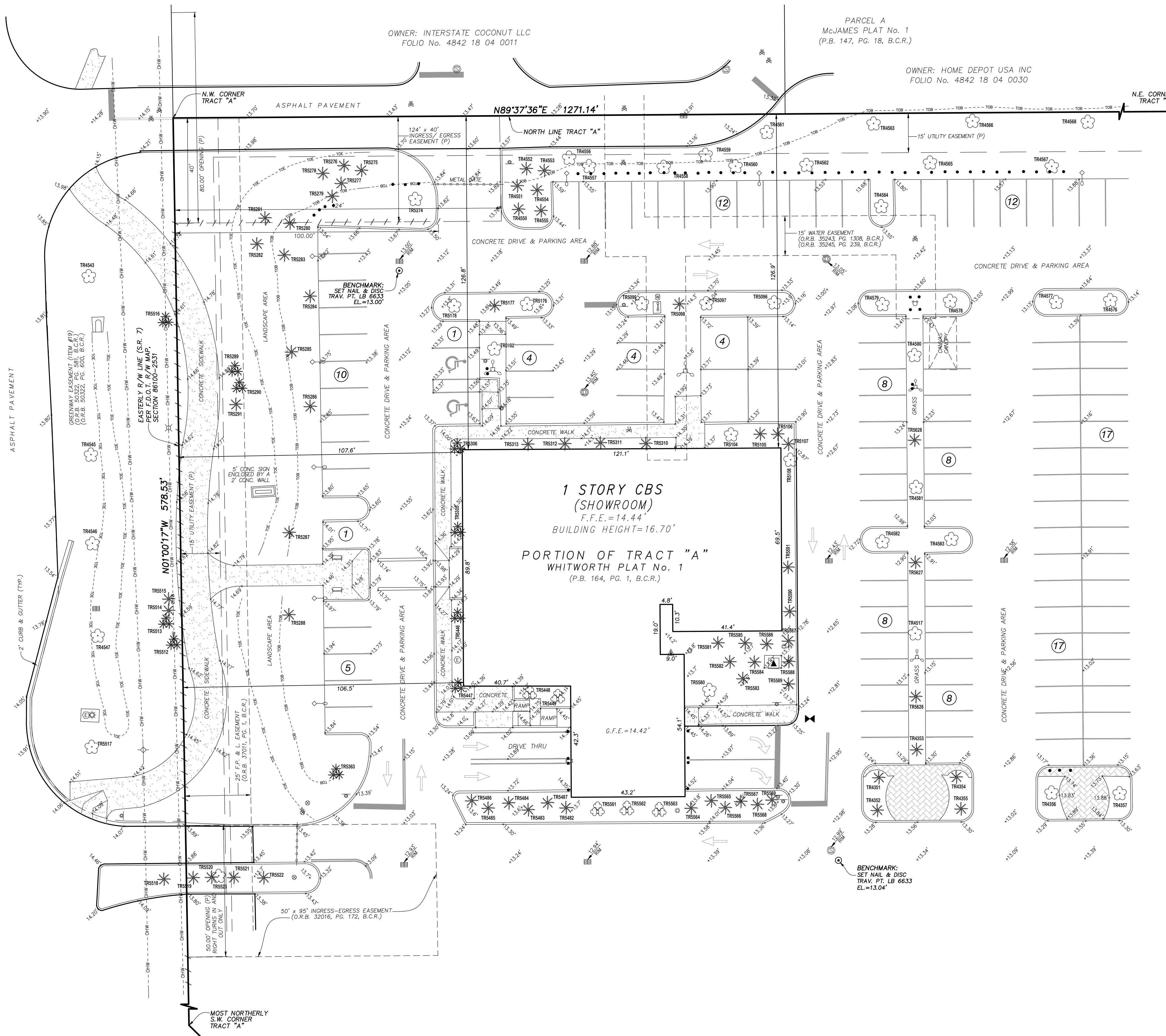
ASPHALT PAVEMENT

ABBREVIATIONS

- B.C.R. BROWARD COUNTY RECORDS
- C CENTER LINE
- CONC. CONCRETE
- EL. ELEVATION
- F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
- F.F.E. FINISHED FLOOR ELEVATION
- G.F.F. GARAGE FINISHED FLOOR ELEVATION
- ID. IDENTIFICATION
- LB LICENSED BUSINESS
- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- PG. PAGE
- R/W RIGHT-OF-WAY
- TRAV. PT. TRAVERSE POINT
- TR5283 TREE 5283 (REFER TO TREE TABLE)
- (P) PER PLAT OF RECORDS
- SPOT ELEVATION
- OVERHEAD WIRES
- TOP OF BANK
- TOE OF SLOPE
- NON-VEHICULAR ACCESS LINE
- BREAK IN LINE SCALE

LEGEND

- BACK FLOW PREVENTER
- BENCH
- BOLLARD
- CATCH BASIN
- CLEANOUT
- CONCRETE POWER LIGHT POLE
- CONCRETE POWER LIGHT POLE
- CONCRETE POWER POLE
- ELECTRIC PANEL
- FAUCET / SPIGOT
- FIRE HYDRANT
- HANDICAP PARKING
- MAIL BOX
- STORM DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- METAL LIGHT POLE
- METAL POST
- PALM
- PALM CLUSTER
- SINGLE SUPPORT SIGN
- TREE
- TRANSFORMER ON PAD
- UNKNOWN VALVE
- WATER VALVE
- ELECTRIC WIRE PULL BOX
- WOOD POWER POLE
- NUMBER OF PARKING SPACES



OWNER: INTERSTATE COCONUT LLC
FOLIO No. 4842 18 04 0011

PARCEL A
McJAMES PLAT No. 1
(P.B. 147, PG. 18, B.C.R.)

OWNER: HOME DEPOT USA INC
FOLIO No. 4842 18 04 0030

1 STORY CBS
(SHOWROOM)
F.F.E.=14.44'
BUILDING HEIGHT=16.70'
PORTION OF TRACT "A"
WHITWORTH PLAT No. 1
(P.B. 164, PG. 1, B.C.R.)

BENCHMARK:
SET NAIL & DISC
TRAV. PT. LB 6633
EL.=13.04'

NO.	REVISION	DATE	BY:

TEL (954) 585-0997
WWW.STONERSURVEYORS.COM

STONER
SURVEYORS & MAPPERS
Licensed Business No. 6633

4341 S.W. 62nd AVENUE, DAVIE, FLORIDA 33314

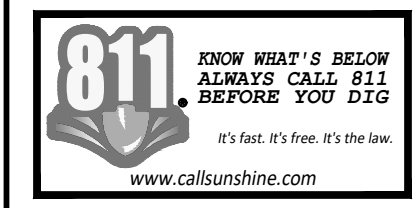
SKETCH OF TOPOGRAPHIC AND
SPECIFIC PURPOSE (TREE) SURVEY
GUNTHER VOLVO SITE
4350 N STATE ROAD 7
CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

LAST DATE OF FIELD SURVEY	06/28/22
DRAWN: DRL	
CHECKED: DMS	
BOOK/PAGES(S)	1106/26-29
& DATA COLLECTOR	

JAMES D. STONER
PROFESSIONAL SURVEYOR
AND MAPPER NO. 42339
STATE OF FLORIDA

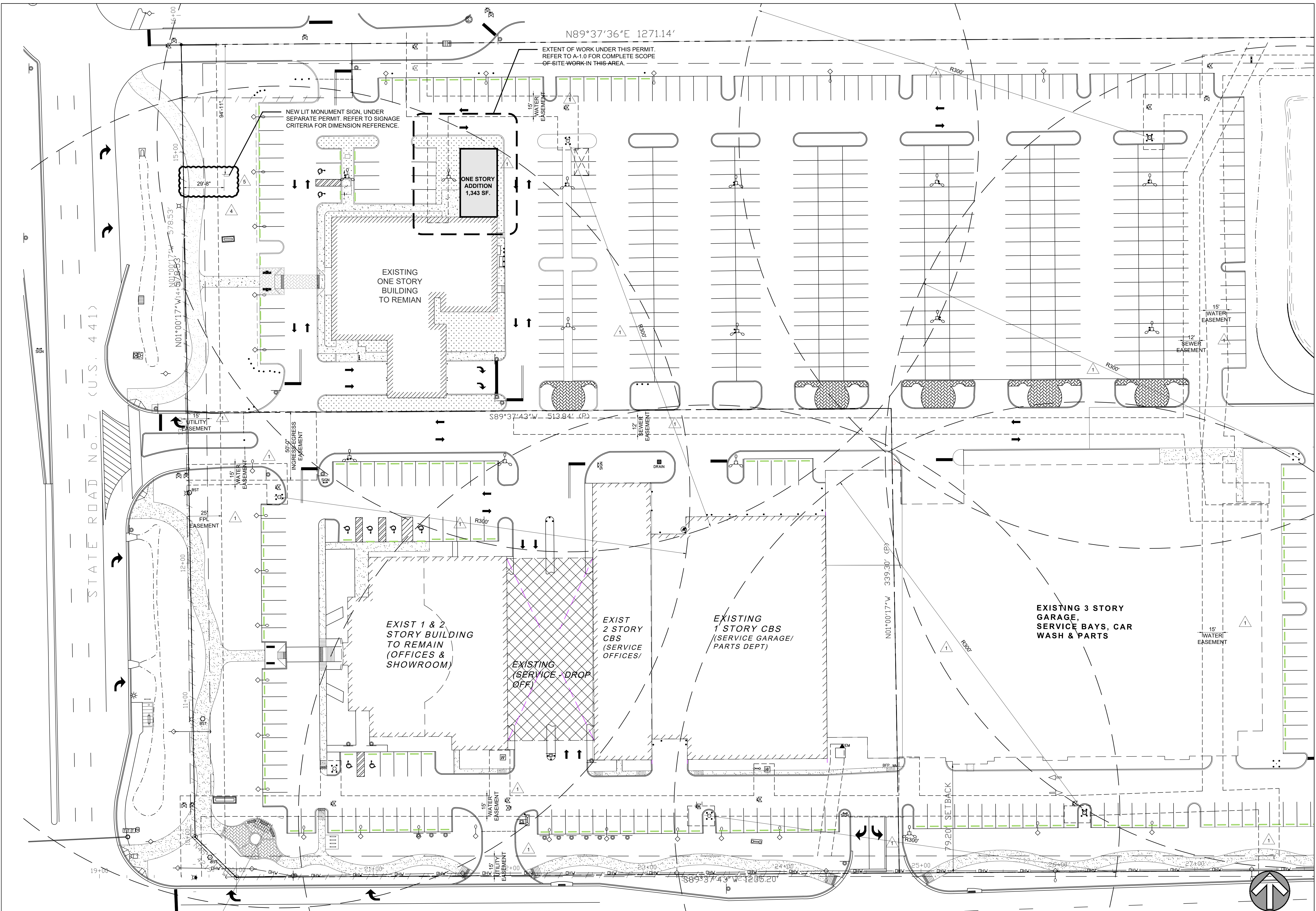
PROJECT
12-7798

SHEET NO.
2 OF 2



ELEVATIONS SHOWN HEREON ARE
BASED ON THE NORTH AMERICAN
VERTICAL DATUM 1988 (NAVD 1988)

FILE: F:\Draw\MS\12-7798 - Gunther Motor Company\Drawing\Lotest\Gunther Volvo12-7798-Gunther Volvo Site (3P).dwg



N89°37'36"E 1271.14'

EXTENT OF WORK UNDER THIS PERMIT. REFER TO A-1.0 FOR COMPLETE SCOPE OF SITE WORK IN THIS AREA.

NEW LIT MONUMENT SIGN, UNDER SEPARATE PERMIT. REFER TO SIGNAGE CRITERIA FOR DIMENSION REFERENCE.

EXISTING ONE STORY BUILDING TO REMAIN

EXIST 1 & 2 STORY BUILDING TO REMAIN (OFFICES & SHOWROOM)

EXIST 2 STORY CBS (SERVICE OFFICES)

EXISTING 1 STORY CBS (SERVICE GARAGE/ PARTS DEPT)

EXISTING 3 STORY GARAGE, SERVICE BAYS, CAR WASH & PARTS

ONE STORY ADDITION 1,343 SF.

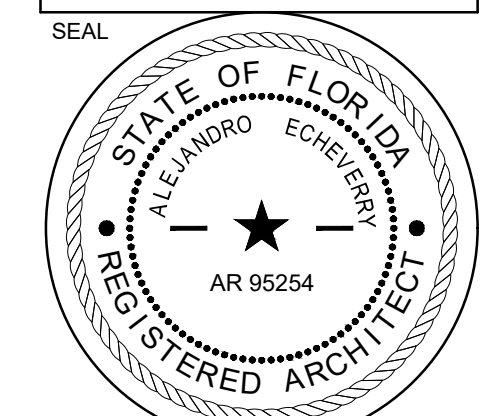
EXISTING (SERVICE DROP OFF)

STATE ROAD NO. 7 (U.S. 441)

MASTER SITE PLAN

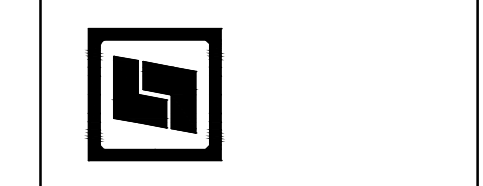
SCALE: 1"=30'-0" 01

REVISIONS:
1 CITY COMMENTS 11-09-22
4 OWNER CHANGES 01-16-23
5 CITY COMMENTS 02-17-23



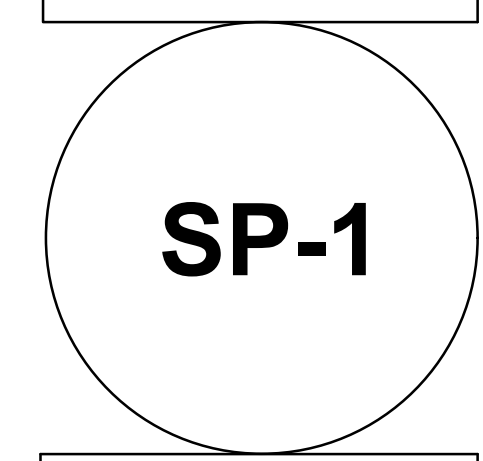
CONSULTANT
ALEJANDRO ECHEVERRY
Fl Reg # 95254
2/17/2023

STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida,
954 - 627- 9180 33301
FL. REG # AA-26001798



