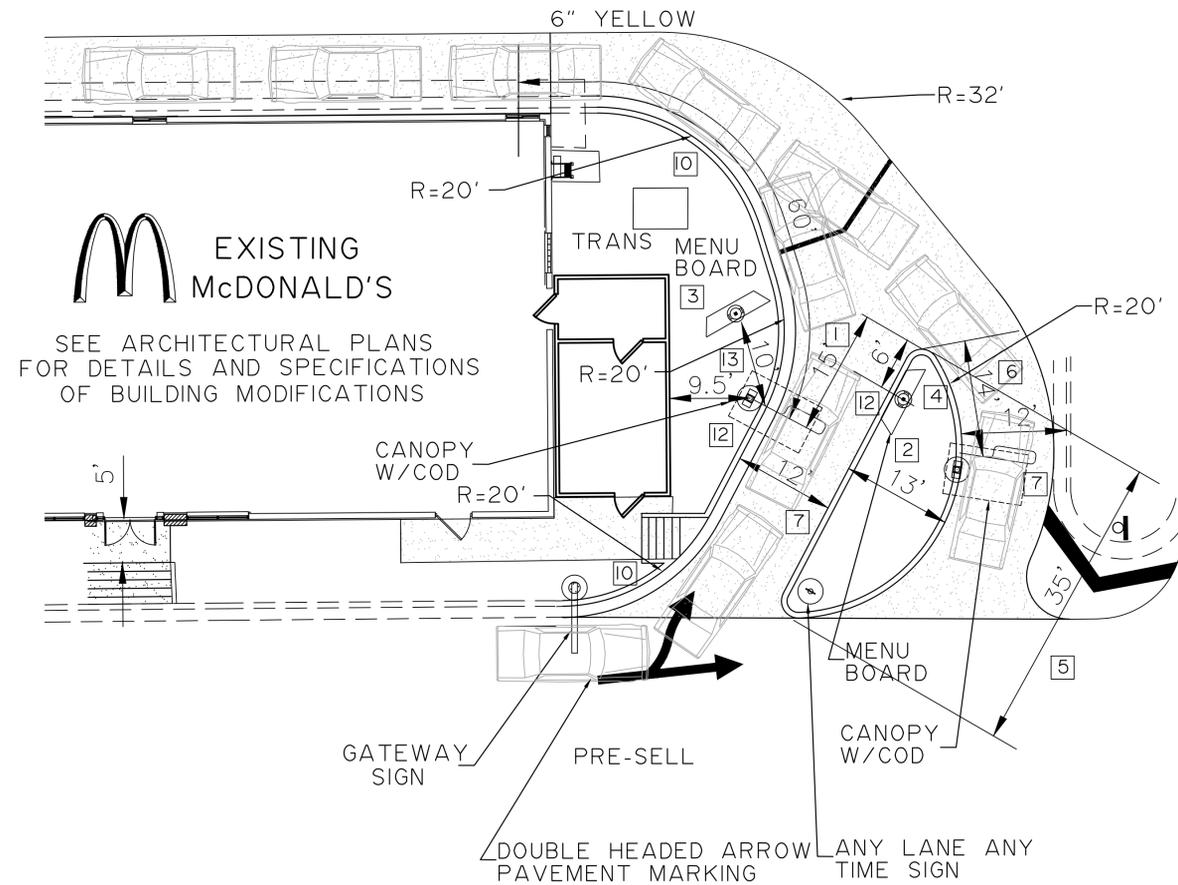


DRIVE THRU DETAILS PLAN



DRIVE THRU DETAIL
SCALE: 1" = 10'

- 1 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15 FEET. THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE
- 2 THE CENTER OF THE SECONDARY MENU BOARD FOOTING SHOULD BE LOCATED 22" FROM FACE OF CURB AND APPROXIMATELY 6' FROM THE TIP OF THE CURBED ISLAND.
- 3 THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE BETWEEN 40° AND 50° FROM A CAR POSITIONED AT THE COD.
- 4 THE END CAP OF THE SECONDARY LANE MENU BOARDS SHOULD BE 12" FROM FACE OF CURB
- 5 THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THIS ALLOWS FOR THREE CARS IN EACH LANE, AS COUNTED BACK FROM THE CAR AT THE COD. A THIRD CAR CAN BE POSITIONED AT THE COMMITMENT POINT, WHICH IS THE LAST POINT AT WHICH A CUSTOMER CAN COMMIT TO A LANE.
- 6 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF SECONDARY COD TO BE SET BY DRAWING AN ARC WITH A 14'-0" RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP THEN OFFSET THE FACE OF THE CURB BY 24" TO LOCATE THE CENTER OF COD FOUNDATION THE LOOP DETECTOR IS TO BE 2' FORWARD OF THE COD CENTER LINE.
- 7 DRIVE THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0" WIDE AS MEASURED FROM CURB FACES.
- 8 DRIVE THRU LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE PASSENGER SIDE ARE TO BE A MIN. OF 10'-0" WIDE AS MEASURED FROM CURB FACE TO PAINT.
- 9 ALL PRE SELL BOARDS AND BOLLARD SIGNS MUST BE 18"-24" FROM FACE OF CURB. THIS IS MEASURED FROM THE CLOSEST POINT ON THE BOARD OR SIGN. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-SELL BOARD IS TO BE 30'.
- 10 THE MIN. RADIUS FOR ALL INSIDE/DRIVERS SIDE DRIVE THRU CURBING IS 20'-0"
- 11 PRE-SELL BOARDS ARE TO BE ORIENTED AT AN ANGLE OF 30° FROM THE CURB. IF LOCATED ON A TURN, THEN THE BOARD SHOULD BE 30° FROM A CAR POSITIONED AT THAT BOARD.
- 12 AUGER COD FOOTINGS TO BE TIGHT AGAINST BACK OF CURB. FACE OF COD'S ARE TO BE 6" FROM BACK OF CURB.
- 13 THE CENTER OF THE PRIMARY LANE MENU BOARD'S FOOTING IS TO BE 10' FROM BACK OF CURB. THIS WILL LEAVE THE FACE OF THE MENU BOARD 9' FROM BACK OF CURB.

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REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	2/1/17	CITY COMMENTS	GZ	

SEAL:

JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

PARKING INFORMATION			
TOTAL SPACES	2 SPACES	12' X 18'	90°
31	9 SPACES	10' X 18'	90°
	13 SPACES	10' X 18'	60°
	7 SPACES	10' X 18'	45°

UTILITY INFORMATION			
	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION
PREPARED BY: CPH CORP
500 W. FULTON STREET
SANFORD, FL 407-322-6841
DATE: MAY 29, 2014

LEGEND			
S	SANITARY SEWER	G	GAS
W	WATER	LP: 30	LOT LIGHT
ST	STORM SEWER	(76.5)	EXISTING ELEVATION
E	ELECTRIC	(77.0)	PROPOSED ELEVATION

STREET ADDRESS		CITY		STATE	
4480 N. STATE ROAD 7		COCONUT CREEK		FLORIDA	
COUNTY		STATUS		DATE	
BROWARD		PRELIMINARY			
REGIONAL DWG. NO		PLAN CHECKED		AS-BUILT	
—					

LOCATION CODE NUMBER	
009 — 2078	

McDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PLAN APPROVAL	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY		
REGIONAL MGR.		PLAN CHECKED		
CONST. MGR.		AS-BUILT		
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

PROJECT No. 2014-45 DATE: 8/13/2014

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

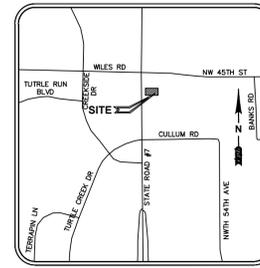
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811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast. It's free. It's the law.

