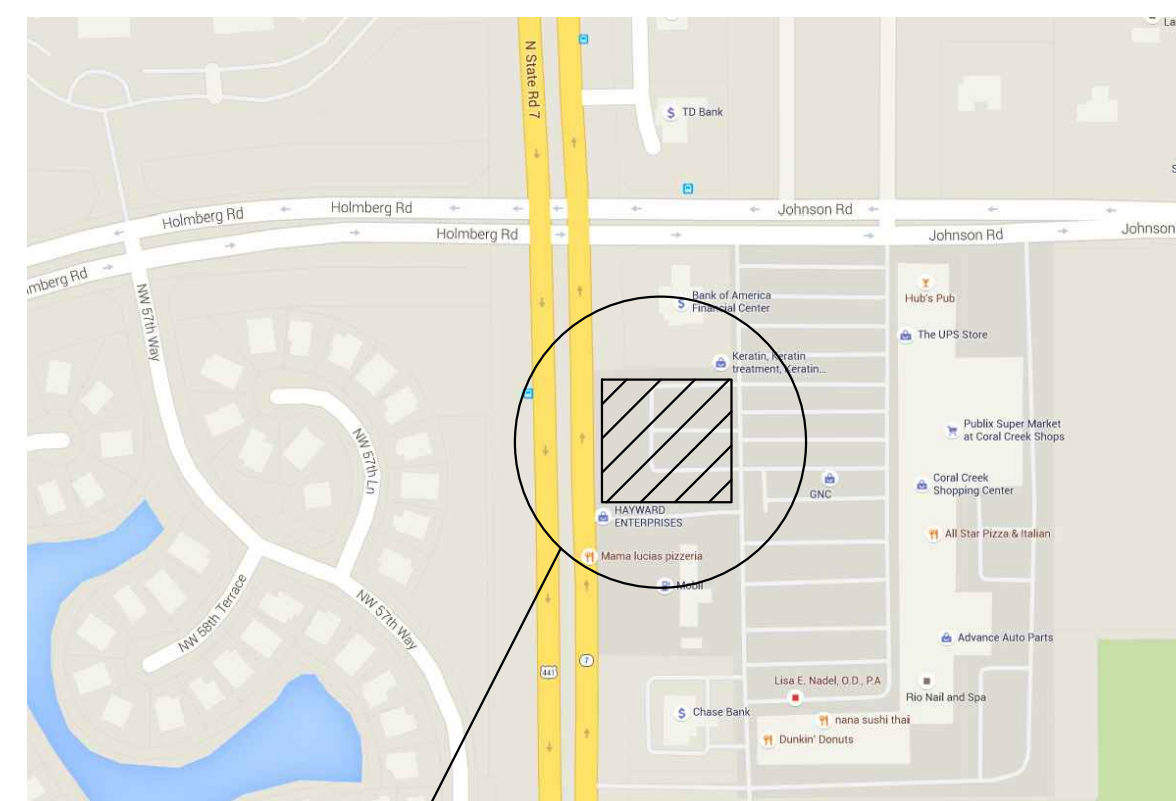




AT CORAL CREEK  
US- 441 & JOHNSON ROAD  
COCONUT CREEK , FLORIDA



JOB SITE

LOCATION PLAN

N.T.S.



**OWNER:**

**RAMCO/CORAL CREEK, LLC.**

P.O. BOX 4900 (PT 365)  
SCOTTSDALE, AZ 85261  
(248) 592-6316  
ATTN: DANIEL FEDERSPIEL

**TENANT:**

**WENDY'S PROPERTIES, LLC.**

1145 SANCTUARY PARKWAY, SUITE 225  
ALPHARETTA, GA. 30009  
(503) 562-9680  
ATTN: VICTOR EVERINGHAM, LEED BD&C

**FRANCHISEE:**

**JAE RESTAURANT GROUP, LLC.**

1100 PARK CENTRAL BOULEVARD SOUTH  
POMPANO BEACH , FL 33064  
(561) 997-6602 X114  
ATTN: LUIS RIVERA

**ARCHITECT:**

**CKE GROUP, INC.**

15500 NEW BARN ROAD, SUITE 106  
MIAMI LAKES, FL 33014  
(305) 558-4124  
ATTN: LUIS VARGAS, LEED AP

**ENGINEER:**

**CKE GROUP, INC.**

15500 NEW BARN ROAD, SUITE 106  
MIAMI LAKES, FL 33014  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHÉ, P.E.

**LANDSCAPE:**

**RICHARD BARTLETT LANDSCAPE, INC.**

12773 W. FOREST HILL BLVD. SUITE 213  
WELLINGTON, FLORIDA 33414  
(561) 795-0443  
ATTN: RICHARD BARTLETT

**PLANNER/APPLICANT:**

**CORPORATE PROPERTY SERVICES**

1239 E. NEWPORT CENTER DRIVE - SUITE 113  
DEERFIELD BEACH, FL 33442  
(954) 426-5144  
ATTN: CRAIG McDONALD

PLAN NUMBER	USB-NRE-55
LOCATION	COCONUT CREEK, FLORIDA
SITE ADDRESS	US 441 & JOHNSON ROAD
JURISDICTION	COCONUT CREEK, FLORIDA
OWNER	WENDY'S INTERNATIONAL, INC.
PROJECT No.	CKE # 1405
PLAN DATE	FEBRUARY 13, 2017

**CKE GROUP, INC.**

CA # 0004432

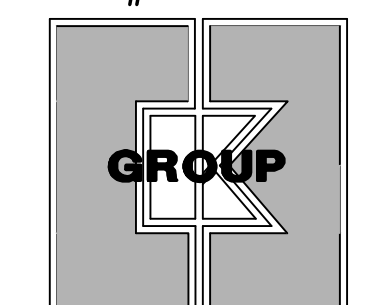
engineering • architecture • planning

**(305) 558-4124**

**15500 New Barn Road #106**  
**Miami Lakes, Florida 33014**

ANA A. GONZALEZ-VALDEZ  
ARCHITECT - AR-0097769

EDUARDO CARCACHÉ  
ENGINEER - PE 31914



Always call 811 two full business days before you dig

**Sunshine811.com**

COVER SHEET

**CS-1**



INDEX OF DRAWINGS

NO.	DESCRIPTION
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CS-2	INDEX OF SHEETS
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SP-2	SITE PLAN
SP-3	SITE DETAILS
SP-4	TRASH ENCLOSURE DETAILS
SP-5	PEDESTRIAN SITE PLAN
SP-6	TRELLIS DETAILS
SURV-1	SURVEY
SURV-2	SURVEY
PLAT-1	RECORDED PLAT
A-1.1	FLOOR PLAN
A-2.1	ELEVATIONS
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TS-1	TREE DISPOSITION PLAN
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LP-3	IRRIGATION PLAN
PH-1	PHOTOMETRIC PLAN
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C-3	SITE UTILITY PLAN
C-4	PAVEMENT MARKING PLAN
C-5	STORMWATER POLLUTION PREVENTION DETAILS
C-6	SITE DEMOLITION PLAN
C-7	CONSTRUCTION FENCE & ACCESS PLAN
C-8	TRUCK PATH PLAN

LAND DEVELOPMENT code section 13-320 Green Building Construction	
GREEN STANDARDS	DESCRIPTION
13-320(b)(1)	
LEED Accredited Professional	LUIS VARGAS LEED COORDINATOR, VICTOR EVERINGHAM, LEED BD&C
SUSTAINABLE SITE DEVELOPMENT	
Construction Pollution Prevention	Wind screen to be provided - Site will be watered to minimize dust during construction. Filter fabric provided at catch basin inlets
	Contractor shall dispose of 75% minimum of all appropriate construction material with qualified C & D recycling facility. Verification will be required.
Construction site materials recycling	Utilizing exfiltration trench and reducing the amount of asphalt on the current site to reduce stormwater runoff from this parcel.
Stormwater management	1 bicycle parking rack provided.
Alternative transportation	Roof is white, highly reflective.
Minimizing heat island effect	
WATER EFFICIENT	
	Water source & methods comply with Florida friendly Landscape Nine Principles. Low flow restroom fixtures. At least 80% of landscape is drought tolerant. Native plants are provided needing less irrigation.
Innovative water technologies	Rain sensor/timer is provided for landscape irrigation. Irrigation water source is a well. Low flow restroom fixtures provided.
Water efficient	
ENERGY EFFICIENCY	
	Building lighting will be high efficiency, LED fixtures. Site parking lot lighting will be high efficiency LED fixtures.
Minimum energy performance	N/A
On-site renewable energy	N/A
Indoor environmental quality	N/A
Indoor air quality	Interior to be low VOC products
MATERIALS & RECYCLING	
	Contractor shall dispose of 75% minimum of all appropriate construction material with qualified C & D recycling facility.
Recycling of demolition waste	Recycling dumpster provided for operator to use & all cardboards from delivery will be recycled.
Storage & collection of recyclables post occupancy	N/A
Building re-use	N/A
Regional materials	Regional materials will be used as much as possible
13-320(b)(3)	
Acknowledgement to maintain the green building components for the life of the building	JAЕ Restaurant Group, LLC

GREEN ACTION ITEMS	
ACTION ITEMS	DESCRIPTION
Action 1.6 - Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic and environmental value.	N/A
Action 2.1 - Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public & private land by 2020.	Provide 40% of parcel
Action 2.2 - Achieve 40% greenroof coverage for new construction in MainStreet. Project area & 10% greenroof coverage for new construction for areas outside of MainStreet. (i.e. high albedo paint on roof).	White roof membrane incorporated
Action 5.1 - Increase recycling throughout the City by 25% BY 2014 & 50% BY 2020.	Enclosure for recycling provided
Action 5.3 - Require all construction & demolition debris to divert 75% of waste from landfills.	Will coordinate with Republic Services
Action 6.2 - Bicycle parking on site	Bicycle rack will be provided.
Action 6.4 - Alternative vehicle parking.	N/A
NOTE: All responses to this checklist are to reflect efforts ABOVE minimum code requirements	

PLAN

NUMBER

USB-NRE-55

LOCATION

COCONUT CREEK, FLORIDA

SITE ADDRESS

US 441 & JOHNSON ROAD

JURISDICTION

COCONUT CREEK, FLORIDA

OWNER

WENDY’S INTERNATIONAL, INC.

PROJECT No.

CKE # 1405

PLAN DATE

FEBRUARY 13, 2017

CKE GROUP, INC.

engineering • architecture • planning

(305) 558-4124

15500 New Barn Road #106

Miami Lakes, Florida 33014

ANA A. GONZALEZ-VALDEZ

ARCHITECT - AR-0097769

EDUARDO CARCACHE

ENGINEER - PE 31914

CA # 0004432

GROUP

INDEX OF SHEETS

CS-2



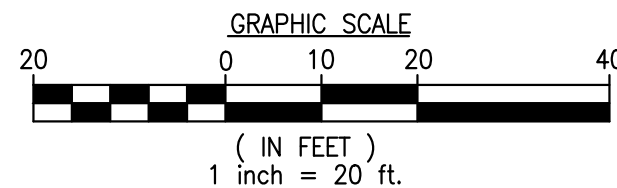


FLORIDA

CAD DWG 030-SP-1-CORAL CREEK-MASTER SITE PLAN-7 30 18.DWG



# SITE PLAN

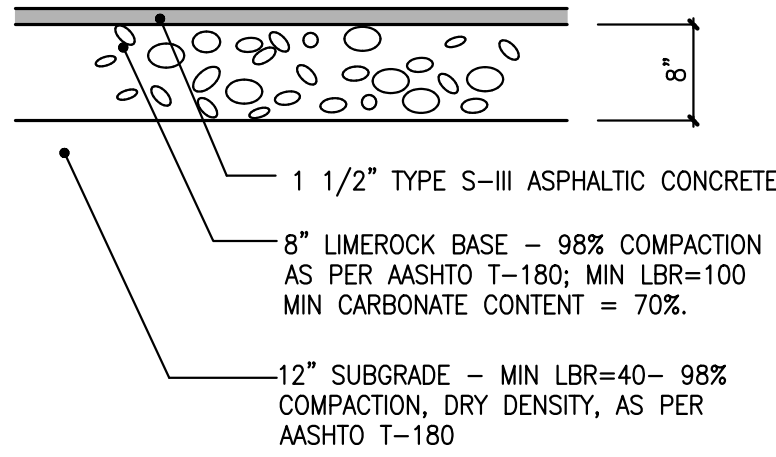


TOTAL PARKING SPACES REQUIRED:	14	SPACES
(1/150 SF OF CUST. SERVICE AREA - 951/150=7)		
(1/300 SF OF NON-CUST. SERVICE AREA - 917/300=4)		
(1/150 SF OF PATIOAREA - 364/150=3)		
HANDICAP SPACES REQUIRED:	1	SPACES
HANDICAP SPACES PROVIDED:	2	SPACES
TOTAL PARKING SPACES PROVIDED:	31	SPACES
(INCLUDING HANDICAP IN OUT PARCEL)		

SHEET NUMBER

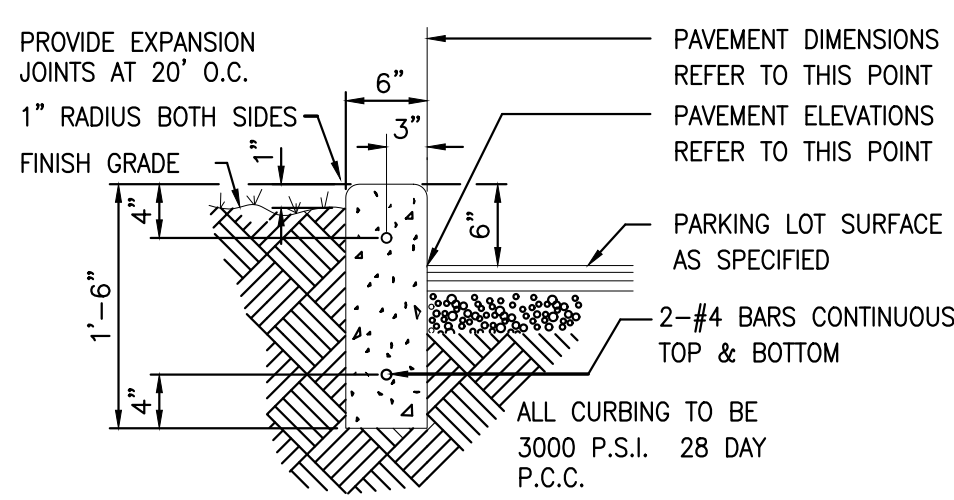
# SP-2





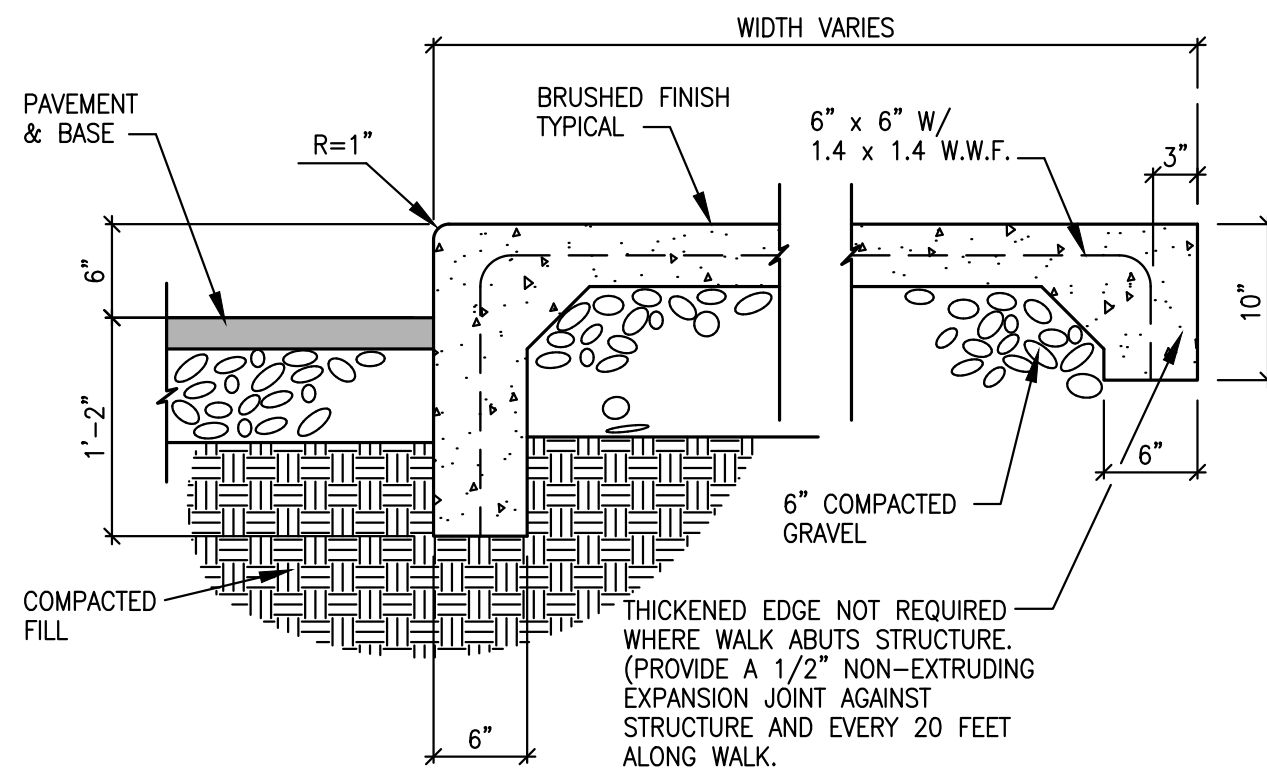
1 PAVEMENT DETAIL

NOT TO SCALE



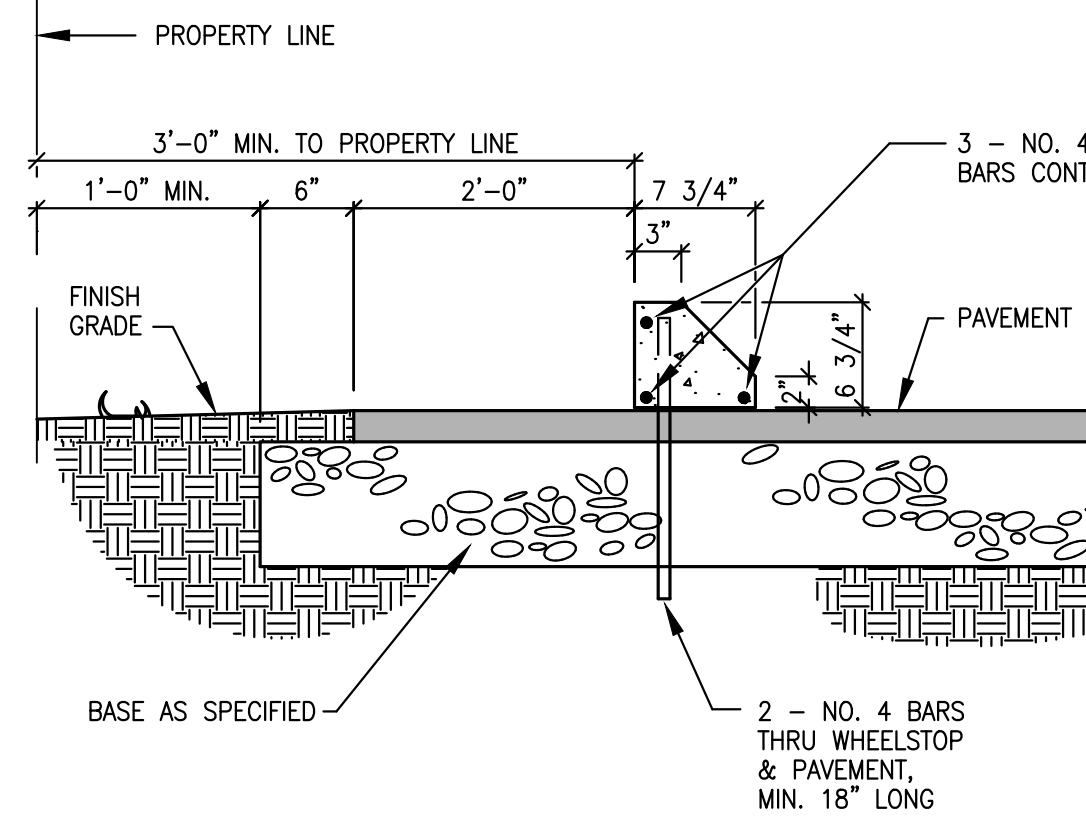
2 6" CONCRETE CURB (TYPE "D")

NOT TO SCALE



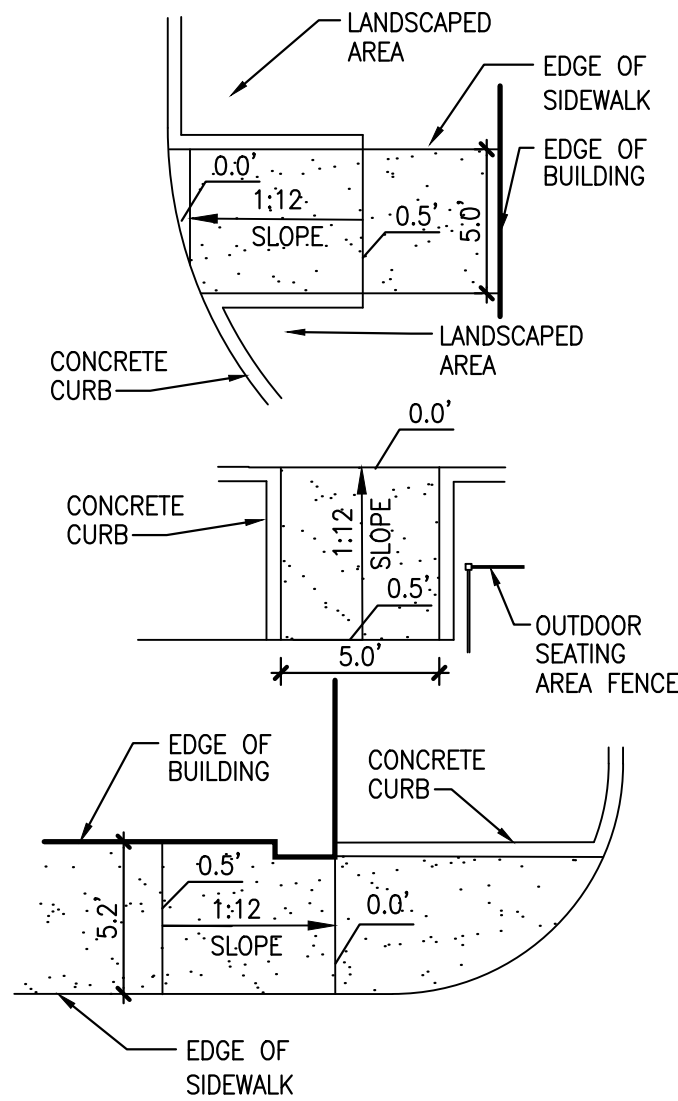
3 BRUSHED CONCRETE WALK

NOT TO SCALE



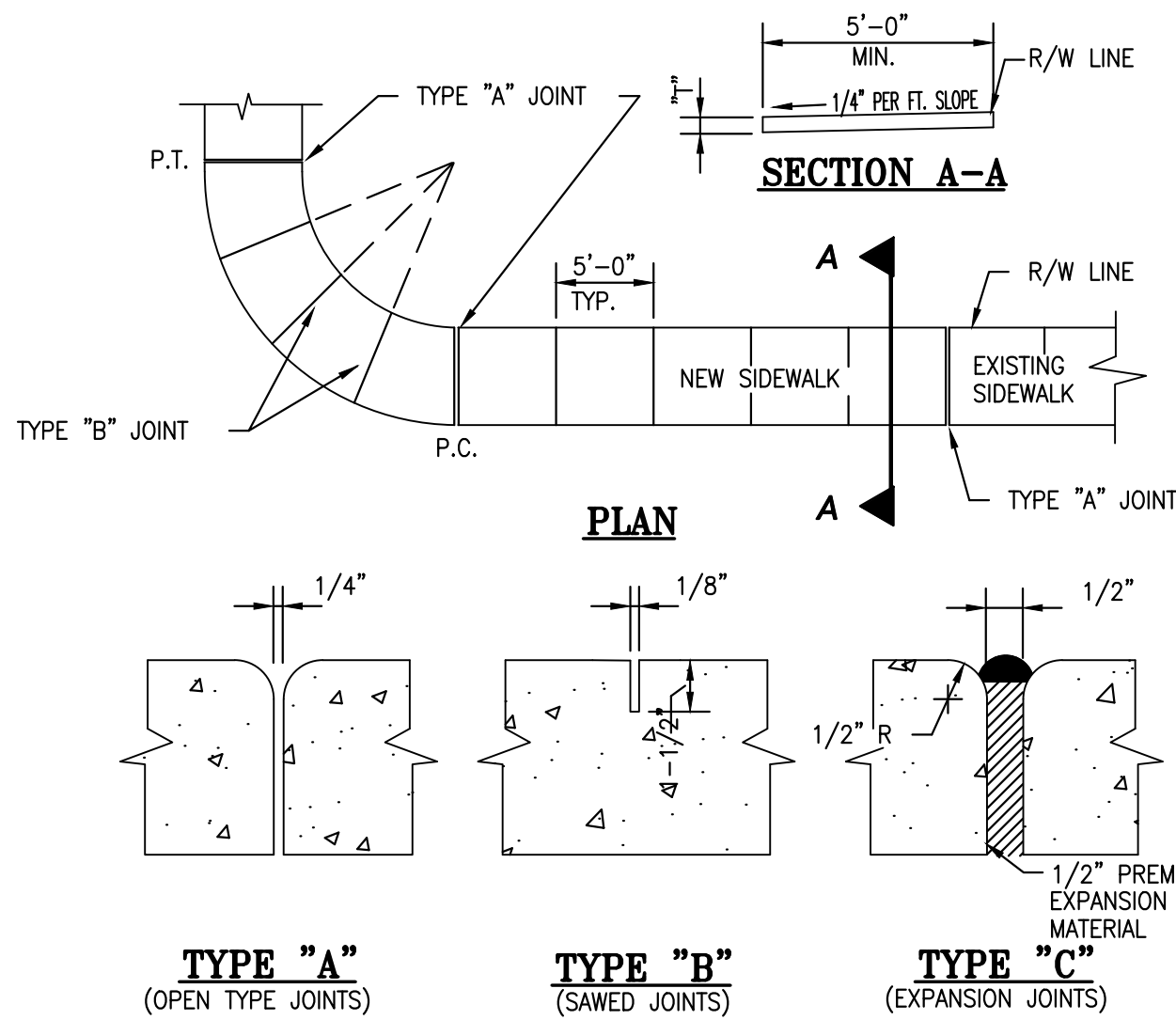
10 PRECAST CONCRETE WHEELSTOP

NOT TO SCALE



5 HANDICAP RAMP DETAILS

NOT TO SCALE

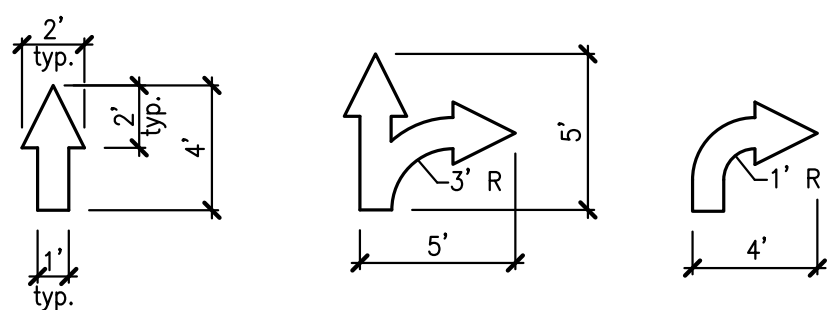


4 SIDEWALK CONSTRUCTION DETAIL

NOT TO SCALE

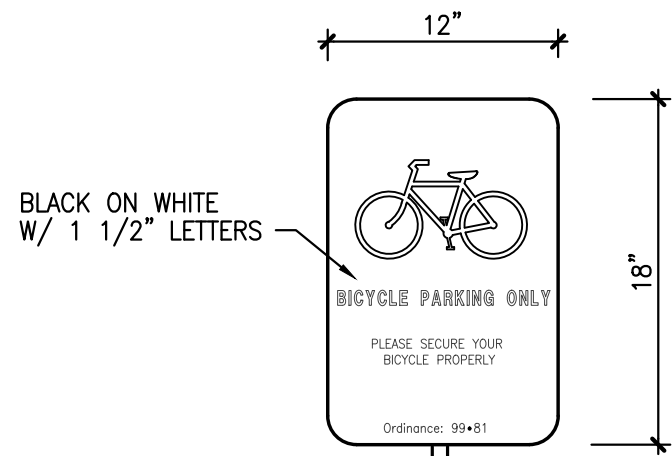
TABLE OF SIDEWALK THICKNESS-T"	
LOCATION	T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES



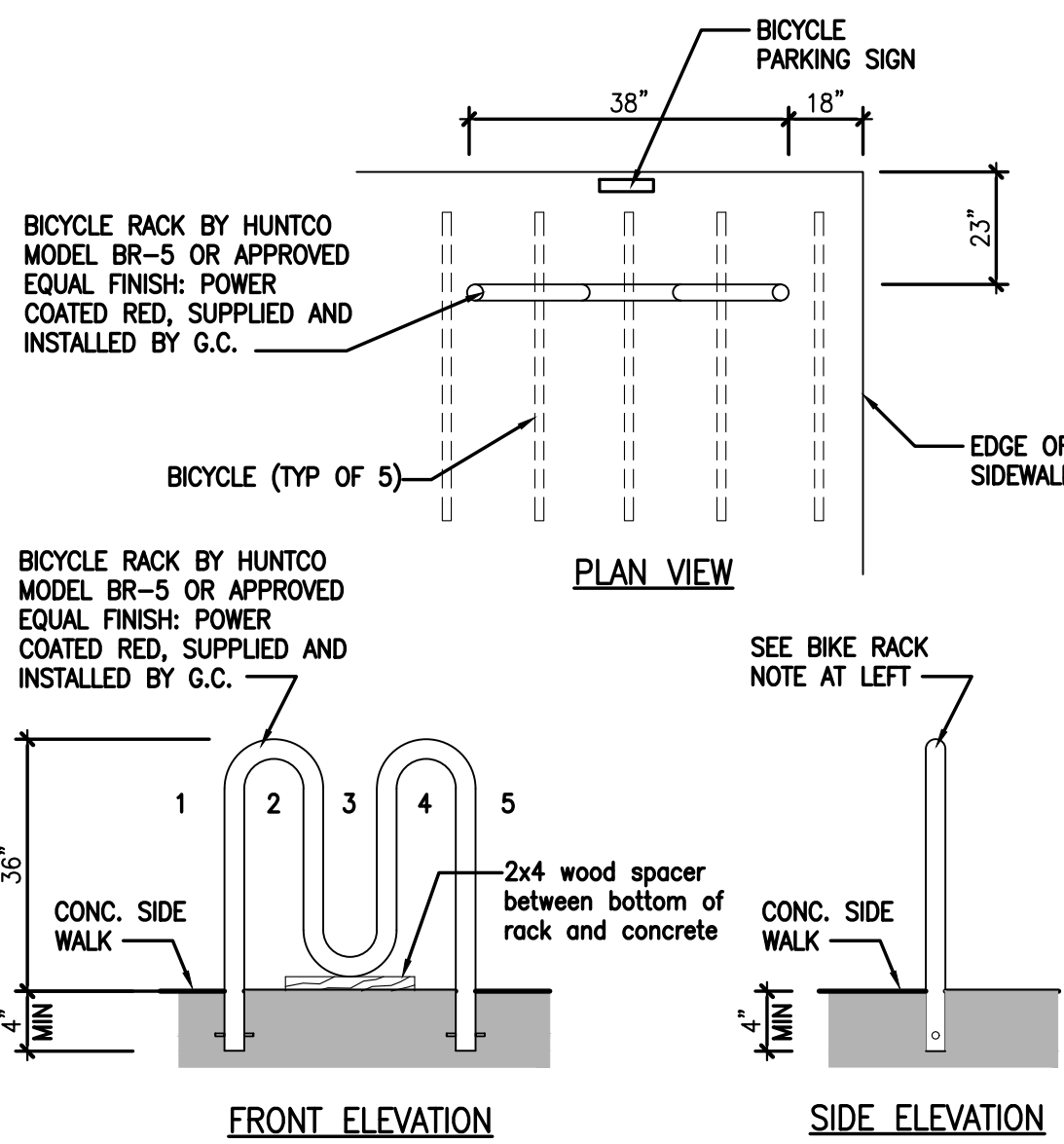
12 PAINTED ARROWS

NOT TO SCALE



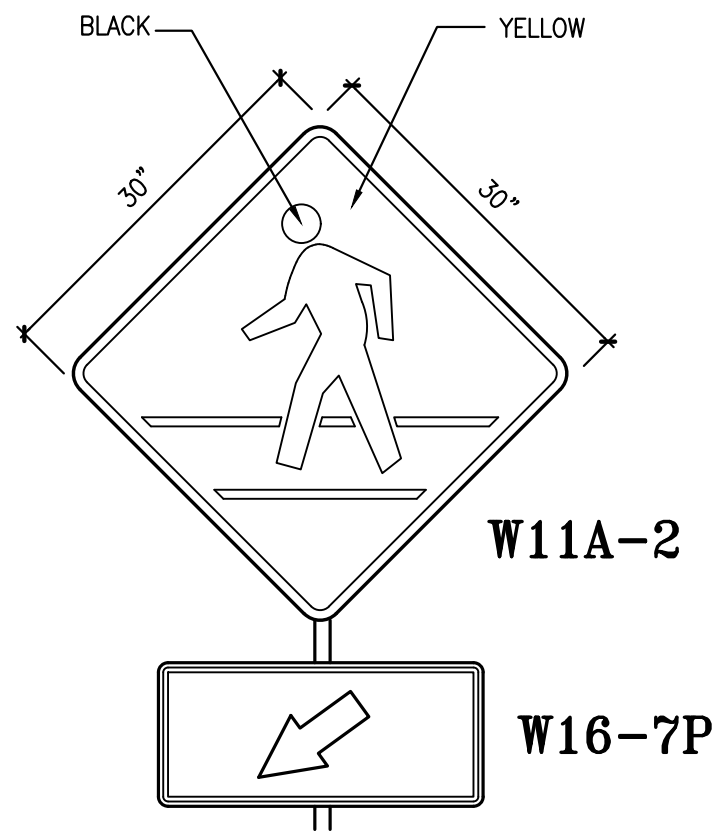
32 BICYCLE PARKING SIGN

NOT TO SCALE



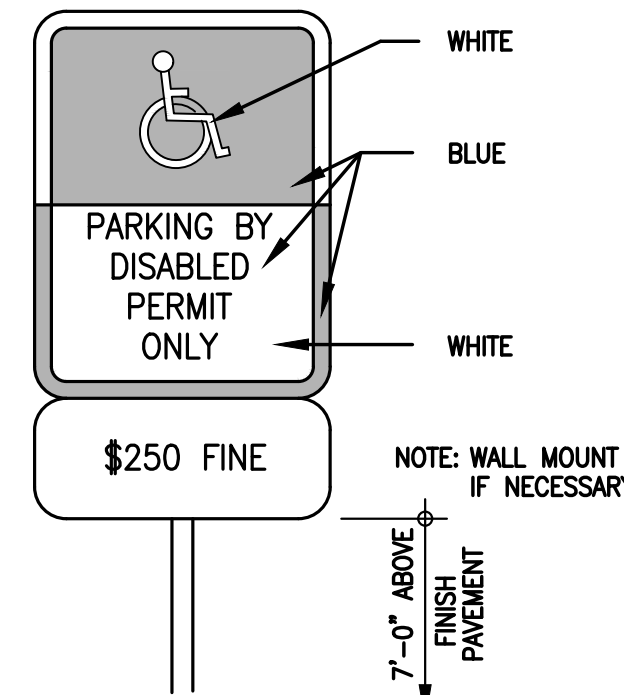
33 BIKE RACK DETAIL

NOT TO SCALE



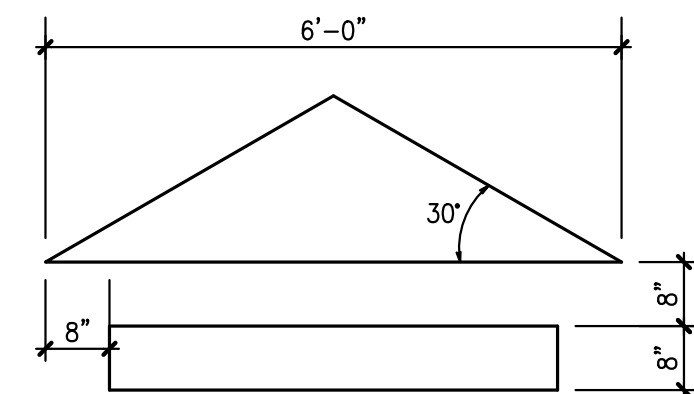
16 17 18 STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS

SCALE: N.T.S.