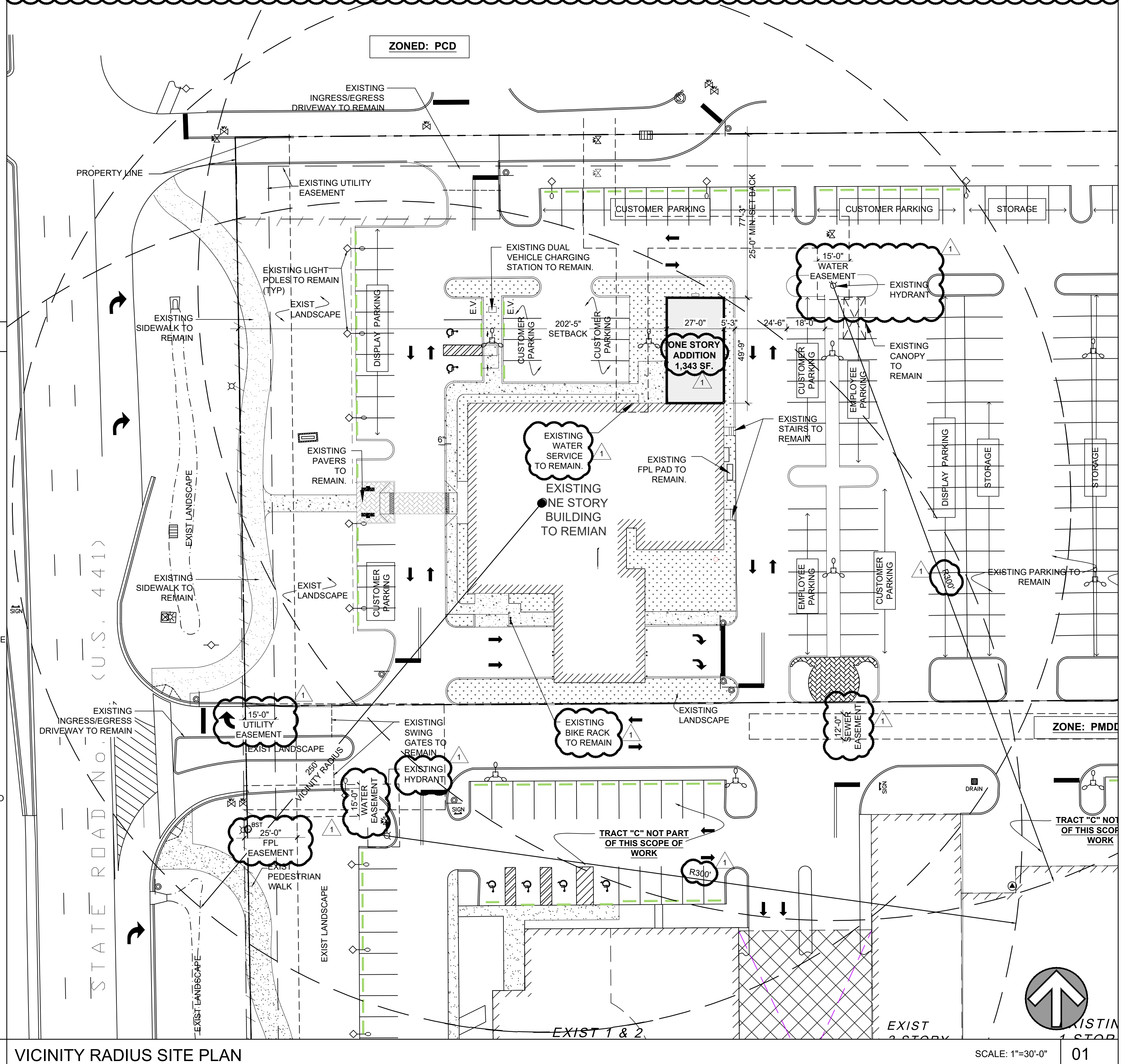
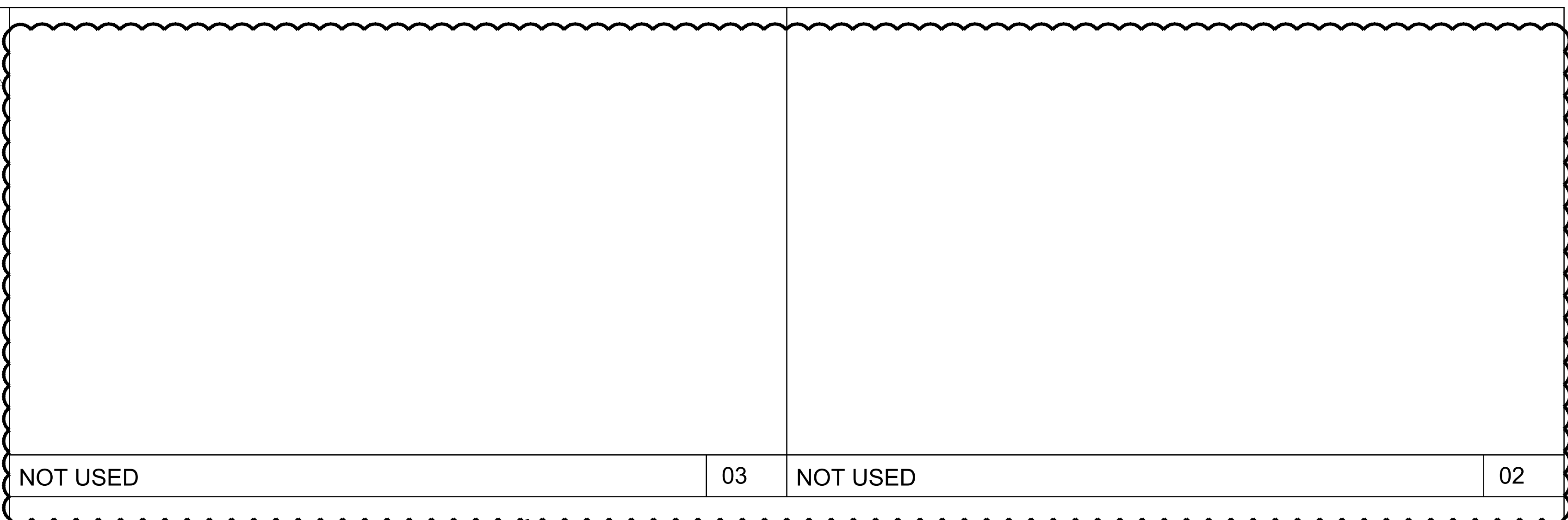
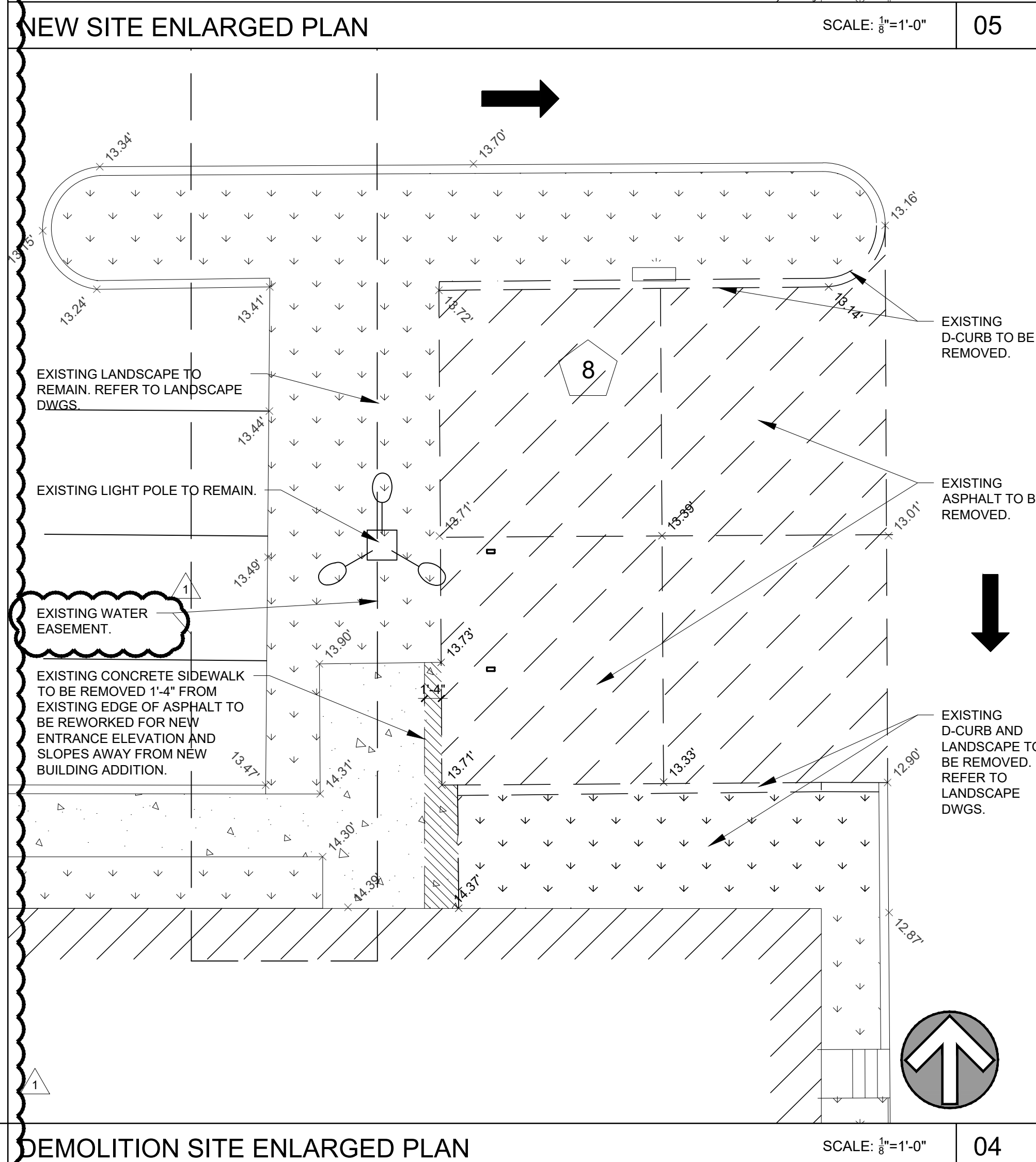
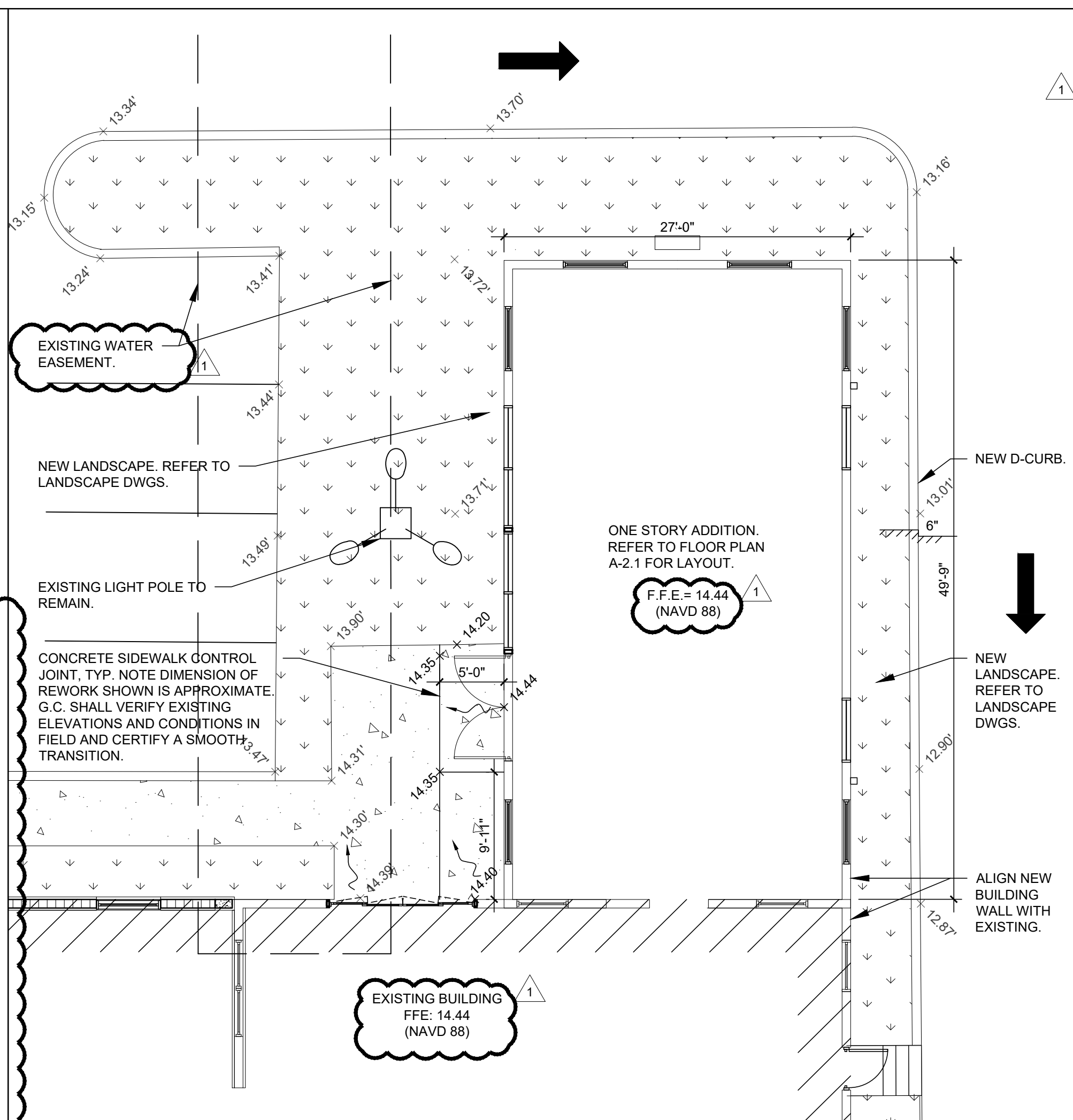
PRE-OWNED ADDITION
GANTHER MITSUBISHI COCONUT CREEK
4350 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073

MASTER SITE PLAN



PROJECT NO. 74113
DRAWN BY: A.S.
CHECKED BY: A.M. / K.C.
DATE: February 17, 2023

- ALL CONSTRUCTION FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND THE CITY OF COCONUT CREEK.
- HORIZONTAL AND VERTICAL CONTROL DATA HAS BEEN PROVIDED BY THE OWNER. ALL CONSTRUCTION STAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT TOPOGRAPHY AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AS TOTAL ACCURACY OF THE DATA CANNOT BE GUARANTEED.
 - B.M. DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88)
 - PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD, WHICH WILL INCLUDE THE ENGINEER, THE CONTRACTOR, THE OWNER, THE CITY AND/OR STATE REPRESENTATIVE AND ALL UTILITY COMPANIES. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITY COMPANIES, AGENCIES AND ANY OTHERS SERVING THE AREA (MINIMUM 72 HOURS PRIOR TO CONSTRUCTION)
 - FLORIDA POWER & LIGHT (954)956-2014
 - AT&T (954)979-9200
 - SUNSHIN NETWORK (800)432-4770
 - CITY OF COCONUT CREEK (954)545-6655
 - WORK PERFORMED FOR THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEMS BY THE OWNER AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED FROM THE CONTRACTOR AND APPROVED BY THE ENGINEER:
 - CONTRACTOR'S WAIVER AND RELEASE OF LIEN
 - CONTRACTOR'S LETTER OF WARRANTY (I.E. LETTER AGREEMENT, ONE (1) YEAR GUARANTEE)
 - "AS BUILT" DATA AS PREPARED BY A REGISTERED LAND SURVEYOR
 - RELEASE FROM THE CITY OF COCONUT CREEK
 - OTHER ITEMS AS REQUIRED BY THE AOR/EOR.
 - ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE COUNTY SURVEYOR BY TELEPHONE WITHOUT DELAY AND PROCEED AS INSTRUCTED BY HIM/HER.
 - THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES OR UNDERGROUND UTILITIES.
 - THE APPROPRIATE UTILITY COMPANY SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY EXCAVATION INVOLVING THEIR LINES SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT FOR EXACT LOCATIONS.
 - PRIOR TO CONSTRUCTION, CONTRACTOR IS TO LOCATE ALL UNDERGROUND ELECTRIC UTILITIES AND PROTECT THEM AT ALL TIMES DURING CONSTRUCTION.
 - THE LOCATION OF THE PROPOSED FACILITIES SHOWN IN THE PLANS IS APPROXIMATE ONLY. LOCATION ADJUSTMENT SHALL BE DETERMINED BY THE ENGINEER DURING CONSTRUCTION BASED UPON FIELD CONDITIONS. SUBJECT TO ARCHITECT AND/OR OWNER APPROVAL FOR THE ONSITE FACILITIES AND THE CITY OF COCONUT CREEK AND/OR FLORIDA DEPT. OF TRANSPORTATION FOR PUBLIC RIGHTS-OF-WAY AND EASEMENTS.
 - ALL EXISTING LANDSCAPING WITHIN THE CONSTRUCTION AREAS IS TO BE REMOVED OR TO BE RELOCATED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER. SEE LANDSCAPE PLANS.
 - CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.
 - 75% OF ALL CONSTRUCTION AND DEMOLITION DEBRIS ARE TO BE DIVERTED FROM LANDFILLS.