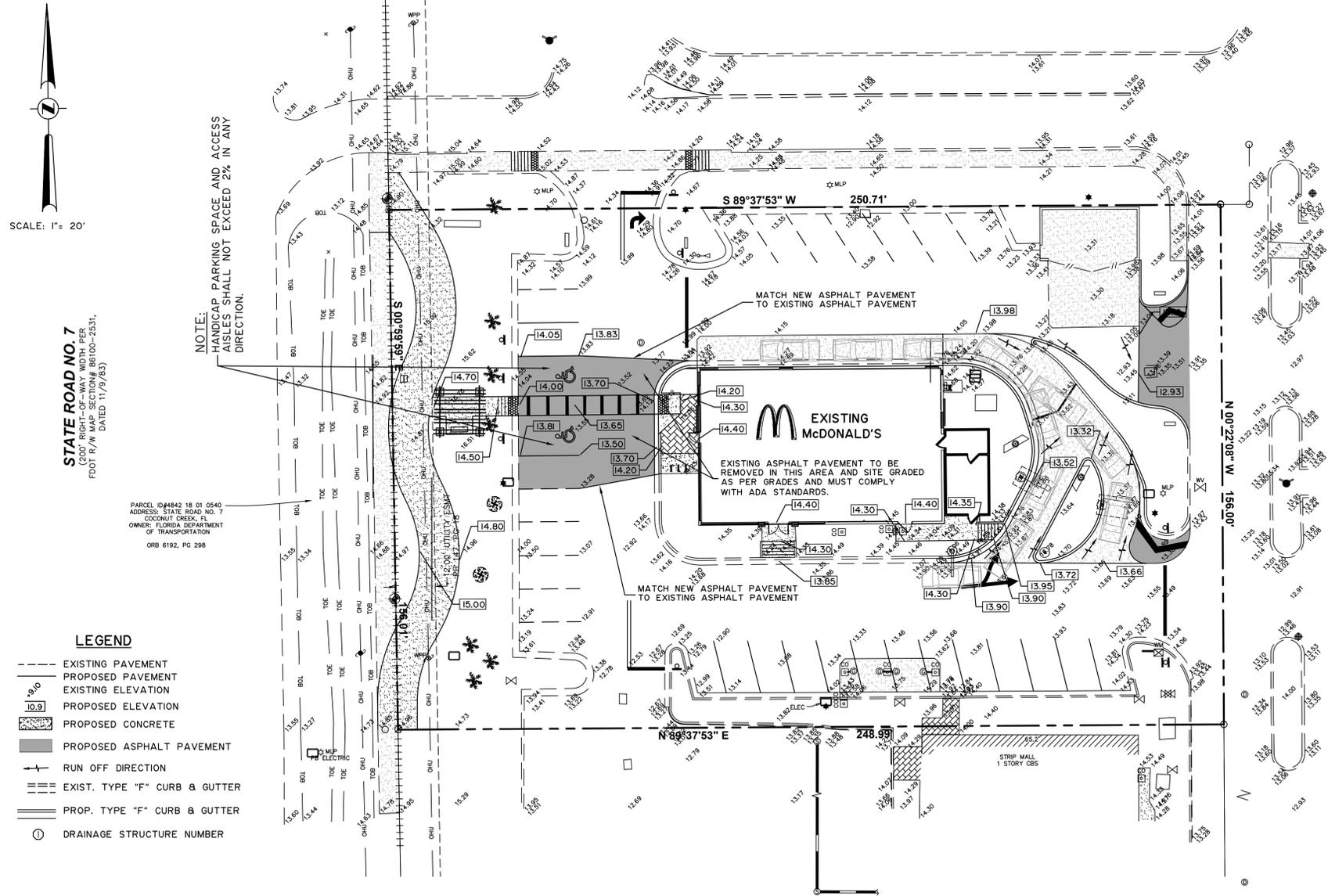
www.callsunshine.com

PAVING, GRADING & DRAINAGE PLAN



LOCATION SKETCH
SCALE: N.T.S.

NOTE:
CONTRACTOR TO VERIFY EXISTING SIDEWALK
SLOPES DO NOT EXCEED 2% CROSS SLOPE.
IF CROSS SLOPE EXCEEDS 2%, CONTRACTOR
SHALL REMOVE SIDEWALK AND REPLACE.



NOTE:
HANDICAP PARKING SPACE AND ACCESS
AISLES SHALL NOT EXCEED 2% IN ANY
DIRECTION.

STATE ROAD NO. 7
(200' RIGHT-OF-WAY WIDTH PER
FOOT R/W MAP SECTION# 86100-2531,
DATED 11/9/83)

PARCEL ID#4842 18 01 0540
ADDRESS: STATE ROAD NO. 7
COCONUT CREEK, FL
OWNER: FLORIDA DEPARTMENT
OF TRANSPORTATION
ORB 6192, PG 298

- LEGEND**
- EXISTING PAVEMENT
 - - - PROPOSED PAVEMENT
 - 10.9 EXISTING ELEVATION
 - 10.9 PROPOSED ELEVATION
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - RUN OFF DIRECTION
 - EXIST. TYPE "F" CURB & GUTTER
 - PROP. TYPE "F" CURB & GUTTER
 - DRAINAGE STRUCTURE NUMBER

GENERAL NOTES:

1. All materials and labor under the project shall conform to City of Coconut Creek Engineering Department, McDonald's Corporation, Florida Department of Transportation and Broward County DERD Standards and Specifications.
2. For site dimensions and geometry see Site Plan sheet C-1
3. Elevations shown are based on N.A.V. Datum and as shown on Survey.
4. Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work. Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.
5. Contractor shall adjust any utility lids and/or covers in project area to the finished grade.
6. Any apparent discrepancies in the plans and field condition shall be brought to the attention of the Engineer before proceeding with the work.
7. Contractor shall notify the Owner's representative and Engineer if soil condition encountered is unsuitable for construction. Furthermore all existing organic materials shall be removed from beneath areas of new asphalt or concrete pavement and from proposed building locations. The full depth of all existing organic and deleterious material within the right of way and utility/drainage easements shall be removed. No material of FDOT Class A-5, A-7 or A-8 shall be allowed.
8. The Contractor shall restore all areas disturbed by this construction to a condition equal to, or better than, that now existing.
9. Typical Pavement Section:
1.5" Type S-I Asphaltic Concrete surface course 6" Limerock base (Minimum LBR 100), compact to 98% of maximum density as determined by AASHTO T-180 and 6" concrete slab on well compacted subgrade compact to 98% of maximum density as determined by AASHTO T-180.
10. Fill shall be placed in 12" layers loose thickness, measured and compacted to 95% of maximum density as determined by AASHTO T-180. Fill shall be locally acceptable and suitable for fill purposes. The top 12" of fill or cut (Minimum LBR 40) under pavement base shall be compacted to 98% of maximum density as determined by AASHTO T-180.
11. All seepage structures shall be protected during construction that no debris shall enter the system. After construction is completed contractor shall fully clean the drainage boxes and the drainage pipes.
12. The property is located in flood zone X, Elevation - feet.
13. All signage and markings shall conform to the requirements of Broward County, Florida.
14. All repairs to the existing pavement shall receive saw-cut edges prior to relaying asphalt. Utility piping or wiring less than four (4) inches in diameter requires a Schedule 40 PVC casing pipe with sand backfills under paved areas only.
15. Prime coat shall be applied at a rate of 0.25 gallons per square yard. Prime and tack coat for base shall conform to the requirements and specifications of sections 300-1 through 300-7 of FDOT standards specifications.
16. Base and subgrade density tests shall be conducted for a maximum 7000 square feet of finished pavement.
17. Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials. Limerock bearing ratios, sieve analysis and densities required by contract documents shall be submitted to the City.
18. Minimum longitudinal slope of pavement shall be 0.3%.
19. Minimum transverse slope of the pavement shall be one percent for parking areas.