17 HANDICAP PARKING SIGN (FTP 20-04 PER FDOT INDEX 17355)

NOT TO SCALE

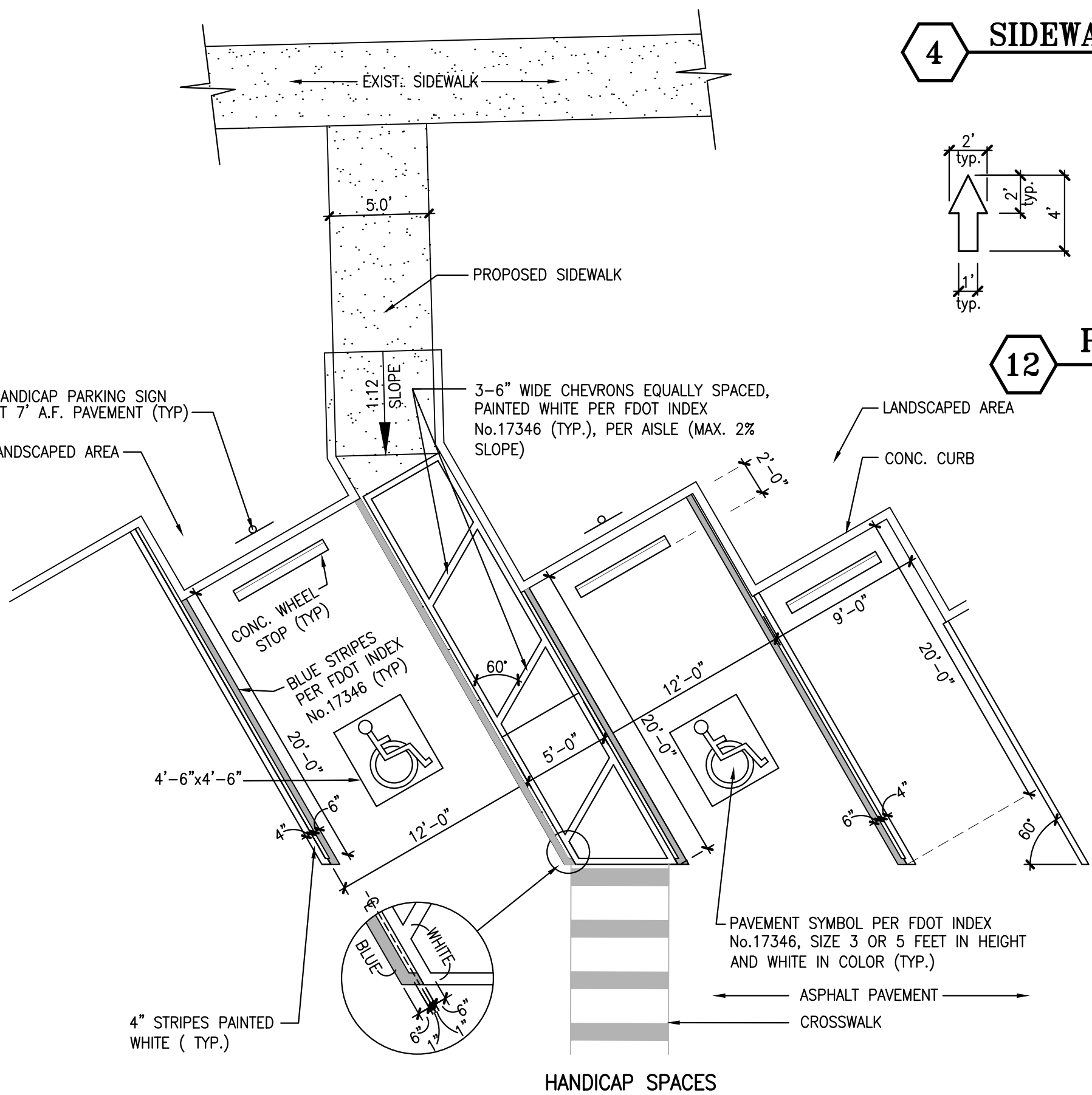


38 PAVEMENT MARKER DETAILS

NOT TO SCALE

### GENERAL NOTES

- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
- DESIGNS ARE PER 146 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).
- ALL PAINTED PAVEMENT MARKERS ARE TO BE SOLID YELLOW AND FURNISHED BY GENERAL CONTRACTOR.
- WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.



13 16 17 HANDICAP AND STANDARD PARKING DETAILS

NOT TO SCALE

2A 2' CONCRETE CURB & GUTTER (TYPE "F")

### \* NOTE:

WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS

SCALE: 1" = 1'-0"

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXX
UPGRADE CLASSIFICATION:	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



PROJECT TYPE:	USB NRE 55 NEW
---------------	----------------

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION

ISSUE DATE:	02/10/2016
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.

SEAL

EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

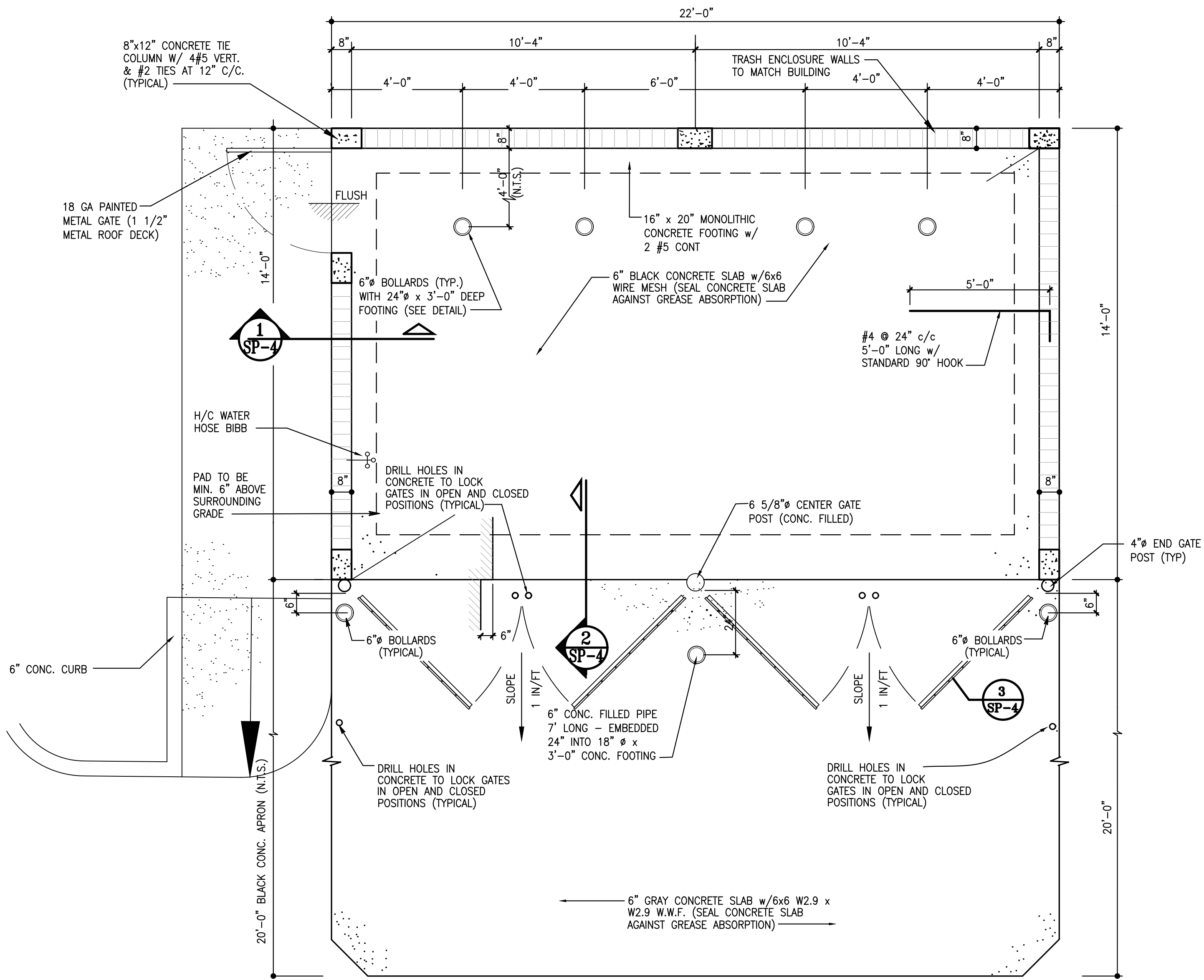
SHEET NAME

SITE DETAILS

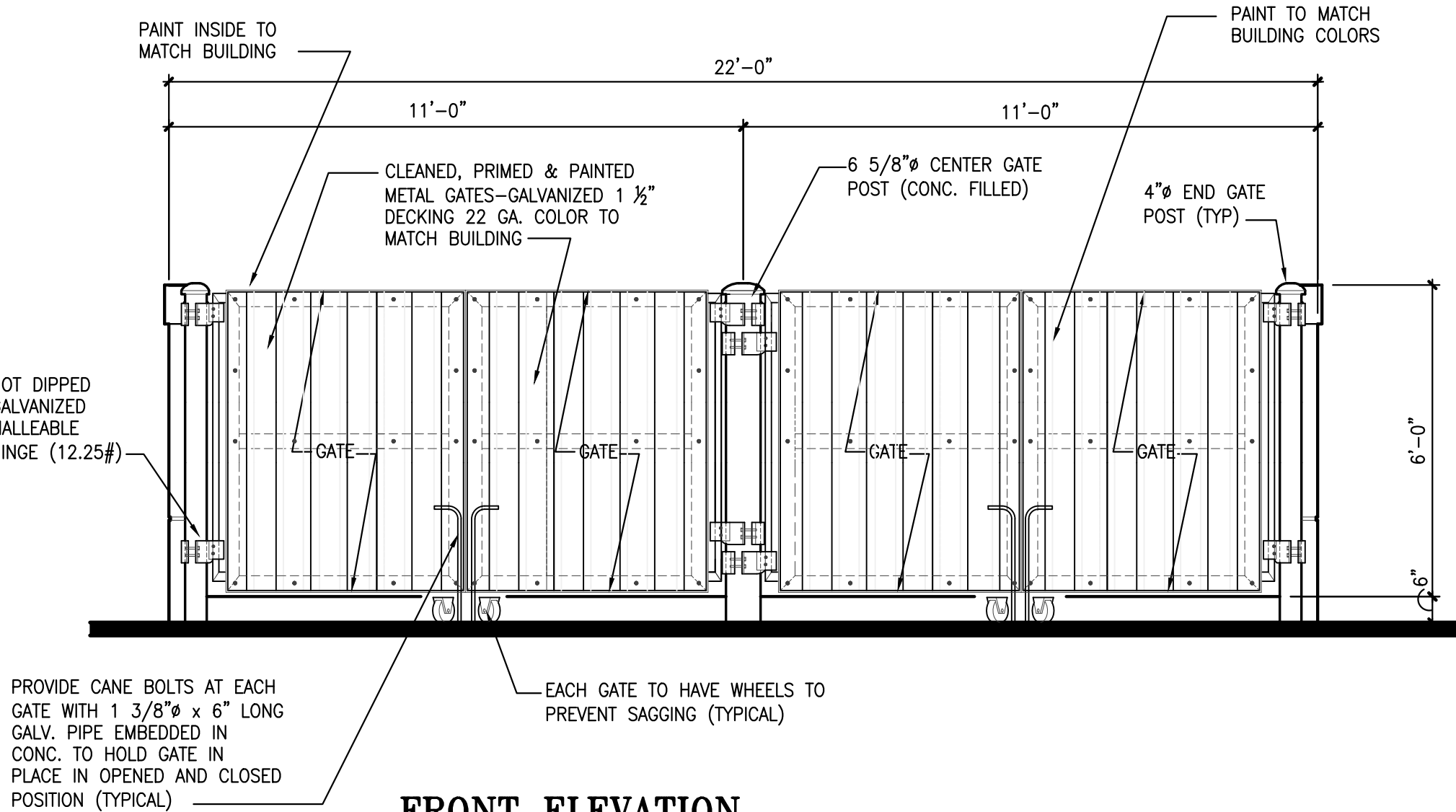
SHEET NUMBER

**SP-3**

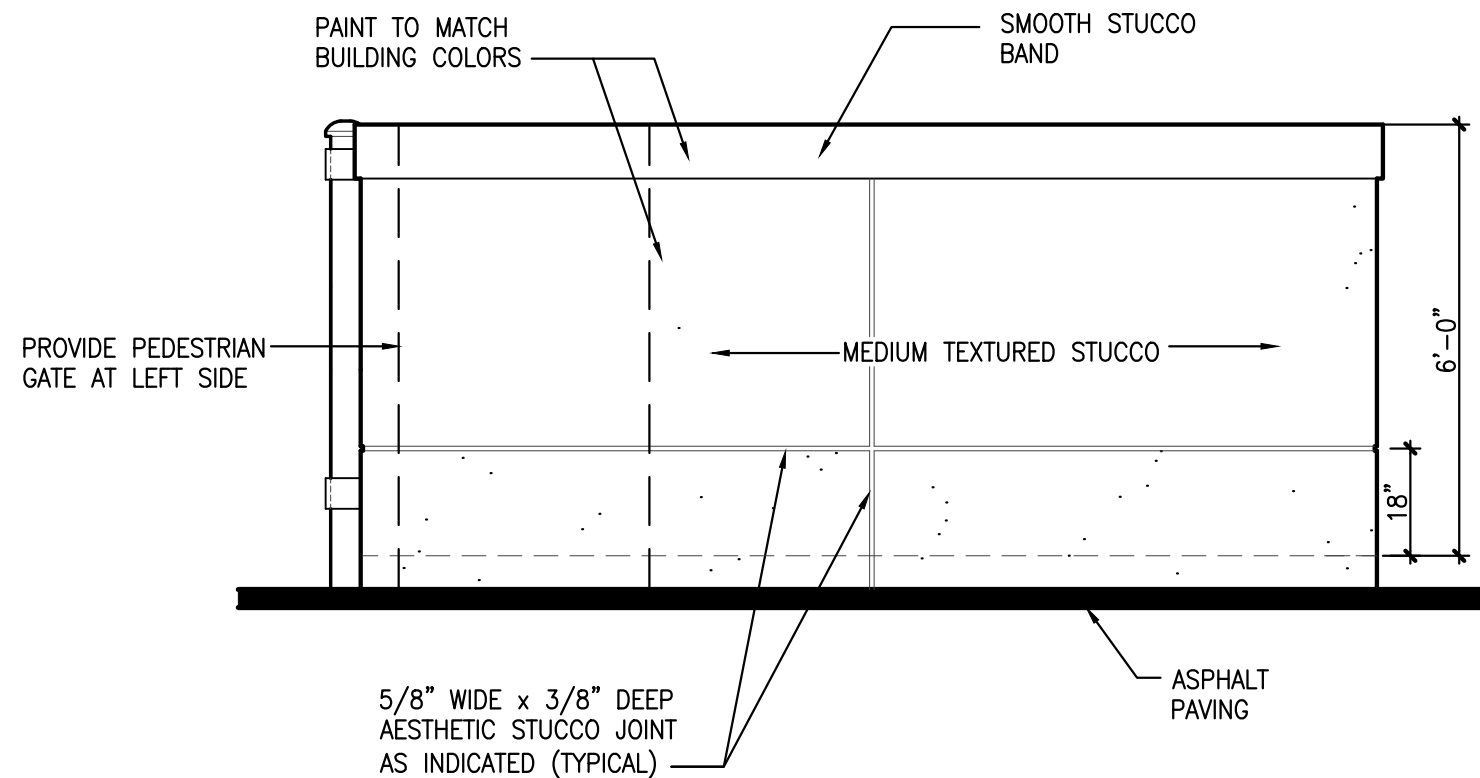




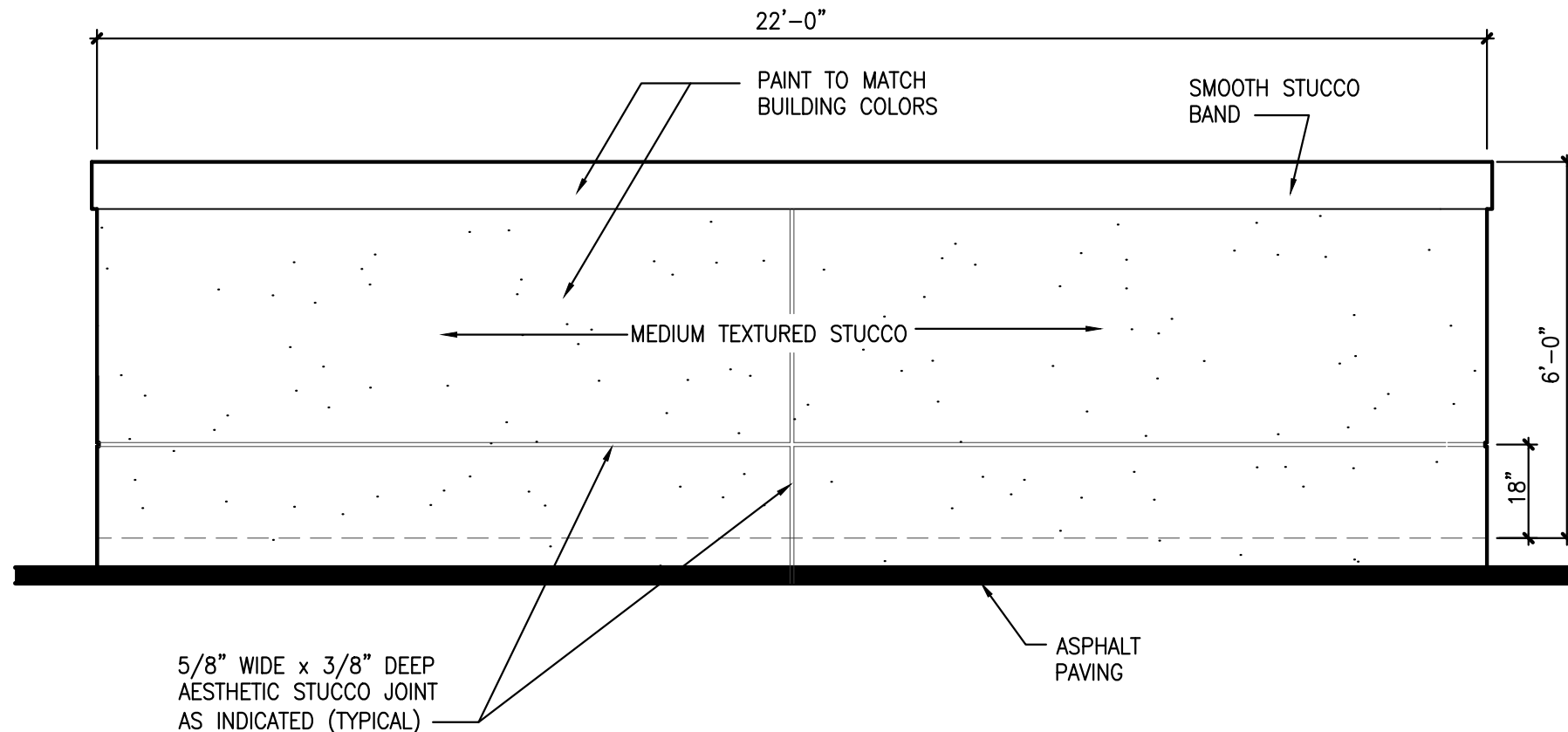
TRASH ENCLOSURE AND  
RECYCLING ENCLOSURE PLAN



FRONT ELEVATION

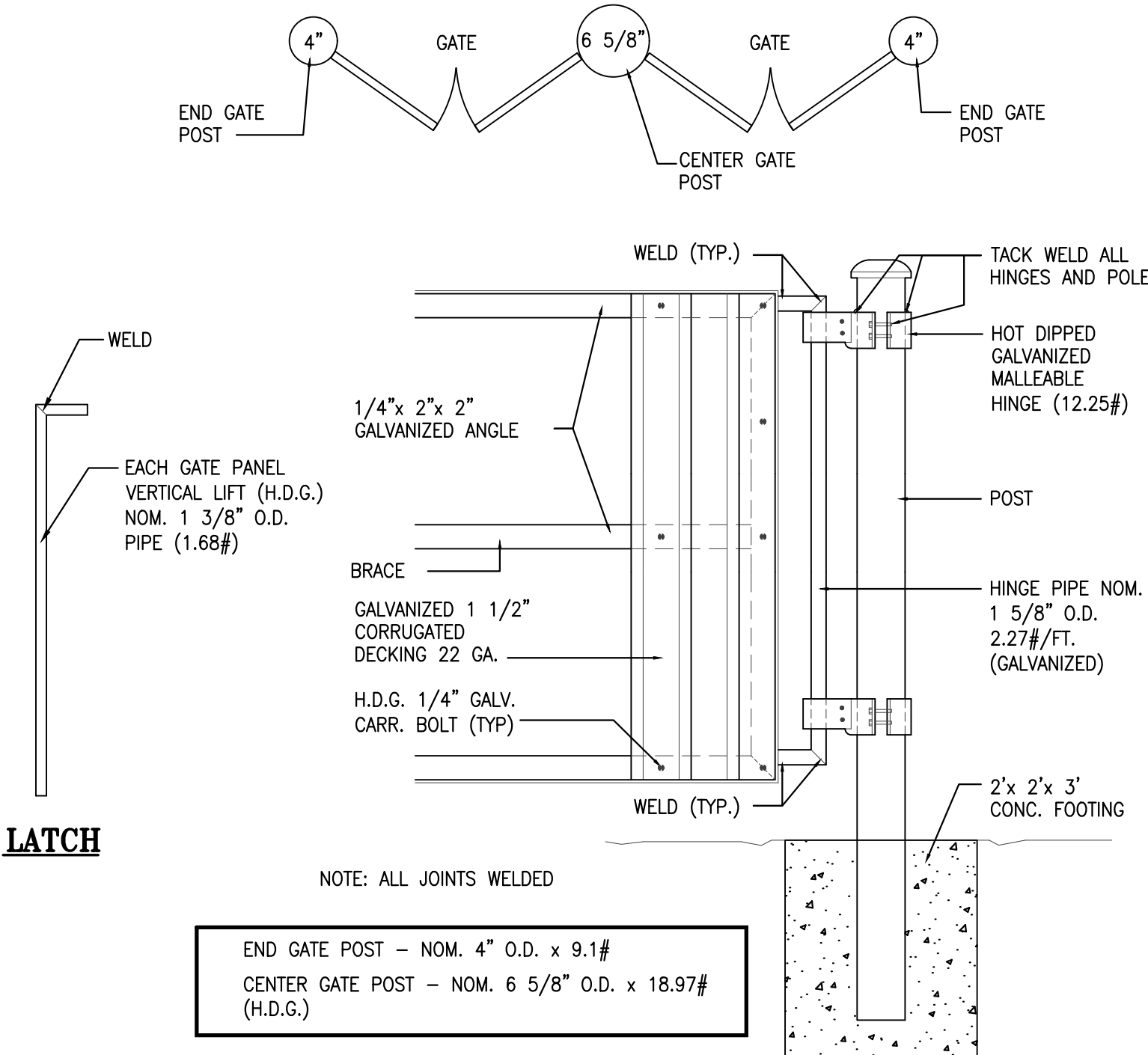


RIGHT SIDE ELEVATION



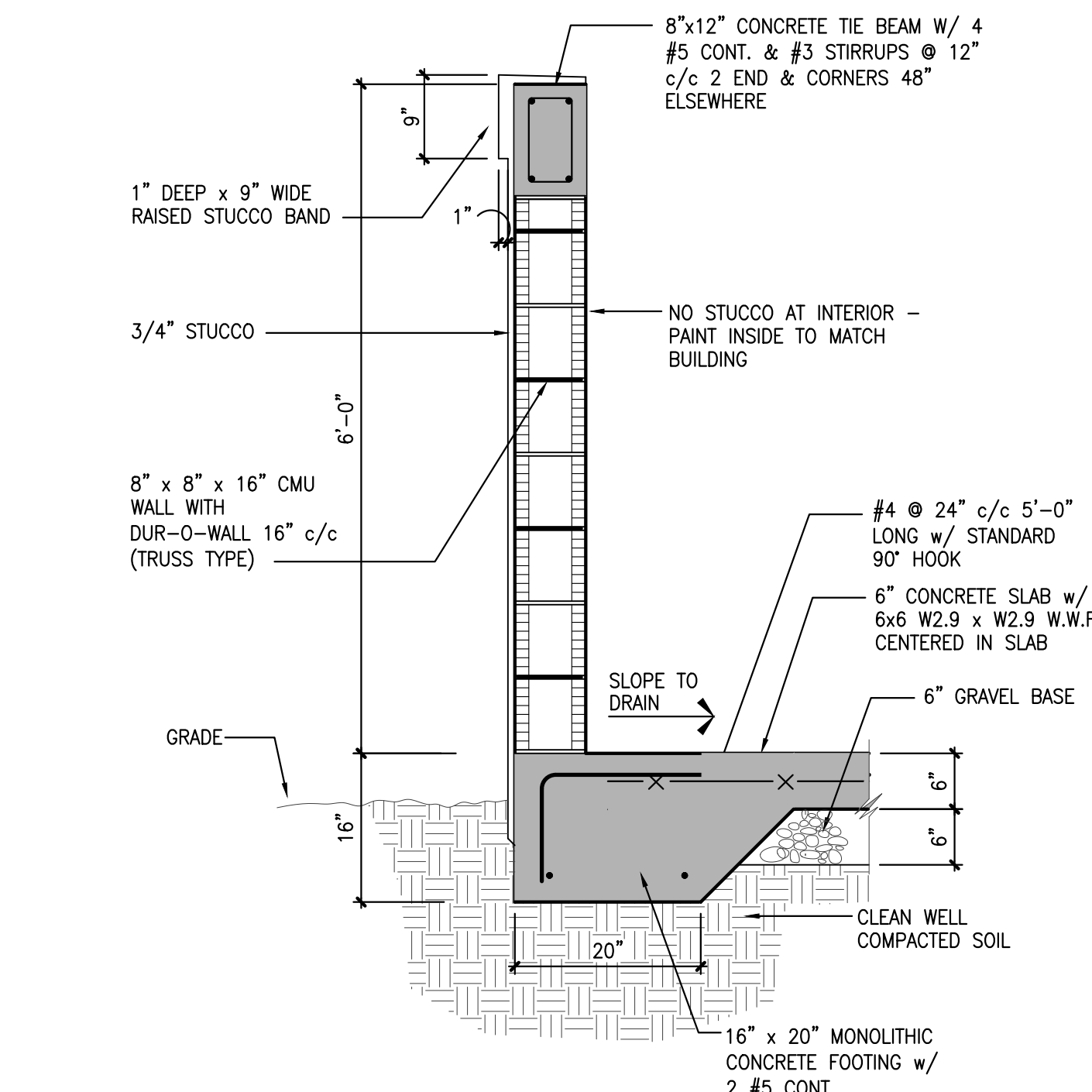
REAR ELEVATION

TYPICAL GUARD POST



GATE DETAIL

SECTION AT SLAB FOOTING



SECTION THRU TYPICAL WALL

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXX
UPGRADE CLASSIFICATION:	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



PROJECT TYPE:	USB NRE 55 NEW
---------------	-------------------

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
2	07-18-18	

ISSUE DATE:	02/10/2016
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.

SEAL
EDUARDO L. CARCACHÉ, PE 31914 ANA A. GONZALEZ VALDES, AR 97769 LUIS VARGAS, LEED AP #701023753163800 CKE GROUP, INC. COA-4432

SHEET NAME	TRASH ENCLOSURE
SHEET NUMBER	SP-4



NEW BUTLER ROAD

ACCESS ROAD

US HIGHWAY #44 I (STATE ROAD #7)

JOHNSON ROAD

PEDESTRIAN ACCESS POINT

BUS STOP

PEDESTRIAN SITE PLAN

SCALE: 1"=50'-0"



0' 10' 25' 50'

SHOPS AT CORAL CREEK

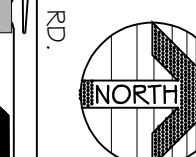
COCONUT CREEK,

FLORIDA

LOCATION MAP

N. STATE RD. 7

SITE



**RAMCO  
GERSHENSON**  
PROPERTIES TRUST

31500 NORTHWESTERN HIGHWAY, SUITE 300  
FARMINGTON HILLS, MICHIGAN 48334  
PHONE: 248.350.7800 FAX: 248.350.9925



**WAH YEE ASSOCIATES**  
ARCHITECTS & PLANNERS

42400 GRAND RIVER AVENUE, SUITE 200  
NOVI, MICHIGAN 48375  
PHONE: 248.489.9160  
PROJECT NO. 4889

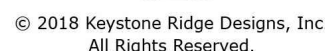
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**PRELIMINARY**  
NOT FOR CONSTRUCTION

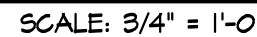
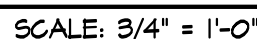
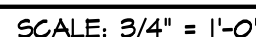
SP-5

July 30, 2018





NOT TO SCALE



- (1) STUCCO OVER WOOD BASE TO BE APPLIED OVER PAPER BACKED WIRE MESH (TYPICAL) - AT THE CONTRACTOR'S DISCRETION STUCCO BANDS MAY BE CONSTRUCTED OF SOLID STUCCO. THE USE OF FOAM SHAPES WILL NOT BE PERMITTED
- (2) INSTALLATION OF HI RIBBED BUILDING PAPER BACKED METAL LATH SHALL COMPLY WITH ASTM C 1063 PER SECTION 2510.3 OF THE FLORIDA BUILDING CODE.

**Wendy's.**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

[illegible]

## DETAILS

ISSUE DATE: 02/10/2016

PROJECT NUMBER: 1493

DRAWN BY: R. C.

CHECKED BY: E. C.