REVISIONS:

1	CITY COMMENTS	11-09-22
---	---------------	----------

SEAL

CONSULTANT
KEVIN CRUZ
Fl Reg # 97952
11/7/2022

STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida
954 - 627 - 9180
FL. REG # AA-26001798

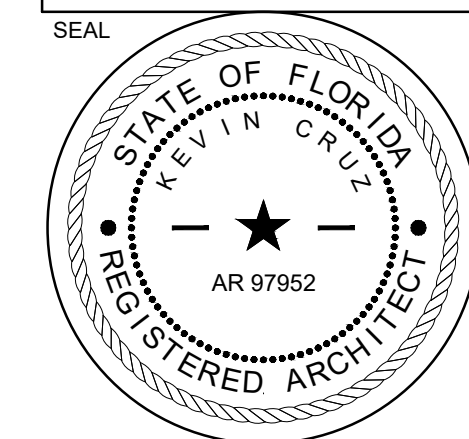
PRE-OWNED ADDITION
GUNTER MITSUBISHI COCONUT CREEK
4350 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073

VICINITY RADIUS SITE PLAN

A-1.0

PROJECT NO. 7413
DRAWN BY: A.S.
CHECKED BY: A.M./K.C.
DATE: November 7, 2022

REVISIONS:
1 CITY COMMENTS 11-09-22



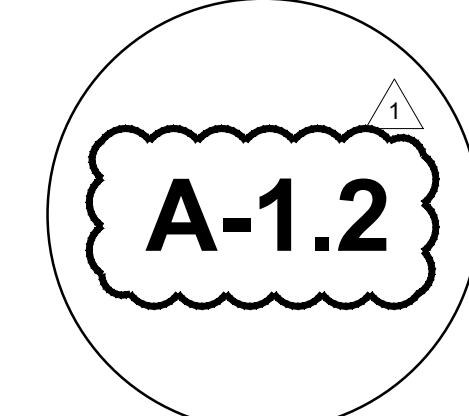
CONSULTANT
KEVIN CRUZ
Fl Reg # 97952
11/4/2022

STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida
954 - 627- 9180 33301
FL. REG # AA-26001798

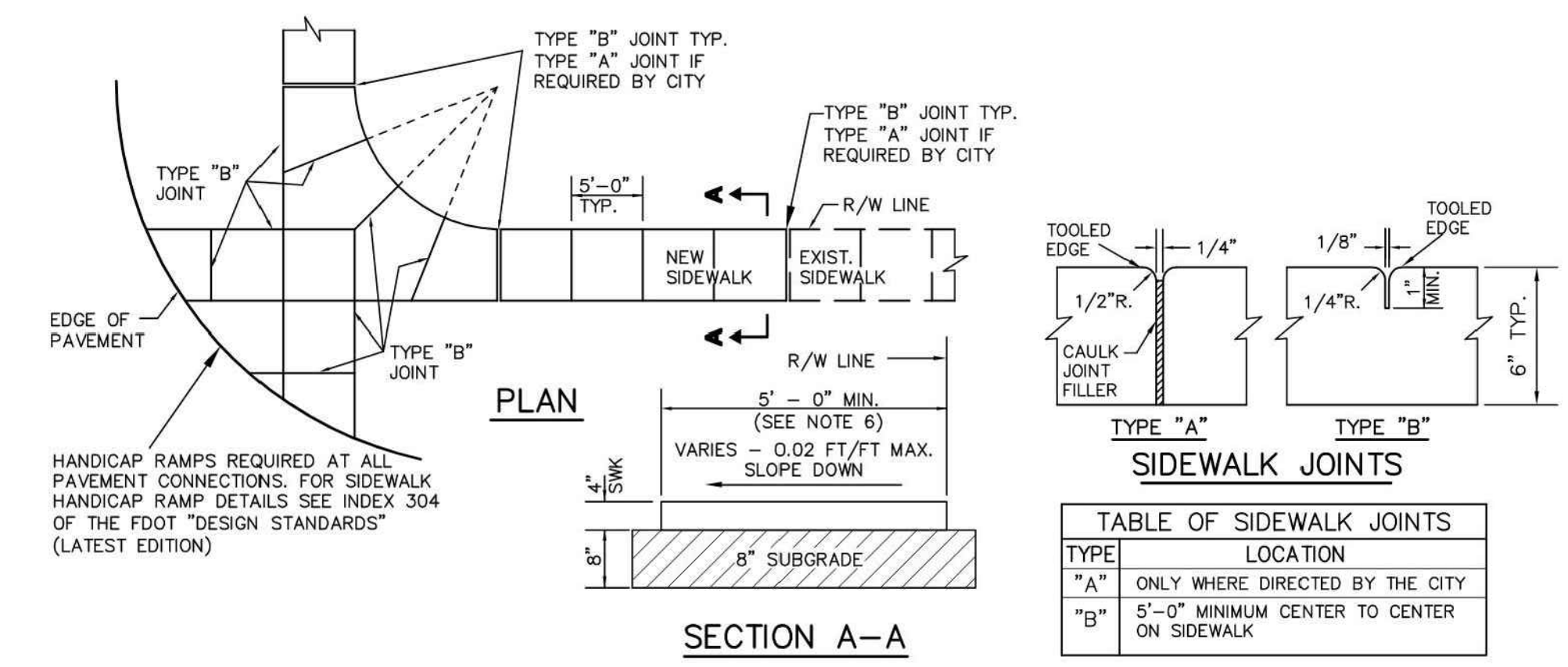


PRE-OWNED ADDITION
GANTHER MITSUBISHI COCONUT CREEK
4350 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073

SITE DETAILS

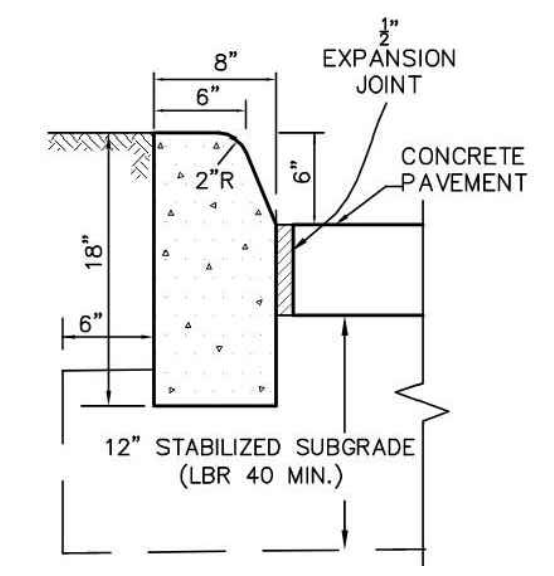


PROJECT NO.
74113
DRAWN BY:
A.S.
CHECKED BY:
A.M./K.C.
DATE:
November 4, 2022



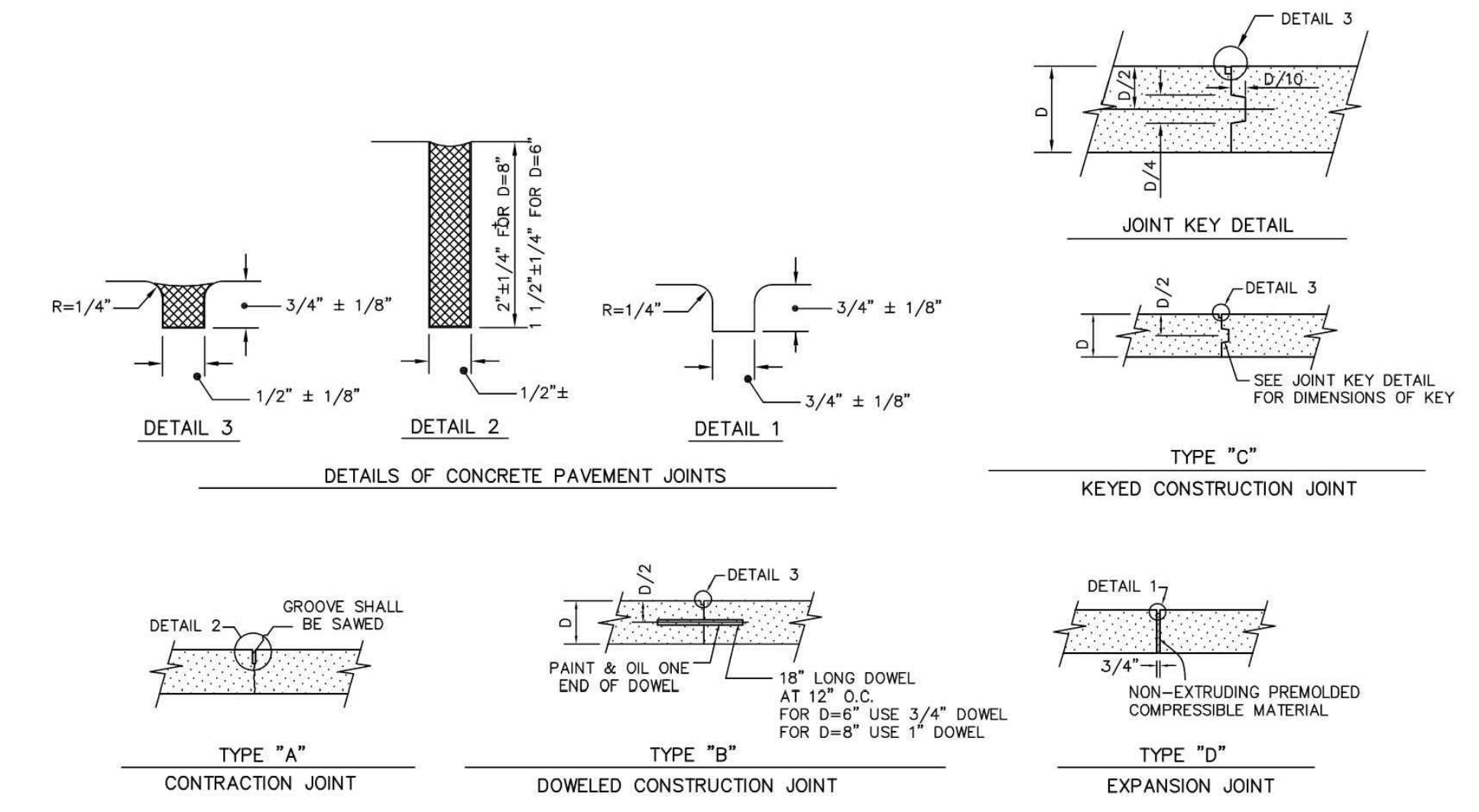
- FOR NEW SIDEWALK LOCATIONS 8" THICK SUBGRADE BELOW SIDEWALK SHALL BE MIN. L.B.R.-40 COMPACTED TO 98% OF MAX DENSITY PER A.A.S.H.T.O. T-180
- CONCRETE TO BE 3,000 P.S.I. @ 28 DAYS.
- ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOOLED. NO SAWCUT JOINTS ARE PERMITTED IN NEW SIDEWALK.
- THE USE OF WIRE MESH REINFORCEMENT IN SIDEWALK WILL NOT BE PERMITTED.
- SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT". CROSS SLOPES SHALL NOT EXCEED 0.02'/FT. (2.0%)
- ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAY CROSSINGS AND OTHER VEHICULAR CROSSING AREA WHERE THE SIDEWALK SHALL BE A MINIMUM OF 6" THICK.
- MINIMUM WIDTH OF SIDEWALK PLACED AT BACK OF CURB IS 6'-0".
- FOR TYPE "A" EXPANSION JOINTS PRE-MOULDED EXPANSION MATERIAL IS LIMITED TO APPROVED AREAS ONLY.
- SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH.

RIGHT-OF-WAY SIDEWALK DETAIL SCALE: NTS 03

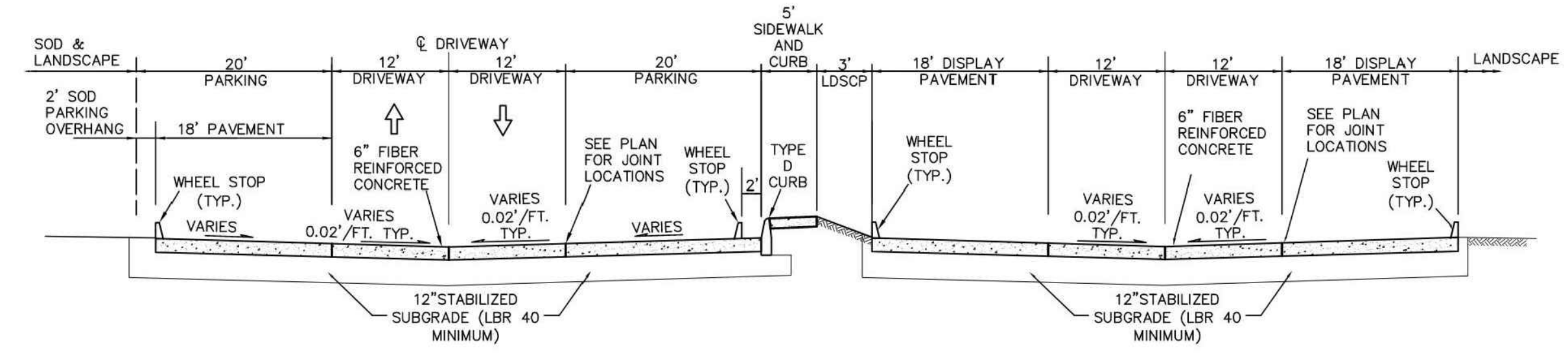


- WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE TYPE "F" GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
- PROVIDE 1/2" WIDE CONTRACTOR JOINT A MINIMUM OF 1 1/2" DEEP AND AT 10'-0" SPACING MAXIMUM FOR ALL CURBS.
- CONCRETE SHALL BE 3,000 P.S.I. MIN @ 28 DAYS.
- COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
- COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.
- TYPE "D" CURB FOR PARKING LOTS MAY BE INSTALLED AS "TRENCHED" D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION. TRENCHED CURB REQUIRES 15 MINUTES OF PLACEMENT OF TRENCH CONCRETE. EXTRUDED CURB AND TRENCH CONCRETE SHALL BE MONOLITHIC.