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REV	DATE	DESCRIPTION	ISSUE/REF
1	2/1/17	CITY COMMENTS	GZ

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 1. OSHA Standard 29 C.F.R. Part 1926, Subpart P, Excavation and Trenches.
 2. Contract bids for trench excavations (in excess of 5 feet deep) shall include reference to the safety standards, written assurance of compliance, and a separate item identifying the cost of compliance.
 3. Adhere to any special shoring requirements of the state or other political subdivision.
 - B. Engineer is not responsible for the safety of the excavation or design and construction of any shoring.

PARKING INFORMATION

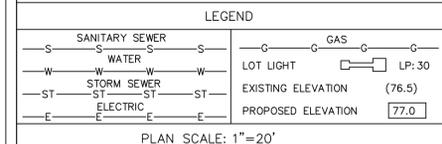
TOTAL SPACES	SPACES	SIZE	ANGLE
31	2	12' X 18'	90°
	9	10' X 18'	90°
	13	10' X 18'	60°
	7	10' X 18'	45°

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION

PREPARED BY: CPH CORP
500 W. FULTON STREET
SANFORD, FL 32784
DATE: MAY 29, 2014



PLAN SCALE: 1"=20'

STREET ADDRESS
4480 N. STATE ROAD 7

CITY	STATE	STATUS	DATE	BY
COCONUT CREEK	FLORIDA	PRELIMINARY		
COUNTY BROWARD		PLAN CHECKED		
REGIONAL DWG. NO. -		AS-BUILT		

LOCATION CODE NUMBER
009 - 2078

SEAL:

JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

McDONALD'S

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PLAN APPROVAL	DATE	OFFICE ADDRESS
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

CO-SIGN SIGNATURES

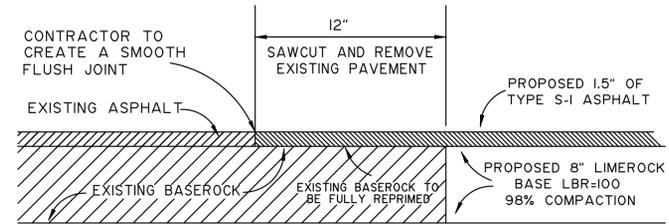
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PROJECT No. 2014-45 DATE: 8/13/2014

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING

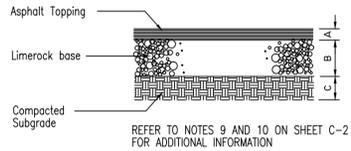
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

PAVING & DRAINAGE DETAILS PLAN



DETAIL FOR MATCHING EXISTING PAVEMENT

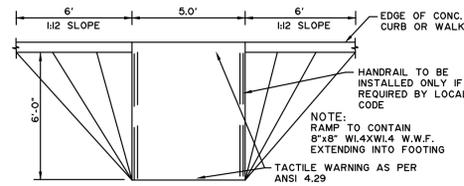
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N.T.S.



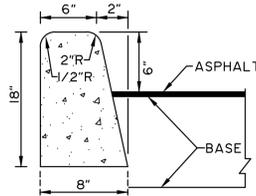
DIMENSION & TYPE

Concrete Section	A	B	C
STANDARD	1.5"	6"	12"

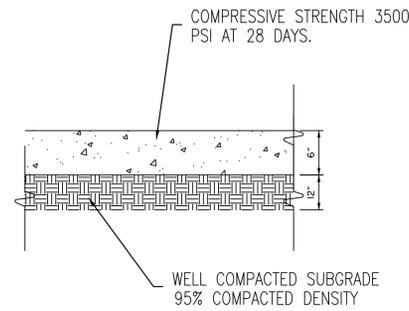
ASPHALT PAVEMENT DETAIL



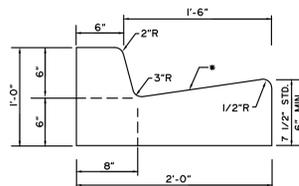
14 HANDICAP RAMP



17 CURB DETAIL

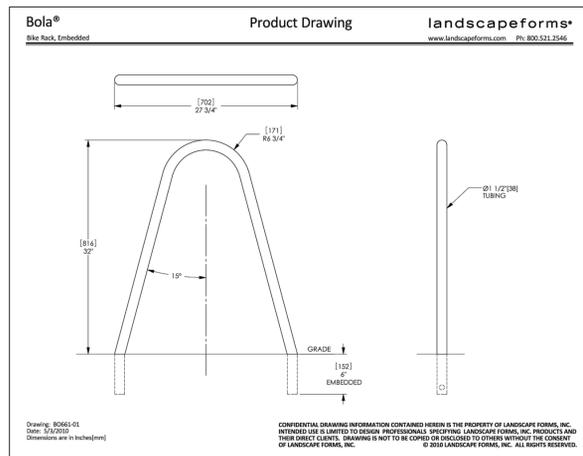


CONCRETE PAVEMENT DETAIL



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS

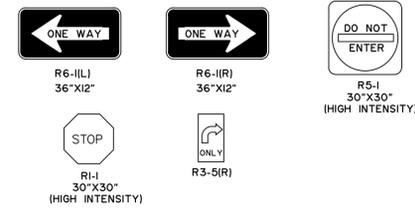
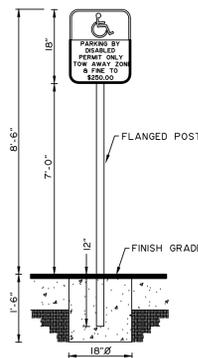
1 TYPE F CURB