SEAL

EDUARDO L. CARCACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME

## TRELLIS DETAILS

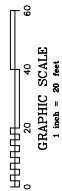
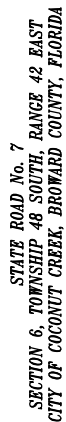
SHEET NUMBER

# SP-6









PARKING SPACE TABLE	
<del>STANDARD</del>	EXISTING
STANDARD	85
HANDICAPPED	0
TOTAL	85

CURVE C1  
RADIUS = 11559.16'R  
ARC = 24.87°R  
CHORD = 24.87°R: 24.93'M  
CHD. BRG. = N00°49'15"W R  
N00°48'25"W M

CURVE C2  
RADIUS = 11559.16'R  
ARC = 210.16°R  
CHORD = 210.16'RC; 210.16'M  
CHD. BRG. = N01°24'12"W RC  
N01°23'22"W M  
DELTA = 01°02'30"R

CURVE C3  
RADIUS = 11559.16'R  
ARC = 174.06°R  
CHORD = 174.06'RC; 174.03'M  
CHD. BRG. = S02°21'20"E RC  
S02°17'44"E M

LINE L1  
S893620W - 4.35'R  
S893739W - 4.35'M  
DELTA = 005146°R

- [illegible]

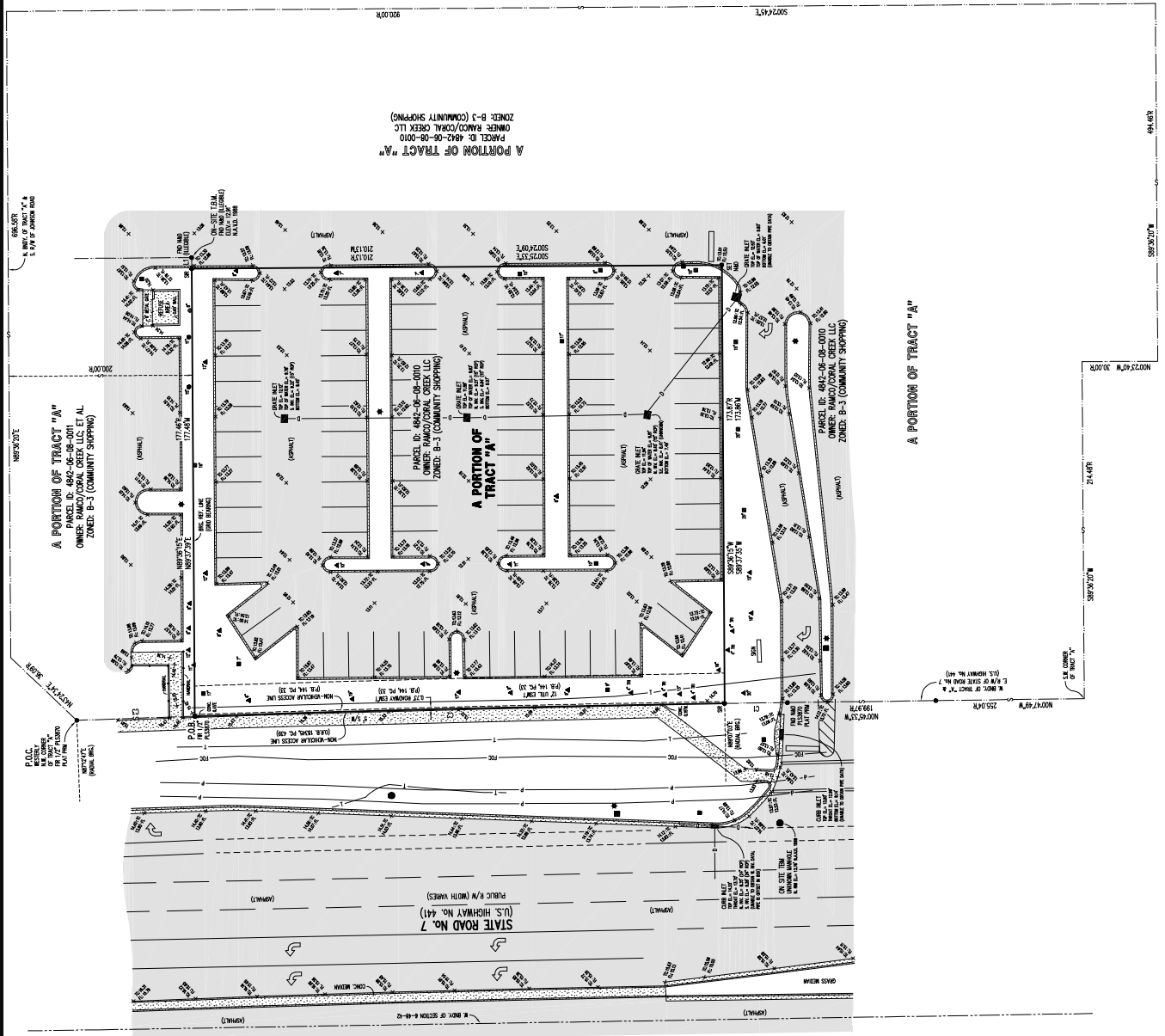
**LEGAL NOTICE**

ALTA/NSPS LAND TITLE SURVEY (STORE # 11670) - SHEET 2 OF 2

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. I CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.	JOB NUMBER: 160116	DATE SURVEYED: 4-12-2016
	DRAWING FILE: 160116.DWG	DATE DRAWN: 4-28-2016
	LAST REVISION: 5-19-2017 X REFERENCE: N/A	

[illegible]

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shall be prosecuted to the full extent of the law.  
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# SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B"

A REPLAT OF PORTIONS OF TRACTS 62 and 63, LYING IN BLOCK 85 OF  
"THE PALM BEACH FARMS CO. PLAT NO. 3" (P.B.2, PG.53 P.B.C. RECORDS)  
IN SECTION 6, TOWNSHIP 48 SOUTH, RANGE 42 EAST  
CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

POST, BUCKLEY, SCHUH & JERNIGAN, INC.

ENGINEERS, PLANNERS, LAND SURVEYORS  
8600 N.W. 36th STREET MIAMI, FLORIDA 33166-6622  
TEL. (305) 592-7275



CITY OF COCONUT CREEK  
PLANNING AND ZONING BOARD

This is to certify that this plan has been approved by the Planning and Zoning Board of the City of Coconut Creek, Florida, this 11 day of January, A.D., 1989.

By: [Signature]  
Chairman

CITY COUNCIL

This is to certify that this plat has been approved for record by the City Council of the City of Coconut Creek, Florida, this 11 day of January, A.D., 1989, pursuant to Ordinance No. 120-89.

By: [Signature]  
City Clerk

CITY ENGINEER

This plat has been approved for record this 11 day of Sept., A.D., 1989.

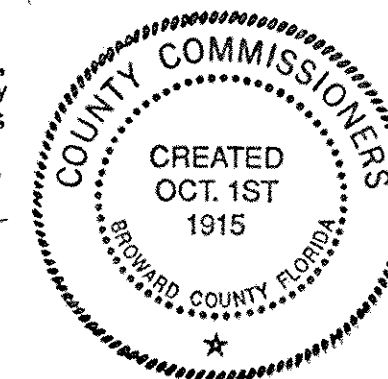
By: [Signature]  
City Engineer  
Florida P.E. Reg. No. 35197

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT,  
COUNTY RECORDS DIVISION - MINUTES SECTION

This is to certify that this Plat complies with the provisions of Chapter 177, Florida Statutes, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this 7th day of November, A.D., 1989.

Attest: L.A. Hester  
County Administrator

By: [Signature]  
Deputy  
County Commission



BROWARD COUNTY ENGINEERING DIVISION

This Plat is hereby approved and accepted for record.

By: [Signature] 7-8-89  
Henry P. Cook Date  
Director of Engineering  
Fla. P.E. Reg. No. 12506

BROWARD COUNTY OFFICE OF PLANNING

This Plat is hereby approved and accepted for record.

By: [Signature] June 13, 1990  
Director Date

BROWARD COUNTY PLANNING COUNCIL

This is to certify that the Broward County Planning Council approved this plat subject to its compliance with dedication of rights-of-way for trafficways by resolution adopted this 22nd day of May, 1989.

By: [Signature] 12-8-89  
Chairperson Date

This plat complies with the resolution of the Broward County Planning Council of the above date and is approved and accepted for record this 12th day of June, 1989.

By: [Signature]  
Administrator or Designee

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT  
COUNTY RECORDS DIVISION - RECORDING SECTION

This instrument was filed for record this 16 day of July, A.D., 1989 and recorded in Plat Book 144, Page 32, record verified.

Attest: L.A. Hester  
County Administrator

By: [Signature]  
Deputy

BROWARD COUNTY PLAT RESTRICTIONS

This Plat is restricted to 120,000 square feet of commercial use. This note is required by Chapter 5, Article IX, Broward County Code of Ordinances and may be amended by agreement with Broward County. The notations and any amendments thereto are solely indicating the approved development level for property located within the plat and do not operate as a restriction in favor of any property owner including an owner or owners of property within this plat who took title with reference to this plat.

DEDICATION

State of Florida } ss  
County of Dade }

KNOW ALL MEN BY THESE PRESENTS: That Johnson Square Associates, Ltd., a Florida Limited partnership, by and through its general partner, Johnson Square, Inc., a Florida corporation, owner of the lands described and shown as included in this Plat, has caused to be surveyed, subdivided and platted in a manner as shown, to be known as "SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", a replat.

The easements and right-of-way as shown on this Plat are hereby dedicated to the perpetual use of the public for the purposes indicated. This plat shall be restricted to non-residential usage.

LEGAL DESCRIPTION

A portion of Tracts 62 and 63, Block 85, THE PALM BEACH FARMS CO. PLAT NO. 3, according to the Plat thereof, as recorded in Plat Book 2 at Page 53 of the Public Records of Palm Beach County, lying in the City of Coconut Creek, Broward County, Florida, being more particularly described as follows:

Commence at the West 1/4 corner of Section 6, Township 48 South, Range 42 East in Broward County, Florida; thence run N00°54'32"W along the West line of said Section 6 for 134.27 feet to a point; thence run N89°05'28"E for 119.27 feet to the POINT OF BEGINNING; said point being on the arc of a circular curve concave to the west and said point bearing N89°12'47"E from the center of said curve; thence run northerly along the arc of said curve having a radius of 11559.16 feet and a central angle of 00°15'12" for 51.09 feet to a point of termination of said curve, said point bearing N86°57'35"E from the center of said curve; thence run N89°36'20"E for 723.79 feet to a point; thence run S00°24'45"E for a distance of 945.00 feet to a point; thence run S89°36'20"W for 494.46 feet to a point;

thence run N00°23'40"W for a distance of 30.00 feet to a point; thence run S89°36'20"W for a distance of 214.48 feet to a point of intersection with the Eastern Right-of-Way line of U.S. No. 441 (State Road 7); thence run N00°47'09"W, along said Right-of-Way line for a distance of 255.04 feet to a point; thence run N00°45'33"W, along said Right-of-Way line, for a distance of 199.97 feet to a Point of Curvature of a circular curve to the left having for its elements a central angle of 02°01'40" and a radius of 11559.16 feet; thence run northerly along said Right-of-Way line and along the arc of said curve, for a distance of 409.10 feet to the POINT OF BEGINNING.

Containing 15.325 Acres more or less.

Subject to any reservations, dedications or easements of record.

In Witness Whereof: Said Johnson Square Associates, Ltd., a Florida Limited partnership, by and through its general partner, Johnson Square, Inc., a Florida corporation, has caused these presents to be executed in its name by its general partner, Johnson Square, Inc., a Florida corporation, to be signed in its corporate name by its President, and its corporate seal to be herewith affixed and attested to by its Secretary, this 2 day of August, A.D. 1989.

Johnson Square Associates, Ltd., a Florida Limited Partnership, by and through its general partner, Johnson Square, Inc., a Florida corporation

Attest: [Signature] By: [Signature]  
Name: Ellen Rose Name: Gerald M. Higer  
Title: Secretary Title: Pres.

ACKNOWLEDGEMENT

State of Florida } ss  
County of Dade }

I hereby certify that on this day personally appeared before me an officer duly authorized to administer oaths and take acknowledgements, Ellen Rose and Gerald Higer, Secretary and President respectively, to me well known to be officers herein described and who executed the foregoing Plat and acknowledged the execution thereof to be their free act and deed as such officers for the purposes therein described.

Witness my signature and official seal at CORAL GABLES, Dade County, Florida this 2 day of August, A.D. 1989.

My Commission Expires: [Signature]  
NOTARY PUBLIC STATE OF FLORIDA  
BONDED: [Signature] REAL ESTATE, UND. Notary Public State of Florida

MORTGAGE

KNOW ALL MEN BY THESE PRESENTS: That THE Northwestern Mutual Life Insurance Company, a Wisconsin corporation, owner and holder of that certain mortgage recorded on July 3, 1989 in Official Records Book #6571 at Page 728 of the Public Records of Broward County, Florida, does hereby consent to this Plat and joins in the above dedication.

In Witness Whereof: THE Northwestern Mutual Life Insurance Company, a Wisconsin corporation, has caused these presents to be signed in its corporate name by its Vice President and its corporate seal to be herewith affixed and attested by its Asst. Secretary this 7th day of August, A.D., 1989.

THE Northwestern Mutual Life Insurance Company  
A Wisconsin Corporation

Attest: [Signature] By: [Signature]  
Name: Gary M. Hewitt Name: Carson D. Keyes  
Title: Asst. Secretary Title: Vice President

ACKNOWLEDGEMENT

State of WISCONSIN } ss  
County of MILWAUKEE }

I hereby certify that on this day personally appeared before me an officer duly authorized to administer oaths and take acknowledgements, Carson D. Keyes and Gary M. Hewitt, Vice President and Asst. Secretary respectively, to me well known to be officers herein described and who executed the foregoing instrument and acknowledged the execution thereof to be their free act and deed as such officers for the purposes therein described.

Witness: My hand and official seal at Milwaukee County, Wisconsin this 7th day of August, A.D. 1989.

My commission expires: [Signature]  
January 26, 1992  
Notary Public State of Wisconsin

JOHNSON SQUARE, INC.  
GENERAL PARTNER OF  
JOHNSON SQUARE  
ASSOCIATES, LTD.  
CORPORATE SEAL

AS TO JOHNSON SQUARE, INC.  
GENERAL PARTNER OF  
JOHNSON SQUARE  
ASSOCIATES, LTD.  
NOTARY PUBLIC SEAL

NORTHWESTERN MUTUAL LIFE  
INSURANCE COMPANY  
CORPORATE SEAL

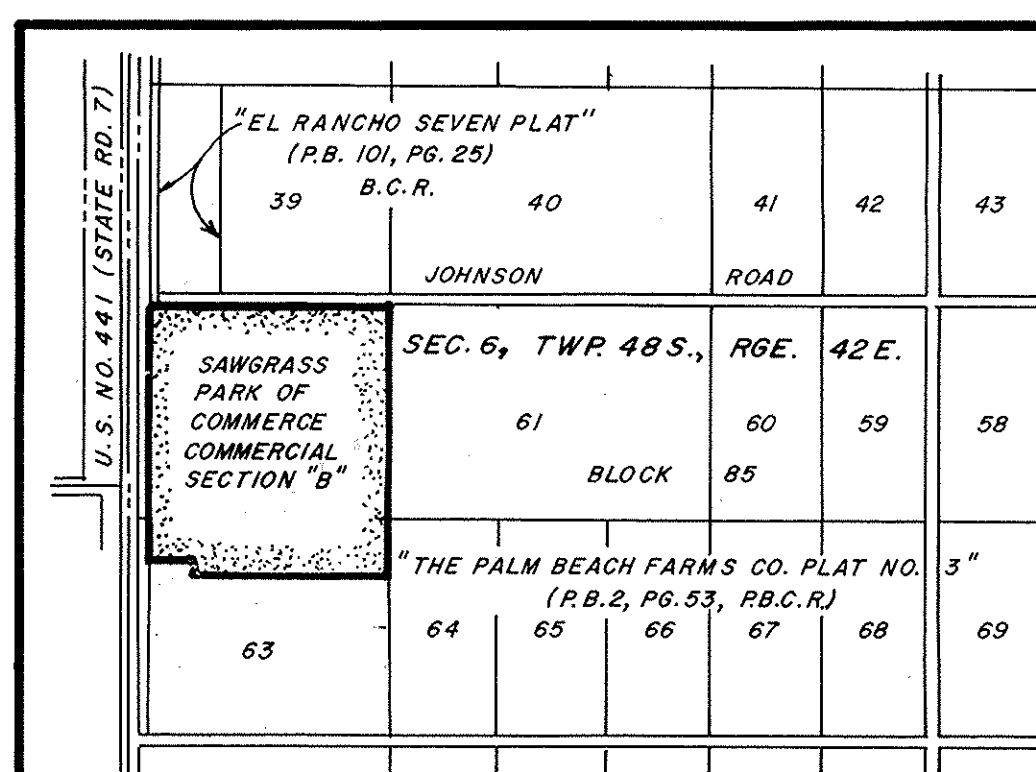
AS TO NORTHWESTERN  
MUTUAL LIFE INSURANCE  
COMPANY  
NOTARY PUBLIC SEAL

CITY OF COCONUT CREEK  
OFFICIAL CITY SEAL

CITY OF COCONUT CREEK  
CITY ENGINEER'S SEAL

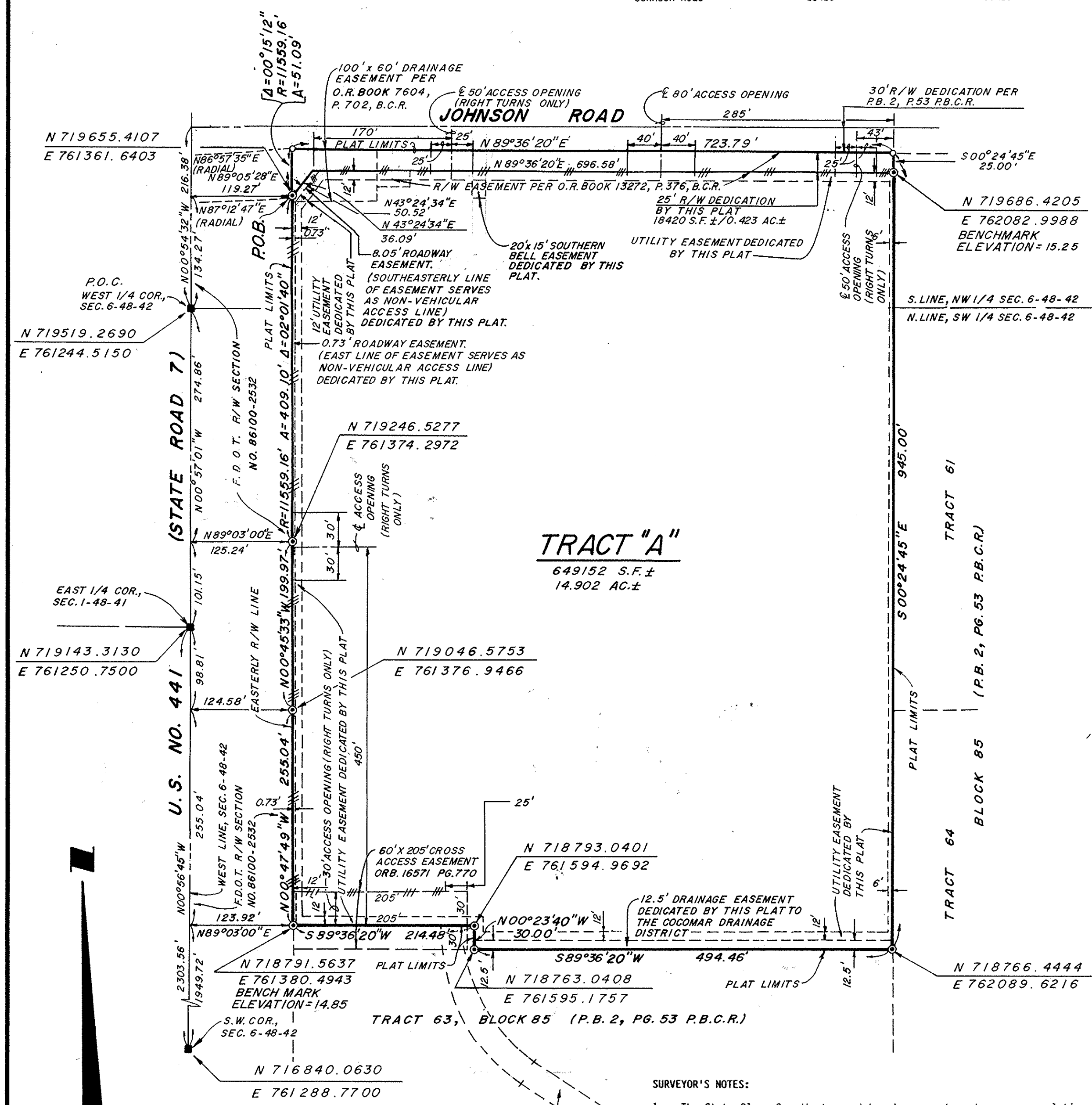
BROWARD COUNTY, FLORIDA  
OFFICIAL SEAL

CARLOS M. DEL VALLE, PLS  
PROFESSIONAL LAND  
SURVEYOR NO. 4408  
SURVEYOR'S OFFICIAL SEAL



LOCATION MAP  
not to scale

Street Name	Square Feet ±	Acres ±
Johnson Road	18420	0.423



TRACT "A"  
649152 S.F. ±  
14.902 AC. ±

SURVEYOR'S NOTES:

- The State Plane Coordinates and bearings as shown hereon are relative to National Geodetic Survey Transverse Mercator Coordinates, Florida East Zone, as shown and recorded in Miscellaneous Book 3 at Page 44 of the Public Records of Broward County, Florida.
- The bearings as shown hereon are based on Miscellaneous Plat Book 3 at Page 44 of the Public Records of Broward County, Florida.
- ⊙ Denotes Permanent Reference Monument
- Denotes Permanent Control Point
- Denotes Non-Vehicular Access Line
- There may be additional restrictions that are not recorded on this Plat that may be found in the Public Records of this County.
- P.B.C.R. Palm Beach County Records.
- B.C.R. Broward County Records.
- Broward County Benchmark reference: Broward County Engineering Division - Benchmark BC1320, a 1/2" Iron pipe in center line of N.W. 62nd Terrace at the north edge of pavement of Holmberg Road. Elevation = 17.035.

SURVEYOR'S CERTIFICATE:

WE HEREBY CERTIFY: that the attached Plat is a true and correct representation of the land recently surveyed, subdivided and platted under our responsible direction and supervision, that the survey data shown conforms to the applicable requirements of Chapter 177, Florida Statutes, and with the applicable sections of Chapter 21, H&B, Florida Administrative Code. The permanent reference monuments (PRMs) were set in accordance with Section 177.091 of said Chapter 177, on this 17th day of JULY, 1989. The benchmarks shown are referenced to the National Geodetic Vertical Datum (N.G.V.D.) of 1929 in conformity with standards adopted by the National Ocean Survey for third order control standards.

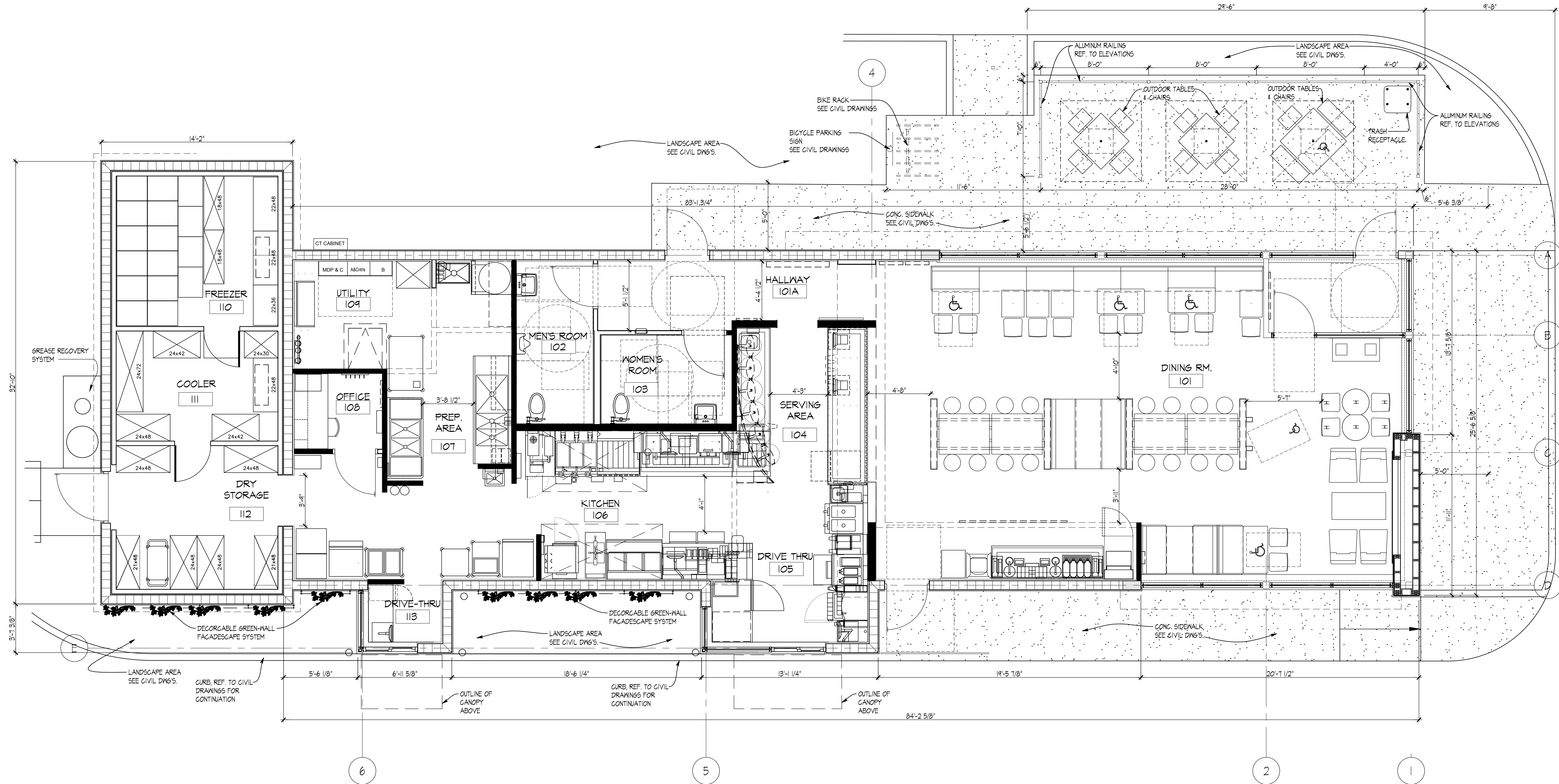
Permanent Control Points (P.C.P.'s) will be set within one year of the date this Plat is recorded or prior to the expiration of the bond or other surety insuring construction of the required subdivision improvements.

POST, BUCKLEY, SCHUH & JERNIGAN, INC.

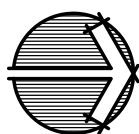
Date: JULY 17th, 1989

Carlos M. del Valle  
Carlos M. del Valle, PLS  
Professional Land Surveyor No. 4408  
State of Florida

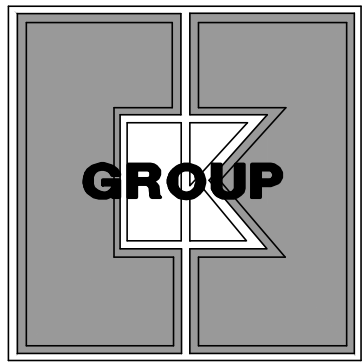




FLOOR PLAN  
SCALE: 1/4"=1'-0"



SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE RESTAURANT GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	
CORP. NEW BUILD	
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
SUITE 106  
15500 NEW BARN ROAD  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE: USB NRE 55  
NEW

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV. DATE DESCRIPTION  
5/1/2018

ISSUE DATE: 05/12/2017  
PROJECT NUMBER: 1493  
DRAWN BY: R. C.  
CHECKED BY: E. C.

SEAL

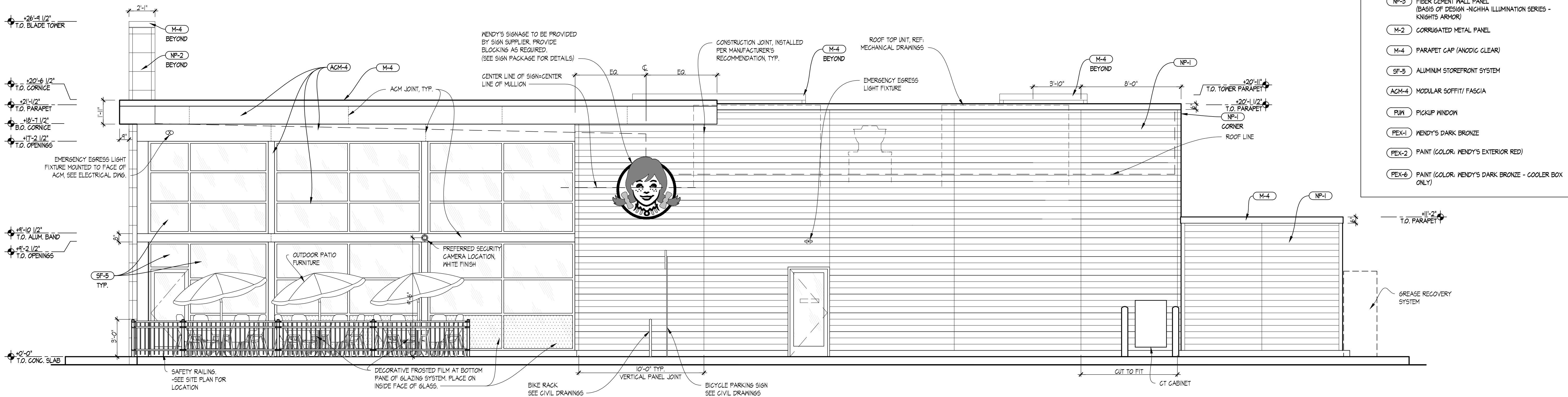
EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
CKE GROUP, INC. COA-4432

SHEET NAME  
FLOOR PLAN

SHEET NUMBER

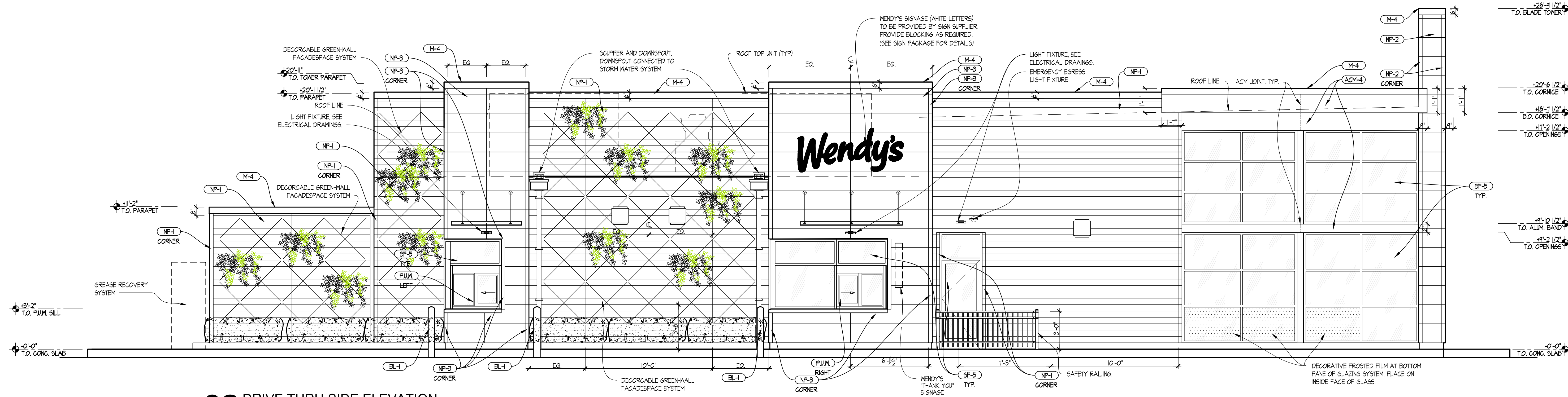
A1.1





**01 VESTIBULE SIDE ELEVATION**

SCALE: 1/4"=1'-0"



**02 DRIVE THRU SIDE ELEVATION**

SCALE: 1/4"=1'-0"

**EXTERIOR FINISHES LEGEND**

- NOTE: REFER TO SHEET A&I FOR SPECIFICATIONS OF EXTERIOR MATERIALS AND FINISHES.
- (BL-1) PLASTIC BOLLARD SLEEVE
  - (NP-1) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA VINTAGE WOOD SERIES - CEDAR)
  - (NP-2) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - BLAZE)
  - (NP-3) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - KNIGHTS ARMOR)
  - (M-2) CORRUGATED METAL PANEL
  - (M-4) PARAPET CAP (ANODIC CLEAR)
  - (SF-5) ALUMINUM STOREFRONT SYSTEM
  - (ACM-4) MODULAR SOFFIT/ FASCIA
  - (PJW) PICKUP WINDOW
  - (PEX-1) WENDY'S DARK BRONZE
  - (PEX-2) PAINT (COLOR: WENDY'S EXTERIOR RED)
  - (PEX-6) PAINT (COLOR: WENDY'S DARK BRONZE - COOLER BOX ONLY)

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE RESTAURANT GROUP, LLC
BASE VERSION:	XXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



PROJECT TYPE:	USB NRE 55 NEW
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**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
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ISSUE DATE:	05/12/2017
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.
SEAL	
EDUARDO L. CARCACHÉ, PE 31914	
ANA A. GONZALEZ VALDES, AR 97769	
CKE GROUP, INC. COA-4432	