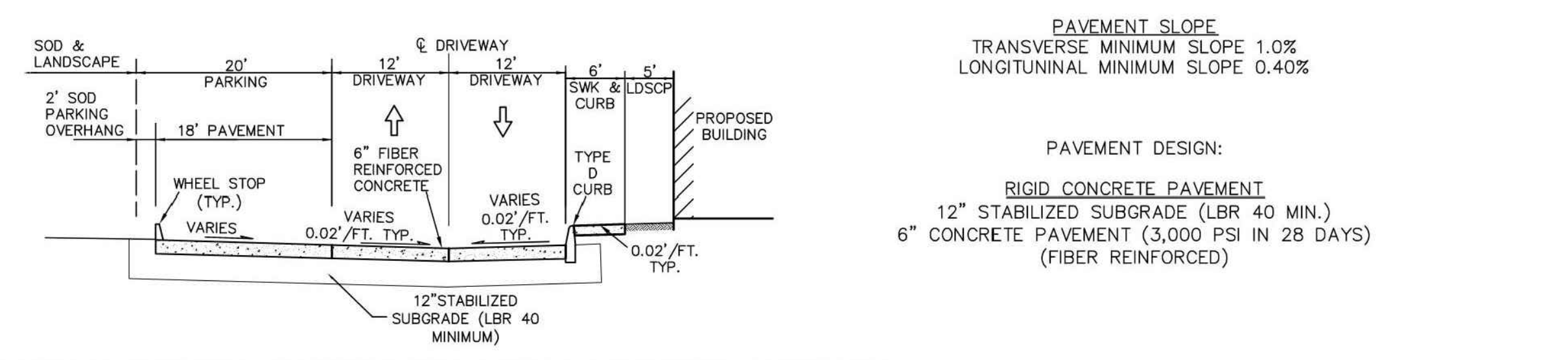
TYPE "D" CURB DETAIL SCALE: NTS 05



CONCRETE PAVEMENT JOINT DETAILS SCALE: NTS 02



TYPICAL SECTION - PARKING AND DRIVE AT BUILDING FRONTAGE SCALE: NTS 01

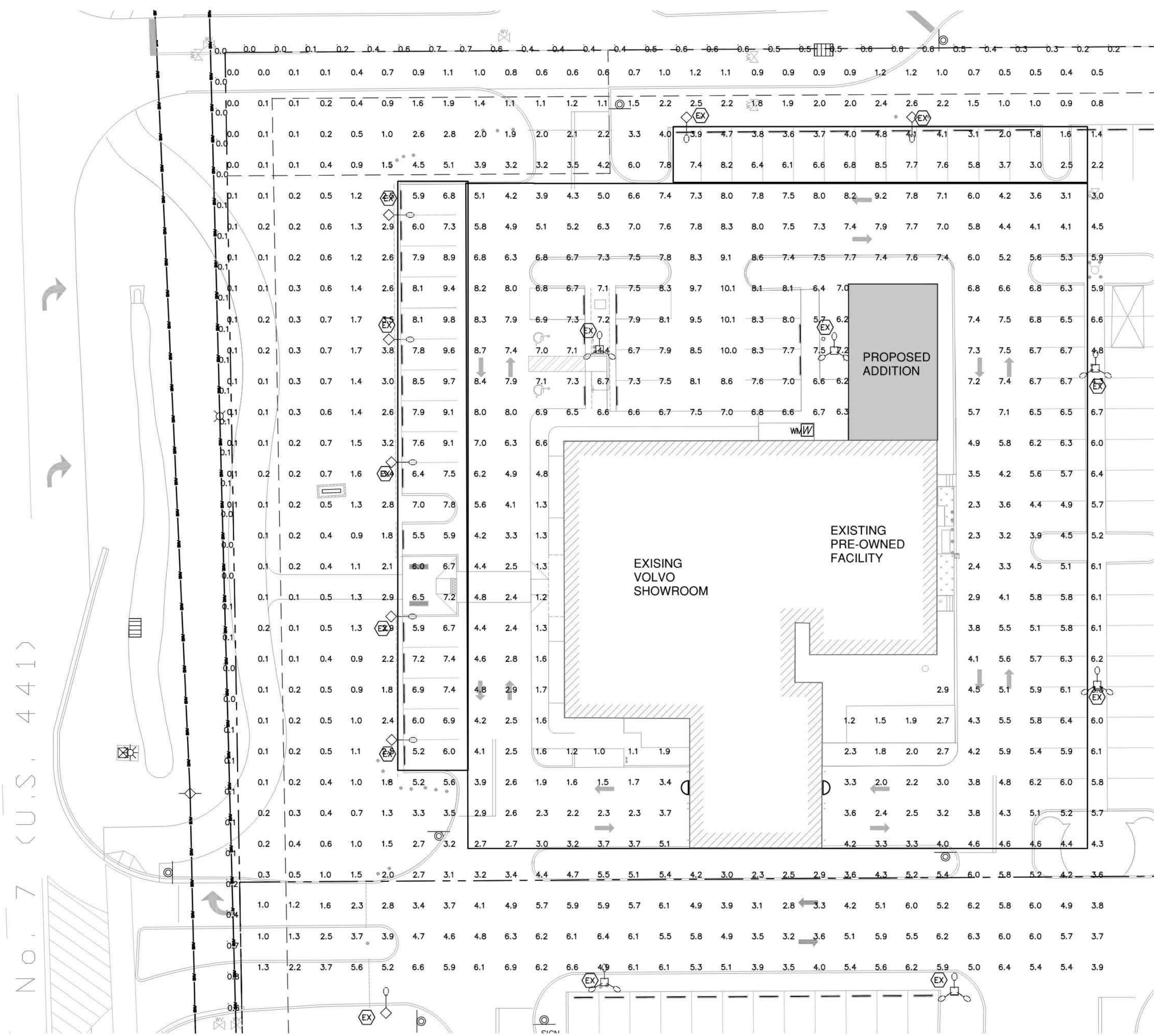


CONCRETE PAVING AND GRADING NOTES 04

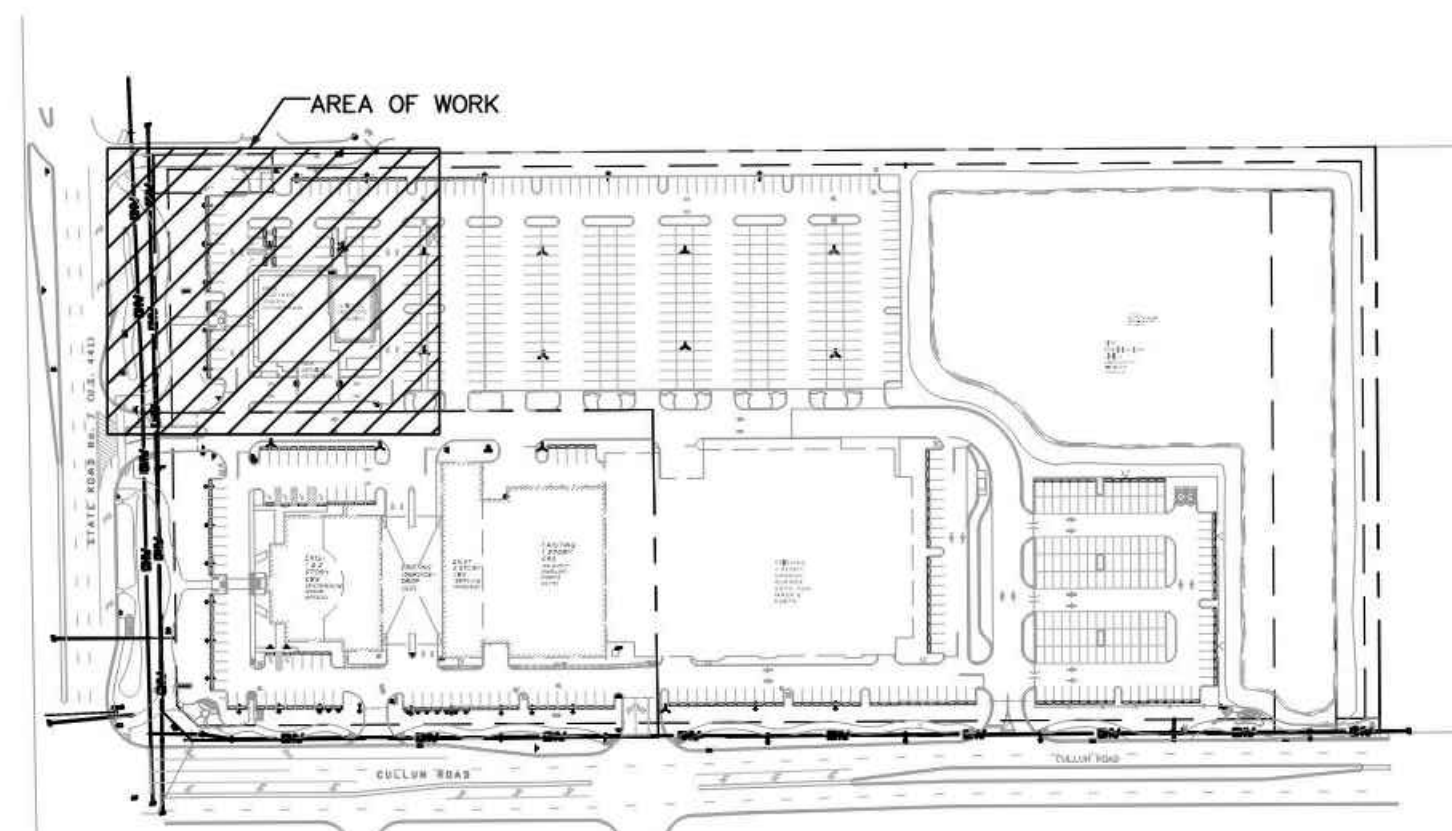
CONCRETE PAVEMENT JOINT DETAILS SCALE: NTS 01

CONCRETE PAVING AND GRADING NOTES

CONCRETE PAVEMENT JOINT DETAILS



SITE PHOTOMETRIC PLAN
1"=20'-0"



KEY PLAN
1"=200'-0"

Symbol	Label	[MANUFAC]	Description	Qty	Arrangement	Total Lamp Lumens	LLF	Lum. Watts
	EX	LSI INDUSTRIES	EXISTING LUMINAIRES ON EXISTING 24' POLES	9	SINGLE	44000	0.720	452
	WI	LSI INDUSTRIES, INC	EXISTING WALL SCONCE MOUNTING HT = 15'-0"	2	SINGLE	2792	0.840	34

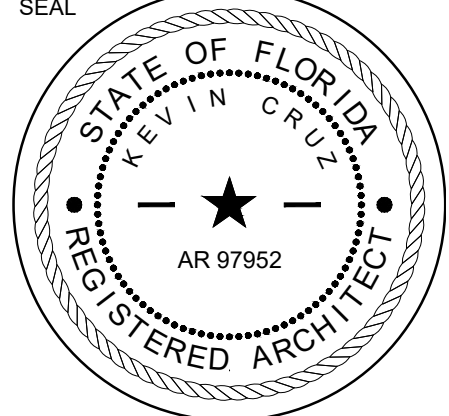
GENERAL NOTE:
TWO TRIPLE HEAD LUMINAIRES WITH A TOTAL OF 264,000 LUMENS ARE BEING REMOVED AND TWO FULL CUTOFF LED LUMINAIRES WITH A TOTAL OF 5584 LUMENS ARE BEING ADDED.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
SITE_Planar	Illuminance	Fc	5.48	10.1	1.0	5.48

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
PROPERTY LINE 1	Illuminance	Fc	0.41	0.7	0.0	N.A.
PROPERTY LINE 2	Illuminance	Fc	0.15	0.8	0.0	N.A.

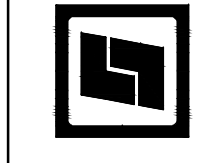
REVISIONS:

1	CITY COMMENTS	11-09-22



CONSULTANT
KEVIN CRUZ
Fl Reg # 97952
11/4/2022

STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida
954 - 627- 9180 33301
FL REG # AA-26001798

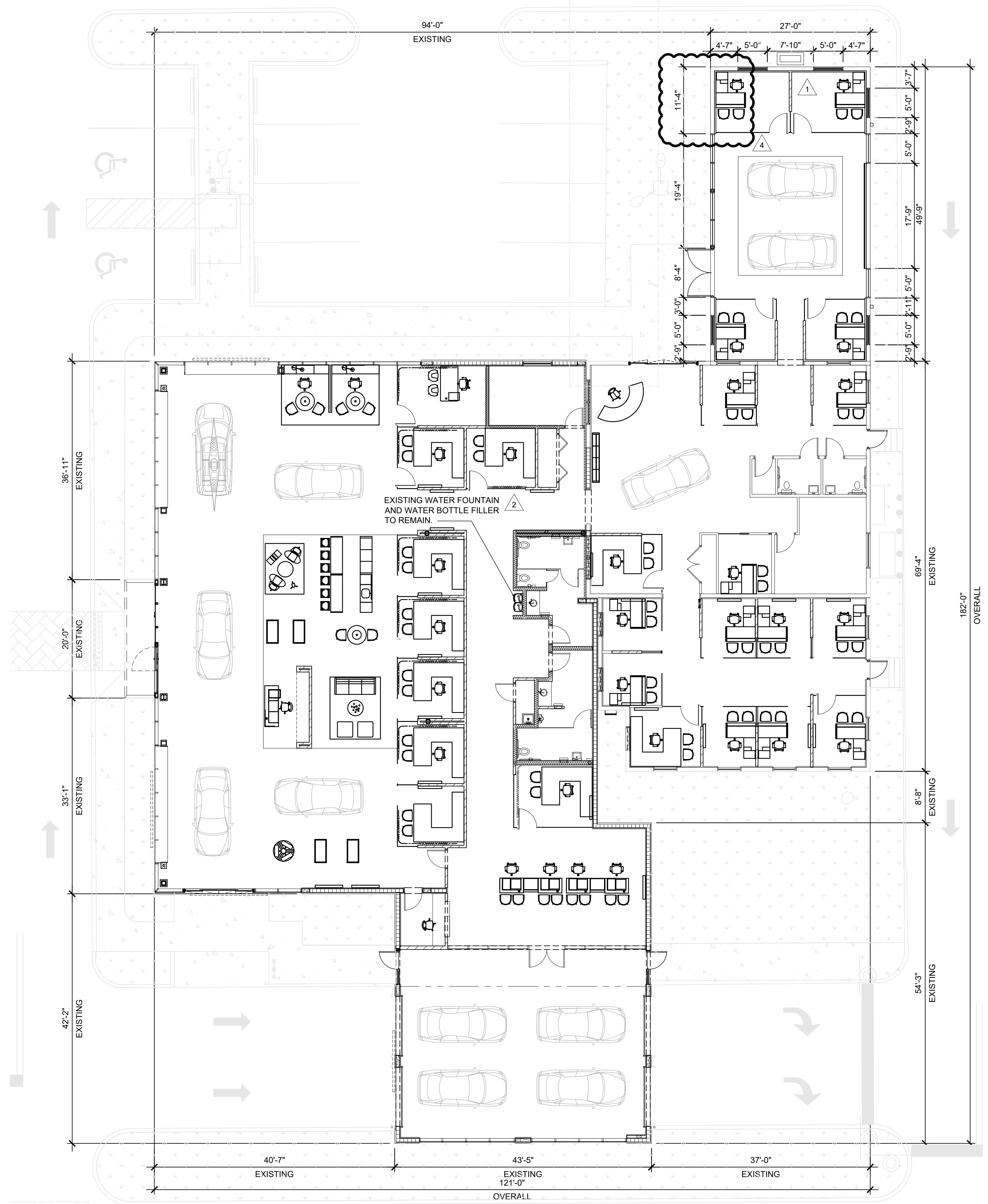


PRE-OWNED ADDITION
GANTHER MITSUBISHI COCONUT CREEK
4350 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073

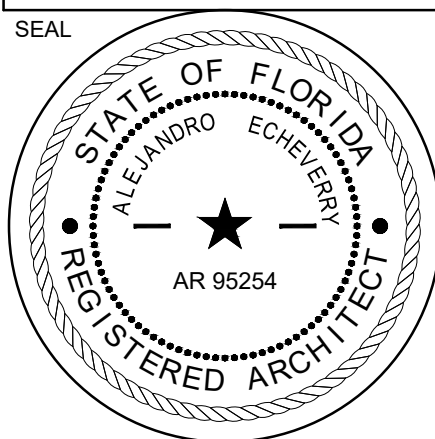
SITE PHOTOMETRICS



PROJECT NO.
74113
DRAWN BY:
A.S.
CHECKED BY:
A.M. / K.C.
DATE:
November 4, 2022

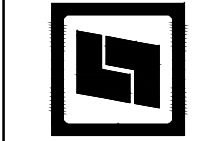


REVISIONS :	
1	CITY COMMENTS 11-09-22
2	CITY COMMENTS 12-12-22
4	OWNER CHANGED 01-16-23



CONSULTANT
ALEJANDRO ECHEVERRY
 Fl Reg # 95254
 1/16/2023

STILES ARCHITECTURAL GROUP
 201 East Las Olas Blvd
 Fort Lauderdale, Florida,
 954 - 627- 9180 33301
 FL. REG # AA-26001798