BIKE RACK DETAIL

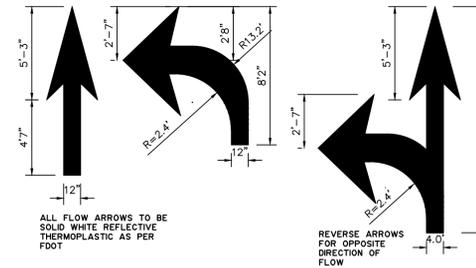


13 HANDICAPPED SIGN DETAIL

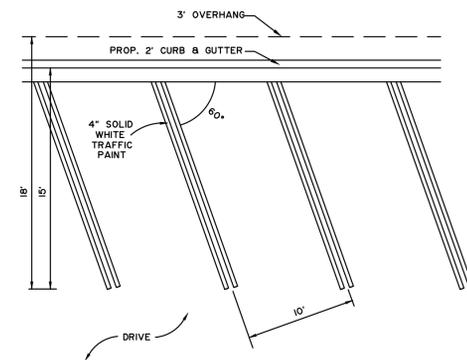


12 TRAFFIC SIGNS

SIGNS ARE TO BE MOUNTED ON FLANGED POST



10 DIRECTIONAL ARROWS



7 TYPICAL PARKING SPACES

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REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	5/15/15	CITY COMMENTS	GZ	
2	2/1/17	CITY COMMENTS	GZ	
3	2/24/17	CITY COMMENTS	GZ	

SEAL:

JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

McDONALD'S

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PARKING INFORMATION

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UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION

PREPARED BY: OPH CORP
500 W. FULTON STREET
SANFORD, FL 407-322-6841
DATE: MAY 29, 2014

LEGEND

SANITARY SEWER	LOT LIGHT	GAS	LP: 30
WATER	EXISTING ELEVATION		(76.5)
STORM SEWER	PROPOSED ELEVATION		77.0
ELECTRIC			

PLAN SCALE: 1"=20'

STREET ADDRESS
4480 N. STATE ROAD 7

CITY	STATE	STATUS	DATE	BY
COCONUT CREEK	FLORIDA	PRELIMINARY		
COUNTY BROWARD		PLAN CHECKED		
REGIONAL DWG. NO		AS-BUILT		

REGIONAL DWG. NO	LOCATION CODE NUMBER	CONTRACTOR	OWNER
	009 - 2078		

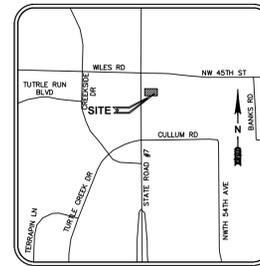
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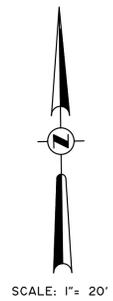
REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

C-2A

PHOTOMETRIC PLAN



LOCATION SKETCH
SCALE: N.T.S.



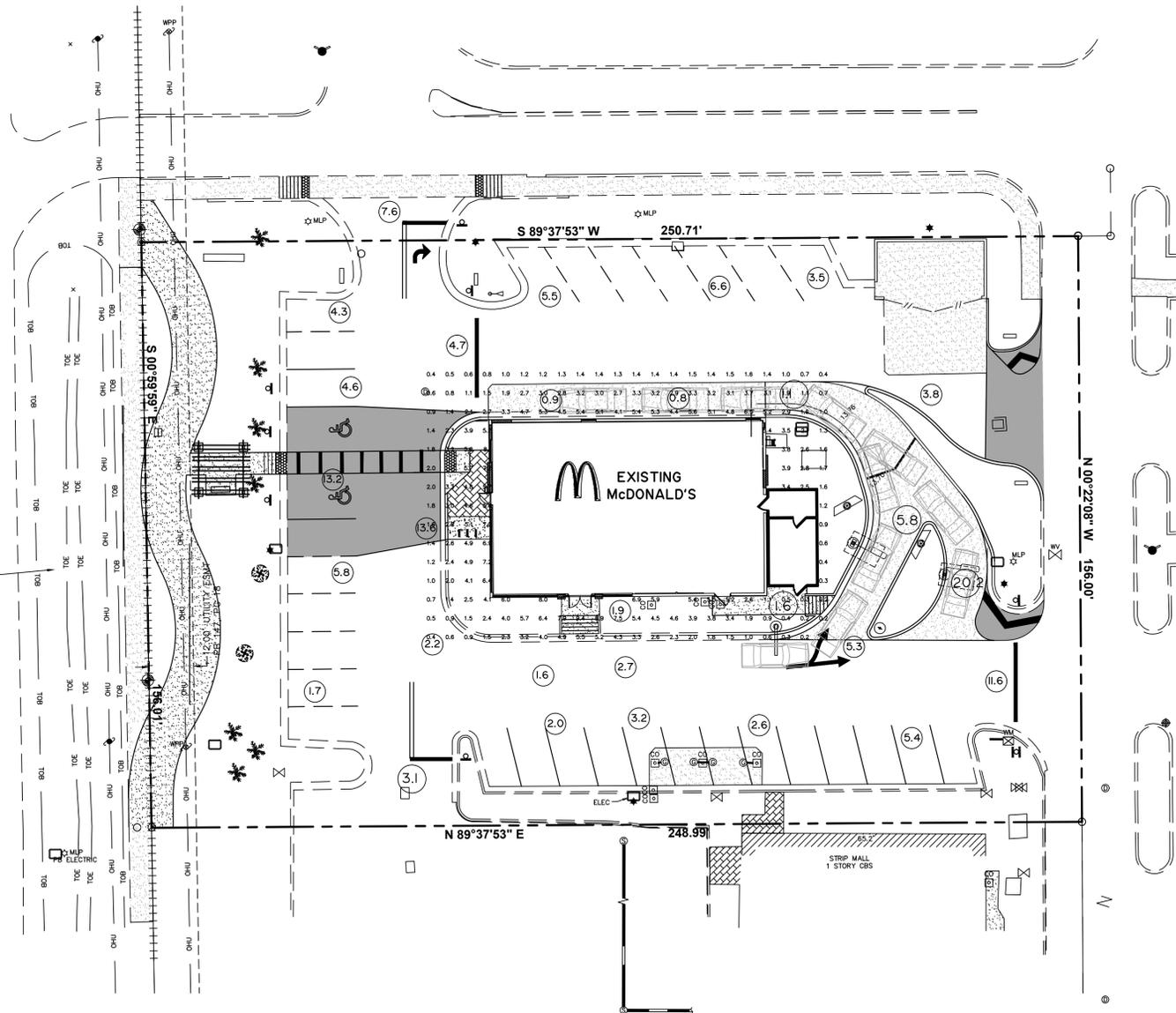
SCALE: 1" = 20'

STATE ROAD NO. 7
(200' RIGHT-OF-WAY WIDTH PER
FDOT R/W MAP SECTION# 86100-2531,
DATED 11/9/83)

PARCEL ID#4842 18 01 0540
ADDRESS: STATE ROAD NO. 7
COCONUT CREEK, FL
OWNER: FLORIDA DEPARTMENT
OF TRANSPORTATION
ORB 6192, PG 298

LEGEND

- EXISTING PAVEMENT
- - - - PROPOSED PAVEMENT
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- ↑ RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PROP. TYPE "F" CURB & GUTTER
- DRAINAGE STRUCTURE NUMBER



PHOTOMETRIC LEGEND

- 2.7 DENOTES EXISTING FOOTCANDLE READING ON THE SITE/PAVED AREAS
- 3.5 DENOTES PROPOSED FOOTCANDLE READING AFTER BUILDING IMPROVEMENTS FROM BUILDING