SHEET NAME  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A2.1**

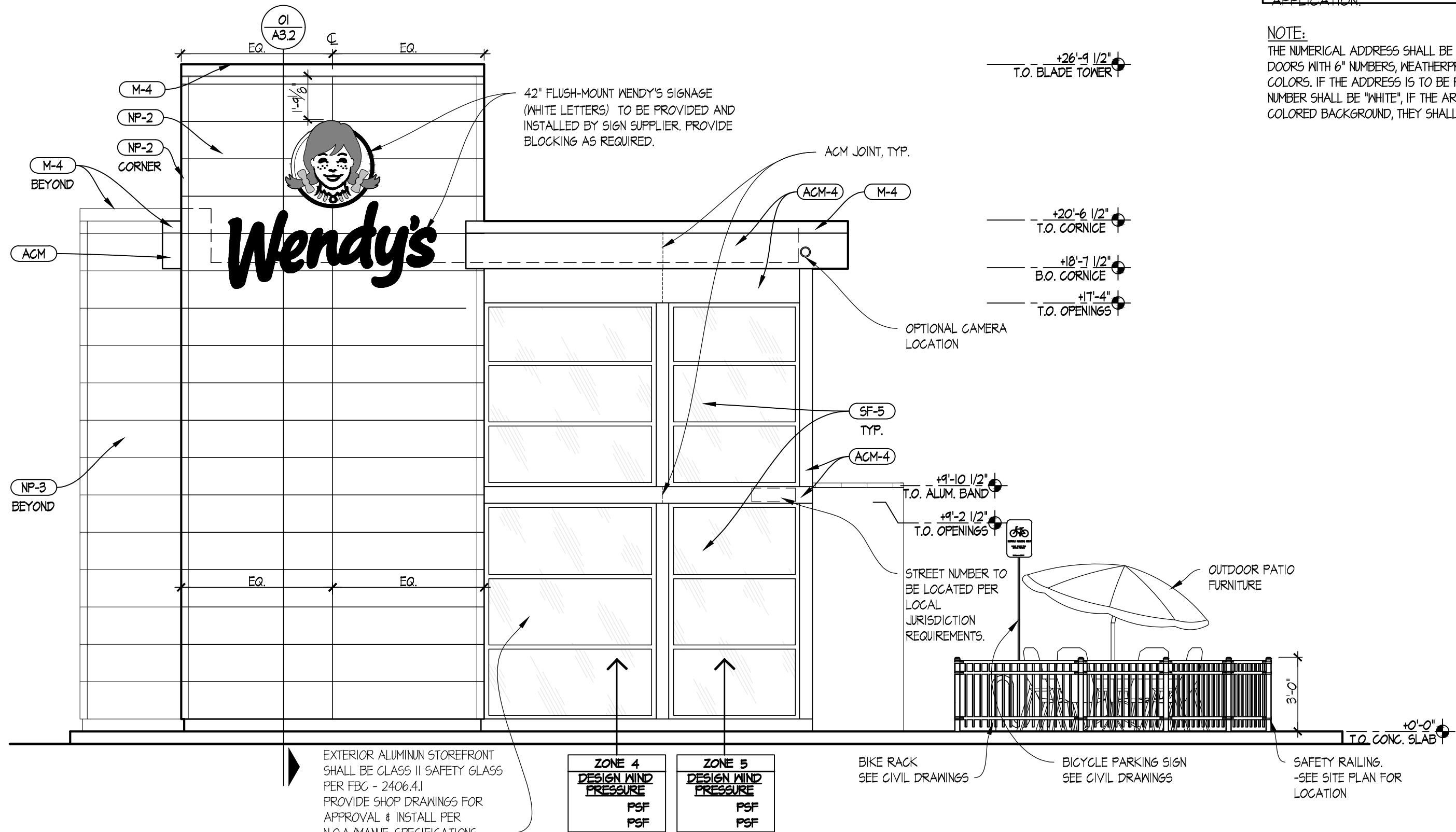


EXTERIOR FINISHES LEGEND

- NOTE: REFER TO SHEET A&I FOR SPECIFICATIONS OF EXTERIOR MATERIALS AND FINISHES.
- BL-1 PLASTIC BOLLARD SLEEVE
  - NP-1 FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA VINTAGE WOOD SERIES - CEDAR)
  - NP-2 FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - BLAZE)
  - NP-3 FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - KNIGHTS ARMOR)
  - M-2 CORRUGATED METAL PANEL
  - M-4 PARAPET CAP (ANODIC CLEAR)
  - SF-5 ALUMINUM STOREFRONT SYSTEM
  - ACM-4 MODULAR SOFFIT/ FASCIA
  - PUN PICKUP WINDOW
  - PEX-1 WENDY'S DARK BRONZE
  - PEX-2 PAINT (COLOR: WENDY'S EXTERIOR RED)
  - PEX-6 PAINT (COLOR: WENDY'S DARK BRONZE - COOLER BOX ONLY)

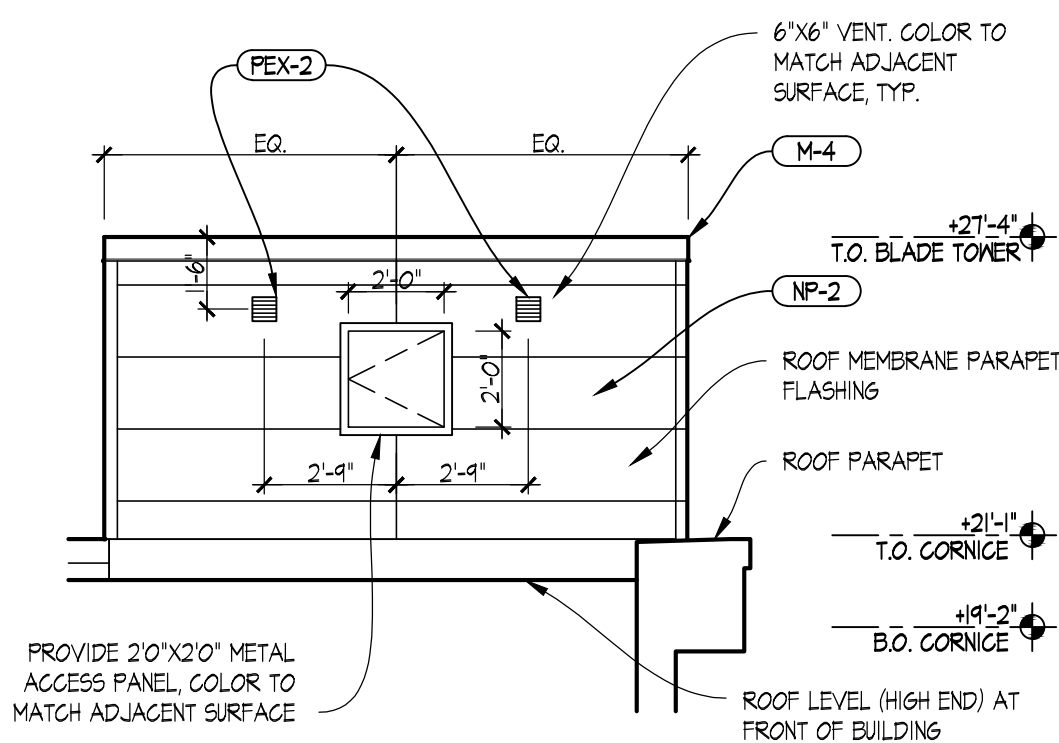
NOTE:  
ALL EXTERIOR AWNING AND EXTERIOR BUILDING SIGNS TO BE SUBMITTED FOR REVIEW AND APPROVAL UNDER SEPARATE PERMIT APPLICATION.

NOTE:  
THE NUMERICAL ADDRESS SHALL BE POSTED ON ALL EXTERIOR DOORS WITH 6" NUMBERS, WEATHERPROOF, AND CONTRASTING COLORS. IF THE ADDRESS IS TO BE PLACED ON A WINDOW THE NUMBER SHALL BE "WHITE"; IF THE ARE TO BE ON A LIGHT COLORED BACKGROUND, THEY SHALL BE "BLACK".



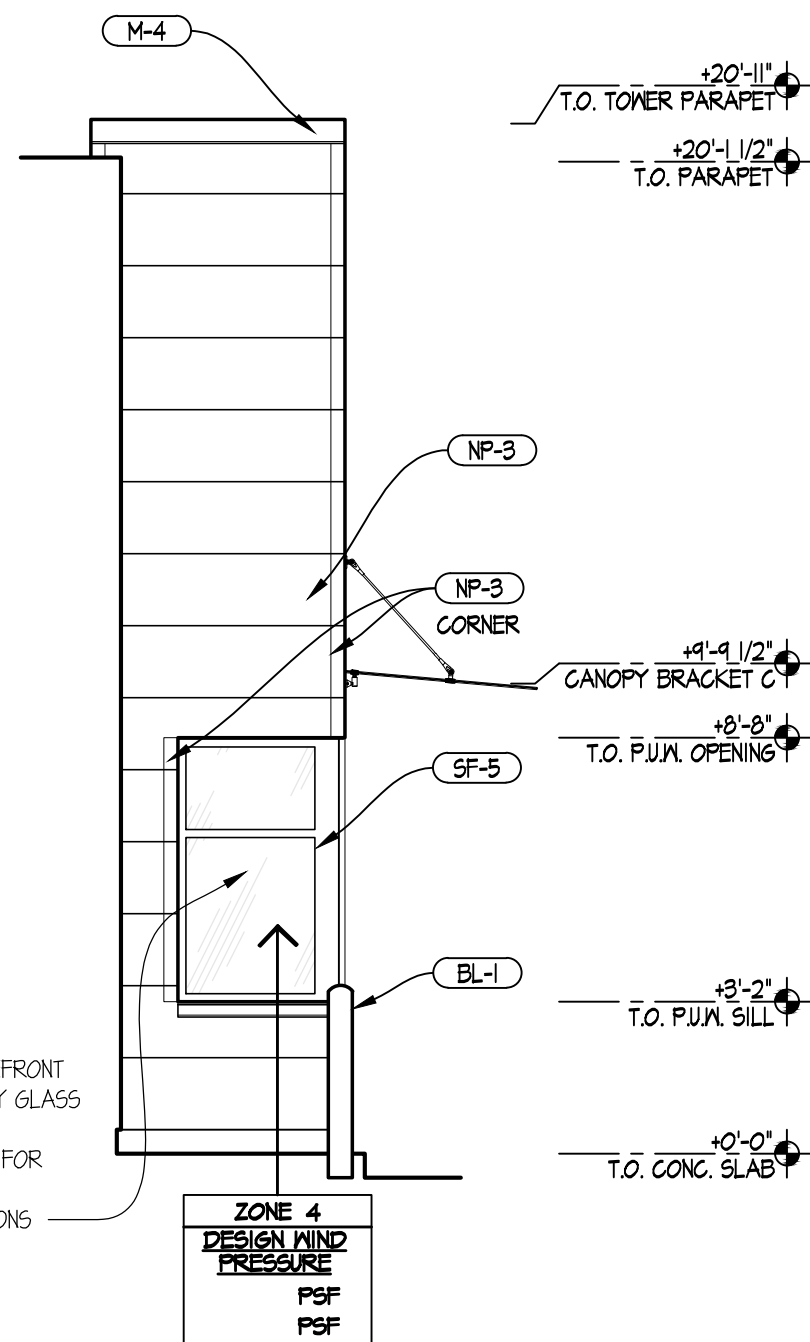
02 FRONT ELEVATION

SCALE: 1/4"=1'-0"

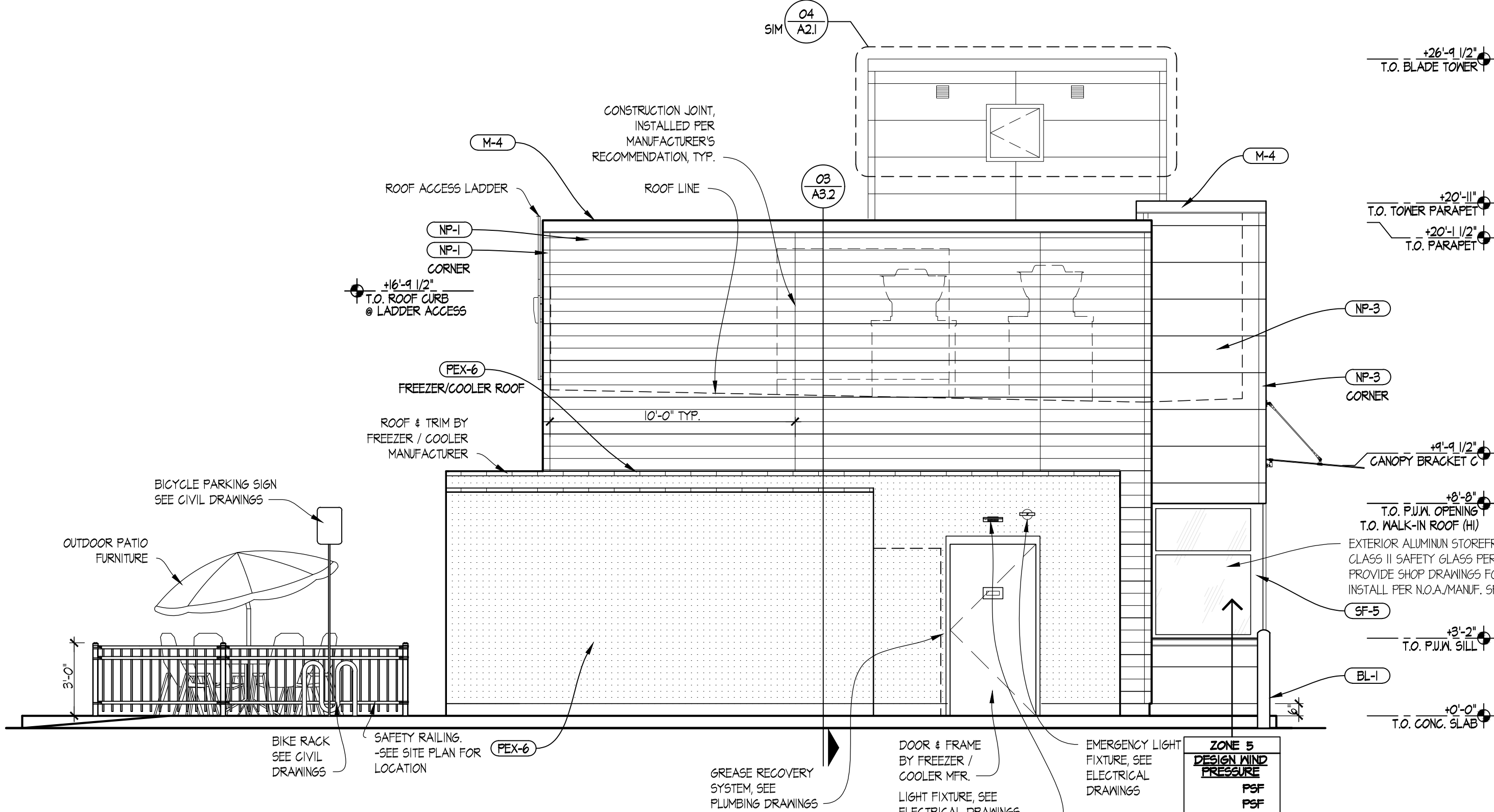


04 BLADE WALL DETAIL

SCALE: 1/4"=1'-0"



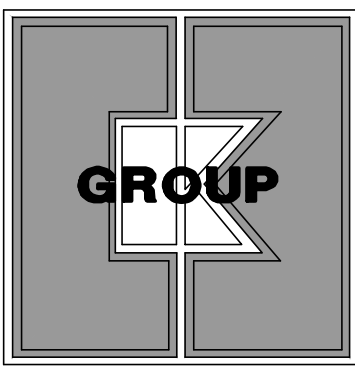
03 REAR DRIVE THRU ELEVATION



02 REAR ELEVATION

SCALE: 1/4"=1'-0"

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE RESTAURANT GROUP, LLC
BASE VERSION:	XXXXXXXXX
UPGRADE CLASSIFICATION:	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
SUITE 108  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE:	USB NRE 55 NEW
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**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
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ISSUE DATE:	02/22/2017
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.
SEAL	

EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
CKE GROUP, INC. COA-4432

SHEET NAME  
EXTERIOR ELEVATIONS

SHEET NUMBER

A2.2









SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE RESTAURANT GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3

GROUP

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
SUITE 108  
15500 NEW BARN ROAD  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE:	USB NRE 55 NEW
---------------	-------------------

Wendy's.

Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

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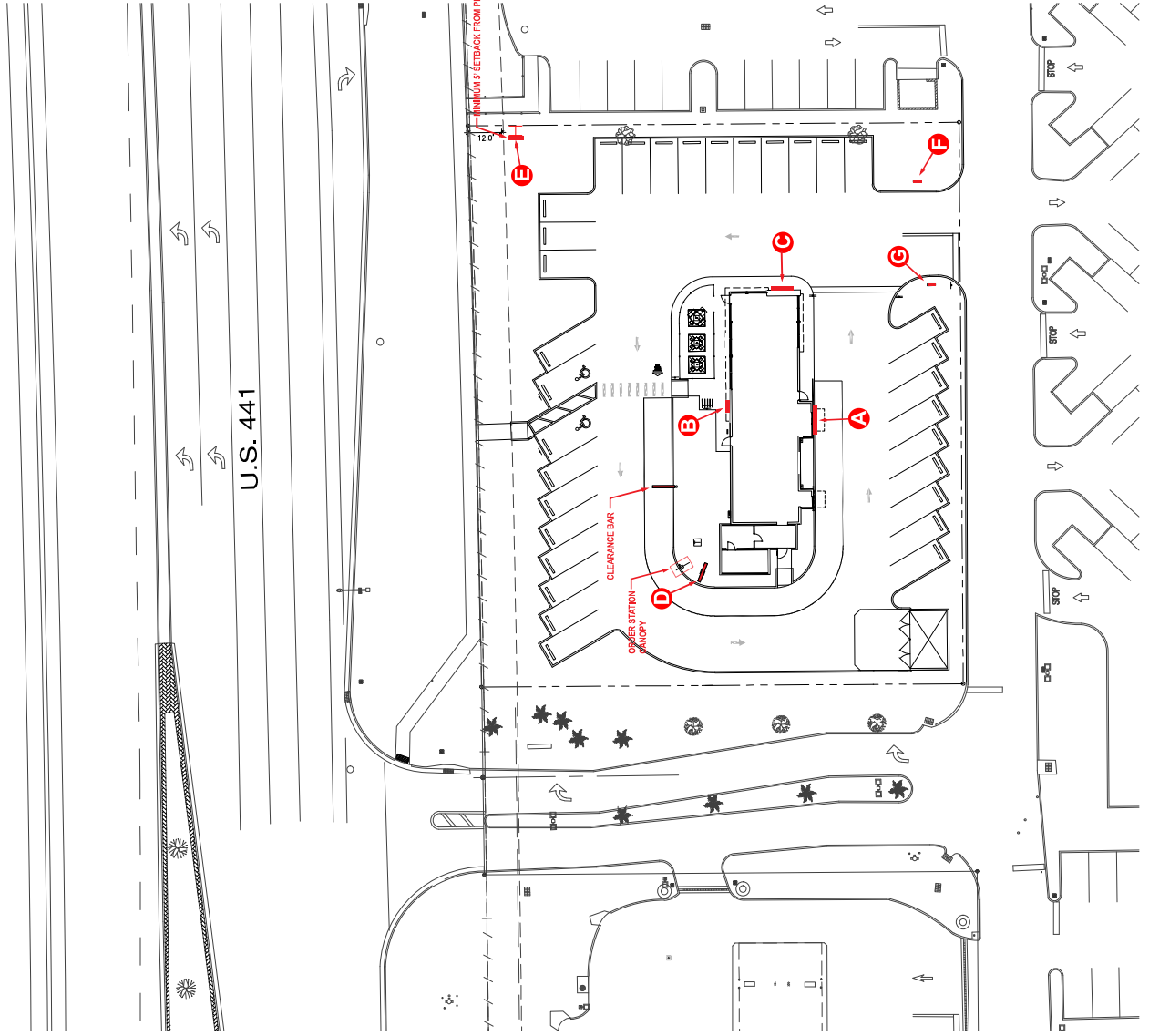
EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
CKE GROUP, INC. COA-4432

SHEET NAME  
COLOR EXTERIOR  
ELEVATIONS

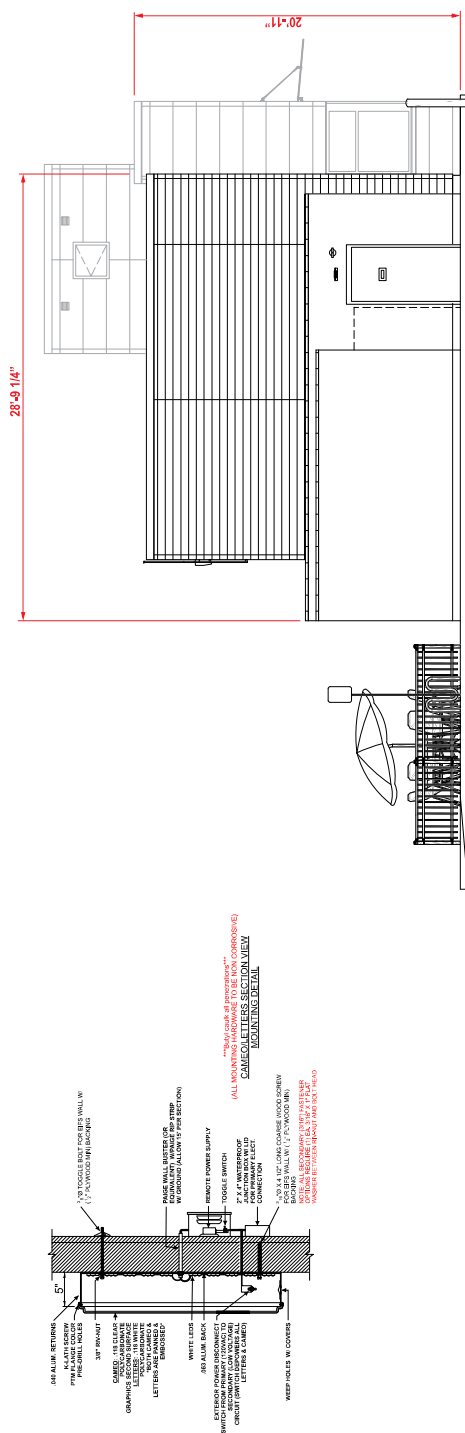
SHEET NUMBER  
**A2.1**



- A** CHANNEL LETTERS
- B** LOGO
- C** CHANNEL LETTERS/LOGO
- D** RM 3000 MENUBOARD
- E** MONUMENT
- F** ENTER DIRECTIONAL
- G** EXIT DIRECTIONAL







**REAR ELEVATION**  
Scale: 1/8" = 1'-0"

- |   |  |
|---|--|
|  | DARK BRONZE<br>#313 SIGN<br>BACKGROUND |
|  | PMS 186C<br>RED                        |
|  | PMS 299C<br>BLUE                       |
|  | PMS 201C<br>DARK RED                   |
|  | PMS 698C<br>FLESH                      |
|  | PMS 439C<br>BROWN                      |
|  | WHITE                                  |



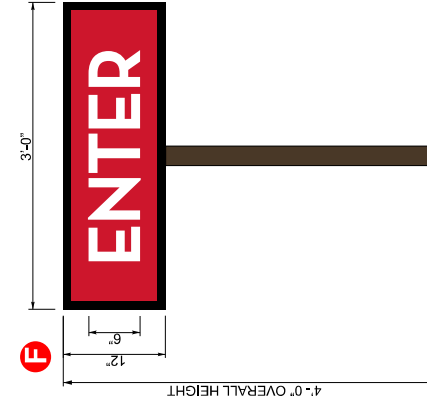
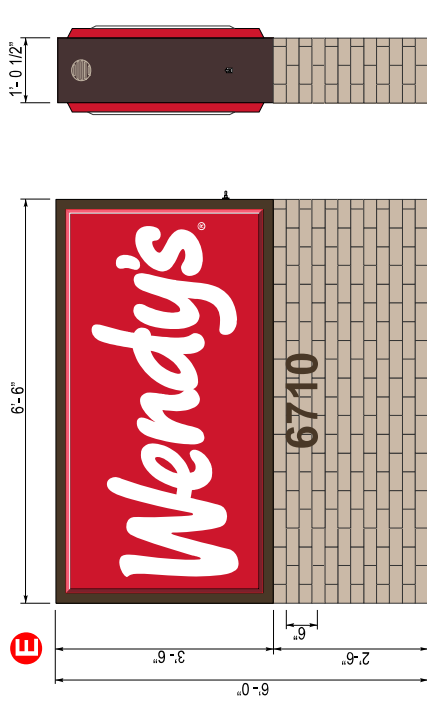






**NOTES:**  
Double faced internally illuminated menu board with  
4 exterior menu board cabinets with Magnatrac menu strip system  
5.4 SFT per cabinet/21.6 SFT total graphic area.



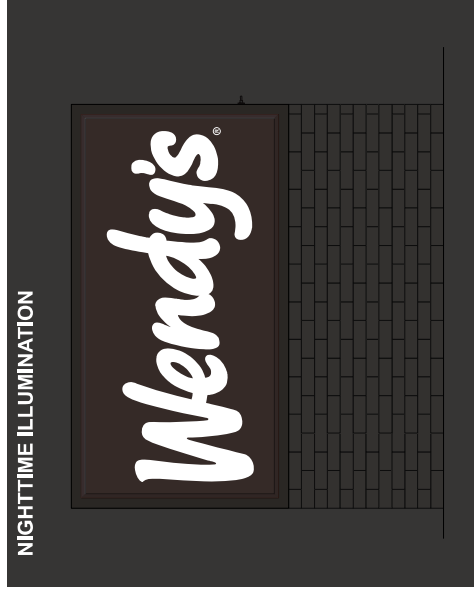


NOTE:  
CONCRETE FOUNDATION  
IS SITE SPECIFIC


**SIGN FACE - 22.75 SQ. FT.  
MONUMENT OVERALL - 39 SQ. FT.  
60% OF OVERALL - 23.4 SQ. FT.**

**INTERNALLY ILLUMINATED DOUBLE FACE MONUMENT (SEE CODE NOTE)**

- 2" Retainers, Aluminum Cabinet Construction  
Main cabinet illuminated with fluorescent lamps.  
Background of main Wendy's faces to be processed opaque and non-illuminated.  
Only Wendy's copy to illuminate. Clear Polycarbonate Panned & Embossed Faces  
Vinyl Graphics Second Surface  
Brick Base To Match Building, Brick By Others  
6" flat cut out aluminum address numbers pin mounted to base. Numbers  
to be painted dark bronze

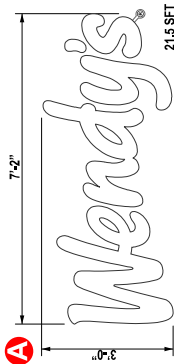


**CODE:** Only the cameo head & Wendy's letters are to be illuminated. The background of the monument faces must be opaque.

DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.		CLIENT: WENDY'S		LOCATION: 1721 INDUSTRIAL ROAD, DOTHAN, ALABAMA - 36303		 I.D. ASSOCIATES 1721 INDUSTRIAL ROAD, DOTHAN, ALABAMA - 36303 PH (888) 303-5534 • FAX (334) 836-1401 www.idassocdesigninc.com (Professional Seal)	
DRAWN BY: <i>Angy Burns</i>		STORE #: 11670		LOCATION: COCONUT CREEK, FL		ACCOUNT REF: LUCIE	
DATE: 2-28-17		SCALE: 1/2" = 1'-0"		DRAWING #: WENDY'S-COCONUT CREEK FL #11670		REV #: R7 8-6-18 ABS	



DATE: \_\_\_\_\_  
DRAWN BY: Amy Burns



- |   |  |
|---|--|
|  | DARK BRONZE<br>#313 SIGN<br>BACKGROUND |
|  | PMS 186C<br>RED                        |
|  | PMS 299C<br>BLUE                       |
|  | PMS 201C<br>DARK RED                   |
|  | PMS 698C<br>FLESH                      |
|  | PMS 439C<br>BROWN                      |
|  | WHITE                                  |









**NOTES:**  
Double faced internally illuminated menu board with  
4 exterior menu board cabinets with Magnatrac menu strip system  
5.4 SFT per cabinet/21.6 SFT total graphic area.



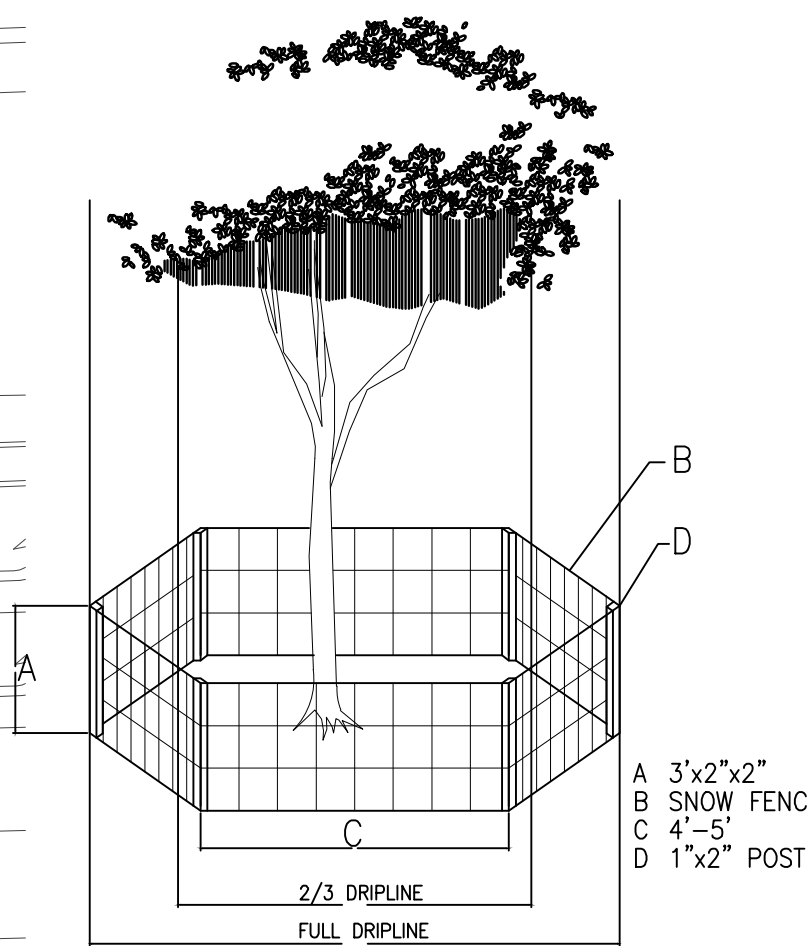




"ALL EXISTING, PROTECTED TREES TO REMAIN; AND SHALL BE PROTECTED DURING DEMOLITION" (BY GENERAL CONTRACTOR)

U.S. 441 (S.R. 7)

U.S. 441 (S.R. 7)



TREE BARRICADE DETAIL

PROTECTION FROM CONSTRUCTION WORK

- DURING ANY CONSTRUCTION, LAND DEVELOPMENT OR LOT CLEARING, THE CONTRACTOR AND THE OWNER OF THE PROPERTY SUBJECT TO THIS SECTION SHALL ADHERE TO THE REQUIREMENTS WHICH FOLLOW.
- GENERAL CONTRACTOR TO PREPARE FINAL RELOCATION SITES FOR TREES THAT ARE PROPOSED TO BE RELOCATED. TREES ARE ONLY TO BE MOVED ONCE AND SHALL HAVE TREE BARRICADES IN PLACE THE ENTIRE DURATION OF CONSTRUCTION.
  - GENERAL CONTRACTOR SHALL GRADE AND FILL ALL TREE & PALM HOLES ONCE TREES & PALMS ARE REMOVED AND OR RELOCATED.
  - LANDSCAPE AND LAWN IRRIGATION, TREE REMOVAL & RELOCATION PERMITS SHALL BE REQUIRED.
  - A PREPLANTING MEETING SHALL BE HELD WITH THE CITY LANDSCAPE DEPARTMENT PRIOR TO ANY INSTALLATION.
  - ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS MATERIAL SUCH AS LEAVES, OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREES SHALL BE LIGHTLY PRUNED BY HAND. A ISA CERTIFIED ARBORIST SHALL ROOT PRUNE ANY AND ALL EXISTING TREES WITHIN PAVING/CURBING AREAS TO BE INSTALLED; VERIFY ON SITE WITH CITY LANDSCAPE DEPARTMENT PRIOR TO ANY INSTALLATION; FIELD VERIFY WITH GENERAL CONTRACTOR AS REQUIRED. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES W/ TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE. TRANSPLANT TREES W/ 60" TREE SPACE, AND / OR TREE CRANE. TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
  - GENERAL CONTRACTOR SHALL REMOVE ALL ROAD ROCK, ASPHALT, DEBRIS, ETC. IN ALL LANDSCAPE AREAS TO A MIN. DEPTH OF 30" AND PROVIDE PLANTING SOIL AS REQUIRED.(SEE SOIL SPECIFICATIONS).
  - ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS NO DEEPER THAN THE FINAL GRADE SURROUNDING THE PLANTING AREA. (1'-4")
  - PLACE & MAINTAIN PROTECTIVE BARRIERS AROUND THE DRIP LINE OF ALL TREES TO BE RETAINED ON THE SITE TO PREVENT THEIR DESTRUCTION OR DAMAGE. THE PROTECTIVE BARRIERS SHALL BE AT LEAST (4) FEET IN HEIGHT AND CONSPICUOUSLY COLORED TO BE SEEN EASILY BY OPERATORS OF TRUCKS AND OTHER EQUIPMENT. PROTECTIVE BARRIERS SHALL BE CONSTRUCTED OF STURDY MATERIAL (NOT FLAGGING OR RIBBONS) AND SHALL BE INSTALLED PRIOR TO AND DURING CONSTRUCTION/AND OR LAND DEVELOPMENT.
  - NOT STORE OR USE MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE UNLESS THE ACTIVITY IS BEING DONE TO PROTECT THE TREES.
  - NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE WITH ANY CONSTRUCTION MATERIALS SUCH AS PAINT, OIL, SOLVENTS, PETROLEUM PRODUCTS, ASPHALT, CONCRETE, MORTAR, OR OTHER MATERIALS THAT MAY CAUSE ADVERSE IMPACTS.
  - CLEARING OF VEGETATION WITHIN THE DRIP LINE OF TREES DESIGNATED FOR PRESERVATION SHALL ONLY BE BY HAND OR LIGHT RUBBER WHEELED EQUIPMENT THAT WILL NOT DAMAGE THE TREE ROOTS; SAID EQUIPMENT SHALL BE A MAXIMUM OF FORTY-EIGHT (48) INCHES WIDE, TIRE TO TIRE, WITH A MAXIMUM WEIGHT OF THREE THOUSAND FIVE HUNDRED (3,500) POUNDS.
  - UTILIZE RETAINING WALLS AND DRYWELLS WHERE NEEDED TO PROTECT TREES TO BE PRESERVED FROM SEVERE GRADE CHANGES.
  - PRUNING OF TREES TO BE PRESERVED SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR PRUNING ESTABLISHED BY ANSI A-300.
  - MAKE NO ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE AND NON-DAMAGING NATURE, TO THE TREE TO BE RETAINED ON THE SITE.
  - NOT CHANGE THE NATURAL GRADE AROUND THE ROOT SYSTEM WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE UNLESS IT CAN BE DEMONSTRATED TO THE CITY THAT IT WILL NOT DAMAGE ANY TREE.
  - AVOID ANY ENCROACHMENTS, EXCAVATIONS OR SEVERE GRADE CHANGES WITHIN THE DRIP LINE OF PRESERVED TREES UNLESS IT CAN BE DEMONSTRATED TO THE CITY THAT IT WILL NOT IMPACT ANY TREE; NOTE: POSITION RELOCATION TREE NUMBERS 35 & 36 TO PROVIDE REQUIRED LOWER TRUNK BRANCHING CLEARANCE OF THESE TREES FOR THE TRELLIS AT SIDEWALK AREA AS SHOWN, SEE CIVIL TRELLIS PLAN;
  - NOT CAUSE SOIL COMPACTION WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE; AND
  - ANY TREES DESIGNATED TO BE PRESERVED WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED.