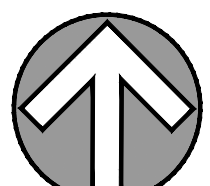


PRE-OWNED ADDITION
**GUNTHER MITSUBISHI
 COCONUT CREEK**
 4350 NORTH STATE ROAD 7
 COCONUT CREEK, FL 33073

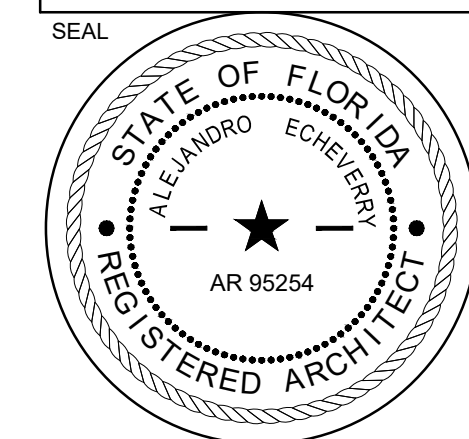
FLOOR PLAN

A-2.1

PROJECT NO.
74113
 DRAWN BY :
A.S.
 CHECKED BY :
A.M. / K.C.
 DATE :
January 16, 2023



REVISIONS :	
1	CITY COMMENTS 11-09-22
4	OWNER CHANGED 01-16-23

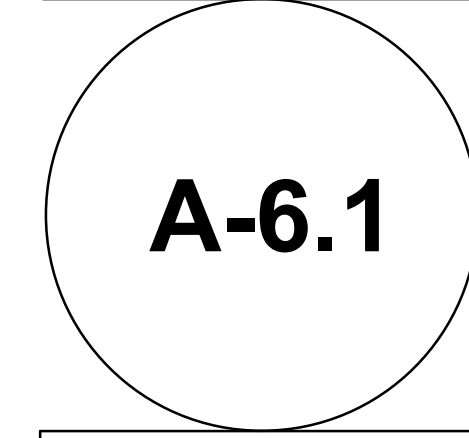


CONSULTANT
ALEJANDRO ECHEVERRY
Fl Reg # 95254
1/17/2023

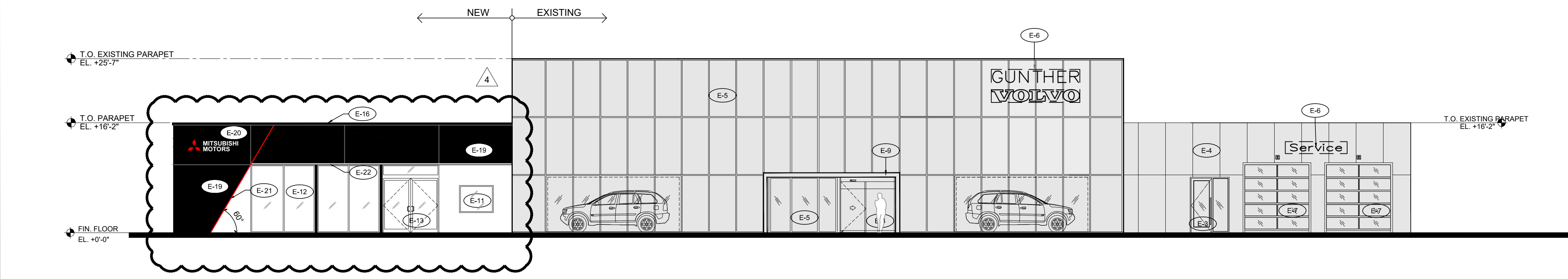
STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida
954 - 627- 9180 33301
FL. REG # AA-26001798

PRE-OWNED ADDITION
GUNTER MITSUBISHI COCONUT CREEK
4350 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073

ELEVATIONS



PROJECT NO.
74113
DRAWN BY :
A.S.
CHECKED BY :
A.M. / K.C.
DATE :
January 17, 2023



WEST ELEVATION

SCALE: 3/32" = 1'-0"

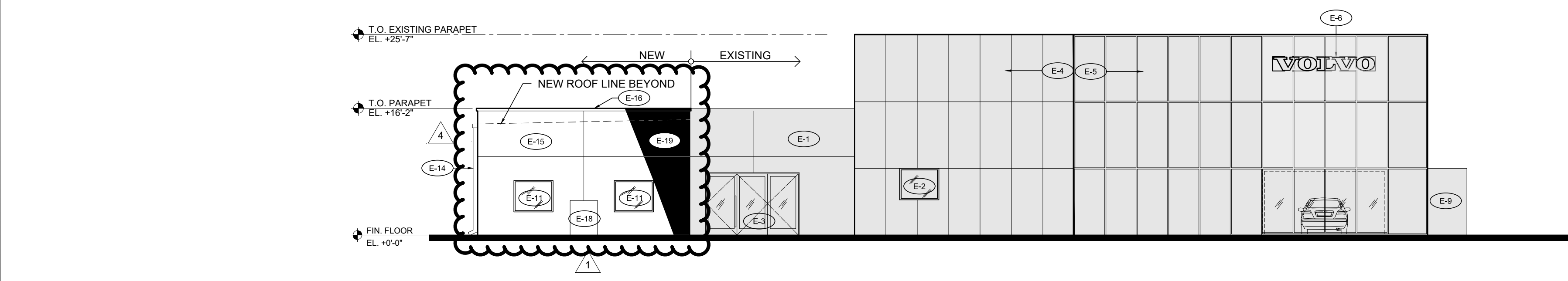
04



EAST ELEVATION

SCALE: 3/32" = 1'-0"

02



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

01

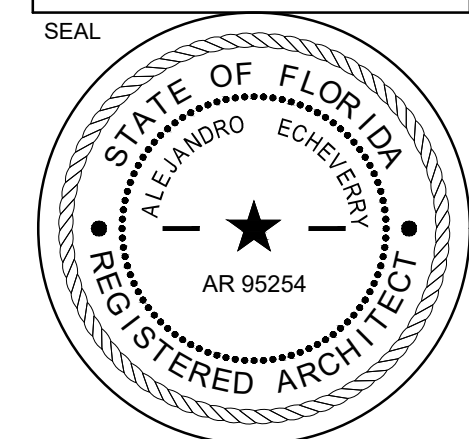
- NOTES:
- THIS DEVELOPMENT SHALL INCORPORATE LOW EMITTING BUILDING OR CONSTRUCTION MATERIALS AND SUBSTANCES CONTAINING MINIMAL OR NO LEVELS OF VOLATILE ORGANIC COMPOUNDS (LOW-VOC OR NO-VOC) FOR PAINTS, COATINGS ADHESIVES, SEALANTS, COMPOSITE WOOD AND AGRI-FIBER PRODUCTS. VOC LIMITS SHALL BE IN ACCORDANCE WITH AND MEET THE REQUIREMENTS OF SOUTH COAST AIR-QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1168
 - ANY AND ALL INTERIOR PAINT SHALL COMPLY WITH THE FOLLOWING VOC LIMITS:
 - INTERIOR LATEX FLAT - 50g/L
 - INTERIOR LATEX NON-FLAT - 150g/L
 - ALL WET SILICONE JOINTS AT CURTAIN WALL TO BE BLACK

ELEVATION LEGEND	
KEY	SYSTEMS
E-1	EXISTING STUCCO TO REMAIN
E-2	EXISTING IMPACT RESISTANT WINDOW TO REMAIN
E-3	EXISTING DOOR TO REMAIN
E-4	EXISTING ACM PANELS TO REMAIN
E-5	EXISTING CURTAIN WALL SYSTEM TO REMAIN
E-6	EXISTING SIGNAGE TO REMAIN
E-7	EXISTING OVERHEAD DOOR TO REMAIN
E-8	EXISTING ROOF ACCESS LADDER TO REMAIN
E-9	EXISTING ENTRY PORTAL TO REMAIN
E-10	EXISTING METAL GUTTER SYSTEM TO REMAIN.
E-11	NEW IMPACT RESISTANT CLEAR GLASS WINDOW WITH BLACK ANODIZED ALUMINUM FRAME
E-12	NEW IMPACT RESISTANT CLEAR GLASS STOREFRONT SYSTEM WITH BLACK ANODIZED ALUMINUM FRAME.
E-13	NEW IMPACT RESISTANT CLEAR GLASS DOORS WITH BLACK ANODIZED ALUMINUM FRAME.
E-14	METAL GUTTER SYSTEM PAINTED GREY TO MATCH EXISTING.
E-15	NEW STUCCO FINISH OVER CMU WALL WITH 3/8" CONTROL JOINTS, PAINTED GREY TO MATCH EXISTING ADJOINING BUILDING.
E-16	METAL ROOF FLASHING PAINTED GREY TO MATCH WALL.
E-17	OUTSIDE AIR LOUVER PAINTED GREY TO MATCH WALL.
E-18	MECHANICAL HEAT PUMP. REFER TO LANDSCAPE DWGS. FOR SCREENING MATERIAL.
E-19	NEW STUCCO FINISH OVER CMU WALL WITH 3/8" CONTROL JOINTS. PAINTED BLACK.
E-20	NEW BACK LIT SIGNAGE, BY OTHERS UNDER SEPARATE PERMIT.
E-21	NEW LINEAR LED RED LIGHT FIXTURE.
E-22	NEW LINEAR LED WHITE LIGHT FIXTURE.

ELEVATION LEGEND, KEYNOTES & GLASS SPECIFICATIONS

05

REVISIONS :	
4	OWNER CHANGED 01-18-23
5	CITY COMMENTS 2-17-23



CONSULTANT
ALEJANDRO ECHEVERRY
 Fl Reg # 95254
 2/17/2023

STILES ARCHITECTURAL GROUP
 201 East Las Olas Blvd
 Fort Lauderdale, Florida
 954 - 627 - 9180 33301
 FL. REG # AA-26001798



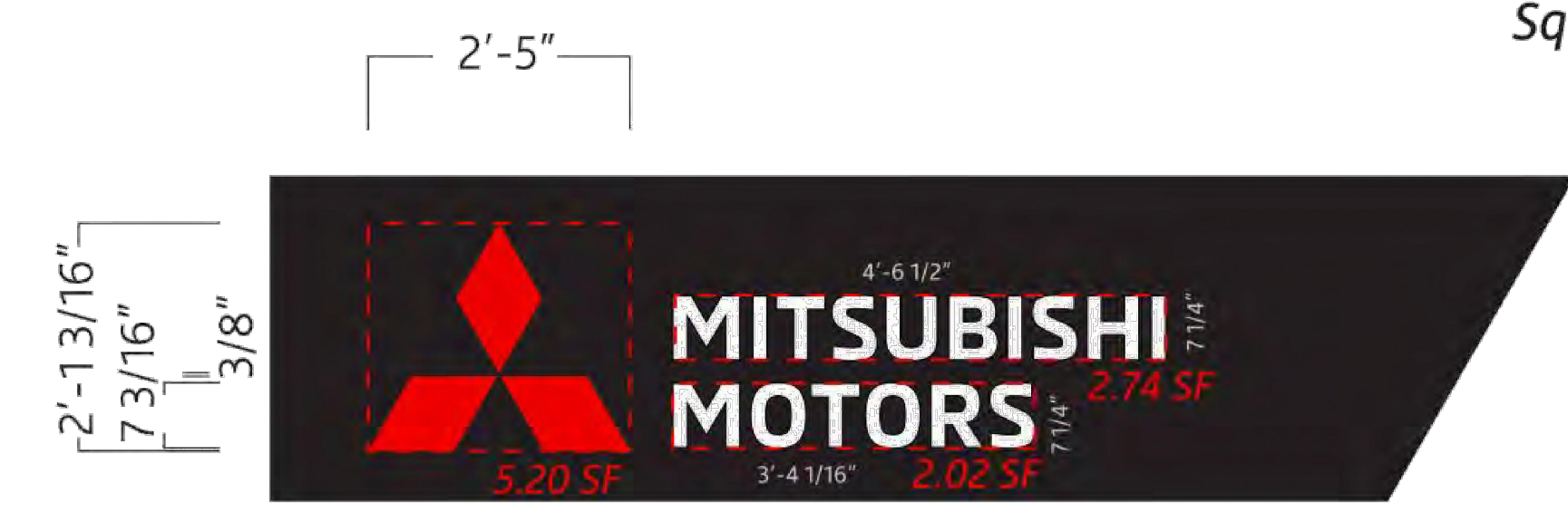
PRE-OWNED ADDITION
GUNTHER MITSUBISHI
COCONUT CREEK
 4350 NORTH STATE ROAD 7
 COCONUT CREEK, FL 33073