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TOTAL SPACES	2 SPACES	12' X 18'	90°
31	9 SPACES	10' X 18'	90°
	13 SPACES	10' X 18'	60°
	7 SPACES	10' X 18'	45°

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION

PREPARED BY: CPH CORP
500 W. FULTON STREET
SANFORD, FL 407-322-6841
DATE: MAY 29, 2014

LEGEND	
—S—S—S—S—S—S—	—G—G—G—G—G—G—
—W—W—W—W—W—W—	LOT LIGHT
—ST—ST—ST—ST—ST—ST—	EXISTING ELEVATION (76.5)
—E—E—E—E—E—E—	PROPOSED ELEVATION (77.0)

PLAN SCALE: 1"=20'

STREET ADDRESS
4480 N. STATE ROAD 7

CITY: COCONUT CREEK STATE: FLORIDA

COUNTY: BROWARD

REGIONAL DWG. NO: — LOCATION CODE NUMBER: 009 — 2078

REV	DATE	DESCRIPTION	BY	ISSUE/REF

SEAL:

JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

McDONALD'S

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PLAN APPROVAL		DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)	
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR	CO-SIGN SIGNATURES	
OWNER		

STATUS	DATE	BY
PRELIMINARY		
PLAN CHECKED		
AS-BUILT		

PH

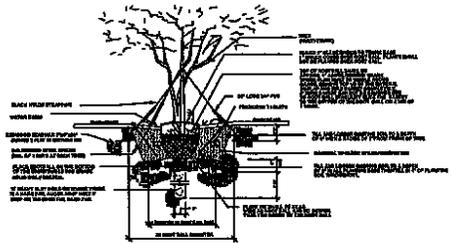
PROJECT No. 2014-45 DATE: 8/13/2014

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

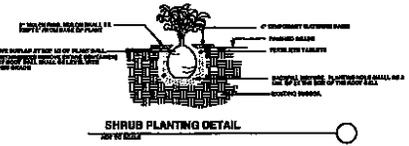
GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL IS AVAILABLE AT THE TIME OF INSTALLATION. THE PLANT MATERIAL SHALL BE DELIVERED TO THE PROJECT SITE BY THE CONTRACTOR.
2. EXACT LOCATION OF PLANT MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR AND THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL PLANT MATERIALS SHALL BE DELIVERED TO THE PROJECT SITE BY THE CONTRACTOR AND THE ARCHITECT PRIOR TO INSTALLATION.
4. ALL PLANT MATERIALS SHALL BE DELIVERED TO THE PROJECT SITE BY THE CONTRACTOR AND THE ARCHITECT PRIOR TO INSTALLATION.
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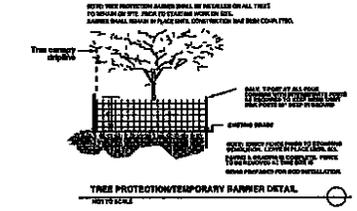
- ### CITY OF COCONUT CREEK STANDARD LANDSCAPE NOTES
1. All landscape and specifications shall meet or exceed the minimum requirements as provided in the City of Coconut Creek Land Development Code. Plans are interpreted without written notes and specifications.
 2. All planting material shall meet or exceed Florida Grade or as specified in Grades and Standards for Nursery Plants, Current edition. Trees shall not be balled, banded, or shipped prior to installation.
 3. Landscape shall be planted to edge of existing curbs, concrete, masonry, or other finish.
 4. All mechanical equipment, air conditioning, irrigation pump and equipment, PFL, transformers, pool pumps, etc., shall be screened on trees (2) sides by landscape shrubs.
 - NOTE: The quantity of screening shrubs in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted by proper operation of equipment being screened and per the requirements of the safety as necessary. All hedge material required for screening purposes shall be planted with banded hedging. All screening shrubs shall be planted in a continuous line.
 5. Sign displays, concrete signs, be constructed for clear sight visibility from both (2) sides to provide an adequate access.
 6. Sign displays, concrete signs, be constructed. Measurement shall be made from top of root ball planted at proper elevation.
 7. Sign displays, concrete signs, be constructed. Measurement shall be made from top of root ball planted at proper elevation.
 8. Sign displays, concrete signs, be constructed. Measurement shall be made from top of root ball planted at proper elevation.
 9. Sign displays, concrete signs, be constructed. Measurement shall be made from top of root ball planted at proper elevation.
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 20. Sign displays, concrete signs, be constructed. Measurement shall be made from top of root ball planted at proper elevation.



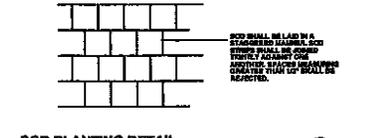
MULTI-TRUNK GUYING AND PLANTING DETAIL
NOT TO SCALE



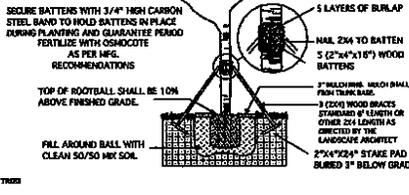
SHRUB PLANTING DETAIL
NOT TO SCALE



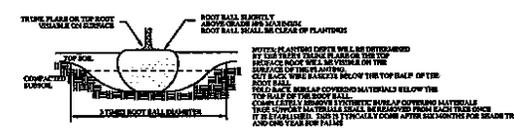
TREE PROTECTION TEMPORARY BANNER DETAIL
NOT TO SCALE



SOD PLANTING DETAIL
NOT TO SCALE



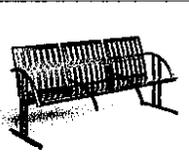
RELOCATED TREE STAKING DETAIL
NOT TO SCALE



ROOT BALL DETAIL
NOT TO SCALE

- ### CITY OF COCONUT CREEK TREE PROTECTION NOTES
- Plans and analysis protective barriers around the drip line of all trees to be retained on the site to prevent their destruction or damage. The protective barriers shall be at least 6' (6) feet in height and constructed of 4x4 posts and 2x4 rails. The protective barriers shall be constructed of sturdy material (post digging or rickety) and shall be installed prior to and during construction of the building.
- (1) Not done or not constructed as required.
 - (2) Not done or not constructed as required.
 - (3) Not done or not constructed as required.
 - (4) Not done or not constructed as required.
 - (5) Not done or not constructed as required.
 - (6) Not done or not constructed as required.
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 - (14) Not done or not constructed as required.
 - (15) Not done or not constructed as required.
 - (16) Not done or not constructed as required.
 - (17) Not done or not constructed as required.
 - (18) Not done or not constructed as required.
 - (19) Not done or not constructed as required.
 - (20) Not done or not constructed as required.