LEGAL DESCRIPTION

A PORTION OF TRACT "A", SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT "A", THENCE ALONG THE WESTERLY BOUNDARY OF SAID TRACT "A", THE SAME BEING THE EAST RIGHT-OF-WAY OF STATE ROAD No. 7 (U.S. HIGHWAY No. 441), FOR THE FOLLOWING FOUR (4) COURSES AND DISTANCES: (1) NORTH 47°48'W, A DISTANCE OF 255.04 FEET, (2) NORTH 45°33'W, A DISTANCE OF 199.97 FEET, (3) NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,559.16 FEET, AN ARC OF 32.67 FEET, A CHORD OF 32.67 FEET AND A CHORD BEARING OF N00°50'24"W TO THE POINT OF BEGINNING, (4) NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,559.16 FEET, AN ARC OF 202.37 FEET, A CHORD OF 202.36 FEET AND A CHORD BEARING OF N01°25'22"W, THENCE N89°36'20"E, ALONG A LINE LYING 200.00 FEET SOUTH OF AND PARALLEL TO THE NORTH BOUNDARY OF SAID TRACT "A", A DISTANCE OF 177.16 FEET; THENCE S00°23'18"E, A DISTANCE OF 202.33 FEET; THENCE S89°36'20"W, A DISTANCE OF 173.51 FEET TO THE POINT OF BEGINNING. CONTAINING 35,416 SQUARE FEET OR 0.81 ACRES, MORE OR LESS.

X = TO BE REMOVED; EXOTIC CAT. I INVASIVE SPECIES

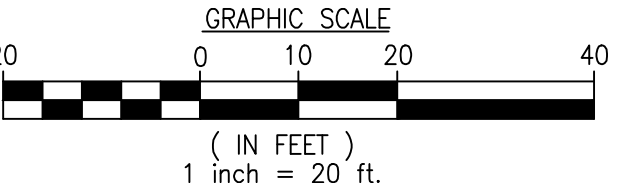
\* = TO BE RELOCATED; SEE LANDSCAPE PLAN L-1 FOR ADDITIONAL INFO

EXISTING TREES & PALMS (FIELD VERIFY)

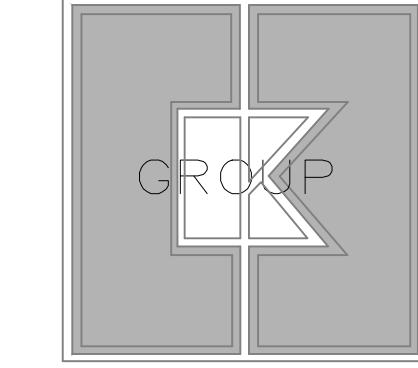
KEY	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	CONDITION
①	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (14".0 CALIPER)	GOOD
②	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (14".0 CALIPER)	GOOD
③	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (18".0 CALIPER)	GOOD
④	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (20".0 CALIPER)	GOOD
⑤	ROY	1	ROYSTONEA ELATA / FLORIDA ROYAL PALM	18'-20' X 18'	EXISTING TO REMAIN (14".0 CALIPER)	GOOD
⑥	ROY	1	ROYSTONEA ELATA / FLORIDA ROYAL PALM	24'-25' X 18'	EXISTING TO REMAIN (18".0 CALIPER)	GOOD
⑦	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	10'-12' X 8'	EXISTING TO REMAIN(X3) (3".0 CALIPER)	GOOD
⑧	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	10'-12' X 8'	EXISTING TO REMAIN(X3) (3".0 CALIPER)	GOOD
⑨	ROY	1	ROYSTONEA ELATA / FLORIDA ROYAL PALM	24'-25' X 18'	EXISTING TO BE RELOCATED (18".0 CALIPER)	GOOD
⑩	BIS	1	BISMARCKIA NOBILIS / BISMARCK PALM	14'-15' X 15'	EXISTING TO REMAIN (18".0 CALIPER)	GOOD
⑪	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	10'-12' X 8'	EXISTING TO REMAIN(X3) (3".0 CALIPER)	GOOD
⑫	ROY	1	ROYSTONEA ELATA / FLORIDA ROYAL PALM	24'-25' X 18'	EXISTING TO REMAIN (18".0 CALIPER)	GOOD
⑬	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	11'-12' X 8'	EXISTING TO REMAIN(X3) (3".0 CALIPER)	GOOD
⑭	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	11'-12' X 8'	EXISTING TO REMAIN(X3) (3".0 CALIPER)	GOOD
⑮	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	20'-22' X 20'	EXISTING TO REMAIN (9".0 CALIPER)	GOOD
⑯	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO REMAIN (9".0 CALIPER)	GOOD
⑰	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22'-24' X 35'	EXISTING TO REMAIN (8".0 CALIPER)	GOOD
⑱	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	24'-26' X 32'	EXISTING TO REMAIN (12".0 CALIPER)	GOOD
⑲	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	32'-34' X 40'	EXISTING TO REMAIN (18".0 CALIPER)	GOOD
⑳	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22'-24' X 35'	EXISTING TO REMAIN (8".0 CALIPER)	GOOD
㉑	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	20'-22' X 20'	EXISTING TO REMAIN (9".0 CALIPER)	GOOD
㉒	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 30'	EXISTING TO REMAIN (9".0 CALIPER)	GOOD
㉓	CUP	1	CUPANIOPSIS ANACARDIODES / CARROTWOOD	20'-22' X 30'	(1) TO BE REMOVED (10".0 CALIPER)	POOR/DAMAGES
㉔	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	35'-36' X 42'	EXISTING TO REMAIN (22".0 CALIPER)	GOOD
㉕	CUP	1	CUPANIOPSIS ANACARDIODES / CARROTWOOD	20'-22' X 30'	(1) TO BE REMOVED (10".0 CALIPER)	POOR
㉖	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO BE RELOCATED (7".0 CALIPER)	GOOD
㉗	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO BE RELOCATED (7".0 CALIPER)	GOOD
㉘	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO REMAIN (8".0 CALIPER)	GOOD
㉙	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	16'-18' X 22'	EXISTING TO REMAIN (8".0 CALIPER)	GOOD
㉚	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	16'-18' X 20'	EXISTING TO REMAIN (6".0 CALIPER)	GOOD
㉛	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	26'-28' X 28'	EXISTING TO BE RELOCATED (22".0 CALIPER)	GOOD
㉜	LAU	1	QUERCUS LAURIFOLIA / LAUREL OAK	20'-22' X 28'	EXISTING TO BE RELOCATED (8".0 CALIPER)	GOOD
㉝	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	24'-25' X 30'	EXISTING TO BE RELOCATED (8".0 CALIPER)	GOOD
㉞	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	26'-28' X 35'	EXISTING TO BE RELOCATED (9".0 CALIPER)	GOOD
㉟	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO BE RELOCATED (10".0 CALIPER)	GOOD
㊱	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	24'-26' X 32'	EXISTING TO BE RELOCATED (12".0 CALIPER)	GOOD

EXISTING TREE DISPOSITION PLAN

1"=20'-0"



SITE NUMBER: 14417 STIRRUP LANE  
WELLINGTON, FL 33414  
LANDSCAPE ARCHITECTURE LC260000352  
MICHAEL E. RAWLS RL#0001633  
EMAIL: planner@bellsouth.net



CKE GROUP  
INCORPORATED  
engineering architecture planning  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT NUMBER: RBL#16-04-2066  
DRAWN BY: RICK BARTLETT  
CHECKED BY: RBL/NER

Wendy's  
SURVEY  
CROSSROAD  
CROSSROAD

REV. DATE DESCRIPTION  
1.1-19-17 CITY COMMENTS  
2.5-15-17 CITY COMMENTS  
3.5-01-18  
4.7-30-18 CITY COMMENTS

ISSUE DATE: 02/10/2016  
PROJECT NUMBER: RBL#16-04-2066  
DRAWN BY: RICK BARTLETT  
CHECKED BY: RBL/NER

EDITOR: RICK BARTLETT  
DESIGNER: RICK BARTLETT  
CHECKER: RICK BARTLETT  
C.E. REGISTERED PROFESSIONAL ENGINEER

SHEET NAME  
TREE DISPOSITION

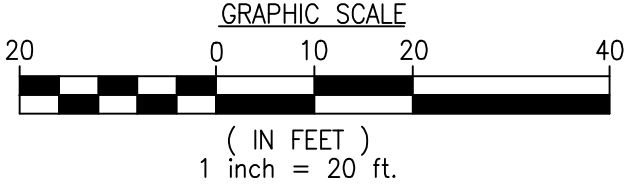
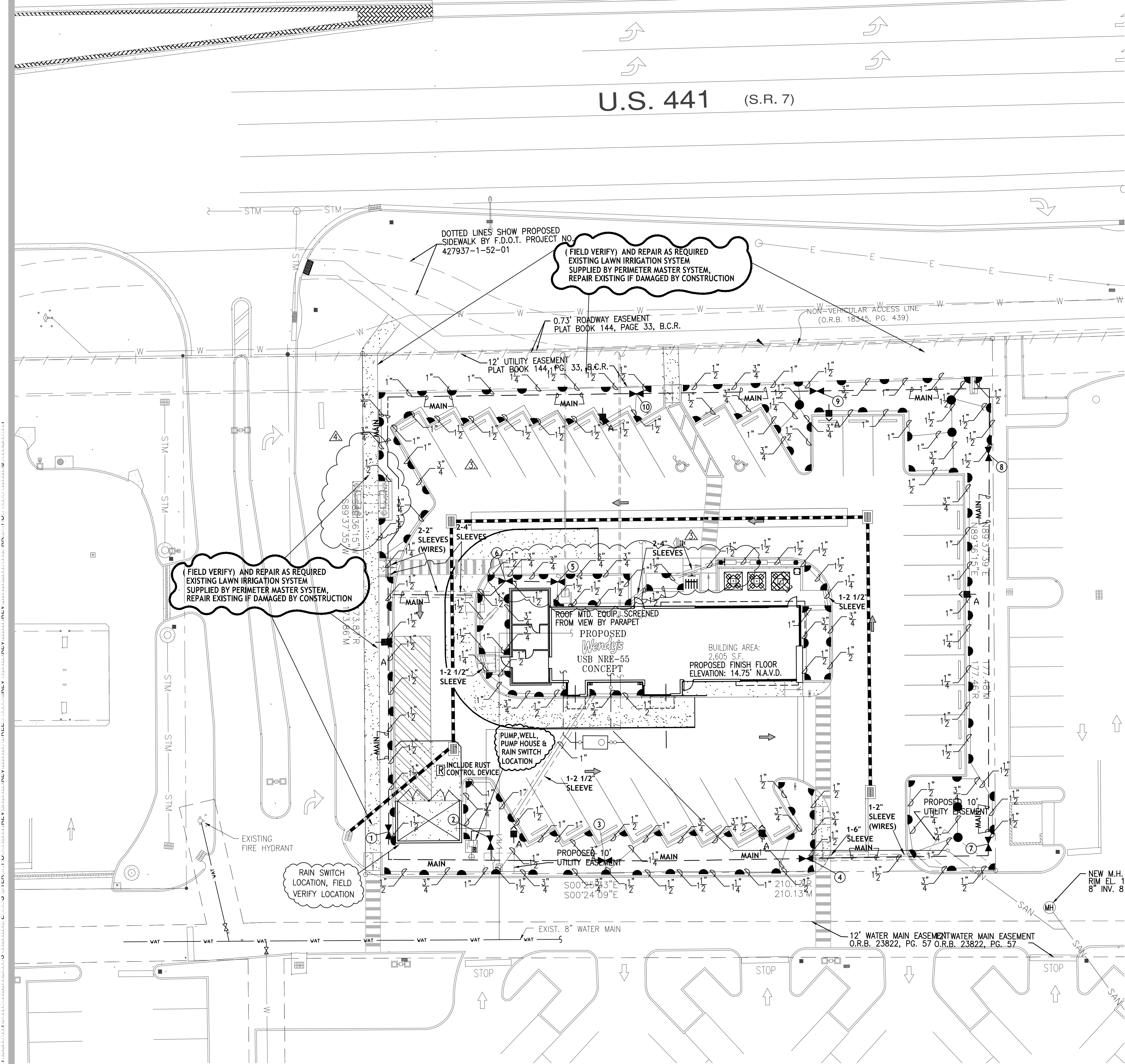
SHEET NUMBER  
TS-1





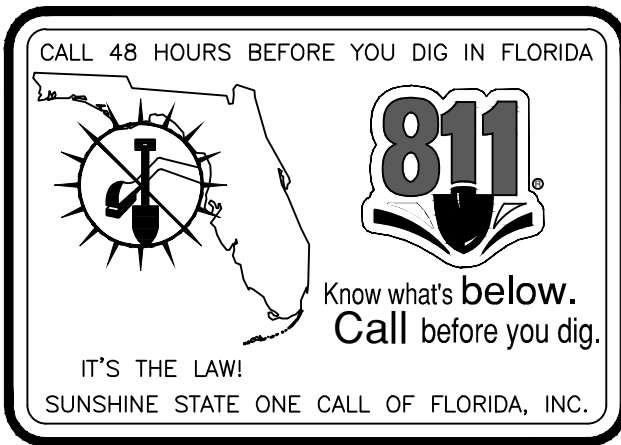


U.S. 441 (S.R. 7)

















A PORTION OF TRACT "A", SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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NOTE: ZONE RUN TIME ACTIVITY SHALL BE 25 MINUTES FOR THE FIRST 30 DAYS (EXCEPT FRIDAYS) FOR THE ESTABLISHMENT OF THE PLANT MATERIALS, AFTER THE ESTABLISHMENT OF PLANT MATERIAL THE ZONES SHALL RUN A MAXIMUM OF 20 MINUTES EACH ZONE TWICE WEEKLY OR AS DIRECTED BY THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICT RESTRICTION REQUIREMENTS."

TORO SPRY NOZZLES 570 W/ 6" & 12" (BED AREAS) SPRINKLER BODY

SYMBOL	MODEL NUMBER	AREA	GPM	PRECIPITATION
	CENTER STRIP – 4' CST	4'x30'	1.20	.68 IN/H
	HALF – 15' H	15' RAD	2.00	1.29 IN/H
	QUARTER – 15' Q	15' RAD	1.00	1.17 IN/H
	END STRIP – 4' EST	4'x15'	0.60	.34 IN/H
	TORO SERIES S700 GEAR DRIVEN ROTARY SPRINKLER	42' RAD	3.50	1.93 IN/H
	SIDE STRIP – 4' SST	4'x30'	1.45	.75 IN/H
	FULL – 15' F	15' RAD	4.00	1.95 IN/H
	2 HP STARTER SELF PRIMING PUMP, MODEL #DHJ, DELIVERING 55 GPM @ 35 PSI OR EQUIVALENT 220 VOLT (OR EQUAL) W/ PUMP START			
	TORO SERIES LOW VOLTAGE CONTROL VALVES 1" & 1 1/2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED			
	1 1/2" SCH. 40 PVC MAIN LINE AS SHOWN			
	RAIN BIRD ESP-SMte WATER SENSE CERTIFIED 12 ZONE TIME CONTROLLER RAIN SWITCH READY 220/24 VOLT			
	TORO RAIN SWITCH MODEL # 850-74			
	2" WELL SUPPLY (WATER PERMIT BY OTHERS)			
	RUST CONTROLL DEVICE-SEE SPECIFICATIONS SHEET=DETAIL #1			

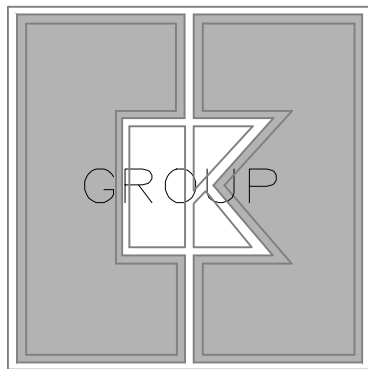
<u>ZONE</u>	1	2	3	4	5	6	7	8	9	10	11
<u># HEADS</u>	14	17	15	10	20	14	11	15	12	21	—
<u>G. P. M.</u>	24.00	23.00	24.00	24.00	25.40	23.00	22.00	31.00	21.00	33.00	—

1. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC LAWN IRRIGATION SYSTEM USING POP UP HEADS; SYSTEM SHALL GUARANTEE 100% COVERAGE & A 50% MIN. OVERLAP; SYSTEM SHALL HAVE A RAIN SENSOR DEVICE THAT WILL OVERRIDE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. HOURS OF OPERATION SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY; OR ANY RESTRICTIONS BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
2. WATER SOURCE SHALL BE FROM A PUMP & WELL SYSTEM SUPPLIED BY OWNER.
3. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/ OR BE DESIGNED OR INSTALLED TO THROW WATER OVER AN IMPERVIOUS SURFACE SUCH AS A SIDEWALK, DRIVE, ETC..
4. GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK-UP AS REQUIRED.
5. HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.
6. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PBC V-A-1.:  
PIPE SIZE (INCHES) DEPTH OF COVER (INCHES)  
1/2"-2 1/2" 18"-24"  
3-5" 24"-30"  
6 AND LARGER 30"-36"
7. HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION. ALL RISERS SHALL BE PAINTED FLAT BLACK IF APPROVED.
8. IRRIGATION CONTRACTOR TO SELECT NOZZLE SIZE BASED ON INTENDED THROW WITHIN 25% OF MAXIMUM DESIGN THROW.

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RICHARD BARTLETT LANDSCAPE, INC.  
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WELLINGTON, FL 33414  
TEL:(561) 795-0443  
LANDSCAPE ARCHITECTURE LC26000352  
MICHAEL E. RAWLS RLA#0001633

```
SEAL      _   SE MO U E D             S O R E P O I N T  
_SSET TIME              R P  
  
CROSS C I T O T        R E  
  
O B ER          E RESTOR RO OM O C  
  
_SE VERS O           _____  
  
_____R E C SSIC:T O_____  
  
CORRECTION         _____  
  
RO ECT E R            _____  
  
R R TURE COCE       _____R  
  
R M O R RELEA        _____R
```



**CKE**  
**GROUP**  
INCORPORATED  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

# PROJECT TEE SURE E

Wendy's®

S r  
S OH SO RO  
C Cr rd

REV.	DATE	DESCRIPTION
------	------	-------------

DESCRIPTION

1-19-17 CITY COMMENTS  
 2.5-15-17 CITY COMMENTS  
 3. 05-01-18  
 4.7-30-18 CITY COMMENTS

ISSUE DATE: 02/10/2016

PROJECT NUMBER: RBL16-04-2066

DRAWN BY: RICK BARTLETT

CHECKED BY: RGB/MER

SEAL

E R O C R C H E E  
 O E V E S R  
 S V R S E E  
 C E R O C C O

SHEET NAME

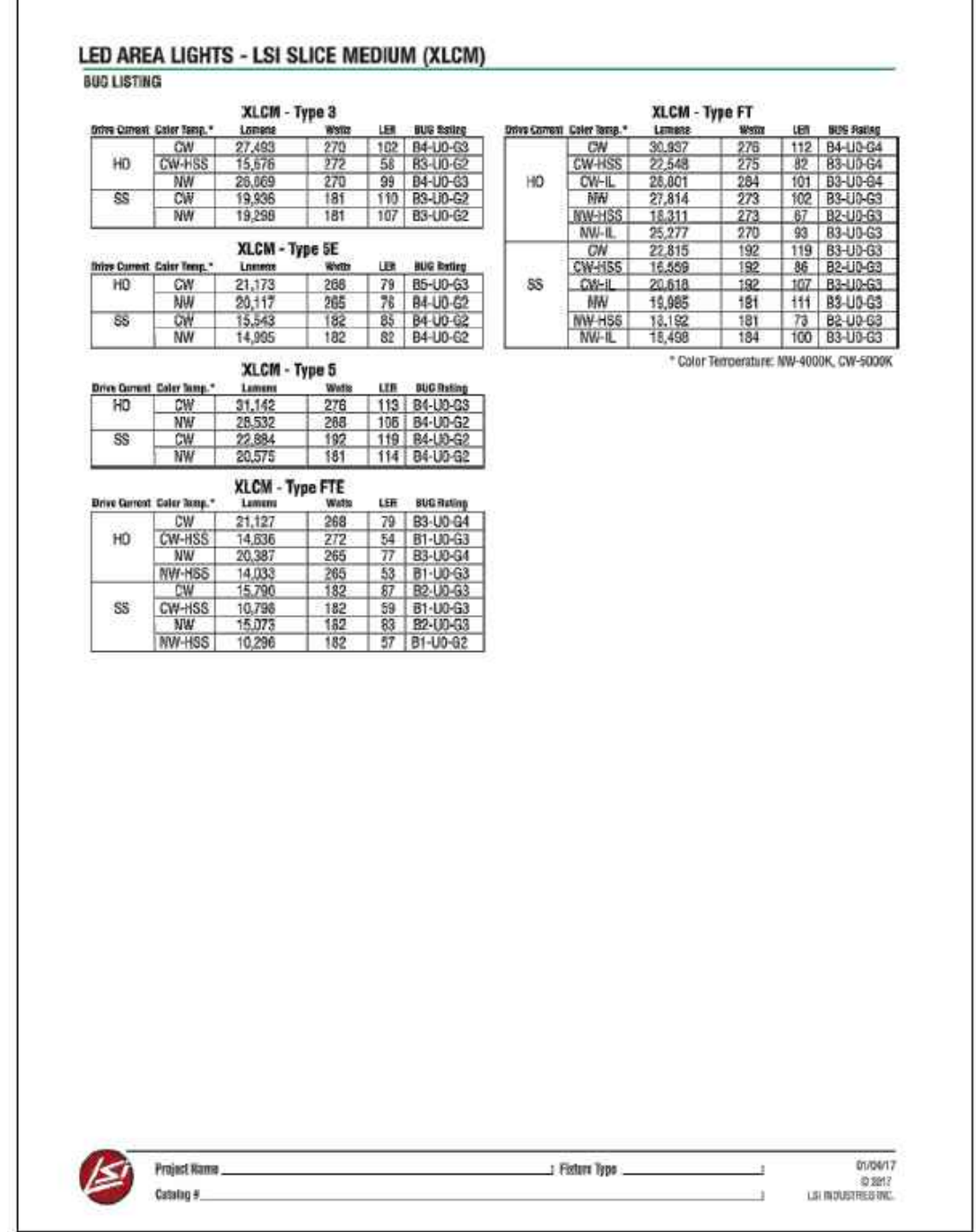
RR TO

SHEET NUMBER

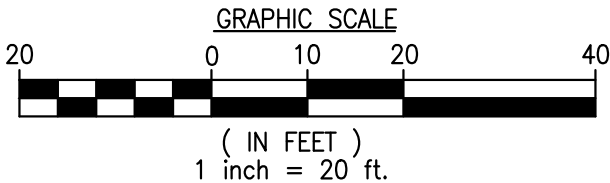
# LP-3



Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLF	Arr. Watts	BUG Rating	Arr. Lum. Lumens	Total PROJECT LUMENS	
	6	A	SINGLE	XLCM-FTE-LED-HO-CW-HSS-SINGLE ON 26' POLE	1.000	271.6	B1-U0-G3	14636	N/A	







	EXISTING	PROPOSED
TOTAL LAND AREA:	36,846.00 SQ. FT. ( 0.846± ACRES )	36,845.00 SQ. FT. ( 0.846± ACRES )
TOTAL BUILDING COVERAGE:	-	2,605.00 SQ. FT. ( 7.07 % )
TOTAL LANDSCAPED AREA:	8,056.38 SQ. FT. ( 21.87 % )	12,914.80 SQ. FT. ( 35.05 % )
TOTAL PAVED AREA & WALKS:	28,789.62 SQ. FT. ( 78.13 % )	21,326.20 SQ. FT. ( 57.88 % )
PERVIOUS AREA:	8,056.38 SQ. FT. ( 21.87 % ) (0.185± ACRES)	12,914.80 SQ. FT. ( 35.05 % ) (0.296± ACRES)
IMPERVIOUS AREA:	28,789.62 SQ. FT. ( 78.13 % ) (0.661± ACRES)	23,931.20 SQ. FT. ( 64.95 % ) (0.549± ACRES)

# C-1







S. 441 (S.R. 7)



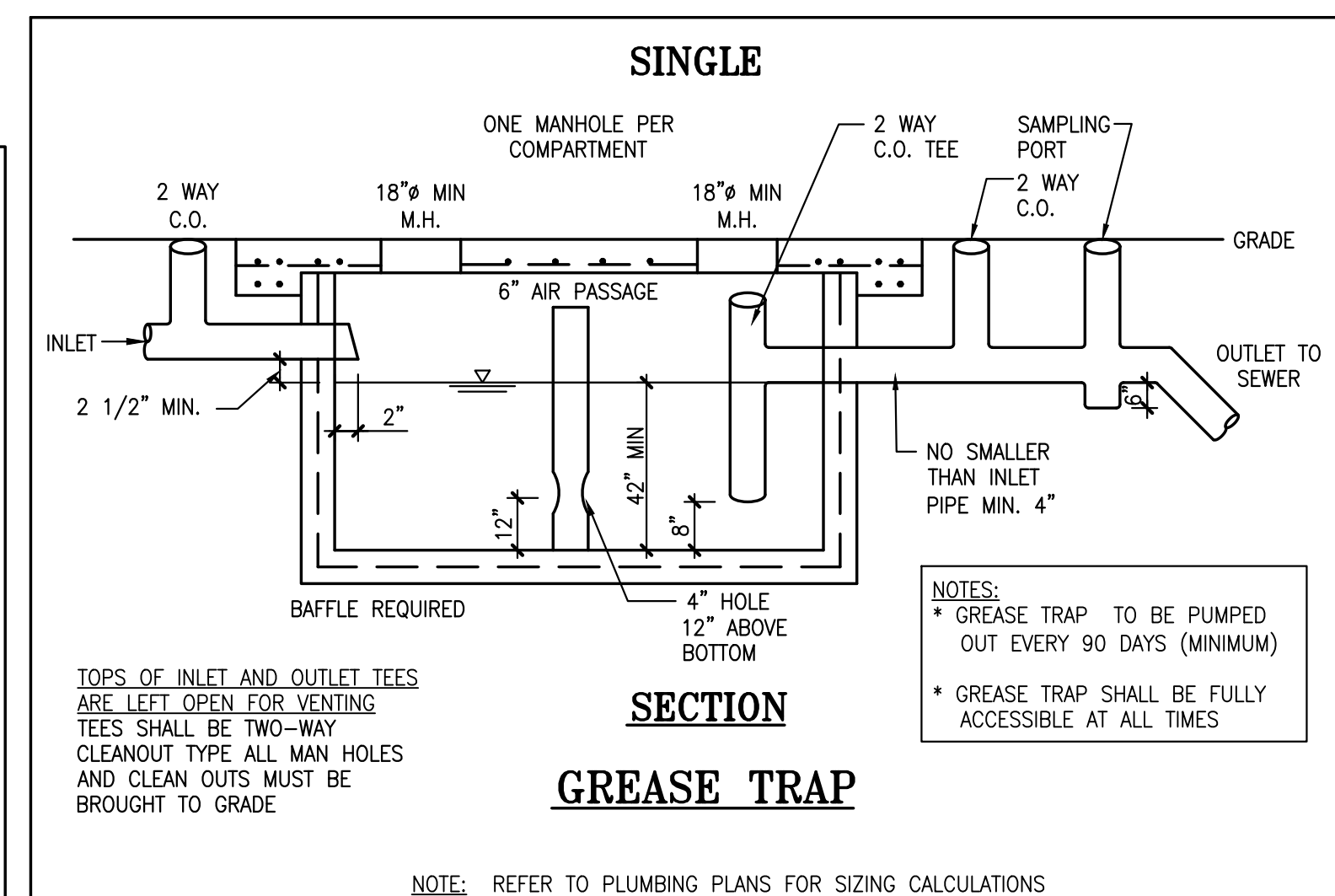
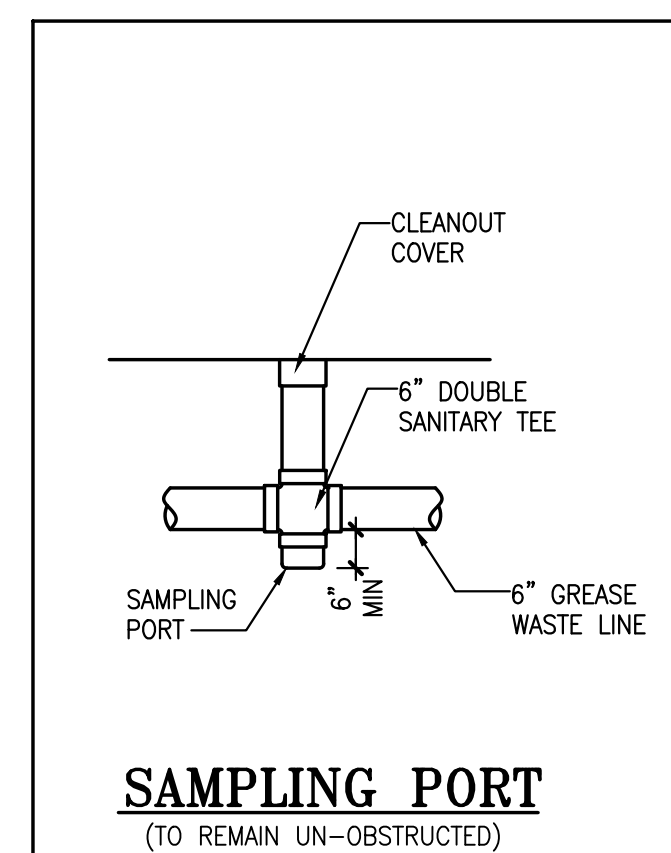
A PORTION OF TRACT "A", SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCING AT THE WESTERLY NORTHWEST CORNER OF SAID TRACT "A", SAID POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 7) AS SHOWN ON SAID PLAT AND ON THE ARC OF A CURVE CONVECTE WESTERLY, TO WHICH A RADIAL LINE BEARS NORTH 87°12'47" EAST; THENCE SOUTHERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, ON THE WESTERLY LINE OF SAID TRACT "A" AND ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,559.16 FEET, A CENTRAL ANGLE OF 0°51'46", FOR AN ARC DISTANCE OF 174.06 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°36'15" EAST ON A NON-RADIAL LINE 177.46 FEET; THENCE SOUTH 02°05'33" EAST 210.13 FEET; THENCE SOUTH 89°36'15" WEST ON A LINE NON-RADIAL TO THE FOLLOWING DESCRIBED CURVE 173.87 FEET TO THE INTERSECTION WITH THE AFOREMENTIONED EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 7); SAID WESTERLY LINE OF TRACT "A" AND A POINT ON SAID CURVE CONVECTE WESTERLY, TO WHICH A RADIAL LINE BEARS NORTH 89°07'03" EAST; THENCE NORTHERLY ON THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 11,559.16 FEET, A CENTRAL ANGLE OF 1°02'30", FOR AN ARC DISTANCE OF 210.16 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 36,846 SQUARE FEET (0.8459 ACRES), MORE OR LESS.

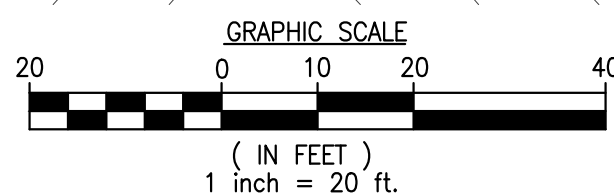
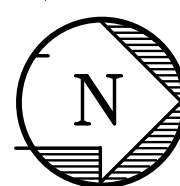
**NOTES:**

1. ALL HYDRANTS TO FALL WITHIN 2 FEET OF CURB, STEAMER CONNECTION TO FACE ROADWAY.
2. LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
3. BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
4. ALL CLEAN-OUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USE #7630 VALVE BOX).
5. ON-SITE SANITARY SEWER TO BE PRIVATELY MAINTAINED.
6. CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WORK.
7. MINIMUM SLOPE OF SANITARY WASTE = 1%.
8. CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70FT.
9. NO SOLVENT WELD SHALL BE USED.
10. REFERS TO CITY OF COCONINO CREEK PUBLIC WORKS STANDARD DETAILS FOR ADDITIONAL DETAILS.
11. REFER TO SHEET PH-1 FOR SITE LIGHTING AND SITE ELECTRICAL.

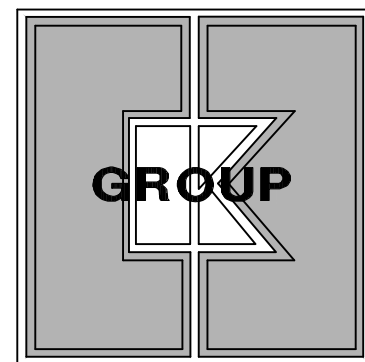


**NOTE:** REFER TO PLUMBING PLANS FOR SIZING CALCULATIONS

## SITE UTILITY PLAN



SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE: USB NRE 55  
NEW

**Wendy's.**

Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
<u>①</u>	05-01-18	
<u>②</u>	07-18-18	
ISSUE DATE:	02/10/2016	
PROJECT NUMBER:	1493	
DRAWN BY:	R. C.	
CHECKED BY:	E. C.	
SEAL		

EDUARDO L. CARCACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME

## SITE UTILITY PLAN

SHEET NUMBER

**C-3**



U.S. 441 (S.R. 7)

RADIUS = 11559.16'R  
 ARC = 210.16'R  
 CHORD = 210.16'RC; 210.16'M  
 CHD. BRG. = N01°24'12"W RC  
 N01°23'22"W M  
 DELTA = 0°02'30'R

12' UTILITY EASEMENT  
 PLAT BOOK 144, PG. 33, B.C.R.

NON-VEHICULAR ACCESS LINE  
 (O.R.B. 18345, PG. 439)

2% MAX. SLOPE  
 IN ANY AND ALL  
 DIRECTIONS

PROPOSED  
 Wendy's  
 USB NRE-55  
 CONCEPT

BUILDING AREA:  
 2,605 S.F.

FINISH FLOOR ELEVATION: 14.75' N.A.V.D.