SIGNAGE CRITERIA

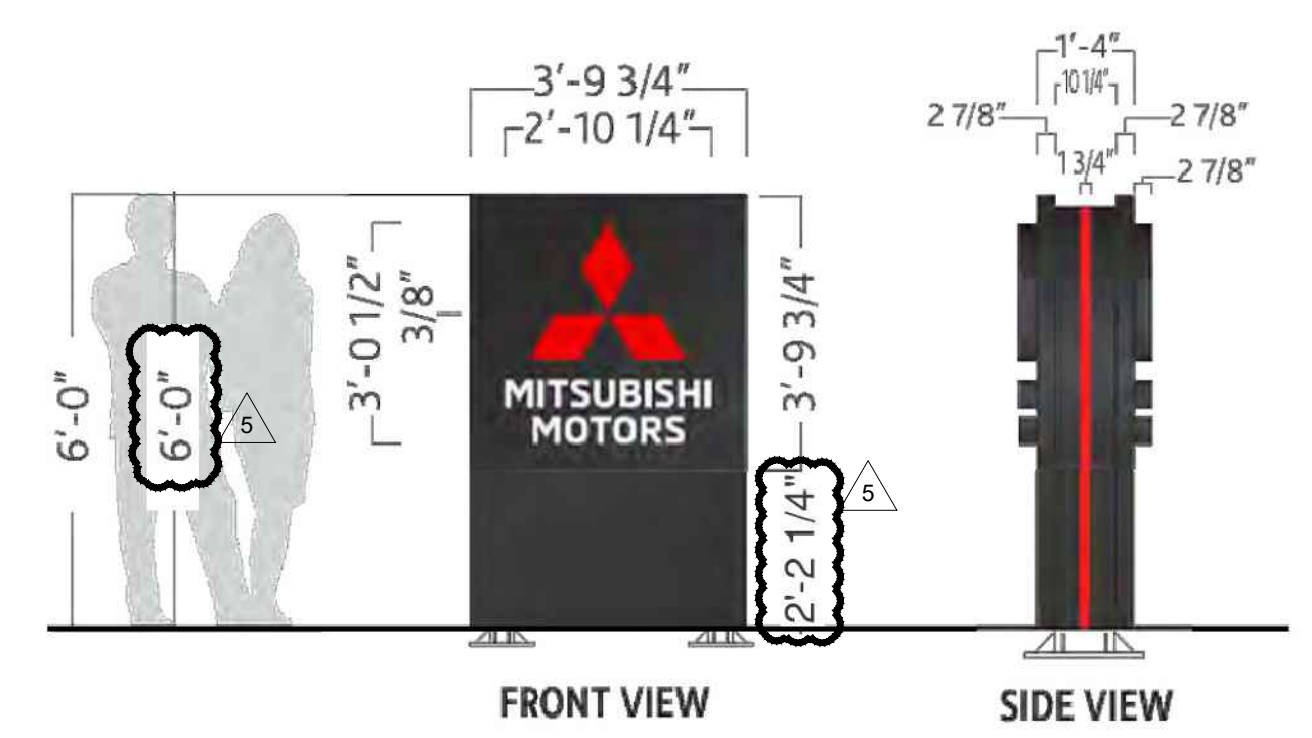
A-7.1

PROJECT NO.
74113
 DRAWN BY :
A.S.
 CHECKED BY :
A.M. / K.C.
 DATE :
February 17, 2023

9.96
 Square Footage



M14 MONOLITH PYLON



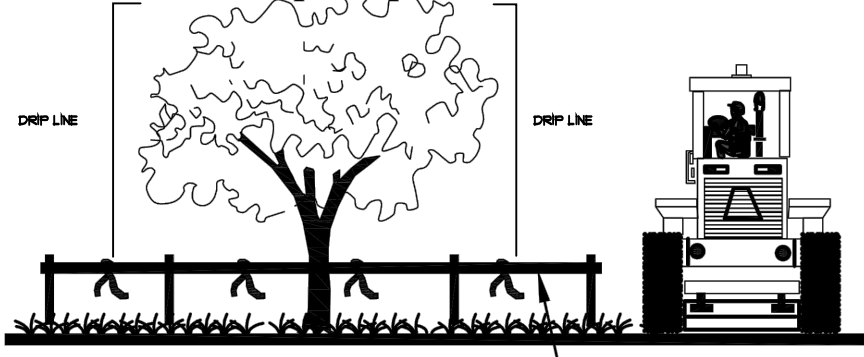
8.68
 Square Footage

FOR REFERENCE ONLY

No	Botanical Name	Common Name	DBH (in)	HT (ft.)	SPR (ft.)	Disposition	Condition	Native
1	Quercus virginiana	Live Oak Tree	8"	16'	18'	Remain	Good	Yes
2	Tabebuia rosea	Pink Tabebuia	13"	23'	12'	Remain	Good	Yes
3	Roystonea regia	Royal Palm	13"	26'	12'	Remain	Good	Yes
4	Quercus virginiana	Oak Tree	8"	16'	18'	Remain	Good	Yes
5	Quercus virginiana	Oak Tree	7"	12'	10'	Remain	Good	Yes
6	Roystonea regia	Royal Palm	15"	26'	12'	Remain	Good	Yes
7	Tabebuia rosea	Pink Tabebuia	14"	17'	12'	Remain	Good	Yes
8	Quercus virginiana	Live Oak Tree	13"	16'	18'	Remain	Good	Yes
9	Quercus virginiana	Live Oak Tree	13"	16'	18'	Remain	Good	Yes
10	Quercus virginiana	Live Oak Tree	12"	20'	20'	Remain	Good	Yes
11	Quercus virginiana	Live Oak Tree	12"	18'	18'	Remain	Good	Yes
12	Tabebuia rosea	Pink Tabebuia	7"	17'	10'	Remain	Good	Yes
13	Vetchia montgomeryana	Montgomery Palm	7"	16'	12'	Remain	Good	Yes
14	Vetchia montgomeryana	Montgomery Palm	6"	14'	12'	Remain	Good	Yes
15	Vetchia montgomeryana	Montgomery Palm	8"	18'	12'	Remain	Good	Yes
16	Vetchia montgomeryana	Montgomery Palm	7"	16'	10'	Remain	Good	Yes
17	Vetchia montgomeryana	Montgomery Palm	7"	16'	10'	Remain	Good	Yes
18	Vetchia montgomeryana	Montgomery Palm	7"	16'	10'	Remain	Good	Yes
19	Calophyllum	Calophyllum inophyllum	8"	18'	15'	Relocated	Good	Yes
20	Syagrus romanzoffiana	Queen Palm	8"	18'	8'	Relocated	Good	Yes
21	Syagrus romanzoffiana	Queen Palm	9"	18'	8'	Relocated	Good	Yes
22	Syagrus romanzoffiana	Queen Palm	8"	18'	5'	Relocated	Good	Yes
23	Calophyllum	Calophyllum inophyllum	8"	18'	10'	Remain	Good	Yes
24	Wodyetia bifurcata	Foxtail Palm	10"	15'	8'	Remain	Good	Yes
25	Tabebuia rosea	Pink Tabebuia	11"	18'	6'	Remain	Good	Yes

TREE PROTECTION DETAIL

Note: Tree protection detail will be applied to all trees identified for in place preservation.



Tree Protection Barricades will be placed at the drip line of each protected tree (minimum).
Tree Protection Barricades will be comprised of orange construction fencing and staking (wood stakes, rebar, other approved material); or nylong rope and wood stakes; or other material as accepted by the county.

Note: Pruning may be necessary for existing trees around expansion. Pruning to be supervised by certified arborist.

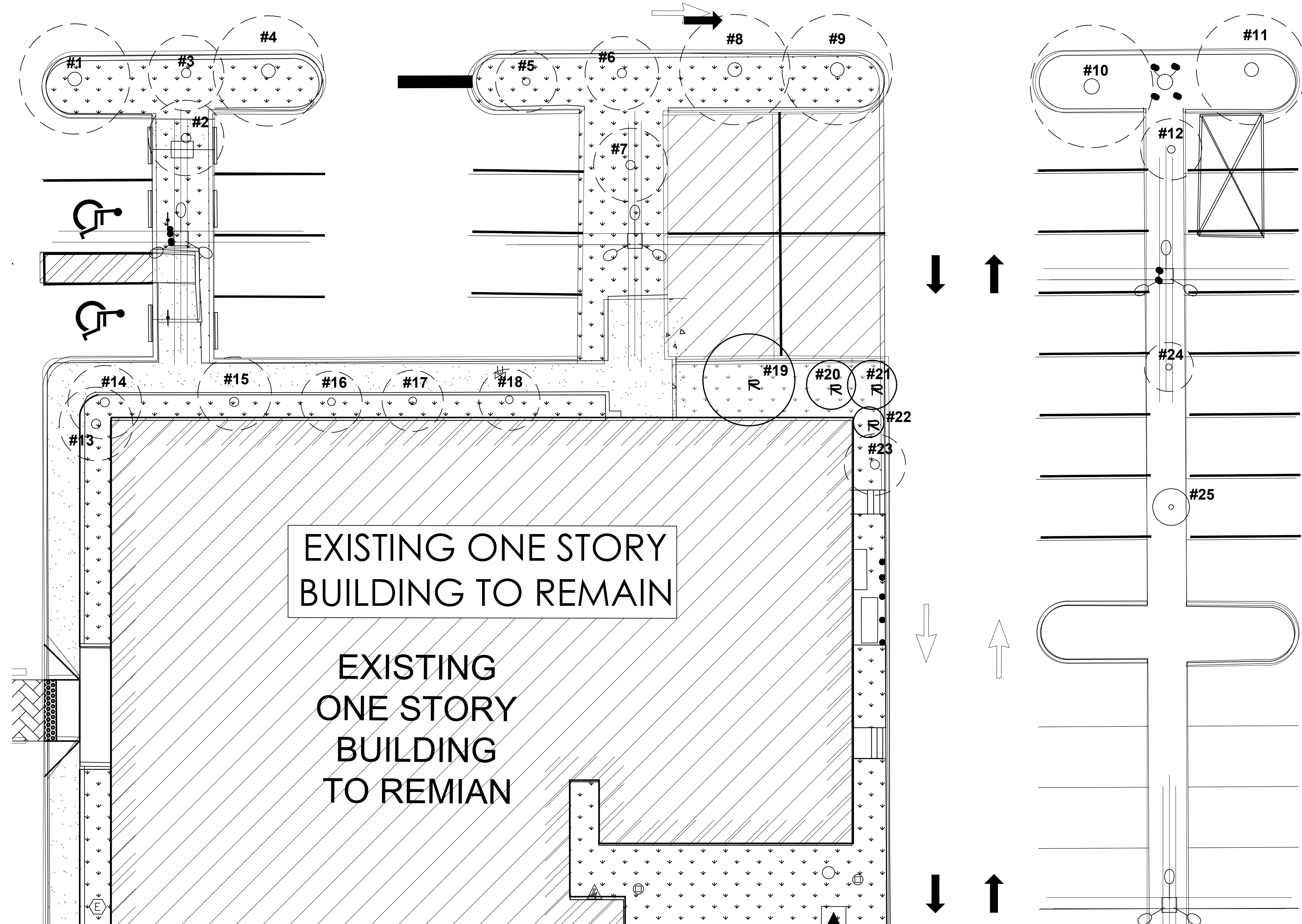
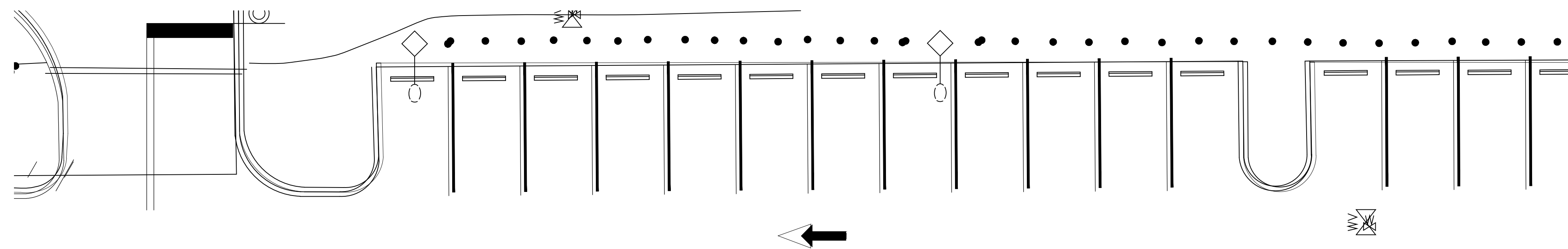
LANDSCAPING NOTES:

Protection from construction work. During any construction, land development or lot clearing, the contractor and the owner of the property subject to this section shall adhere to the requirements which follow:

- Place and maintain protective barriers around the drip line of all trees to be retained on the site to prevent their destruction or damage. The protective barriers shall be at least four (4) feet in height and conspicuously colored to be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy material (not flagging or ribbons) and shall be installed prior to and during construction and/or land development;
- Not store or use materials or equipment within the drip line of any tree to be retained on site unless the activity is being done to protect trees;
- Not discharge or contaminate the soil within the drip line of any tree to be retained on site with any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts;
- Clearing of vegetation within the dripline of trees designated for preservation shall only be by hand or light rubber wheeled equipment that will not damage tree roots; said equipment shall be a maximum of forty-eight (48) inches wide, tire to tire, with a maximum weight of three thousand five hundred (3,500) pounds;
- Utilize retaining walls and drywells where needed to protect trees to be preserved from severe grade changes;
- Pruning of trees to be preserved shall be in accordance with the standards for pruning established by ANSI A-300.
- Make no attachments, other than those of a protective and nondamaging nature, to any tree to be retained on the site;
- Not change the natural grade above the root system within the drip line of any tree to be retained on site unless it can be demonstrated to the city that it will not damage any tree;
- Avoid any encroachments, excavations or severe grade changes within the drip line of preserved trees unless it can be demonstrated to the city that it will not impact any tree; and
- Not cause soil compaction within the dripline of any tree to be retained on site; and
- Any trees designated to be preserved which are damaged during construction shall promptly be repaired.