MANUFACTURER - LANDSCAPE FORMS
MODEL - CHASE PARK
COLOR - METALLIC BRONZE
PROVIDE OPTIONAL CENTER ARMS
CONTRACTOR SHALL SECURE TO SURFACE WITH APPROPRIATE STAINLESS STEEL HARDWARE



BENCH DETAIL
NOT TO SCALE



REV. DRC COMMENTS 1/27/14
REV. DRC COMMENTS 1/31/17

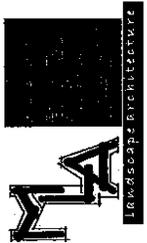
EXISTING TREE DISPOSITION PLAN

McDONALD'S
4480 N. STATE RD. 7
COCONUT CREEK, FLORIDA

LOCATION CODE NUMBER
009 - 2078

DATE DRAWN: 9-21-14

L-2



187-253-6245 PROJECT DATE

REVISIONS:

REV:	DRC COMMENTS	1/13/17

SHEET TITLE:
EXISTING TREE
DISPOSITION
PLAN

PROJECT: **McDONALD'S**
4480 N. STATE RD. 7
COCONUT CREEK, FLORIDA

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

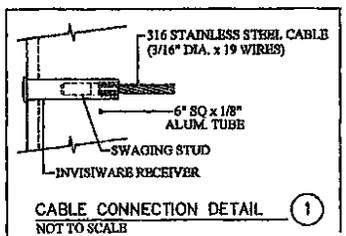
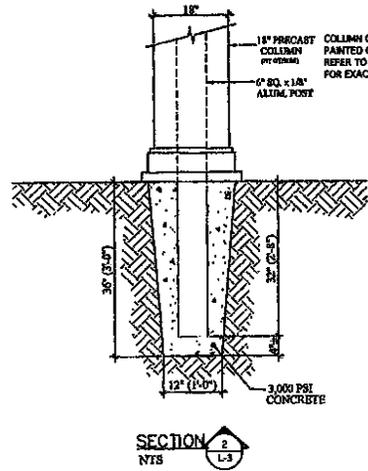
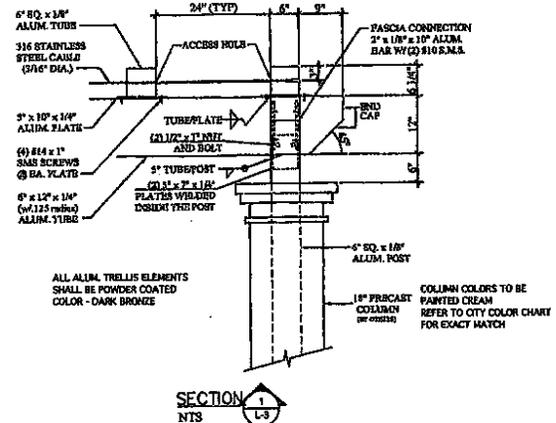
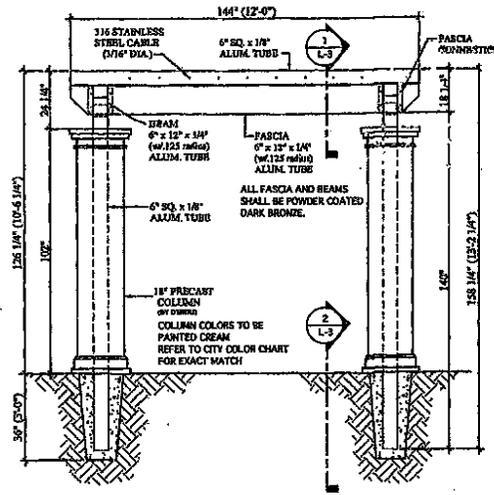
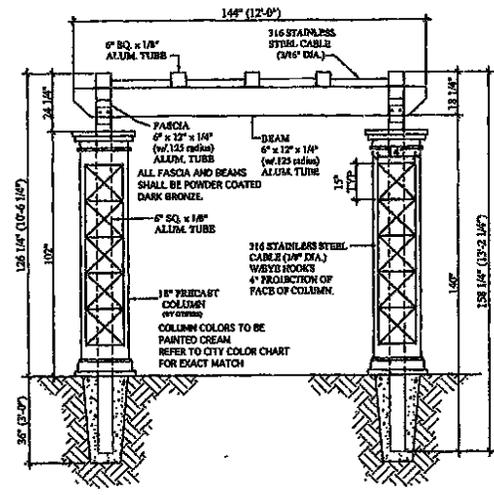
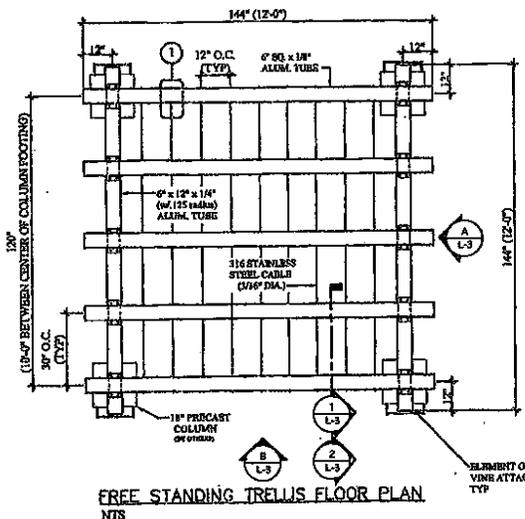
SEAL:

LOCATION CODE NUMBER
008 - 2078

SCALE:

DATE DRAWN: 9-21-14
SHEET NO.

L-3



- GENERAL TRELLIS NOTES:**
1. MATL: ALUMINUM EXTRUSIONS 6063-T6 (1/16")
 2. FINISH: FACTORY ESP BAKED POLYESTER POWDER COAT (A/R DRY ENAMEL FIELD TOUCH-UP)
 3. COLOR: DRK. BRONZE REFER TO CITY COLOR CHART FOR EXACT MATCH
 4. ALL TUBING ENDS ARE CAPED.
 5. MSI SHOP WELDED FABRICATION AND ASSEMBLY (U.N.) AS PER APPROVED SUBMITTED SHOP DWGS/SAMPLES AND IN ACCORDANCE W/ INDUSTRY PRACTICE & TOLERANCES. ALL DIMENSIONS ARE NOMINAL, APPROX. & CAN VARY.
 6. FIELD VIBRICATION BY METAL SHIELD INDUSTRIES.
 7. INSTALLATION BY METAL SHIELD INDUSTRIES.
 8. ALL FASTENERS/ANCHORS SHALL BE RUST RESISTANT, BY MSI.
 9. MATL. ORDER, FABRICATION & INSTALLATION SHALL NOT COMMENCE UNTIL DWG APPROVALS BY CUSTOMER.