S00°25'33"E  
 S00°24'09"E

210.13'R  
 210.13'M

S89°36'15"W  
 173.87R  
 S89°37'35"W  
 173.86M

N89°37'39"E  
 N89°36'15"E

177.48M  
 177.46R

STOP DO NOT ENTER

STOP DO NOT ENTER

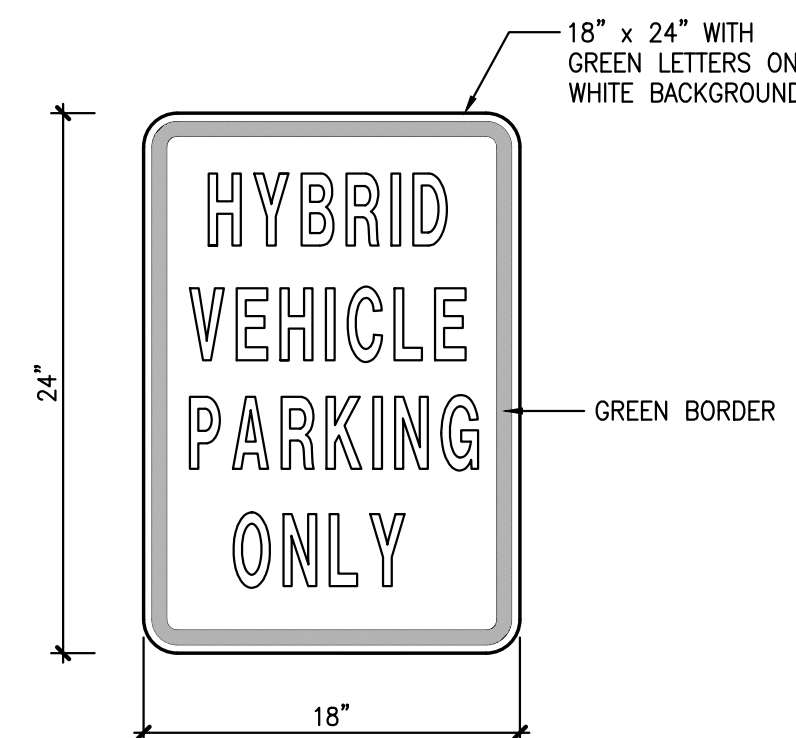
STOP DO NOT ENTER

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

- (1) 24" STOP BAR WHITE (THERMOPLASTIC)
- (2) 4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
- (3) TRAFFIC ARROWS PAINTED WHITE.
- (4) 2-4" YELLOW STRIPES (THERMOPLASTIC)
- (5) HANDICAP PARKING AS PER DETAIL.
- (6) HANDICAP SIGN 7'-0" A.F.P.
- (7) STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- (8) STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- (9) 3-6" WIDE CHEVRONS EQUALLY SPACED, PAINTED WHITE PER FDOT INDEX No. 17346 (TYP.), PER AISLE (MAX. 2% SLOPE)
- (10) 6" WHITE STRIPES @ 3' C/C PER F.D.O.T. INDEX
- (11) PAVEMENT MARKING REFER TO DETAIL THIS SHEET.
- (12) PEDESTRIAN CROSSING SIGN
- (13) EXIT DIRECTIONAL SIGN
- (14) ENTER DIRECTIONAL SIGN
- (15) MONUMENT SIGN
- (16) 215-LF 6" YELLOW. (THERMOPLASTIC)
- (17) 'NO PARKING' SIGN

NOTE:  
ALL PAVEMENT MARKINGS AND  
SIGNAGE SHALL BE IN ACCORDANCE  
WITH THE LATEST ADDITION OF THE  
MANUAL OF UNIFORM TRAFFIC  
CONTROL DEVICES (MUTCD)

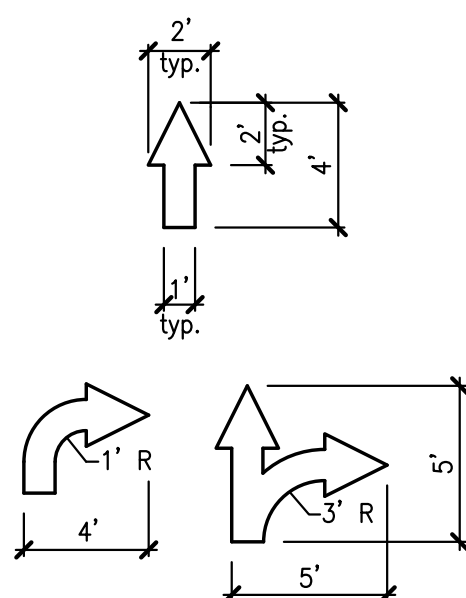
NOT TO SCALE



## STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS

SCALE: N.T.S.

NOT TO SCALE



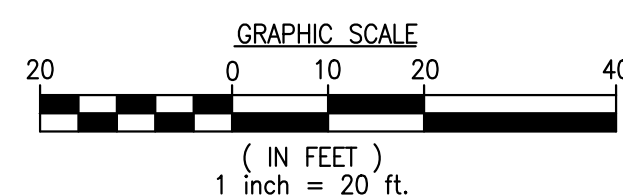
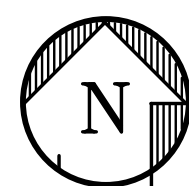
## PAINTED ARROWS

PER F.D.O.T. INDEX 17346 NOT TO SCALE

**HANDICAP PARKING SIGN**  
(FTP 20-04 PER FDOT INDEX 17355)

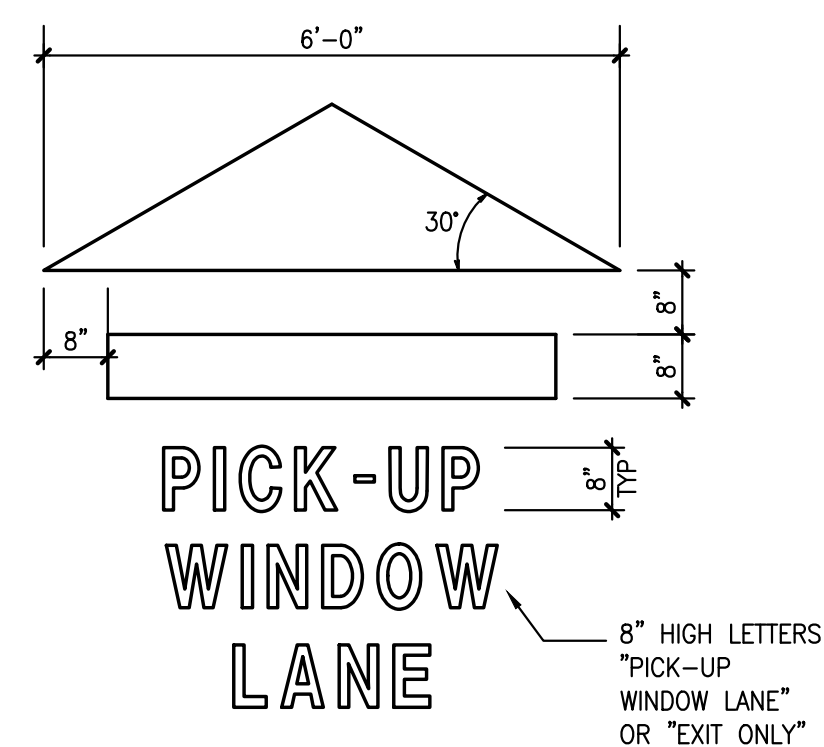
NOT TO SCALE  
(FTP 22-04 SUPPLEMENTAL PANEL  
PER FDOT INDEX 17355)

1"=20'-0"

$$1'' = 20' - 0''$$


### 38 PAVEMENT MARKER DETAILS

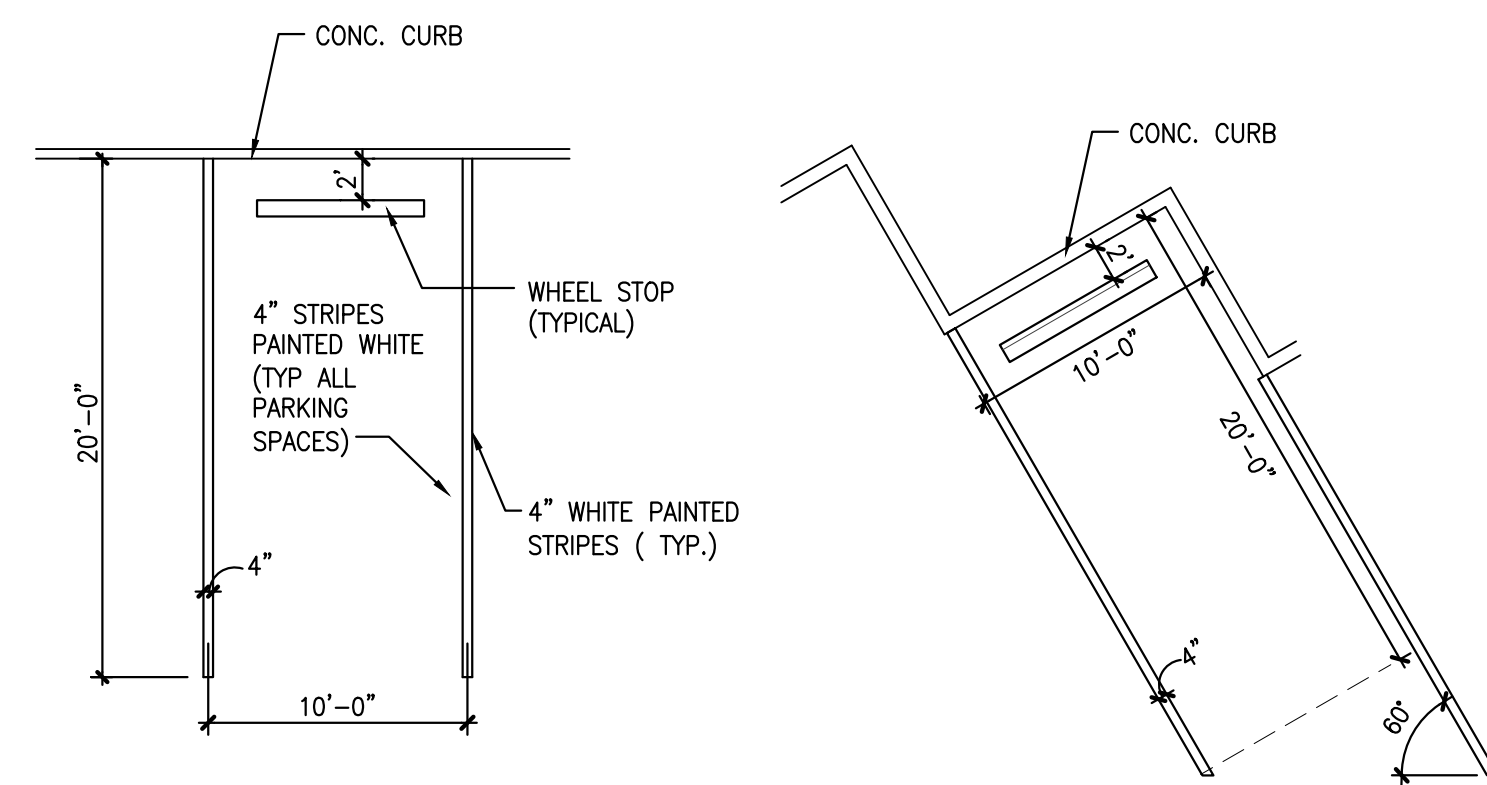
NOT TO SCALE




## HANDICAP SPACES

## HANDICAP AND STANDARD PARKING DETAILS

NOT TO SCALE



## STANDARD SPACES



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE: USB NRE 55  
NEW

**Wendy's.**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
1	05-01-18	
2	07-18-18	

ISSUE DATE:	02/10/2016
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.

EDUARDO L. CARCACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

PAVEMENT MARKINGS PLAN

SHEET NUMBER

**C-4**

Always call 811 two full business days before you dig

**Sunshine811.com**









**CKE**  
**GROUP**

**INCORPORATED**  
engineering • architecture • planning

**15500 NEW BARN ROAD**  
SUITE 105  
MIAMI LAKES, FLORIDA 33014

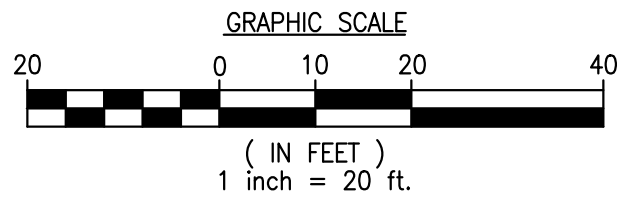
PHONE: (305) 558-4124  
FAX: (305) 826-0619

**Wendy's.**

Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

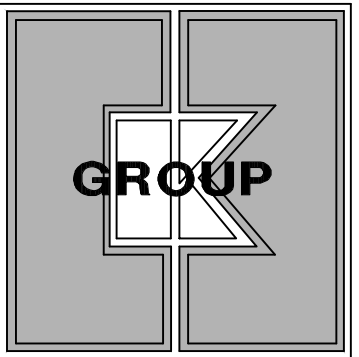
EDUARDO L. CARCACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

# C-6





SITE NUMBER:		11670
BASE MODEL:		USB NRE 55 R3
ASSET TYPE:		FRAN
CLASSIFICATION:		NEW
OWNER:	JAE REST. GROUP, LLC	
BASE VERSION:		XXXXXXXXXX
UPGRADE CLASSIFICATION:		
CORP. NEW BUILD		
PROJECT YEAR:		2017
FURNITURE PACKAGE:		2016 R3
DRAWING RELEASE		2016 R3



**CKE**  
**GROUP**  
**INCORPORATED**  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE: USB NRE 55  
NEW

**Wendy's.**

[illegible]

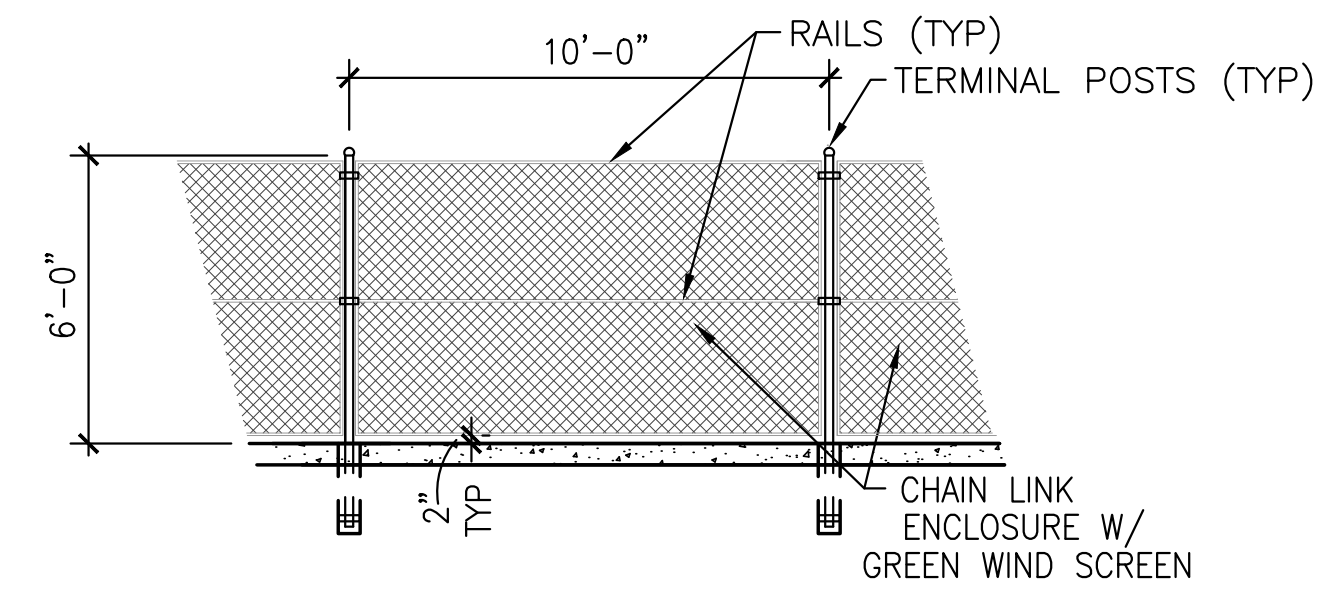
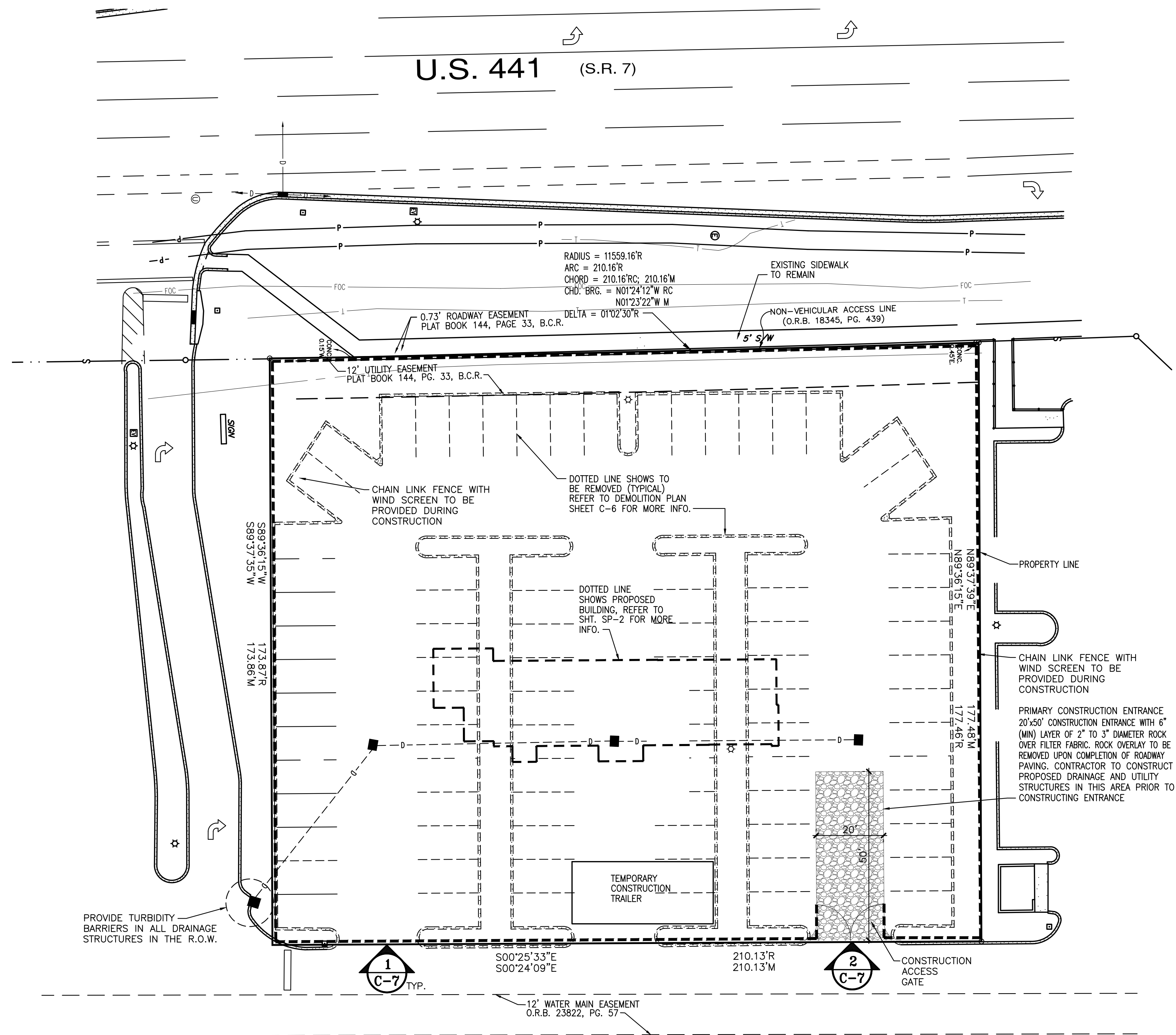
EDUARDO L. CARCACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME

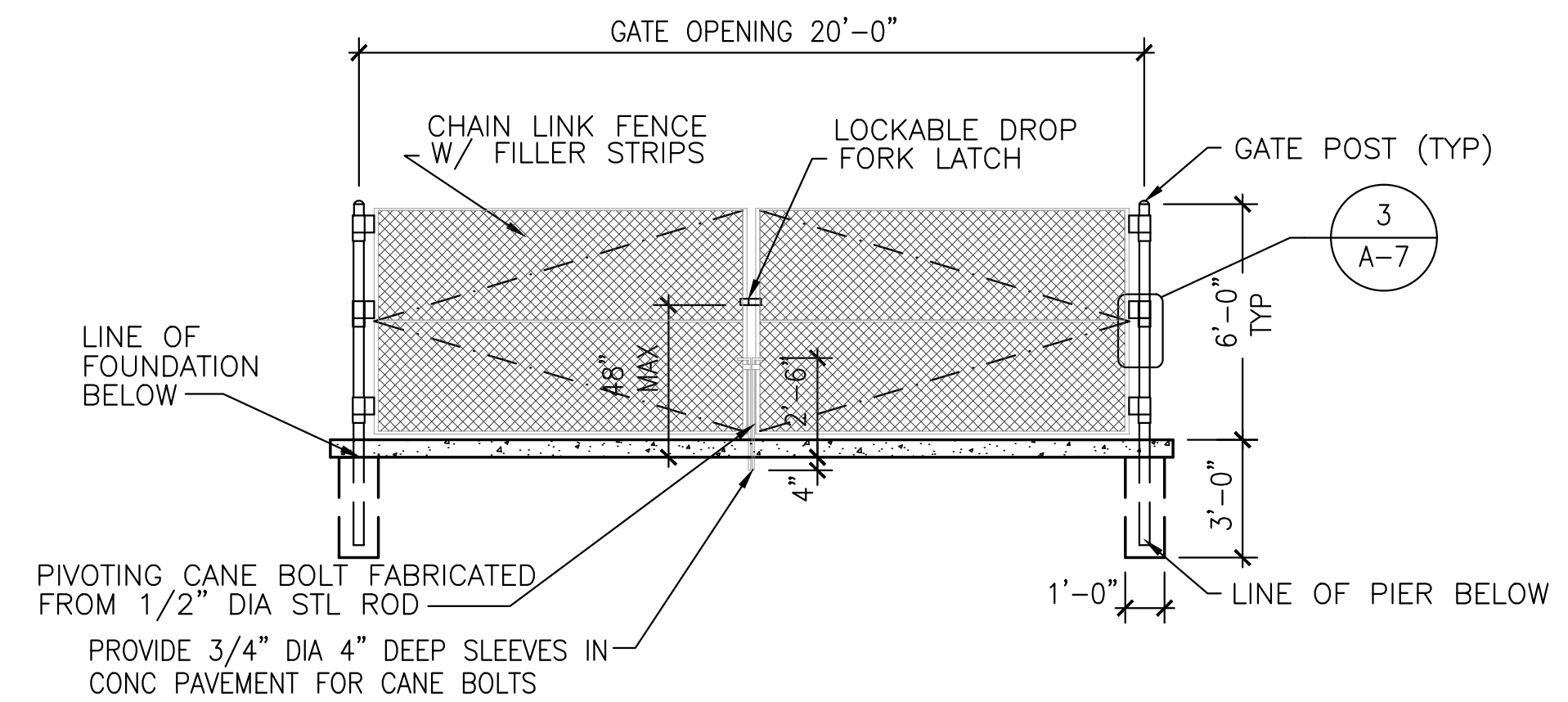
CONST. FENCE / ACCESS PLAN

SHEET NUMBER

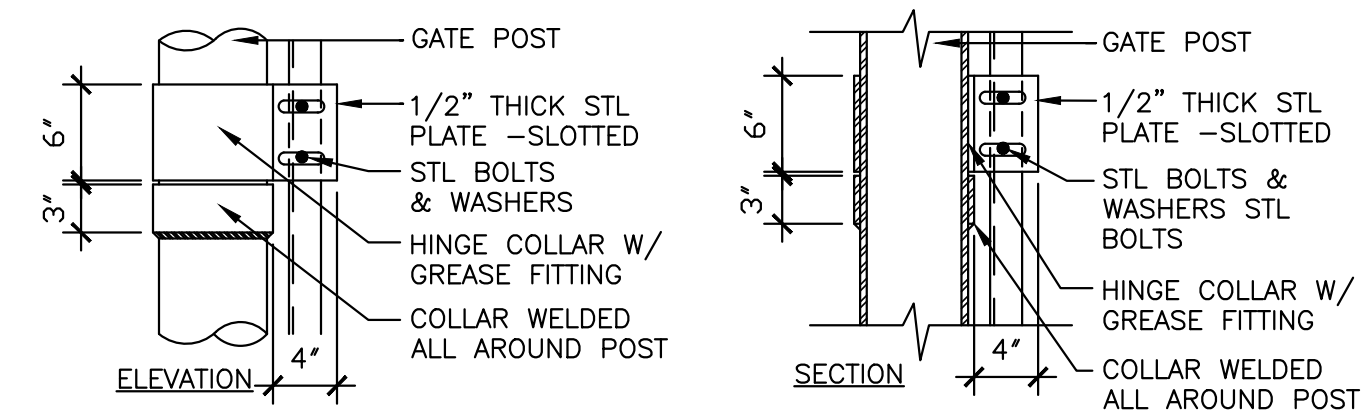
# C-7



1 FENCE ELEVATION  
C-7 SCALE: 1/4" = 1'-0"



2 GATE ELEVATION  
C-7 SCALE: 1/4" = 1'-0"

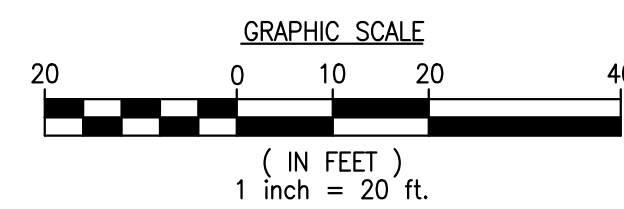
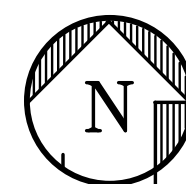


3 GATE HINGE DETAIL  
C-7 SCALE: 1" = 1'-0"

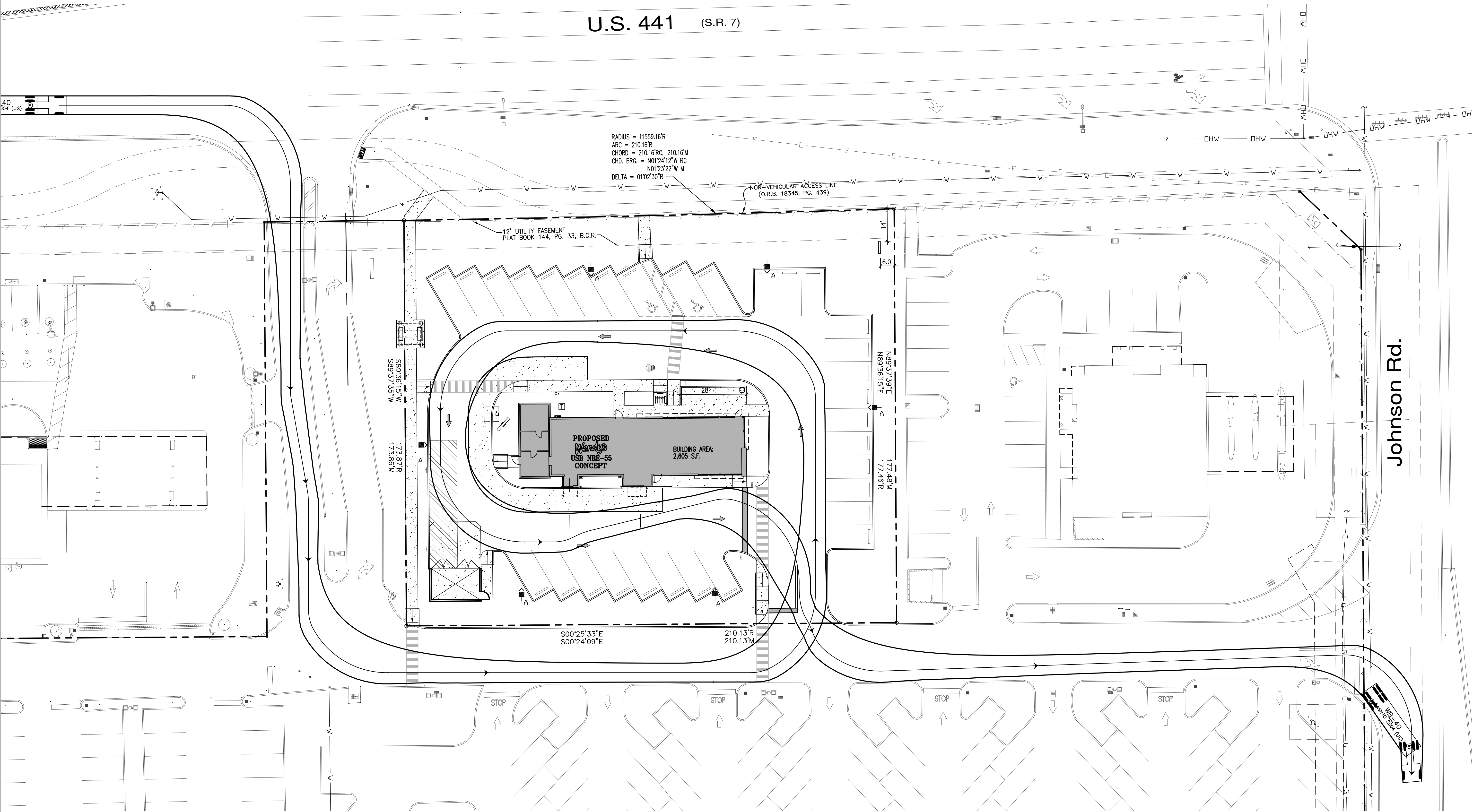


Know what's **below**.  
**Call** before you dig.

## CONSTRUCTION FENCE AND ACCESS PLAN







U.S. 441 (S.R. 7)

RADIUS = 11559.16'R  
ARC = 210.16'R  
CHORD = 210.16'RC; 210.16'M  
CHD. BRG. = N01°24'12"W RC  
N01°23'22"W M  
DELTA = 01°02'30"R

NON-VEHICULAR ACCESS LINE  
(O.R.B. 18345, PG. 439)

12' UTILITY EASEMENT  
PLAT BOOK 144, PG. 33, B.C.R.

S00°25'33"E  
S00°24'09"E

210.13'R  
210.13'M

N89°37'39"E  
N89°36'15"E

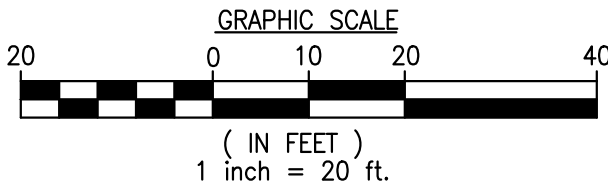
177.48'M  
177.46'R

PROPOSED  
Wendy's  
USB NRE-55  
CONCEPT

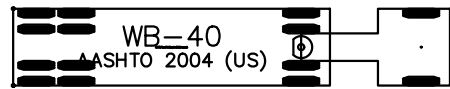
BUILDING AREA:  
2,605 S.F.

Johnson Rd.

TRUCK PATH PLAN  
1"=20'-0"



LEGEND:

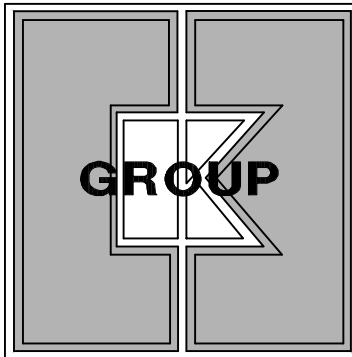


WB-40 TRUCK

Always call 811 two full business days before you dig



SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
SUITE 100  
15500 NEW BARN ROAD  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE: USB NRE 55  
NEW

**Wendy's.**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
△	05-01-18	
△	07-18-18	

ISSUE DATE:	02/10/2016
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.

SEAL

EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME

TRUCK PATH PLAN

SHEET NUMBER

C-8





**CITY OF COCONUT CREEK**  
DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW #1  
**03-08-17**

<b>PROJECT NAME:</b>	Wendys Site		
<b>PROJECT NUMBER:</b>	17020003		
<b>LOCATION:</b>	Coral Creek Shoppes		
<b>APPLICANT/AGENT:</b>	Corporate Property Services		
<b>REVIEW/APPLICATION</b>	Site Plan		
<b>DISCIPLINE</b>	<b>REVIEWER</b>	<b>EMAIL</b>	<b>TELEPHONE</b>
DRC Chair	Liz Aguiar – Senior Planner	<a href="mailto:laguiar@coconutcreek.net">laguiar@coconutcreek.net</a>	(954) 973-6756
Planning	Linda Whitman – Senior Planner	<a href="mailto:lwhitman@coconutcreek.net">lwhitman@coconutcreek.net</a>	(954) 973-6756
Planning	Natacha Josiah – Planner	<a href="mailto:NJosiah@coconutcreek.net">NJosiah@coconutcreek.net</a>	(954) 973-6756
Building	Sean Flanagan - Chief Structural Inspector	<a href="mailto:sflanagan@coconutcreek.net">sflanagan@coconutcreek.net</a>	(954) 973-6750
Engineering	Eileen Cabrera - Engineer I	<a href="mailto:ecabrera@coconutcreek.net">ecabrera@coconutcreek.net</a>	(954) 973-6786
Engineering	Krishan Kandial – Engineer I	<a href="mailto:KKandial@coconutcreek.net">KKandial@coconutcreek.net</a>	(954) 973-6786
Fire	Jeff Gary – Fire Marshall	<a href="mailto:jgary@coconutcreek.net">jgary@coconutcreek.net</a>	(954) 973-1563
Landscape	Scott Peavler - Landscape (consultant)	<a href="mailto:speavler@coconutcreek.net">speavler@coconutcreek.net</a>	(954) 973-6756
Police	Brandi Delvecchio - Police Department	<a href="mailto:bdelvecchio@coconutcreek.net">bdelvecchio@coconutcreek.net</a>	(954) 956-6721

**DEPARTMENTAL COMMENTS**

**BUILDING**

The Building Division approves this application.

This approval shall not imply full compliance with the Florida Building Code. Submittal of a building permit application and plans are required for review for a building permit.

**Response: Understood as noted.**

**ENGINEERING**

Hold

**GENERAL COMMENTS**

1. Additional comments may be provided and/or required upon review of any revised plans.

**Response: Understood as noted.**

2. All required approvals from Broward County Health Department and Broward County Environmental Protection, Growth Management Department (BCEPGMD) or any other applicable agency shall be obtained and submitted to the Engineering Division prior to issuance of an Engineering permit.

**Response: Understood as noted.**

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.