KEY FOR TREES

- TREES TO REMAIN
- TREES TO BE RELOCATED
- TREES TO BE REMOVED



REVISIONS:

CITY COMMENTS	10/6/2022
CITY COMMENTS	11/2/2022

SEAL

DIEGO J. VANDERBIEST
FLA#661355

CONSULTANT
DIXIE
LANDSCAPE
(305) 884-6700

STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida, 33301
954 - 627 - 9180
FL. REG # AA-26001798

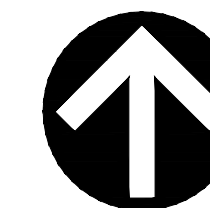
LOT EXPANSION

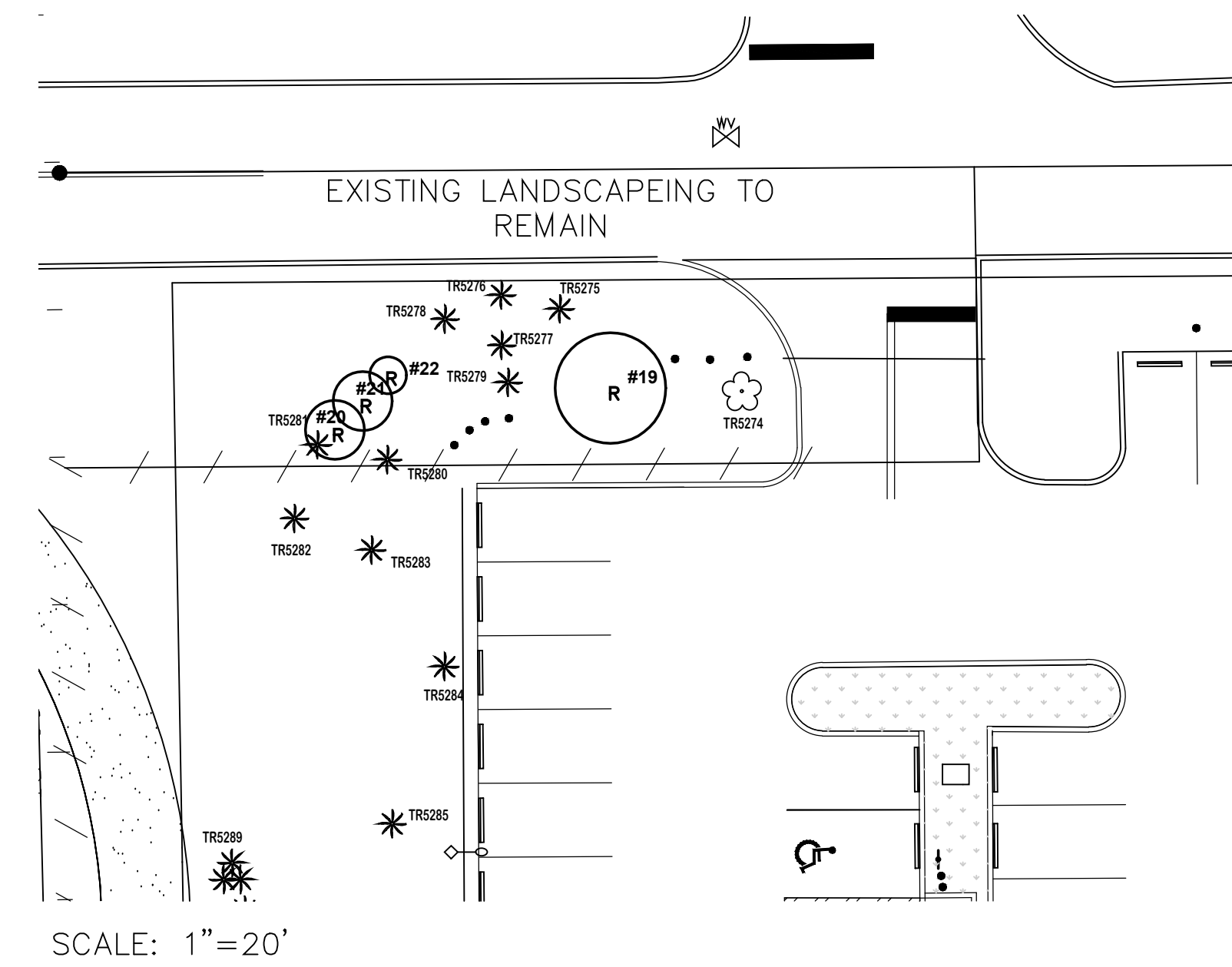
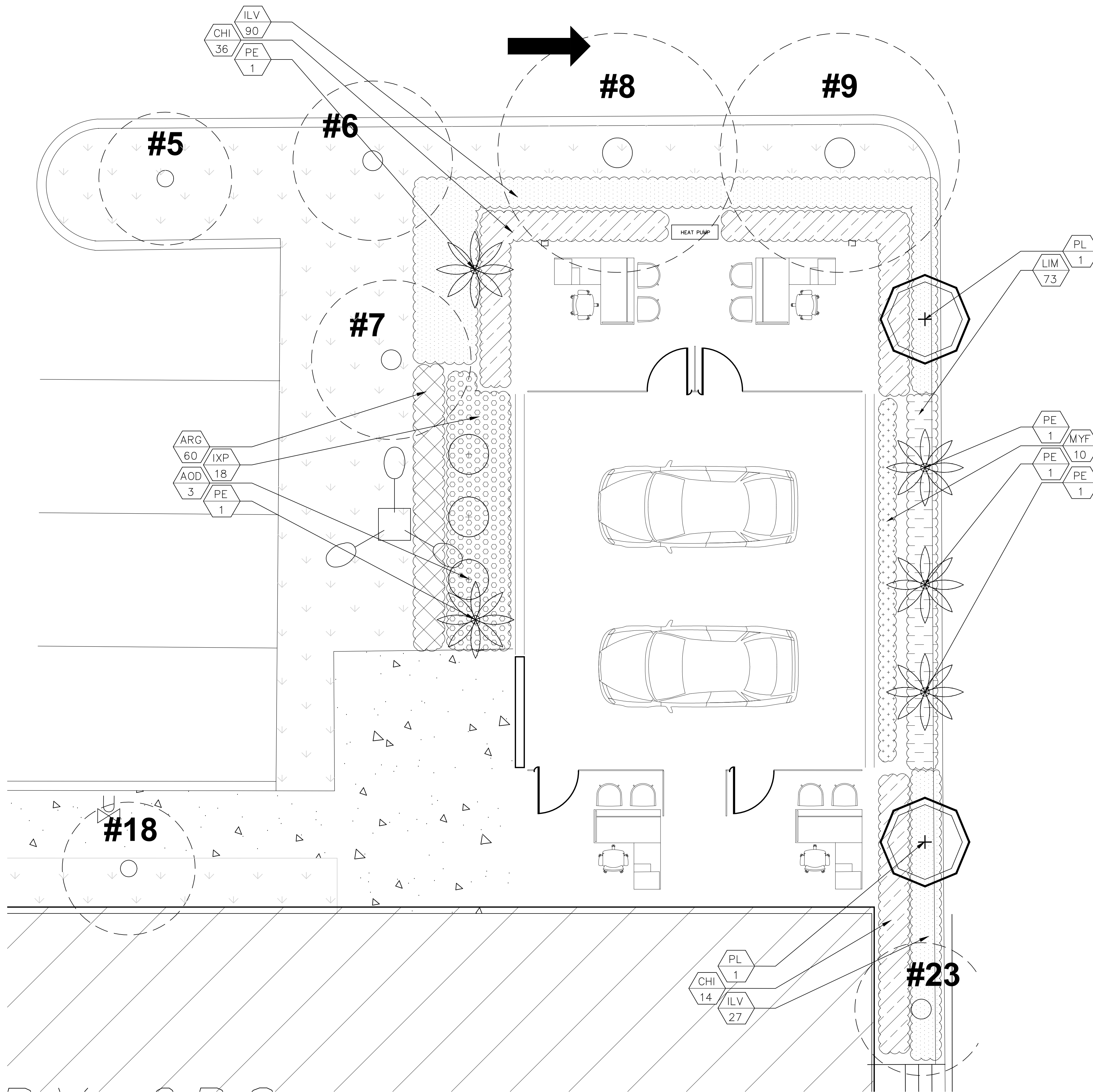
GUNTHER VOLVO
4350 NORTH STATEROAD 7
COCONUT CREEK, FL 33073

TREE DISPOSITION

TD-1

PROJECT NO. 74113
DRAWN BY: CB
CHECKED BY: AM
DATE: 10/07/2022





**LANDSCAPE REQUIREMENTS
PLANTING DATA TABLE**

Site Data	
Total Site Area	4.20 AC / 183,019 sf
Landscape Area	1.26 AC / 54,885 sf

Category	Code Requirements	Required	Provided
Interior Landscaping	1 tree / 40 lf	4	6
	20 shrubs / 40 lf	70	198
	30 groundcovers / 40 lf	105	133
Shrub/groundcover	50% native	166	177

PLANTLIST

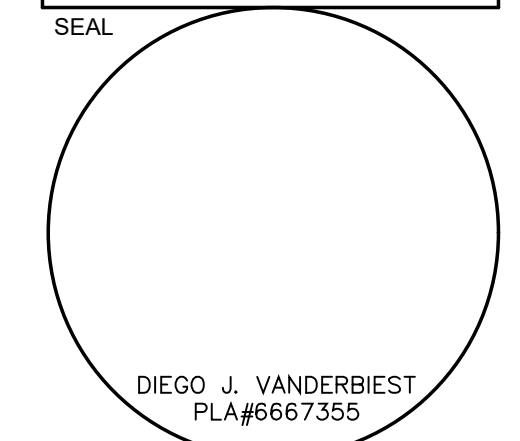
TREES & PALMS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
2	PL	<i>Polyalthia longifolia</i>	Mast Tree	12' HT, 2" CAL
5	PE	<i>Ptychosperma elegans</i>	Alexandera Palm	10' HT, Matched Height
SHRUBS & GROUNDCOVERS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
3	AOD	<i>Alcantarea 'odorata'</i>	Bromeliad	7 gal, 36" HT
60	ARG	<i>Arachis glabrata</i>	perennial peanut	6" pot
50	CHI*	<i>Chrysobalanus icaco</i>	Cocoplum	3 gal, 24" HT
117	ILV*	<i>Ilex vomitoria</i>	Yaupon Holly	3 gal
18	IXP	<i>Ixora 'petite'</i>	Dwarf Red Ixora	3 gal
73	LIM	<i>Liriope muscari</i>	Green Liriope	1 gal
10	MYF*	<i>Myrcianthes fragans</i>	Simpson Stopper	3 gal

* DENOTES NATIVE SPECIES

Note:

- Pruning may be necessary for existing trees around expansion. Pruning to be supervised by certified arborist.
- Topsoil sand mix: 50/50 topsoil and sand mix. spread in place.
- Existing trees amount for over 50% of native required trees.

REVISIONS:	
CITY COMMENTS	10/19/2022
CITY COMMENTS	12/7/2022
CITY COMMENTS	01/6/2023

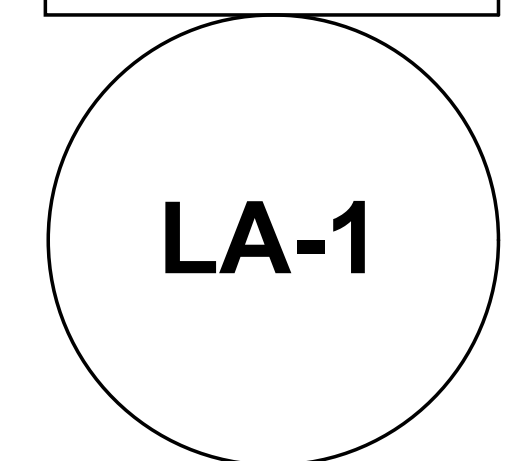


STILES ARCHITECTURAL GROUP
 201 East Las Olas Blvd
 Fort Lauderdale, Florida
 954 - 627 - 9180 33301
 FL. REG # AA-26001798