ALL ALUM. TRELLIS ELEMENTS SHALL BE POWDER COATED COLOR - DARK BRONZE

COLUMN COLORS TO BE PAINTED CREAM REFER TO CITY COLOR CHART FOR EXACT MATCH

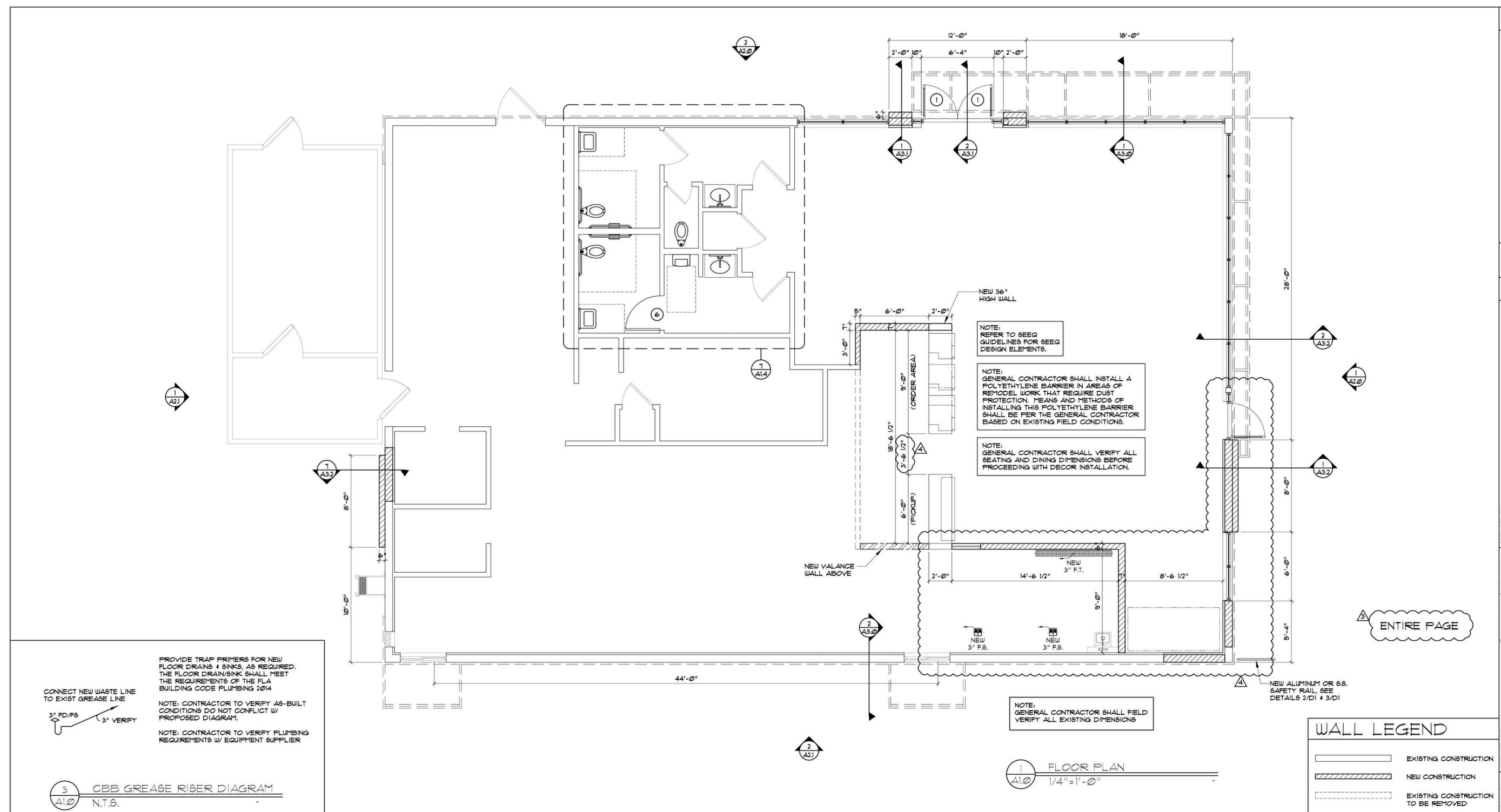
ELEVATION A NTS

ELEVATION B NTS

SECTION 1 NTS

SECTION 2 NTS

CABLE CONNECTION DETAIL 1 NOT TO SCALE



MARK	DOOR	MATERIAL	SIZE	FRAME	TYPE	MATL	SIZE
1	ALUM.	3'-0"x1'-0"x1/2"	3/4"	A	ALUM.	(NOTE 6)	
3	H.M.	4'-0"x1'-0"x1/2"	3/4"	B	H.M.	2" JAMB 4" HD	
3A	H.M.	4'-0"x1'-0"x1/2"	3/4"	D	H.M.	2" JAMB 4" HD	
7	S.C. WOOD W/ LAM.	3'-0"x6'-8"x1/2"	3/4"	D	H.M.	2" JAMB 4" HEAD	
7	S.C. WOOD	3'-0"x6'-8"x1/2"	3/4"	C	H.M.	2" JAMB 4" HEAD	

PREPARED BY: **McDonald's USA, LLC**
 HARTLEY + PURDY Architecture, Inc.
 1711 North Himes Avenue, Tampa, Florida 33607
 PH: 813.353.0035 Fax: 813.353.4350 Web Site: www.hartleypurdy.com

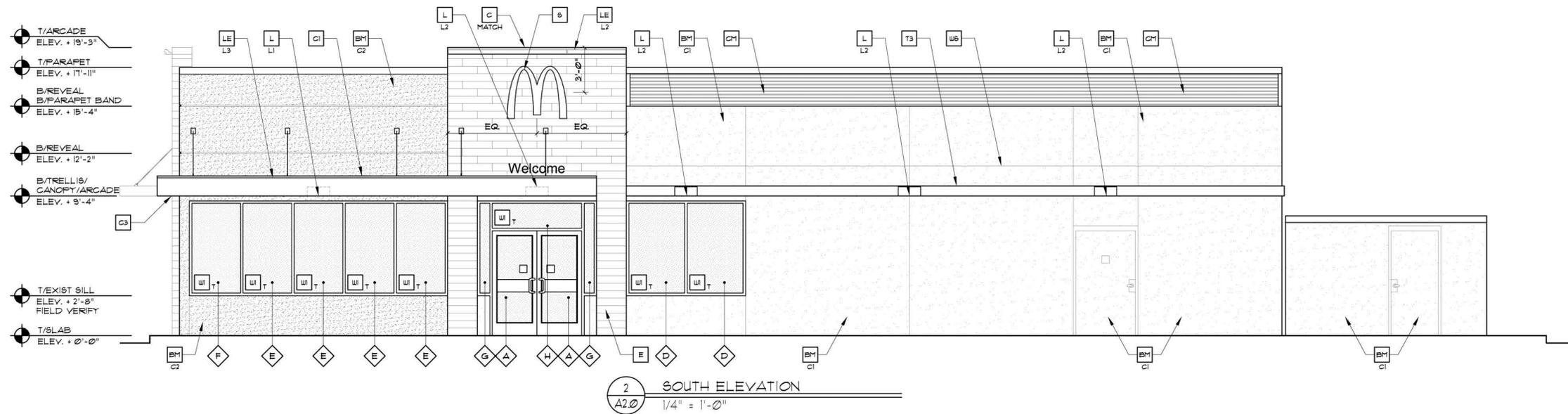
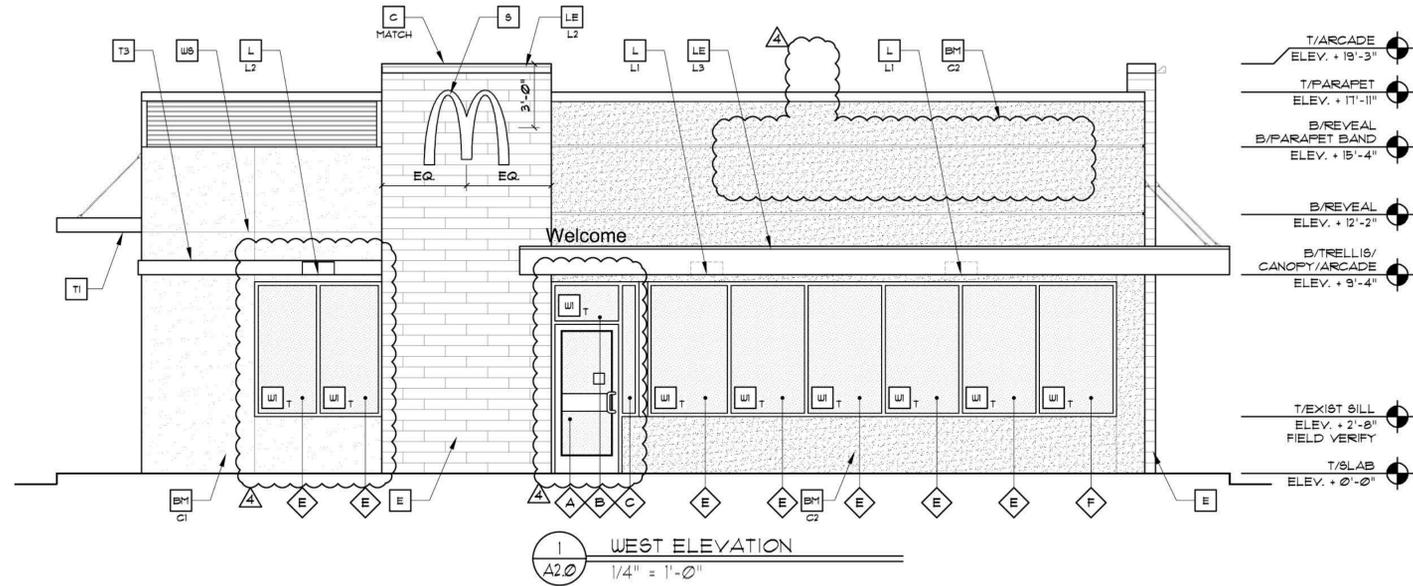
REV	DATE	DESCRIPTION
1	04.17.15	DRC COMMENTS
2		
3	11.21.16	OWNER CHANGES
4	XX.XX.XX	OWNER CHANGES