3. Clearly identify on plans the type of elevation datum used (which should only be NAVD 88 with conversion to NGVD 29).

**Response: Please see sheet SP-2.**

4. Indicate on plans the Finished Floor Elevation (FFE) for building.

**Response: Please see sheet SP-2**

5. A Water and Wastewater Agreement will be required including all water and wastewater impact fees paid to the City.

**Response: Understood as noted.**

6. If necessary, show all conflicts between water, wastewater, and drainage lines with the minimum separations.

**Response: Please see sheet C-3 for site utilities.**

#### **TRAFFIC ENGINEERING**

7. All pavement markings and signage shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).

**Response: The plan has been updated to include all pavement markings and signage to comply with the Manual on Uniform Traffic Control Devices (MUTCD). Please see sheet C-4 that has a note included.**

8. All proposed sidewalks shall be a minimum of 5' width.

**Response: Please see sheet SP-2 where a minimum 5' sidewalk is proposed.**

#### **ROADWAY AND PAVEMENT**

9. Sheet No C-1 not provided for paving and drainage plan.

**Response: Sheet C-1 has been included with this submittal.**

10. Transverse slope of pavement shall be a minimum of 2.0% for roadways and 1.0% for parking areas.

**Response: There are notes that have been added to sheet C-1 and C-2. The proposed slopes shown on the plans comply with a minimum of 2% for roadways and 1.0 for parking.**

11. Longitudinal slope of pavement shall be a minimum 0.4%.

**Response: A note has been added to sheet C-1 and C-2, showing the proposed longitudinal slope of the pavement complies with the minimum 0.4%.**





12. All accessible parking spaces and sidewalks shall conform to ADA standards.

**Response: All accessible parking spaces and sidewalks conform to ADA standards. Please see sheets SP-2, SP-3 and C-4.**

13. Disabled parking spaces shall conform to ADA and FDOT standards. Ensure all spaces have proper landing area.

**Response: The plans and details have been updated to comply with the ADA and FDOT standards.**

14. Disabled parking spaces shall be 20 ft in length. 18 feet to the curb stop and 2 feet overhang.

**Response: The parking spaces are 20 feet in length. Please see sheets SP-2, Sp-3 and C-4.**

#### **DRAINAGE COLLECTION SYSTEM**

15. Provide total pervious and impervious area before and after proposed construction on sheet SP-2.

**Response: Please refer to table on Sheet SP-2 and C-1.**

16. Broward County Environmental Protection, Growth Management Department (BCEPGMD) license for surface water management to be updated.

**Response: Understood as noted.**

#### **WATER & WASTEWATER SYSTEM**

17. Water service connection up to water meter shall be SDR 9 polyethylene pipe.

**Response: Please refer to sheet C-3, as it is noted.**

18. An easement shall be dedicated to the City for the proposed location of the water meter.

**Response: Please refer to sheet C-3, as it is noted.**

19. A fire flow test shall to be conducted to verify availability of required fire flow. Contact the Utilities and Engineering Department for details and submit fire flow calculations using I.S.O. criteria at Final Engineering Review. Fire flow tests can be requested from the City's Utilities & Engineering Department.

**Response: A request for a fire flow test to be conducted has been submitted to the Joanne Lindholm from the City's Utilities & Engineering Department.**

20. Fire line sprinkler services, fire hydrants and water service connections shall be connected to the water main independently and, shall not be connected to each other.





**Response: Water service is tied to 8" main. No fire line or sprinklers are proposed or required.**

21. Please clarify when will the new wastewater line be constructed and by whom.

**Response: The new waterline will be constructed prior to Wendy's being constructed by the shopping center owner.**

22. Service laterals for wastewater shall not be connected directly to a manhole. Laterals shall be a minimum of 7 ft. from manhole.

**Response: Lateral connection is located 7 feet from the manhole. Please see sheet C-3.**

23. City wastewater cleanout shall not be located in pavement area and shall be installed within green areas and utility easements for ease of access. City cleanout to be USF 7630. Provide a detail on the detail sheet.

**Response: Shopping Center owner to provide.**

#### **LANDSCAPING, LIGHTING, AND IRRIGATION**

24. Proposed trees shall not be placed within the utility easements.

**Response: Proposed trees not placed within the utility easements. Please see sheet LP-1.**

25. Show clear sight triangles (10 ft x 10 ft) at street intersections on landscape plans.

**Response: Shown see LP-1 landscape**

#### **FIRE**

Approved

#### **GREEN**

Hold

#### **General Comments**

1. Applicant shall be prepared to include applicable "green" or "sustainable" elements as part of the PowerPoint (or other) presentation to the Planning and Zoning Board.

**Response: So noted. The "green" or sustainable" elements are on sheet CS-2.**

2. Corrections shall be made to plans "addressing" and "correcting" each comment. Acknowledgements may not be considered corrections. Written responses to comments shall reference appropriate sheet(s) or detail(s) where corrections have been made.

**Response: Understood as noted.**

3. Additional comments may be provided at DRC meeting and/or upon review of any revised plans.





**Response: Understood as noted.**

4. Sec.13-81(14)b. – Any DRC application continued or inactive for more than six (6) months will be considered null and void and will be treated as a new application with applicable fees.

**Response: Understood as noted.**

5. Sec.13-320, Green Building Construction. All new commercial, office, industrial, hotels and civic use development or redevelopment projects seeking site plan approval shall comply with minimum Green Building Construction practices, pursuant to Ordinance 2007-040. Application submittals shall indicate how sustainable site development (see comment #7 below) will exceed the requirements of the Florida Building Code and other applicable codes.

**Response: Please see sheet CS-2.**

6. Sec.13-320(b)(1), all new development applicants must retain a LEED accredited professional within their planning and design team. Please identify within application.

**Response: Please see sheet CS-2. The LEED accredited professional is Luis Vargas.**

7. Sec.13-320(b)(2), all new development or redevelopment applications shall address the following green building components at time of development applications.
  - a. Sustainable site development
  - b. Water efficiency.
  - c. Energy efficiency.
  - d. Indoor environmental quality.
  - e. Materials and recycling.

**Response: Please see sheet CS-2.**

8. Sec.13-320(c)(1), be advised, at time of site plan submittal, property owner shall provide a written letter addressing each element listed in Sec.13-320(b)(2). Letter must detail how the property owner intends to comply with green building elements within the site and building(s). Site plans shall include lists, notes, drawings, or any other form of detail. In addition, the site plan shall include a checklist itemizing EACH green building element and indicate how each item will exceed Florida Building Code and other applicable code requirements.

**Response: Please see sheet CS-2.**

#### **Green Plan Comments**

9. The City Commission has adopted a City Green Plan, outlining city-wide “green” goals. Applicant shall make every effort to achieve goals outlined in the Green Plan during the site plan/rezoning process. Staff has provided a list below, of action steps from the





Green Plan that may be used for this project. A comprehensive list may be viewed on the City's website under the "live green" tab.

**Response: Understood as noted.**

10. *Action 1.2* – Achieve LEED Certification or Florida Green Building Coalition (FGBC) Certification on 50% of buildings outside the MainStreet Project Area.

*Staff recommends that the applicant consider pursuing LEED certification.*

**Response: The project will not be LEED certified.**

11. *Action 1.6* – Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic, and environmental value.

*Project shall include conspicuous green technology "in excess" of minimum building code requirements such as but not limited to solar panels, solar powered landscape lighting, green screens, "effective" bio-filtration systems, cisterns or other rain water collection systems used for onsite irrigation or other creative green elements.*

**Response: There are "green screens" provided on the east building elevation.**

12. *Action 2.1* – Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public and private land by 2020.

*Please demonstrate compliance in landscape plans and notes.*

**Response: Provided & noted see plan.**

13. *Action 2.2* – Achieve 40% greenroof coverage for new construction in MainStreet Project Area and 10% greenroof coverage for new construction for areas outside of MainStreet.

*Green roofs may be either active or passive. To aide in heat island reduction, roofs should incorporate light colored/high albedo materials.*

**Response: Please note that a white roof membrane is being provided.**

14. *Action 5.1* – Increase recycling throughout the City. By increasing recycling the City can begin to reduce waste at the source of generation.

*Staff recommends a dual receptacle bin for the use of the patrons for garbage and recycling at the entry to the facility.*

**Response: There will be 1 dumpster for recyclables.**

15. *Action 5.3* – Require all construction and demolition debris to divert 75% of waste from landfills.

*Applicant shall commit to recycling construction debris.*

**Response: Site complies. Please see sheet CS-2.**





16. Action 6.4 – Implement an alternative vehicle parking program to designated parking areas for alternative vehicle in developments throughout the City by 2020.

*The City encourages the designation of alternative fuel or hybrid parking spaces and electric vehicle charging stations.*

**Response: See sheet SP-2. Site provides hybrid parking spaces.**

## LANDSCAPE ARCHITECTURE

Hold

### TS:

1. Check sheet name with file name. TS-1 has L-2 on the sheet.

**Response: Revised file name, see landscape plan.**

2. In addition to the note at the top of the sheet, provide tree barricade notes from section 13-448 (n) and reference detail on sheet L-3.

**Response: Added notes & detail. Please see sheet LP-1 and LP-2.**

3. Provide note requiring general contractor to prepare final relocation sites for trees that are proposed to be relocated. Trees are only to be moved once and shall have tree barricades in place during the entire duration of construction.

**Response: Added note, see landscape plan. Please see sheet LP-1 and LP-2.**

### L-1:

4. The South, East, and West perimeters do not meet the required 10' landscape strip per Section 13-443 (10).

**Response: Revised site to 10'.**

5. Commercial buildings require a 10' landscape area between the building and vehicular circulation. Sidewalks or other hardscape surfaces are not permitted within this 10'.

**Response: Revised site, see plan.**

6. Provided dimensions for landscape areas, including islands.

**Response: Please see sheet SP-2 and LP-1.**

7. Correct data table under "special provisions" from D to E for commercial. Provide shrubs and groundcover calculations.

**Response: Revised to E and shown.**





8. Shift trash enclosure west to allow space for existing tree at the SE corner of the site.

**Response: Revised site, see plan.**

9. Provide calculations for interior landscape requirement. Section 13-443 (12)(b).

**Response: Provided see plan.**

10. In the data table provide cardinal direction for which perimeter the code is applying too.

**Response: Added see plan and chart.**

11. Note that existing material outside of the proposed parcel lines cannot be counted towards code requirements for this project.

**Response: Noted on plan, not counted. Please see sheet LP-1.**

12. Roadway landscape buffer along state road 7 does not meet code. Additional tiers of landscape are needed in addition to a continuous hedge.

**Response: Added two tiers, see plan. Please see sheet LP-1 and LP-2.**

13. Provide 15' light pole setbacks on the plans with a dashed circle. Adjust any conflicts with proposed or existing trees/ palms.

**Response: shown, see plan. Please see sheet SP-2 and LP-1.**

14. Label fire hydrant locations if applicable and provide clear zone.

**Response: N/A offsite, detail provided. Please see sheet SP-2 and LP-1.**

15. Separate out existing trees from the proposed plant list in the legend. Provide two lists if necessary.

**Response: Provided two lists, see plan. Please see sheet and LP-1, LP-2 and LP-3.**

16. Provide species diversification calculation in data table. No more than 25% of one species is permitted.

**Response: Species provided 25% max., see plan.**

17. Native calculation is to include all proposed landscape material. Revise as necessary.

**Response: shown see breakdown plantings.**

18. Remove Guava tree from the plant list as it is listed as a Cat. 1 tree on the invasive plant list.





**Response: Revised to Silver Buttonwood & Clusia.**

## PLANNING AND ZONING

Hold

### General Comments

1. Applicant shall be prepared to make a PowerPoint (or other) presentation at the Planning and Zoning Board meeting which should include an overall site plan and color rendering(s).

**Response: Understood as noted.**

2. Applicant will be required to provide one (1) digital copy and 14 sets of application packages prior to the Planning and Zoning Board meeting. Sets will be required ONLY when ALL revisions have been made and application is in substantial compliance with applicable code requirements.

**Response: Understood as noted.**

3. Applicant shall make every effort to ensure public participation as part of this project review. Provide an itemized accounting and/or correspondence demonstrating efforts including any mailed notices, HOA meetings, site postings, correspondence etc.

**Response: Understood as noted.**

4. An address request letter, 11"x17" site plan and \$100.00 filing fee shall be submitted to the Sustainable Development Department. Addresses, subject to City and Post Office approval, will be assigned only upon site plan approval by the Planning & Zoning Board.

**Response: Understood as noted.**

5. Corrections shall be made to plans "correcting" each comment and re-submitted per digital submittal requirements. Acknowledgements in lieu of corrections, as applicable, are not considered corrections. Written responses to DRC comments shall reference correction location.

**Response: Understood as noted.**

6. Sec.13-81(14)b. – Any DRC application continued or inactive for more than six (6) months will be considered null and void and will be treated as a new application with applicable fees.

**Response: Understood as noted.**

7. Sec.13-81(14)c. – Final site plan revisions to be completed within seven days of Planning & Zoning Board approval. Failure to complete will result in a delinquent fee, per week, per item of \$100.00 unless otherwise stipulated by staff. Be advised, building permit will not be issued until all outstanding DRC items have been addressed and fees have been paid.

**Response: Understood as noted.**

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.





8. Additional comments may be provided at DRC meeting and/or upon review of any revised plans.

**Response: Understood as noted.**

### **Project Comments**

9. The proposed site plan assumes creation of an outparcel where one does not exist and where one is not permitted by Code. In so doing, the substandard outparcel has further created the need for numerous variances solely by the direct actions of the applicant. Further, review of this proposed site plan application has generated a list of staff comments identifying additional land development code requirements that may necessitate additional variance requests by the applicant. City staff maintains a position that the overall Shopping Center site has the maximum number of outparcels allowed by code and cannot support the site plan request.

**Response: A rezoning application has been filed by the owner of the shopping center to alleviate the creation of an outparcel.**

10. The previously approved site plan does not provide for any further development on this property, including outparcel development.

**Response: A rezoning application has been filed by the owner of the shopping center to alleviate the creation of an outparcel.**

10. Staff has concerns regarding the proposed architecture. Building facades should incorporate varied architecture elements to provide visual interest. Staff cannot support the rear elevation facing the main entrance, as proposed.

**Response: The rear of the building has been redesigned, Please see sheets A1.1, A2.1 and A2.2.**

11. Staff has concerns regarding the building footprint. The building must allow for foundation areas that provide adequate space for landscape material to thrive. A minimum of 10'ft planting is required on the north, east, and south area.

**Response: A green screen has been added on the drive thru side (east) and increased planting area on south side. The north side is glass.**

### **Plat**

12. Sec.13-351 – Building permits will NOT be issued until the Plat note amendment has been recorded. See special land use comments regarding plat restrictions.

**Response: Understood as noted.**

### **Impact Fees**

13. Section 13-110 thru 13-117, Affordable Housing Program. Pursuant to Ordinance 2006-005, all non-residential development will be subject to an affordable housing linkage fee. The fee, based on use and building square footage, must be paid prior to building permit issuance. Calculations are based on gross floor area minus stairwells, elevator shafts, mechanical rooms, and external storage rooms. An itemized floor area table will be required at time of building permit review.





**Response: Understood as noted.**

14. Division 5, Impact Fees, Section 13-118 through 13-126. Pursuant to Ordinance 2006-017, all new development shall assume a fair share cost of providing Police and Fire/Rescue facilities. Fee, based on use and building square footage, must be paid prior to issuance of building permit. An itemized floor area table will be required at time of building permit review.

**Response: Understood as noted.**

#### **Underground Utilities**

15. Section 13-142, Underground Utilities. Pursuant to Ordinance 2005-032, any project seeking site plan approval will be required to place all utilities including existing overhead utilities within the site or in public right-of-way adjacent to the site, underground. Electrical transmission and distribution lines with a rate load of 23k volts or higher shall be exempt from this requirement. Applicant must complete one of the following requirements prior to Planning & Zoning Board meeting; (1) provide a signed agreement between the applicant and each affected utility company demonstrating that the utility will be placed underground, (2) process an agreement with the City indicating the property owners' intent to comply with the under-grounding requirements for utilities, (3) if electrical lines with a rate load of 23k volts or higher exists, then a written detailed statement from a licensed professional engineer, qualified to verify such utility issues and, stating the rate load shall be provided, or (4) process an Underground Utility Waiver Application, which must be processed concurrently with the site plan, for consideration by the Planning & Zoning Board. Applicant must specify which option, as stated above, will be proposed for Board consideration. Appropriate information demonstrating compliance with City ordinance shall be submitted to the City for review as part of the DRC process. Be advised, failure to submit information in a timely manner, may prevent the site plan application from consideration by the P&Z Board.

**Response: This does not apply as the overhead utilities are located on the west side of 441.**

16. If technical reasons are the basis for a waiver application, the application shall contain a detailed statement by a Florida licensed Professional Engineer, qualified with respect to utility issues, explaining why it is technically not feasible to locate such utilities underground.

**Response: N/A**

17. Underground Utility Waiver submissions shall be prepared in accordance with the standards established in the City's Land Development Code, Section 13-142 "Underground Utilities Required" pursuant to Ordinance No. 2005-032. Applicant must provide a written justification that demonstrates the reasons for seeking a waiver to the underground placement of utilities. If technical reasons are the basis for the waiver application, the application must contain a detailed statement by a Florida licensed Professional Engineer, qualified with respect to utility issues, explaining why it is technically infeasible to locate such utilities underground.

**Response: N/A**





18. The City may grant a waiver if the application is supported by information detailing justifiable reasons for not pursuing the subject under-grounding.

**Response: N/A**

19. If a waiver is granted, a dollar amount equal to the cost of placing the utilities underground as determined by an estimate established by the relevant utilities and as agreed to by the City, may be required to be paid into the City's Underground Utility Fund, prior to building permit issuance.

**Response: N/A**

20. Applicant should include pictures of the utilities.

**Response: Pictures are included of utilities on the west side of 441.**

### **Aesthetic Criteria**

21. Applicant shall provide correspondence responding to aesthetic design criteria including but not limited to differences between existing and proposed development, architectural style, heights, materials, color palette, etc.

**Response: The proposed new Wendy's building design is a very contemporary but similar in size and height to the other buildings in the shopping center. The exterior wall finishes are Nichiha which is a fiber cement board panel that produce an attractive contrast in finishes and colors. The dining room has glass all around which enhances the look and also serves to invite pedestrian activity in the area. The existing shopping center is a little dated and we hope that with this new contemporary building, it will encourage more contemporary development.**

22. Sec.13-37(c)(1)d. - Without restricting permissible limits of the applicable zoning district, the height and scale of each building shall be compatible with its site and existing or anticipated adjoining buildings.

**Response: The proposed Wendy's is a one story building which is similar in height as the adjacent freestanding buildings in the shopping center.**

23. Sec.13-37(c)(3)b.2. - Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.

**Response: As stated above, the proposed building has a contemporary look and the materials are architecturally harmonious with the surrounding area.**

### **Elevations**

24. Architectural compatibility within the plaza shall be maintained. See aesthetic design criteria above. Architecture for all elevations shall be provided and be detailed.





**Response:** The proposed new Wend's building design is very contemporary but similar in size and height to other buildings in the shopping center. The exterior wall finishes are Nichiha which is a fiber cement board panel that produce an attractive contrast in finishes and colors. Revised plan and elevations to fully enclose the walk in freezer and also provide a green wall on the east side of the building. Outdoor patio seating is provided to encourage outdoor activity and bring in pedestrians from the street. The existing shopping center is a little dated and we hope that with this new contemporary building, it will encourage the shopping center to promote the use of contemporary styles for future development.

25. Show all light fixtures on building if proposed, they must be included in photometric calculations.

**Response:** Removed wall mounted fixtures, all others accounted in photometric plans and calculations.

26. Detail all elevations to show mean and maximum roof height, colors for all elements including decorative molding, banding, doors, etc. Identify all architectural treatments including finish material (ie stucco or other), width and depth cornices, banding etc.

**Response:** Please see sheet A-2.1 and A-2.2.

27. Sec.13-37(c)(3)b.2 - Buildings shall have the same materials, or those that are architecturally harmonious, on all walls and other exterior components that can be seen from public ways.

**Response:** The proposed building has a contemporary look and the materials are architecturally harmonious with the surrounding area.

#### **Outparcel**

28. Sec.13-359(b)(1) - Each outparcel must be developed so as to independently meet the provisions of the city's code. For the purpose of determining whether an outparcel has provided for sufficient landscaping, setbacks, as well as all other city code regulations have been met, each outparcel shall be reviewed independently and the condition of other parcels will not be considered in determining whether code criteria are met.

**Response:** A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.

29. Sec. 13-359(b)(2) – Number of outparcel permitted on any commercial development shall be no more than one (1) outparcel for every five (5) acres of total site area.

**Response:** A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.

30. Sec.13-359(b)(3) - No outparcel shall be less than forty three thousand five hundred sixty (43,560) square feet (one (1) acre) in area, with a minimum width of two hundred (200) feet.





**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.**

32. Sec.13-359(b)(6) - No building or canopy on any outparcel shall be located within 300 feet of any building or canopy on any other outparcel along the same street frontage.

**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.**

33. Sec.13-359(b)(14) - Landscape requirements. Outparcel development sites shall comply with the city's landscaping requirements for the number, type, size and quality of both trees and ground cover. Any area not devoted to a structure or paved parking must be landscaped and irrigated in accordance with minimum standards set by the city.

**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel. The PCD rezoning application includes a request for a waiver to comply with the landscape requirements. Please see sheet LP-1. The proposed site will be landscaped and irrigated in accordance with the minimum standards set by the City.**

34. Sec.13-359(b)(15) - Pedestrian access. The owner/developer of an outparcel site shall provide pedestrian walkways connecting the outparcel to the principal development throughout the site.

**Response: Please see the master site plan that is included with this submittal as it provides the pedestrian connectivity from the out parcel to the principal development.**

#### **Site Plan**

35. Provide details for previously approved vs proposed, site data information for open space, building coverage etc. Indicate how/where the differences were achieved. Any site data provided as such must meet the requirement of Sec.13-359.

**Response: Please see the table on sheet SP-2**

36. Show ALL ground mounted equipment around the proposed structure. Ensure landscape and screening compliance. See aesthetic criteria section above.

**Response: Mechanical equipment is located on the roof screened by a parapet. FPL transformers and other equipment is reflected on sheet SP-2.**

37. Sec. 13-331(g) – Landscape buffers along major right-of-way must be at 35'.

**Response: A rezoning application has been filed by the owner of the shopping center and the PCD manual that accompanies the request list various waivers that are being requested to accommodate the development of the proposed Wendy's on Parcel C.**





38. Sec. 13-443(1) perimeter landscape requirement must be provided. Refer to landscape comments.

**Response: A rezoning application has been filed by the owner of the shopping center.**

39. Sec. 13-443(15)a – Roadway landscape buffer widths shall conform to Sec. 13-331(g).

**Response: A rezoning application has been filed by the owner of the shopping center and the PCD manual that accompanies the request list various waivers that are being requested to accommodate the development of the proposed Wendy's on Parcel C.**

40. Sec.13-443(15)b – Roadway landscape buffer shall be shown and delineated as separate parcels on all plats and site plans.

**Response: Please see sheet SP-1 and SP-2. Also see sheet LP-1.**

41. Sec.13-359(b)6 – Any outparcel shall not be located within 300' of any building or canopy of any other outparcel along the same street frontage.

**Response: A rezoning application has been filed by the owner of the shopping center and the PCD manual that accompanies the request list various waivers that are being requested to accommodate the development of the proposed Wendy's on Parcel C.**

42. Sec.13-359(11) – All service and deliveries shall be to the rear of the building. There shall be no outside display or storage of materials, products or goods.

**Response: All service and deliveries shall be to the rear of the building and a loading zone has been proposed.**

43. Sec.13-409(a)(3) - Provide a loading zone designated by pavement markings and a no parking sign. A full size loading zone of 12'x55', must be provided for parcels which are larger than 10,000 square feet. Loading zone must be accessible from the interior of the building it is intended to serve. Appropriate screening will be required.

**Response: Please see loading zoning on sheet SP-2.**

#### **Construction Trailer**

44. Show location of any temporary trailer(s) if proposed. Trailer(s) shall not be located adjacent to major thoroughfares, may require screening and will require sign review.

**Response: The proposed construction trailer has been depicted on sheet C-7.**

#### **Parking**





45. Sec.13-401 – Required parking for restaurant with high turn-over shall be calculated at 1 space per 150 square feet per customer service area, plus 1 space per 300 square feet noncustomer service area.

**Response: Please see parking analysis table on sheet SP-2. The code requires 10 parking spaces be provided and 31 spaces are being provided.**

46. Parking spaces must be 10' wide.

**Response: The parking spaces provided are 10' wide.**

#### **Truck Movement and Loading**

47. A truck movement plan must depict vehicles of appropriate size circulating around the site. Truck parking shall not be permitted on internal access aisle. Signs prohibiting parking or vehicle standing shall be provided.

**Response: The truck path is depicted on C-8.**

#### **Dumpster**

48. Applicant must obtain an approval from Republic Services (waste provider)(Francisco Valdes 954-583-1830).

**Response: A letter of approval from Republic Services is included with this submittal.**

#### **Signage**

49. The following sections are provided to assist with sign design.

**Response: Understood as noted.**

50. Subdivision 5.2 (13-458) – Permitted and prohibited permanent and temporary signs.

**Response: Understood as noted.**

51. Sec.13-459 – Schedule of permitted signs.

**Response: Understood as noted.**

52. Sec.13-460 – General provisions for all signs.

**Response: Understood as noted.**

53. Sec.13-460(k) – Cabinet signs.

**Response: N/A**

54. Sec.13-460(n) – Additional description of services provided or attributes.





**Response: N/A**

55. Sec.13-466.1 – Nonresidential frontages eligible for building signage.

**Response: N/A**

56. Sec. 13-467.4 – Directional signs.

**Response: Please see signage package.**

57. Sec.13-468.1 – Address signs.

**Response: The monument sign will contain the 6" address numbers. Please see the signage package.**

58. Sec.13-466.8 – Wall identification signs.

**Response: Please see signage package.**

59. Sec.13-468.7 – Drive through signs.

**Response: Please see signage package.**

60. Sec.13-468.8. - Service entrance signs.

**Response: N/A**

61. Sec.13-468.9 – Window signs.

**Response: Please see signage package.**

62. Sec.13-471 – Sign review procedures.

**Response: Understood as noted.**

63. Sec.13-474 – Designer signs.

**Response: N/A**

**Photometric**

64. Photometric plan shall include ALL lighting including parking, exterior building, signage, and landscaping. Please provide all additional lighting/footcandles not currently shown on the plans.





**Response: Please see sheet PH-1.**

65. Sec.13-374 - Review the lighting code and provide the table as required (Sec.13-371(5)1) to determine if the proposed lighting design exceeds the acceptable number of lumens.

**Response: Please see the table provided on sheet PH-1.**

66. Sec.13-374 (2) d 4 - Light shall not trespass off the subject property. Revise the plans accordingly.

**Response: Please see sheet PH-1. The over spill is limited to 0.0 foot candles along street and on adjacent boundaries of the parcel.**

67. Sec.13-374 (2)d 11 - Address how the required reduction to a maximum of 1 footcandle will be achieved after hours.

**Response: Please see note on sheet PH-1**

68. Please note, per the lighting ordinance, wallpacks and flood lighting are prohibited. Luminaires shall be full cut-off or equivalent.

**Response: Please see sheet A2.1 and A2.2.**

69. Provide cut sheets for all luminaires which include lumen information.

**Response: Please refer to sheet PH-1**

70. Be advised, site lighting will be measured in the field using a light meter to ensure that the 10 fc limit is not exceeded. The building C.O. is predicated on meeting this requirement.

**Response: Understood as noted.**

**POLICE**

Approved





May 10, 2018

City of Coconut Creek  
Department of Sustainable Development  
4800 West Copans Road  
Coconut Creek, FL 33063

**RE: Wendy's #11670  
6710 North State Road 7  
Coconut Creek, FL**

Below please find Site Plan Aesthetic Design Criteria Justification Statement comments and responses regarding the above-described project.

**Comment #1: Harmonious and efficient organizations. The site plan shall be organized harmoniously and efficiently in relation to topography, the size and type of plot, the character of adjoining property, and the type and size of buildings. The site will be developed to facilitate orderly development of surrounding property.**

Response #1: The proposed Wendy's site plan is an efficient layout that promotes safe site circulation, combined with appealing landscaping and a harmonious architectural design. The site is organized harmoniously and efficiently in relation to the topography, the size of the parcel, the character of the adjoining property, and the size of the proposed fast food restaurant with a drive-thru. This proposed Wendy's will create a more visually appealing site, and also improve compatibility within the shopping center and further maintain the value of the land. The shopping center owner has filed a rezoning application that will result in a more harmonious and efficient development within its parameters.

**Comment #2: Preservation of natural state. Desirable vegetation or other unique natural features shall be preserved in their natural state when practical. Tree and soil removal and filling of natural watercourses shall be minimized.**

Response #2: The site is currently a parking lot, with existing landscaping adjacent to 441, and throughout the parcel. Several existing trees will be relocated within the site and additional new trees, hedge material, ground cover and sod will be planted within the property. Tree and soil removal, as well as filling of natural watercourses, will be minimized with the proposed development.

Corporate Property Services, Inc.  
1239 East Newport Center Drive • Suite 113 • Deerfield Beach, FL 33442  
Tel: 954-426-5144 • Fax: 954-570-3391  
Land Use Planning • Permit Expediting • Project Management





**Comment #3: Enhancement of residential privacy. The site plan shall provide reasonable visual and sound privacy for all adjacent dwelling units. Fences, walks, barriers and vegetation shall be arranged for protection and privacy.**

Response #3: The site is located within a highway commercial district, adjacent to State Road 7, with no residential property in the direct vicinity of the subject parcel.

**Comment #4: Emergency access. Structures and other site features shall be arranged to permit practical emergency vehicle access to all sides of buildings**

Response #4: The proposed Wendy's site plan has been designed to accommodate emergency vehicle access to all sides of the proposed Wendy's restaurant.

**Comment #5: Access to public ways. Every structure and dwelling unit shall have access to a public street, walkway or other area dedicated to common use.**

Response #5: An ADA public access connection to the existing public sidewalk along the east side of State Road 7 will be provided from the west side of the proposed Wendy's building. This will also allow access to the parcels to the north and south of the subject site.

**Comment #6: Pedestrian circulation. A pedestrian circulation system shall be provided which is separate from the vehicular circulation system.**

Response #6: Pedestrian access is provided at west side of the building, which will in turn provide access from the building to the public sidewalk. Pedestrians have access to the building on the east and west side of the building, adjacent to existing parking spaces. The ADA compliant parking spaces utilize the west entrance and ADA pedestrian walkway from the parking lot to the building. Wendy's and the shopping center owner have worked together in order to provide a pedestrian connection from the sidewalk along State Road 7, to the main shopping center. The pedestrian path will run along the Wendy's south property line and then continue through a landscape island in the parking lot of center and connect to the main structure of the shopping center.

**Comment #7: Design of access and egress drives. The location, size, and numbers of ingress and egress drives to a site will be designed to minimize the negative impacts on public and private streets and on adjacent property.**

Response #7: The proposed Wendy's parcel will not have a direct vehicular access connection to State Road 7. This project will minimize the negative impacts on the private shopping center driveway that runs north/south, by providing one curb cut into the parcel located at the northeast corner of the site. The location of the proposed driveway, into the site, is located at the northeast corner of the parcel, in order to minimize a traffic congestion from the main shopping center drive aisle located immediately south of the parcel. This driveway connection provides safe and adequate ingress/egress to the property.





**Comment #8: Coordination with off-site vehicular and pedestrian circulation systems. The arrangement of rights-of-way or easements for vehicular and pedestrian circulation shall coordinate the pattern of existing and planned streets and pedestrian or bicycle pathways in the area.**

Response #8: The property has vehicular ingress/egress and pedestrian access connection to the east and west sides of the parcel respectively. Pedestrian connectivity throughout the site is being provided by the shopping center through sidewalks to assist patrons with maneuvering through various parcels in a safe and efficient manner.

**Comment #9: Stormwater control. Protective measures shall ensure that removal of stormwater runoff will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made for construction of wastewater facilities including grading, gutters, and piping to direct stormwater and prevent erosion. Surface water on all paved areas shall be collected at intervals which do not obstruct vehicular or pedestrian traffic.**

Response #9: The proposed Wendy's property is incorporated within the overall retail shopping center storm water system. Wendy's will comply with all drainage design requirements for the City of Coconut Creek, Broward County, SFWMD, and FDOT.

**Comment #10: Exterior lighting. Location, type, size and direction of exterior lighting shall not glare or direct illumination which interferes with adjacent properties or safety of public rights-of-way.**

Response #10: The proposed site lighting for Wendy's will comply with the City of Coconut Creek Code requirements and will not provide glare or direct illumination which will interfere with adjacent properties or safety of public rights-of-way.

**Comment #11: Protection of property values. Elements of a site plan shall be arranged to have minimum negative impact on values of adjoining property.**

Response #11: The proposed Wendy's will not only enhance the Shops at Coral Creek but it will enhance the State Road 7 corridor and surrounding businesses. This project will have a positive impact on the shopping center as well as the surrounding properties.





## CITY OF COCONUT CREEK

### DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW #2

05-24-18

PROJECT NAME:	Wendy's		
PROJECT NUMBER:	17020003		
LOCATION:	Coral Creek Shoppes		
APPLICANT/AGENT:	Corporate Property Services		
REVIEW/APPLICATION	Site Plan		
DISCIPLINE	REVIEWER	EMAIL	TELEPHONE
DRC Chair	Liz Aguiar – Senior Planner	<a href="mailto:laguiar@coconutcreek.net">laguiar@coconutcreek.net</a>	(954) 973-6756
Planning	Linda Whitman – Senior Planner	<a href="mailto:lwhitman@coconutcreek.net">lwhitman@coconutcreek.net</a>	(954) 973-6756
Planning	Natacha Josiah – Planner	<a href="mailto:NJosiah@coconutcreek.net">NJosiah@coconutcreek.net</a>	(954) 973-6756
Building	Sean Flanagan - Chief Structural Inspector	<a href="mailto:sflanagan@coconutcreek.net">sflanagan@coconutcreek.net</a>	(954) 973-6750
Engineering	Eileen Cabrera - Engineer II	<a href="mailto:ecabrera@coconutcreek.net">ecabrera@coconutcreek.net</a>	(954) 973-6786
Engineering	Mohammed Albassam – Engineer I	<a href="mailto:malbassam@coconutcreek.net">malbassam@coconutcreek.net</a>	(954) 973-6786
Fire	Jeff Gary – Fire Marshall	<a href="mailto:jgary@coconutcreek.net">jgary@coconutcreek.net</a>	(954) 973-1563
Landscape	Scott Peavler - Landscape (consultant)	<a href="mailto:speavler@coconutcreek.net">speavler@coconutcreek.net</a>	(954) 973-6756
Police	Brandi Delvecchio - Police Department	<a href="mailto:bdelvecchio@coconutcreek.net">bdelvecchio@coconutcreek.net</a>	(954) 956-6721

## DEPARTMENTAL COMMENTS

### BUILDING

#### APPROVED

1. This approval shall not imply full compliance with the Florida Building Code. Submittal of a building permit application and plans are required for review for a building permit.