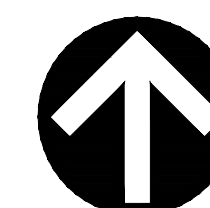


PRE-OWNED ADDITION
**GUNTHER MITSUBISHI
 COCONUT CREEK**
 4350 NORTH STATE ROAD 7
 COCONUT CREEK, FL 33073

LANDSCAPE PLAN

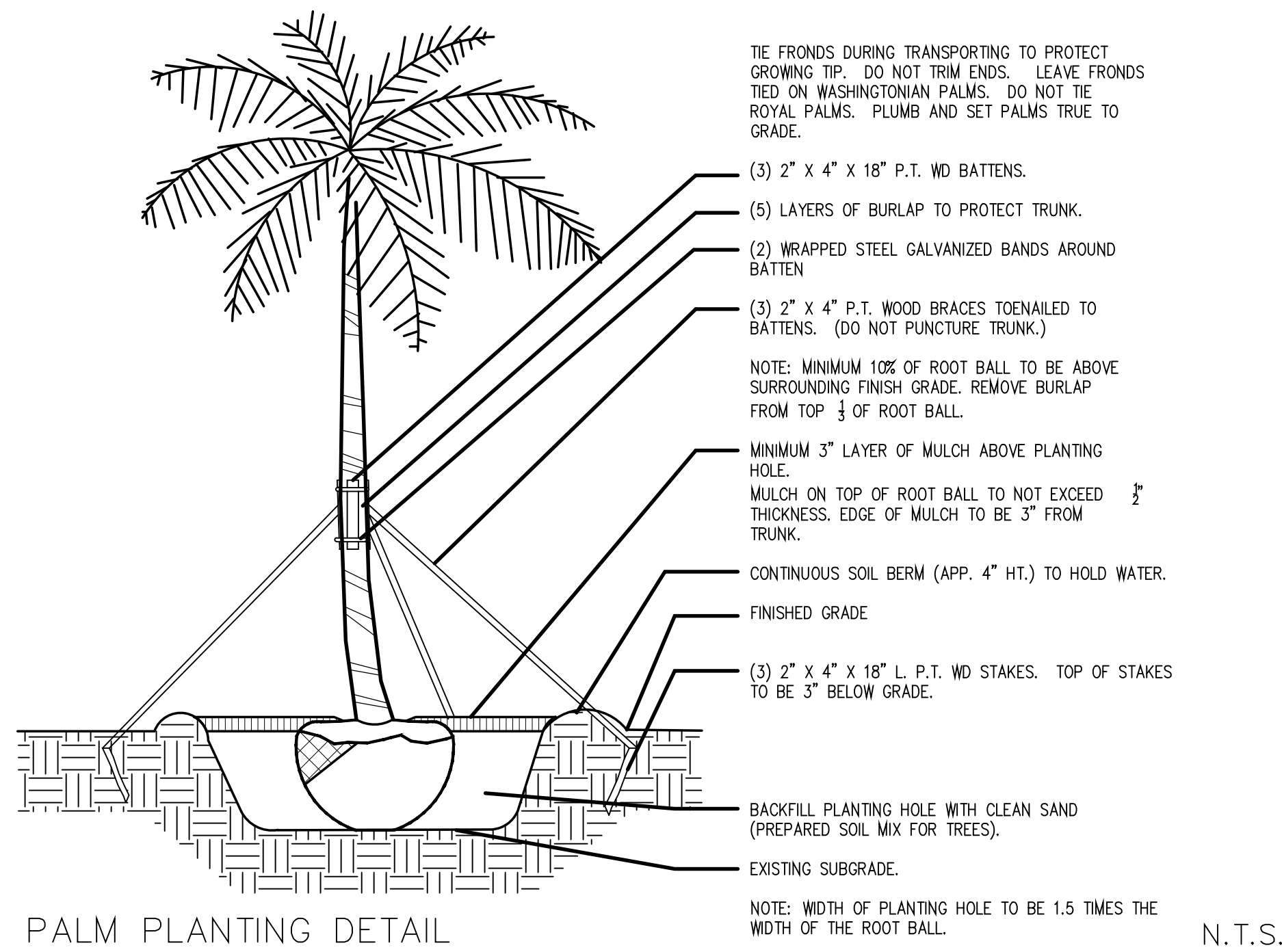


PROJECT NO.	74113
DRAWN BY:	CB
CHECKED BY:	AM
DATE:	10/07/2022



CITY OF COCONUT CREEK LANDSCAPE NOTES

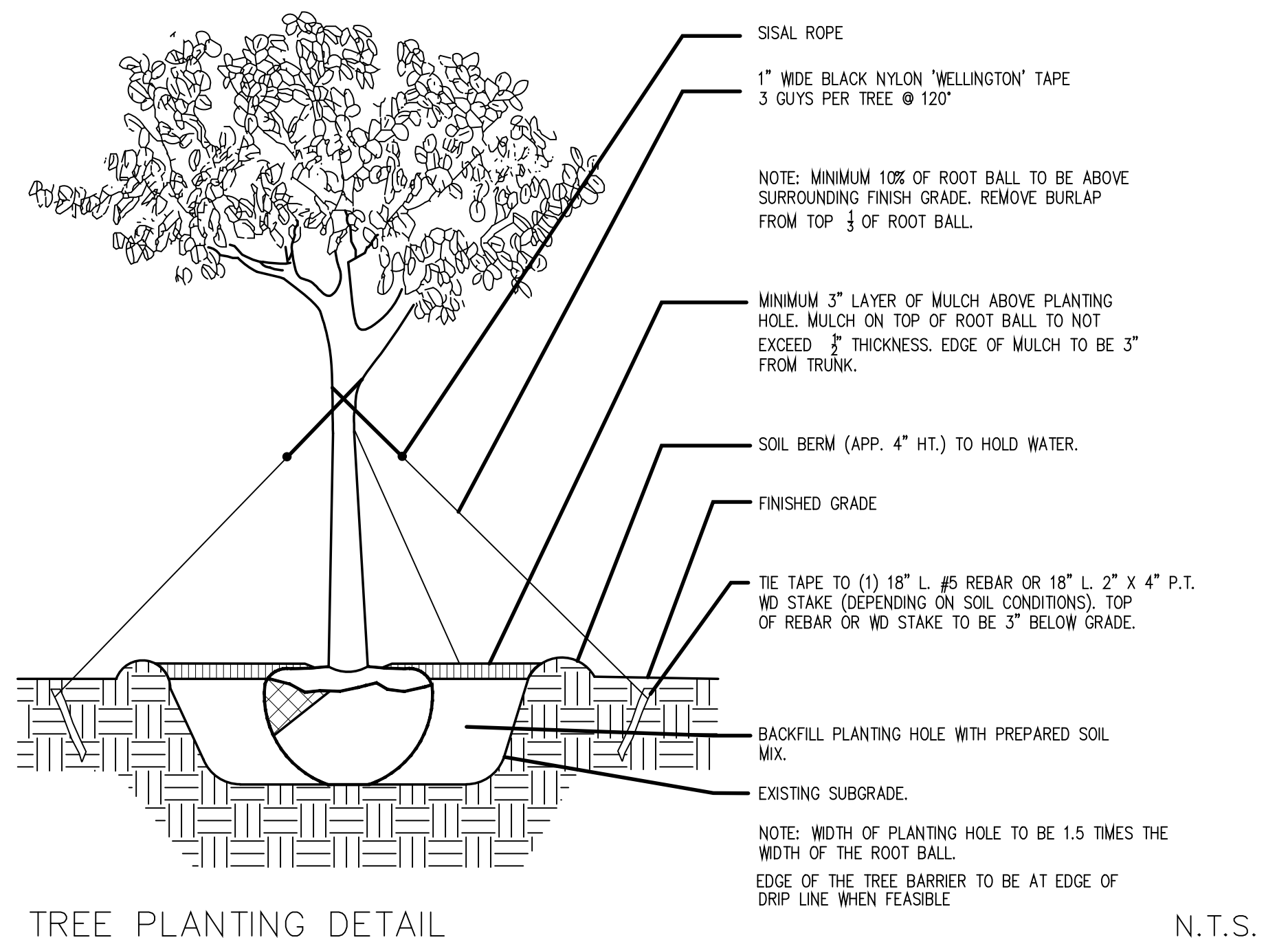
- All landscape and specifications shall meet or exceed the minimum requirements as provided in the City of Coconut Creek Land Development Code. Plans are incomplete without written notes and specifications.
- All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition. Trees shall not be tipped, topped, or shaped prior to installation.
- Landscape shall be placed to edge of abutting streets, canals, lakes or other lands.
- All mechanical equipment, air conditioning, irrigation pump stations and equipment, FPL transformers, pool pumps, etc., must be screened on three (3) sides by landscape shrubs.
NOTE: The quantity of screening shrubs is in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust on-center spacing as necessary and/or provide additional plants to provide an adequate screen.
- Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two inches, tree trunks excluded. Measurement shall be made from top of root ball planted at proper elevation.
- Guying/staking practices shall not permit nails, screws, wires, etc., to penetrate outer surfaces of trees, palms or other plant material. Trees, palms and plant material rejected due to this practice shall be replaced with the inspector on site.
- Burlap material, wire cages, plastic/canvas straps, etc., must be cut and removed from the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material REMOVED ENTIRELY prior to planting the tree or shrub.
- All plant material shall be free of pests, insects, disease, weeds, etc.
- All required landscape material shall be installed using a planting soil mix comprised of a type appropriate to the individual proposed plant material and the native soil found on the site.
- All plant material shall be planted at the proper depth, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
- All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area.
- Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit to the satisfaction of the inspector.
- Refer to Coconut Creek Fire Equipment Clear Zone diagram to maintain a safe zone fronting fire hydrants.
- Do not plant trees, shrubs or groundcover within Electric Meter Clear Zone. Provide a safe zone as described by the Electrical Inspector.
- All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with 50% overlap (minimum) using rust free water, except preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agency.
- Irrigation permits, and plans shall be submitted for approval at time of building permits.
- All non-single family or duplex irrigation systems other than City water systems shall require a South Florida Water Management District water use permit prior to issuance of an irrigation permit and installation of the irrigation system as required.
- All site amenities to include site streetlights, landscape common open space, irrigation common open space, buffers, berms, landscape entry features, etc. leading up to and including the model center and/or first certificate of occupancy must be completed and functional prior to issuance of the first requested certificate of occupancy.
- The height of all required, designed and installed berms shall be from the highest adjacent point whether it is the sidewalk, parking area, vehicular use area, surrounding ground, etc. Where a berm abuts a sidewalk, there shall be a one (1) foot level sod area adjacent to the sidewalk prior to the start of incline for the berm.
- An inspection is required prior to the backfilling of trees/palms in all parking medians and islands.



PALM PLANTING DETAIL

LARGE TREE PLANTING DETAIL SIMILAR

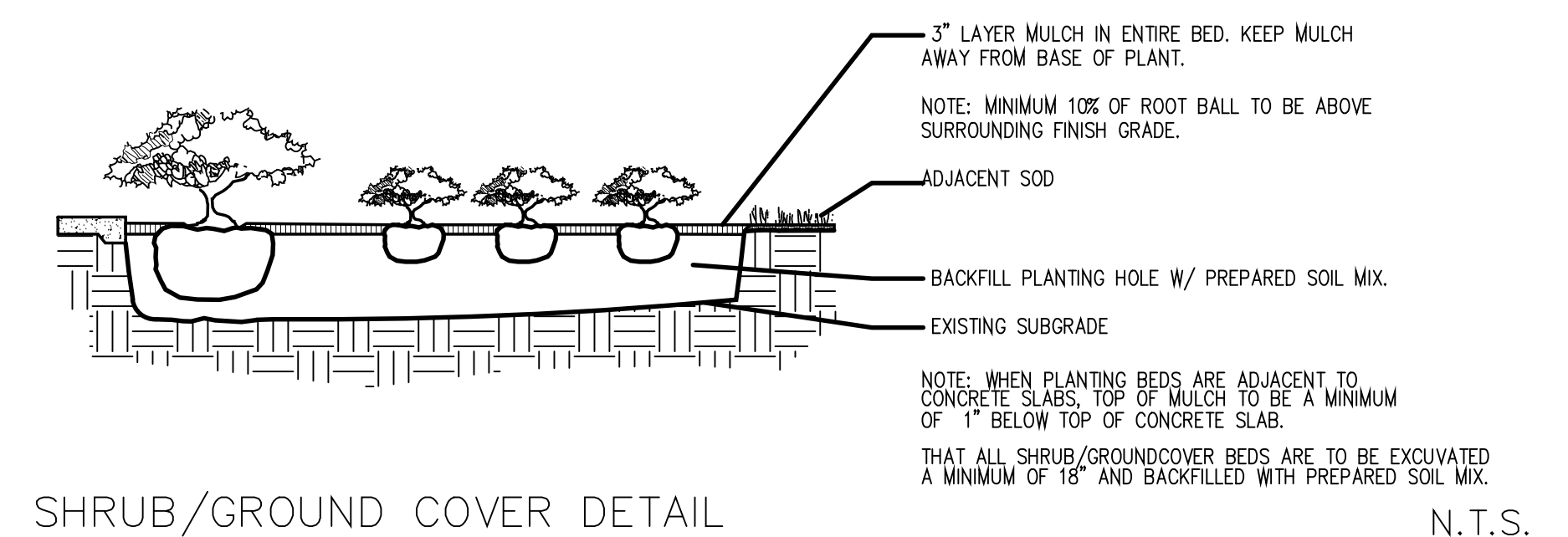
N.T.S.



TREE PLANTING DETAIL

TREES WITH 3\"/>

N.T.S.



SHRUB/GROUND COVER DETAIL

N.T.S.

PLANT NOTES

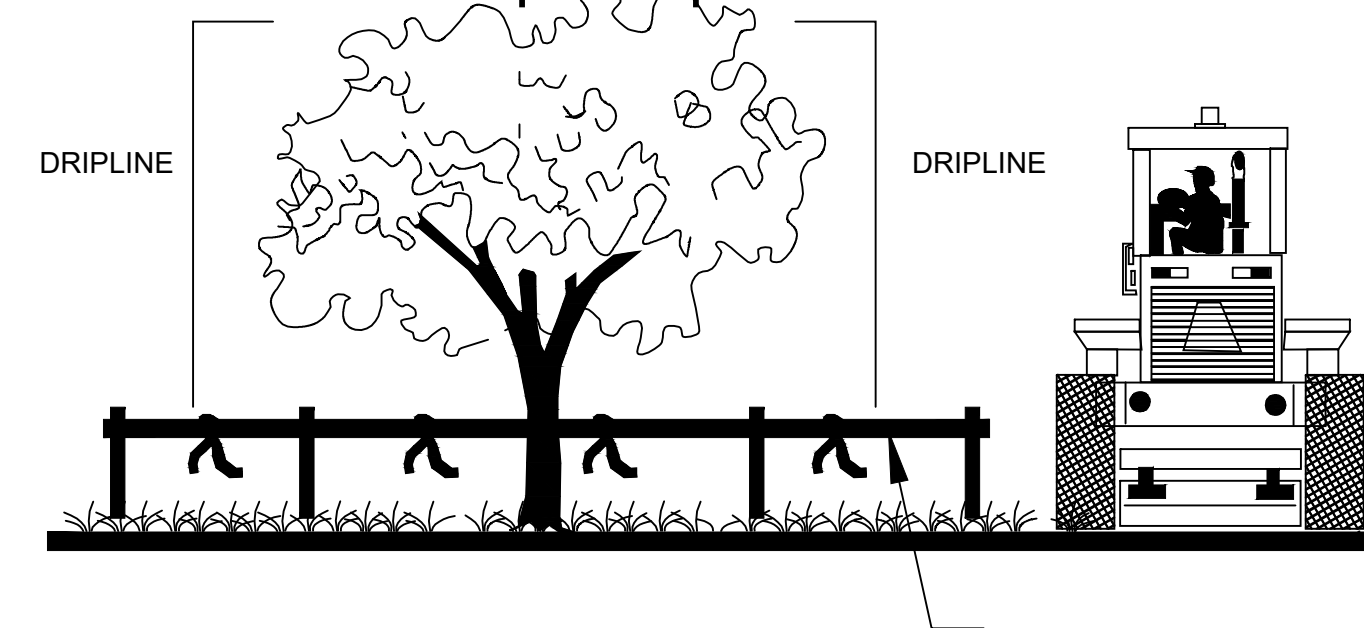
- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS; PARTS I AND II, 2ND EDITION; FEBRUARY 1998, RESPECTIVELY.
- ALL PLANTING BEDS TO BE TOPPED WITH 3\"/>

SOIL NOTES

- TOP SOIL SAND MIX: 80% TOP SOIL AND SAND MIX. SPREAD IN PLACE.
- AS PER CODE:
- NATIVE TOPSOIL REQUIREMENT. THAT AMOUNT OF NATIVE TOPSOIL FOUND ON THE SITE, IN SUCH A QUANTITY TO COVER ALL PROPOSED LANDSCAPE AREAS OF THE SITE TO A MINIMUM DEPTH OF TWELVE (12) INCHES SHOULD BE RETAINED ON SITE. SAID RETAINED TOPSOIL SHALL BE CLEAR AND FREE OF CONSTRUCTION DEBRIS, WEEDS, AND ROCK. ROCK OR DEBRIS (STONE, CORAL, ETC.) SHALL NOT EXCEED ONE AND ONE-HALF (1½) INCHES IN SIZE FOR PLANTING BEDS OR SOD PREPARATION AREA.
- PLANTING SOIL REQUIREMENT. ALL PLANTING BEDS FOR SHRUBS, HEDGES AND GROUNDCOVERS SHALL CONSIST OF A MINIMUM DEPTH OF EIGHTEEN (18) INCHES OF SOIL SUITABLE FOR THE INTENDED PLANT MATERIALS. A MINIMUM OF SIX (6) INCHES OF SOIL, TO MEET PLANT GROWTH REQUIREMENTS SHALL BE REQUIRED IN ALL OTHER LANDSCAPED AREAS. PLANTING BEDS AND LANDSCAPED AREAS SHALL BE FREE FROM ROCK, WEEDS AND CONSTRUCTION DEBRIS.
- THAT ALL SHRUB/GROUNDCOVER BEDS ARE TO BE EXCAVATED A MINIMUM OF 18\"/>

TREE PROTECTION DETAIL

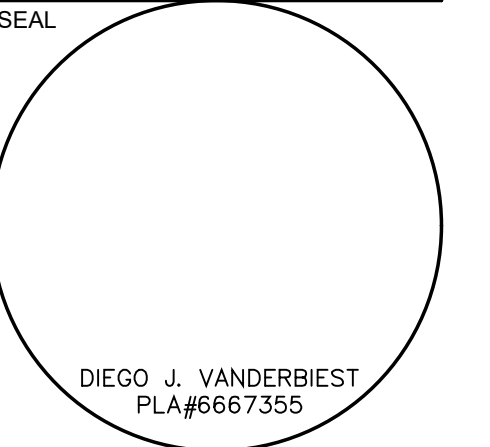
Note: Tree protection detail will be applied to all trees identified for in place preservation.



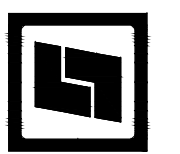
Tree Protection Barricades will be placed at the drip line of each protected tree (minimum).

Tree Protection Barricades will be comprised of orange construction fencing and staking (wood stakes, rebar, other approved material); or nylong rope and wood stakes; or other material as accepted by the county.

REVISIONS :	
CITY COMMENTS	10/19/2022
CITY COMMENTS	2/7/2022

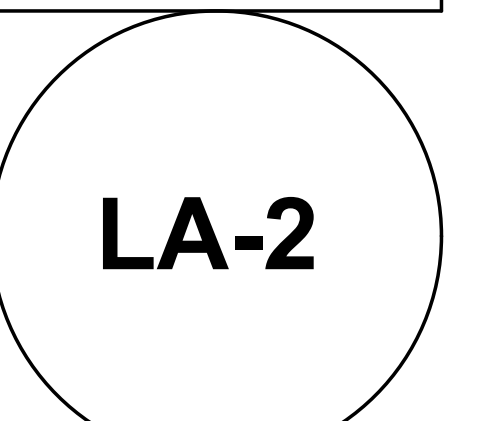


STILES ARCHITECTURAL GROUP
 201 East Las Olas Blvd
 Fort Lauderdale, Florida
 954 - 627- 9180 33301
 FL. REG # AA-26001798



PRE-OWNED ADDITION
GUNTHER MITSUBISHI
COCONUT CREEK
 4350 NORTH STATE ROAD 7
 COCONUT CREEK, FL 33073

LANDSCAPE DETAILS



PROJECT NO. 74113
 DRAWN BY : CB
 CHECKED BY : AM
 DATE : 10/07/2022