**Response: Acknowledged, a building permit application and plans will be submitted for review to be in compliance with the Florida Building Code.**

### ENGINEERING

#### HOLD

1. Please specify by whom the new wastewater line will be constructed, the response says the waterline, not the wastewater line (please clarify).

**Response: Wastewater line to be constructed by RAMCO/Coral Creek and it is not part of Wendy's scope of work.**

2. The west side of the property has a 12 foot Utility Easement that shows trees being planted on it. No trees should be planted within the Utility Easement.

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.





**Response: Please note the tree has been removed and there are no trees planted within the utility Easement.**

**FIRE**

APPROVED

**Response: Approval noted.**

**LANDSCAPE ARCHITECTURE**

HOLD

1. Dimension text is difficult to read in planter beds. Pull text outside of beds legibility.

**Response: Please see the revised sheet LP\_1 (Landscape Plan). The text is shown outside.**

2. Correct data table under "special provisions" € for commercial. Groundcover calculation is to be provided as well.

**Response: Please see sheet LP\_1, the data table has been revised and ground cover calculation provided.**

3. In the data table provide cardinal direction for which perimeter the code is applying. 13-443 (13) & 13-443 (15) is West, Section 13-443 (10a) is applied to the North, South, and East perimeters. For the North, South, and East perimeter, in addition to the trees, a continuous hedge is required. Contact reviewer to discuss if needed.

**Response: Please see sheet LP\_1, the cardinal direction codes have been added and continuous hedges provided.**

4. Section 13-443 (9) is not applicable for the south or west perimeters.

**Response: Acknowledged as noted. Please see sheet LP\_1, a note added stating not applicable.**

5. Species diversification calculation and Native calculations is to be per the proposed plant material. Existing material is not to be included. Contact reviewer to discuss if needed.

**Response: Please see the revised data on sheets LP\_1 and TS-1.**

6. Elevations propose green wall systems along the east façade. What plant material is proposed for this wall and include in proposed plant list.





**Response:** Please see sheet LP\_1, the new landscape legend provides the plant material being provided for the green wall system.

## PLANNING AND ZONING

HOLD

### General Comments

1. Applicant shall make every effort to ensure Community Involvement (business) as part of this project review. Provide an itemized accounting and/or correspondence demonstrating efforts including any mailed notices, meetings, correspondence, etc. Be advised, applicant shall submit a report to the Director of Sustainable Development or her designee prior to being scheduled for the Planning and Zoning Board and/or City Commission agenda.

**Response:** Consistent with our discussions with Staff, Ramco-Gershenson Properties, L.P., as the owner of the Coral Creek Shops, distributed a letter to the tenants within the Shopping Center of the pending applications and provided an opportunity to obtain more information. A copy of the correspondence is included in the re-submittal for the PCD rezoning.

2. Applicant shall revise and strengthen justification responses to address City Land Development Code requirements. Site specific standards shall address existing site conditions and constraints that may have been created by the proposed parcel. The burden of demonstrating code compliance listed in Sec.13-355, is the responsibility of the applicant.

**Response:** The justification responses have been revised and strengthen to address the City Land Development Code requirements.

3. Applicant has stated that endorsements or letters of support from the plaza outparcel owners have been received. Provide copies of documents. See comment #1 above.

**Response:** Per Ramco-Gershenson Properties, L.P., all consents required by the underlying leases have been obtained to allow the Wendy's development.

4. Pending PowerPoint presentation at the Planning and Zoning Board meeting and City Commission meetings.

**Response:** Acknowledged, a PowerPoint presentation will be provided for the Planning & Zoning Board meeting and City Commission meeting

5. Pending receipt of one (1) digital copy of site plan package and PowerPoint presentation and 11 sets of site plan packages prior to the Planning and Zoning Board meeting.

**Response:** Acknowledged as noted and will be provided prior to Planning and Zoning Board meeting.

6. Pending approval of the Special Land Use application for the proposed restaurant.

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.





**Response: Acknowledged as noted. The Special Land Use application for the proposed restaurant is being reviewed.**

7. Be advised, approval of Site plan is subject to approval of concurrent rezoning development review application.

**Response: Acknowledged as noted that the Site Plan is subject to approval of concurrent rezoning.**

8. Pending correspondence from Broward County ensuring that the proposed Wendy's development has not exceeded any plat restriction or condition.

**Response: Correspondence from Broward County will be provided prior to building permit issuance.**

9. Pending recordation of Plat Note Amendment prior to building permit issuance.

**Response: Acknowledged as noted. Recordation of Plat Note Amendment will be provided prior to building permit issuance.**

10. Pending receipt of signed/sealed drawings prior to issuance of any building permit.

**Response: Acknowledged as noted. The signed/sealed drawing will be provided prior to the issuance of any building permit.**

11. Pending payment of Police and Fire/Rescue facilities impact fee prior to building permit issuance.

**Response: Acknowledged as noted.**

12. Pending payment of Affordable Housing impact fee prior to building permit issuance.

**Response: Acknowledged as noted.**

#### **Underground Utilities**

13. Section 13-142, Underground Utilities. Pursuant to Ordinance 2005-032, any project seeking site plan approval will be required to place all utilities including existing overhead utilities within the site or in public right-of-way adjacent to the site, underground. Electrical transmission and distribution lines with a rate load of 23k volts or higher shall be exempt from this requirement. Applicant must complete one of the following requirements prior to Planning & Zoning Board meeting; (1) provide a signed agreement between the applicant and each affected utility company demonstrating that the utility will be placed underground, (2) process an agreement with the City indicating the property owners' intent to comply with the under-grounding requirements for utilities, (3) if electrical lines with a rate load of 23k volts or higher exists, then a written detailed





statement from a licensed professional engineer, *qualified to verify such utility issues* and, stating the rate load shall be provided, or (4) process an Underground Utility Waiver Application, which must be processed concurrently with the site plan, for consideration by the Planning & Zoning Board. Applicant must specify which option, as stated above, will be proposed for Board consideration. Appropriate information demonstrating compliance with City ordinance shall be submitted to the City for review as part of the DRC process. Be advised, failure to submit information in a timely manner, may prevent the site plan application from consideration by the P&Z Board.

**Response: Per meeting with Liz Aguiar, Craig McDonald and Janna Lhota the requirement to underground utilities is not applicable due to the fact that the above ground utilities are located on the west side of 441.**

14. Underground Utility Waiver submissions shall be prepared in accordance with the standards established in the City's Land Development Code, Section 13-142 "Underground Utilities Required" pursuant to Ordinance No. 2005-032. Applicant must provide a written justification that demonstrates the reasons for seeking a waiver to the underground placement of utilities. If technical reasons are the basis for the waiver application, the application must contain a detailed statement by a Florida licensed Professional Engineer, qualified with respect to utility issues, explaining why it is technically infeasible to locate such utilities underground.

**Response: This is not applicable.**

15. The City may grant a waiver if the application is supported by information detailing justifiable reasons for not pursuing the subject under-grounding.

**Response: This is not applicable.**

16. If a waiver is granted, a dollar amount equal to the cost of placing the utilities underground as determined by an estimate established by the relevant utilities and as agreed to by the City, may be required to be paid into the City's Underground Utility Fund, prior to building permit issuance.

**Response: This is not applicable.**

#### **Elevations**

17. Staff suggests a "Decorable Green Wall" on the west elevation.

**Response: Wendy's, respectfully suggest that this is not necessary since adequate pedestrian zone landscape is provided in this area and the north section is all glass with outdoor patio seating next to it.**

18. Provide a color rendering elevation plan.

**Response: A color rendering elevation plan will be provided prior to public hearing meeting.**





### **Dumpster**

19. Staff recommends that a pedestrian access and walkway be provided on the north side of the enclosure to reduce use of dumpster gates as a means a pedestrian access.

**Response: Please see the revised sheets SP-2 for the pedestrian access and walkway and see the trash enclosure details on sheet SP-4.**

### **Site Plan**

20. Clarify item #31 on sheet SP-2.

**Response: Please see sheet SP-2 where item #31 has been corrected to item #22.**

21. Identify the 25' front setback noted on the master site plan to reflect the correct verbiage.

**Response: The Master Site Plan on sheet SP-1 has been revised to reflect the correct verbiage.**

22. The total of number of required parking spaces resulting in a fractional space shall require a full parking space. Revise parking analysis.

**Response: Please see sheet SP-2, the parking analysis has been revised to provide the correct parking space total.**

23. Include in the parking analysis, the required number of parking spaces for the outdoor dining area.

**Response: Please see sheet SP-2, the updated parking analysis includes outdoor seating.**

24. Identify existing transit stops located on State Road 7. State how this project will enhance and connect to transit.

**Response: Please see the sheet SP-5, the Master Site pedestrian connectivity sheet that provides the existing transit stops located on State Road 7.**

25. Improvements adjacent to State Road 7 shall include opportunities for pedestrian sidewalk connections and other features such as plazas, bench seating and pergolas. Applicant shall identify and show proposed amenities on site and landscape plan. Staff may provide additional details for pergola installation.

**Response: Please see sheet SP-2, where Wendy's is adding a free standing trellis with benches at SW corner of the site.**

26. Staff recommends that applicant consider additional pedestrian improvements throughout the plaza as part of the concurrent PCD and master site plan applications. Ensure additional amenities are reflected in the overall site and landscape plans.





**Response: Please see sheet SP-5, the Master Site pedestrian connectivity plan.**

**Signage**

27. Sign located on the east elevation appears to be larger than allowed. However, the detail plan provides for a sign of six (6) feet in overall height which is the maximum permitted by City code. Both plans must be consistent. Revise accordingly.

**Response: Please see both plans have been revised to show the height consistently.**

28. Item #22, monument sign – Identify location of monument sign on Sheet SP-2.

**Response: Please see sheet SP-2, where the monument sign has been correctly identified as #22.**

29. Ground sign - Be advised, must provide a minimum 5 foot setback from property line. Provide a dimension demonstrating compliance.

**Response: Please see sheet SP-2, a 6 foot dimension has been provided from the property line.**

30. *Ground sign* - Be advised, permanent ground sign cannot encroach into utility easement.

**Response: Please see sheet SP-2, the sign has been located outside the utility easement.**

31. *Ground sign* - The sign face area shall not exceed sixty (60) percent of the sign structure area. Provide and demonstrate compliance with this requirement.

**Response: The monument face is less than 60%. The sign face area is 22.75 square feet.**

**POLICE**

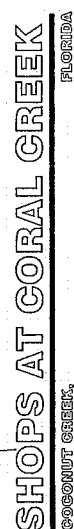
APPROVED



# **Attachment A**

## **Coral Creek Shops Master Plan**





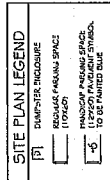
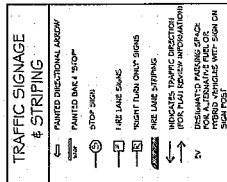
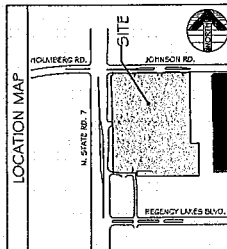
**RAMCO  
GERSHENSON  
PROPERTIES TRUST**



**WAH YEE ASSOCIATES**  
ARCHITECTS & PLANNERS  
12400 GRAND RIVER AVENUE, SUITE 200  
NOVI, MICHIGAN 48375  
PHONE 248-439-9140  
PROJECT NO. 4889

[illegible]

NOT FOR CONSTRUCTION  
SP-1  
ROAD DWG 01000-1-CORAL CREEK MASTER SITE PLAN-2 25 L&DWG





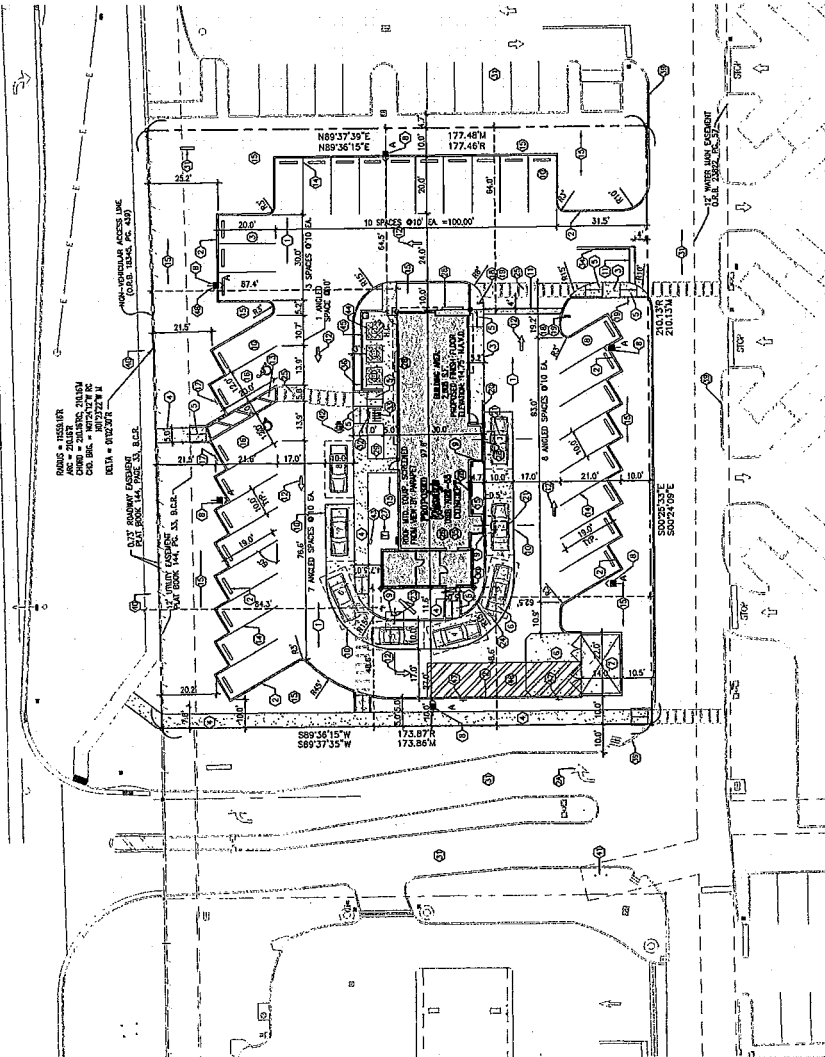
# **Attachment B**

## **Wendy's Preliminary Site Plan**

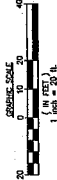


U.S. 441 (S.R. 7)

## U.S. 441 (S.R. 7)



**SITE PLAN**



**CONSTRUCTION NOTES:**

1. ASPHALT PAVEMENT AS PER DETAIL
2. 6" CONC. PAD WITH 1" CURB AS PER DETAIL
3. EXISTING PARALLEL MARKINGS
4. P.A.C. CURB SIDE SIDEWALK AS PER DETAIL
5. P.A.C. SIDEWALK SIDEWALK AS PER DETAIL
6. P.A.C. HATCHWAY RAMP - MAX. SLOPE 11%.
7. P.A.C. HATCHWAY RAMP - 10% - 10/10 RAMP OVER EXISTING CURB IN CENTER, (GLASS BLOCK)
8. THIN ENCLASURE AS PER DETAIL.
9. LED PAROLE LIGHT AS PER DETAIL, LEADING (R-1)
10. STEEL BARBULAR AS PER DETAIL
11. 21-5/8" 6" YELLOW (REMARKS)
12. 24" STAIR CASE WHITE (REMARKS)
13. 2" WHITE STRIPS (REMARKS)
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## NOTES

- [illegible]

# LOCATION PLAN

## LEGAL DESCRIPTION

A PORTION OF TRACT "A", SANDWICH PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESIGNATED AS FOLLOWS.

[illegible]

**ZONING: B-3 COMMUNITY SHOPPING DISTRICT**

**LAND USE: COMMERCIAL**  
**BUILDING HEIGHT: 26-9 1/2"**

## SITE ANALYSIS

	EXISTING	PROPOSED
TOTAL LAND AREA	30,640 SQ. FT. (0.64 ACRES)	30,640 SQ. FT. (0.64 ACRES)
TOTAL BUILDING COVERAGE		2,000 SQ. FT. (0.05 AC)
TOTAL LANDSCAPED AREA	6,950 SQ. FT. (0.16 AC)	12,940 SQ. FT. (0.25 AC)
TOTAL PAVED AREA & PARKS	29,700 SQ. FT. (0.63 AC)	21,340 SQ. FT. (0.46 AC)
PEDIMENTS AREA	8,000 SQ. FT. (0.18 AC)	10,000 SQ. FT. (0.23 AC)
PERVIOUS AREA	29,700 SQ. FT. (0.63 AC)	21,340 SQ. FT. (0.46 AC)

## PARKING ANALYSIS

TOTAL PARKING SPACES REQUIRED:  
1/150 SF OF CURB, SERVICE AREA = 651/150=4.34  
1/200 SF OF MULTI-STORY SERVICE AREA = 817/200=4.09

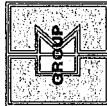
HANDICAP SPACES REQUIRED: 1 SPACES

HANDICAP SPACES PROVIDED: 2 SPACES

TOTAL PARKING SPACES PROVIDED: 31 SPACES  
(EXCEEDING MINIMUM AT 10% DEFICIENCY)



## LOCATION PLAN



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
3100 N. W. 107th Ave., Suite 100  
Miami Lakes, Florida 33014  
Phone: 305/674-1724  
Fax: 305/674-1725

PROJECT TYPE: USB NRE 55 NEW

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

[illegible]

EDUARDO L CARDACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 87768  
LUIS VARGAS, LEED AP  
#70-1023753163800  
CKE GROUP, INC. CO#-4432

CITE DI AM

**S.P.-2**



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# **Attachment C**

***ITE Trip Generation Manual (10<sup>th</sup> Edition)***

**Data Excerpts for Land Use #934**




## Land Use: 934

### Fast-Food Restaurant with Drive-Through Window

#### Description

This category includes fast-food restaurants with drive-through windows. This type of restaurant is characterized by a large drive-through clientele, long hours of service (some are open for breakfast, all are open for lunch and dinner, some are open late at night or 24 hours a day) and high turnover rates for eat-in customers. These limited-service eating establishments do not provide table service. Non-drive-through patrons generally order at a cash register and pay before they eat. Fast casual restaurant (Land Use 930), high-turnover (sit-down) restaurant (Land Use 932), fast-food restaurant without drive-through window (Land Use 933), and fast-food restaurant with drive-through window and no indoor seating (Land Use 935) are related uses.

#### Additional Data

 ***Users should exercise caution when applying statistics during the AM peak periods, as the sites contained in the database for this land use may or may not be open for breakfast. In cases where it was confirmed that the sites were not open for breakfast, data for the AM peak hour of the adjacent street traffic were removed from the database.***

The outdoor seating area is not included in the overall gross floor area. Therefore, the number of seats may be a more reliable independent variable on which to establish trip generation rates for facilities having significant outdoor seating.

Time-of-day distribution data for this land use for a weekday, Saturday, and Sunday are presented in Appendix A. For the 46 general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:45 a.m. and 12:45 p.m. and 12:00 and 1:00 p.m., respectively. For the one dense multi-use urban site with data, the same AM and PM peak hours were observed.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alaska, Alberta (CAN), California, Colorado, Florida, Indiana, Kentucky, Maryland, Massachusetts, Minnesota, Montana, New Hampshire, New Jersey, New York, North Carolina, Ohio, Pennsylvania, South Dakota, Texas, Vermont, Virginia, Washington, and Wisconsin.

#### Source Numbers

163, 164, 168, 180, 181, 241, 245, 278, 294, 300, 301, 319, 338, 340, 342, 358, 389, 438, 502, 552, 577, 583, 584, 617, 640, 641, 704, 715, 728, 810, 866, 867, 869, 885, 886, 927, 935, 962, 977



## Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 67  
1000 Sq. Ft. GFA: 3  
Directional Distribution: 50% entering, 50% exiting

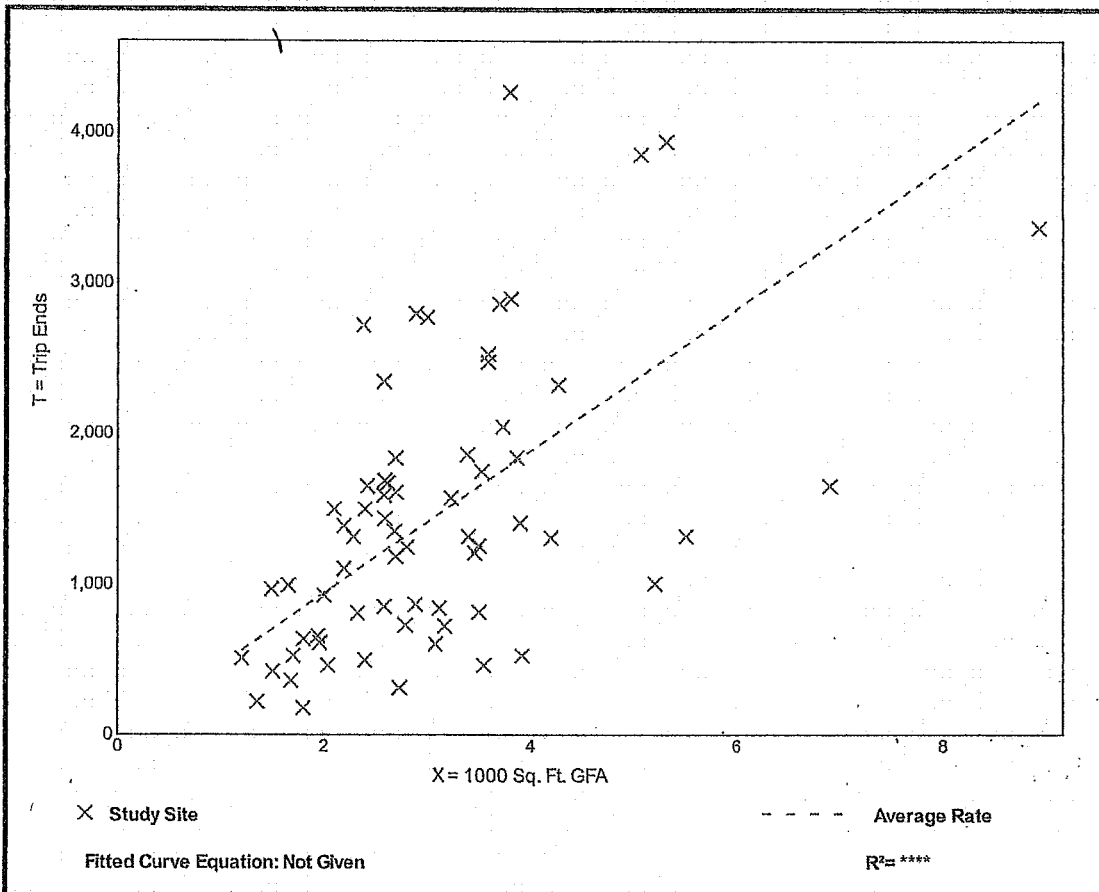
### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate  
470.95

Range of Rates  
98.89 - 1137.66

Standard Deviation  
244.44

### Data Plot and Equation





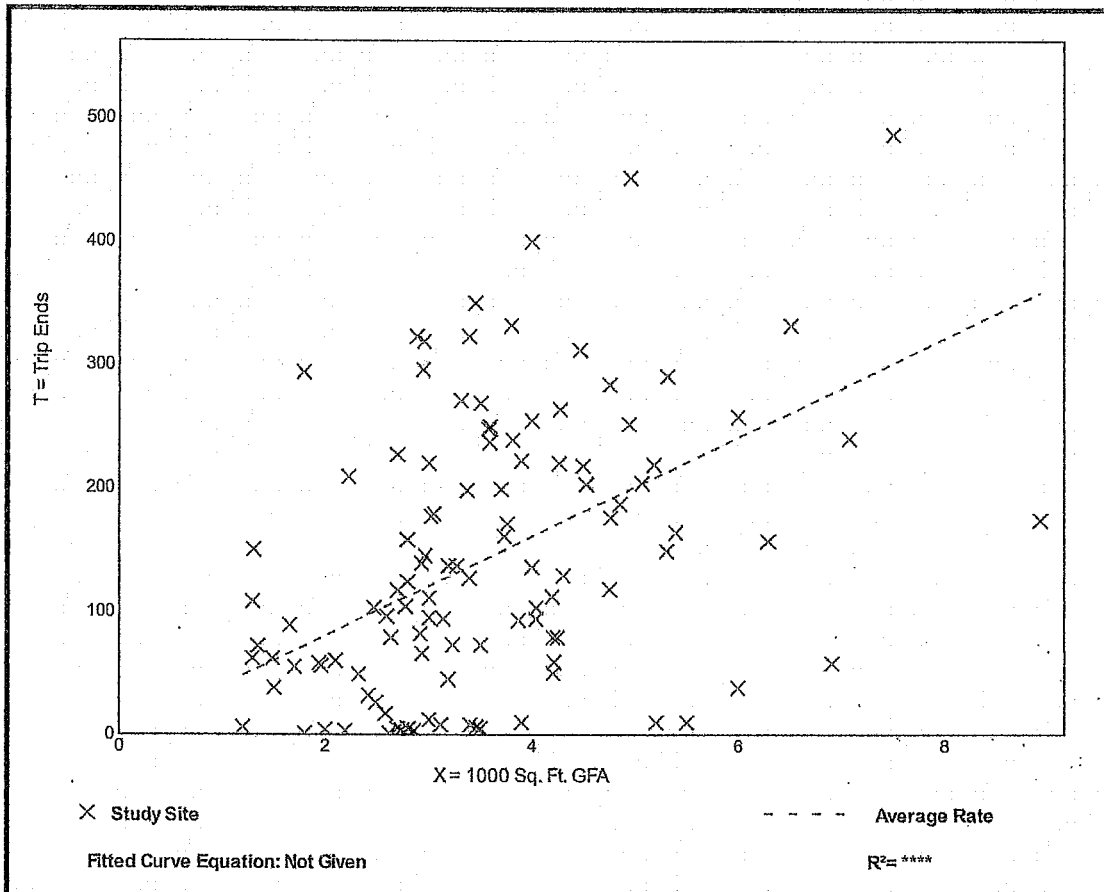
## Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
 On a: Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 7 and 9 a.m.  
 Setting/Location: General Urban/Suburban  
 Number of Studies: 111  
 1000 Sq. Ft. GFA: 4  
 Directional Distribution: 51% entering, 49% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
40.19	0.38 - 164.25	28.78

### Data Plot and Equation





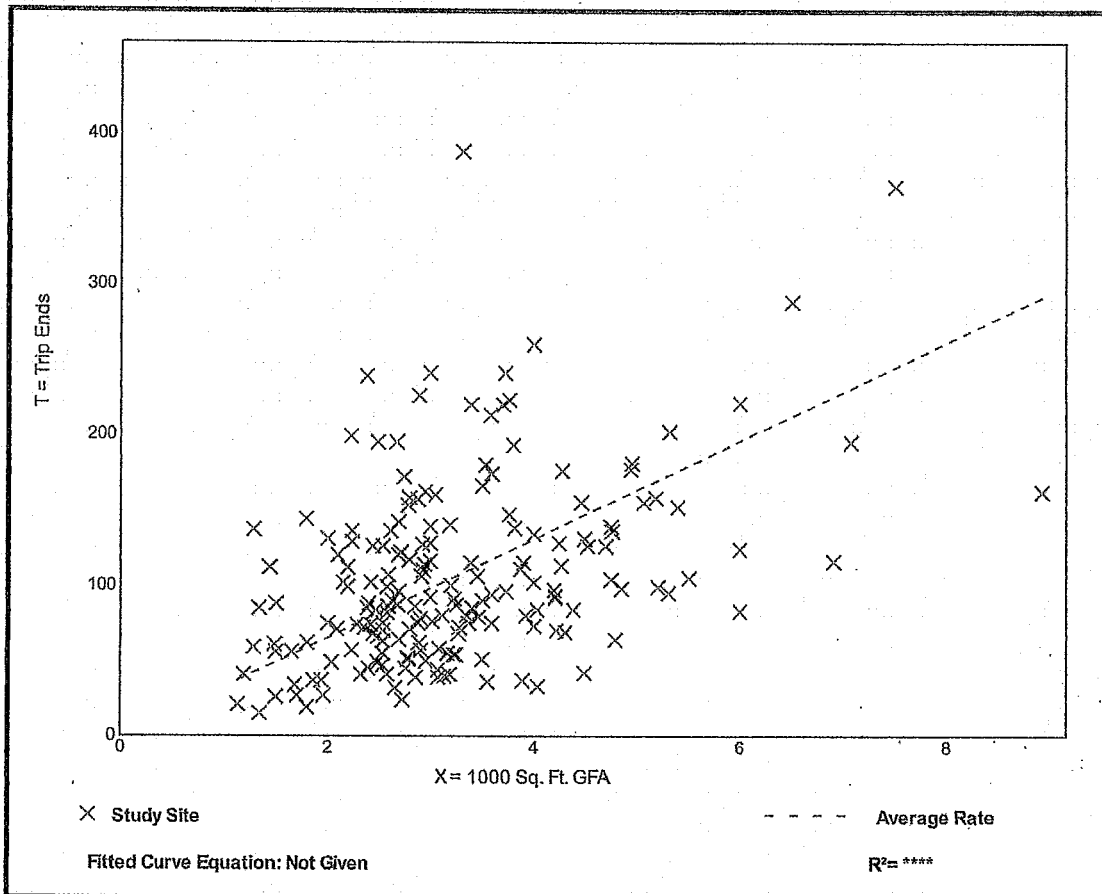
## Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
 On a: Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 4 and 6 p.m.  
 Setting/Location: General Urban/Suburban  
 Number of Studies: 185  
 1000 Sq. Ft. GFA: 3  
 Directional Distribution: 52% entering, 48% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
32.67	8.17 - 117.22	17.87

### Data Plot and Equation





# **Attachment D**

## **FDOT Q/LOS Tables**

### **Peak Hour / Two-Way / Urbanized Area Table**



TABLE 4

Generalized **Peak Hour Two-Way** Volumes for Florida's  
Urbanized Areas<sup>1</sup>

12/18/12

INTERRUPTED FLOW FACILITIES						UNINTERRUPTED FLOW FACILITIES					
STATE SIGNALIZED ARTERIALS						FREEWAYS					
Class I (40 mph or higher posted speed limit)											
Lanes	Median	B	C	D	E	Lanes	B	C	D	E	
2	Undivided	*	1,510	1,600	**	4	4,120	5,540	6,700	7,190	
4	Divided	*	3,420	3,580	**	6	6,130	8,370	10,060	11,100	
6	Divided	*	5,250	5,390	**	8	8,230	11,100	13,390	15,010	
8	Divided	*	7,090	7,210	**	10	10,330	14,040	16,840	18,930	
						12	14,450	18,880	22,030	22,860	
Class II (35 mph or slower posted speed limit)						Freeway Adjustments					
Lanes	Median	B	C	D	E	Auxiliary Lanes		Ramp			
2	Undivided	*	660	1,330	1,410	Present in Both Directions		Metering			
4	Divided	*	1,310	2,920	3,040	+ 1,800		+ 5%			
6	Divided	*	2,090	4,500	4,590						
8	Divided	*	2,880	6,060	6,130						
Non-State Signalized Roadway Adjustments											
(Alter corresponding state volumes by the indicated percent.)											
Non-State Signalized Roadways - 10%											
Median & Turn Lane Adjustments											
Lanes	Median	Exclusive Left Lanes	Exclusive Right Lanes	Adjustment Factors							
2	Divided	Yes	No	+5%							
2	Undivided	No	No	-20%							
Multi	Undivided	Yes	No	-5%							
Multi	Undivided	No	No	-25%							
-	-	-	Yes	+ 5%							
One-Way Facility Adjustment											
Multiply the corresponding two-directional volumes in this table by 0.6											
BICYCLE MODE <sup>2</sup>						UNINTERRUPTED FLOW HIGHWAYS					
(Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)						Lanes	Median	B	C	D	E
						2	Undivided	770	1,530	2,170	2,990
						4	Divided	3,300	4,660	5,900	6,530
						6	Divided	4,950	6,990	8,840	9,790
Paved Shoulder/Bicycle						Uninterrupted Flow Highway Adjustments					
Lane Coverage	B	C	D	E	Lanes	Median	Exclusive left lanes	Adjustment factors			
0-49%	*	260	680	1,770	2	Divided	Yes	+5%			
50-84%	190	600	1,770	>1,770	Multi	Undivided	Yes	-5%			
85-100%	830	1,770	>1,770	**	Multi	Undivided	No	-25%			
PEDESTRIAN MODE <sup>2</sup>											
(Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)											
Sidewalk Coverage	B	C	D	E							
0-49%	*	*	250	850							
50-84%	*	150	780	1,420							
85-100%	340	960	1,560	>1,770							
BUS MODE (Scheduled Fixed Route) <sup>3</sup>											
(Buses in peak hour in peak direction)											
Sidewalk Coverage	B	C	D	E							
0-84%	> 5	≥ 4	≥ 3	≥ 2							
85-100%	> 4	≥ 3	≥ 2	≥ 1							
						Source: Florida Department of Transportation Systems Planning Office <a href="http://www.dot.state.fl.us/planning/systems/sm/los/default.shtm">www.dot.state.fl.us/planning/systems/sm/los/default.shtm</a>					

Source:  
Florida Department of Transportation  
Systems Planning Office  
[www.dot.state.fl.us/planning/systems/smv/los/default.shtm](http://www.dot.state.fl.us/planning/systems/smv/los/default.shtm)