DRAWN BY: MB
 STD. ISSUE DATE: 08.18.14
 REVIEWED BY: SUP
 DATE ISSUED: 08.18.14
 TITLE: MAJOR REMODEL PROGRAM
 DESCRIPTION: ARCADE SCHEME: TERRA COTTA
 COLOR FINISH: STUCCO
 SITE ADDRESS: 4480 N. S.R. 7, COCONUT CREEK, FLORIDA
 NAT # 27234
 SHEET NO.: 1402.24
A1.0
 AA-0003276

BUILDING DATA	
WIND VELOCITY (mph)	170
IMPORTANCE FACTOR	1.00
BUILDING CATEGORY	II
EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT +/- (ENCLOSED BUILDING)	0.18
MEAN ROOF HEIGHT (ft)	17.92'
BUILDING WIDTH (ft)	48.0'
BUILDING LENGTH (ft)	74.61'
ROOF SLOPE (X : 12)	0

FLORIDA BUILDING CODE - 2014 - PRESSURES NOTED ARE ASD PRESSURES, A 0.6 FACTOR HAS BEEN APPLIED

WALL OPENINGS SCHEDULE						
OPENING MARK	OPENING DESCRIPTION	LOCATION ZONE	OPENING ELEVATION	OPENING DIMENSION WIDTH	OPENING DIMENSION HEIGHT	MAX POSITIVE PRESSURE psf
A	GLASS DOOR	4	3.5	3	7	32.93
B	FIXED GLASS	4	8	3	2	36.59
C	FIXED GLASS	4	5.83	1.34	6.34	36.59
D	FIXED GLASS	4	5.83	4	6.34	32.93
E	FIXED GLASS	4	5.83	3.5	6.34	32.93
F	FIXED GLASS	5	5.83	3.5	6.34	32.93
G	FIXED GLASS	4	5.83	0.83	6.34	36.59
H	FIXED GLASS	4	8	6	2	35.06



KEY NOTES:

- BM NEW CEMENTITIOUS FINISH
- C1 COLOR: BENJAMIN MOORE C1 = BLEIKER BEIGE HC-80 C2 = ALEXANDRIA BEIGE HC-11
- C METAL COPING - COLOR = ALUMINUM ALUM
- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- CH1 NEW ALUMINUM CANOPY 48x18 BY OTHERS (COLOR: WHITE)
- C2 NEW ALUMINUM CANOPY TIE-BACK BY OTHERS
- C3 NEW ALUMINUM CANOPY 18x18 BY OTHERS (COLOR: WHITE)
- CH CORRUGATED METAL BAND BY METAL ERA - COLOR: BRUSHED ANTIQUE BRONZE 24 GAUGE (COLOR: CITYSCAPE)
- CH2 OUTSIDE CORNER STRIPS COLOR: BRUSHED ANTIQUE BRONZE BY: SCHLUTER SYSTEMS L.P. CONTACT: EARL MAICUS, (918) 324-3410 END OF TILE FIELD ABOVE ROOF AT ARCADE. COLOR BRUSHED ANTIQUE BRONZE, RONDEC R1008P
- E BRUSH STROKE TILES - 1/3 OFFSET BURQUEST E-WOOD COLLECTION COLOR: RB BLACK SIZE: 6"x36" WATERPROOFING SETTING MATERIAL AND GROUT BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 41 CHARCOAL GROUT WIDTH: 1/8" TO 3/16"
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL L1 - UP AND DOWN FIXTURE L2 - DOWN ONLY FIXTURE
- LE ACCENT LIGHTING - SEE ELECTRICAL L1 - LED LIGHT L2 - UP AND DOWN FIXTURE L3 - DOWN ONLY FIXTURE L4 - INTEGRAL CANOPY FIXTURE L5 - UP ONLY FIXTURE
- ML METAL LETTERING - BY OTHERS
- S McDONALD'S NEXT-GEN SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- T1 ALUMINUM TRELLIS T3 2X8 WALL FASCIA
- W EXTERIOR WINDOW ASSEMBLY - SEE A3.0 T-T = TEMPERED GLASS
- W2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER OPTIONS INCLUDE: TRANSOM (SHOWN), AIR CURTAIN, FLYFAN/TRANSOM 4 432 6Q IN MAX SERVICE OPENING (WHERE READ BY CODE)
- W3 SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
- W4 AMICO VINYL MID-WALL WEEP SCREED OR APPROVED EQUAL

ENTIRE PAGE

PREPARED FOR: **McDonald's USA, LLC**

PREPARED BY: **Hartley + Purdy Architecture, Inc.**

1711 North Himes Avenue, Tampa, Florida 33607
 Ph 813.353.0035 Fax 813.353.4350 Web Site: www.hartleypurdy.com

DATE	REV	DESCRIPTION
02.02.17	4	CODE COMMENTS
11.21.16	3	OWNER CHANGES
04.17.15	2	DRC COMMENTS

SCOTT J. PURDY
 AR 91876

TITLE: MAJOR REMODEL PROGRAM

DESCRIPTION: COLOR SCHEME: TERRA COTTA ARCADE FINISH: STUCCO

SITE ADDRESS: 4480 N. S.R. 7, COCONUT CREEK, FLORIDA

NAT # 27234

SITE ID 009-2078

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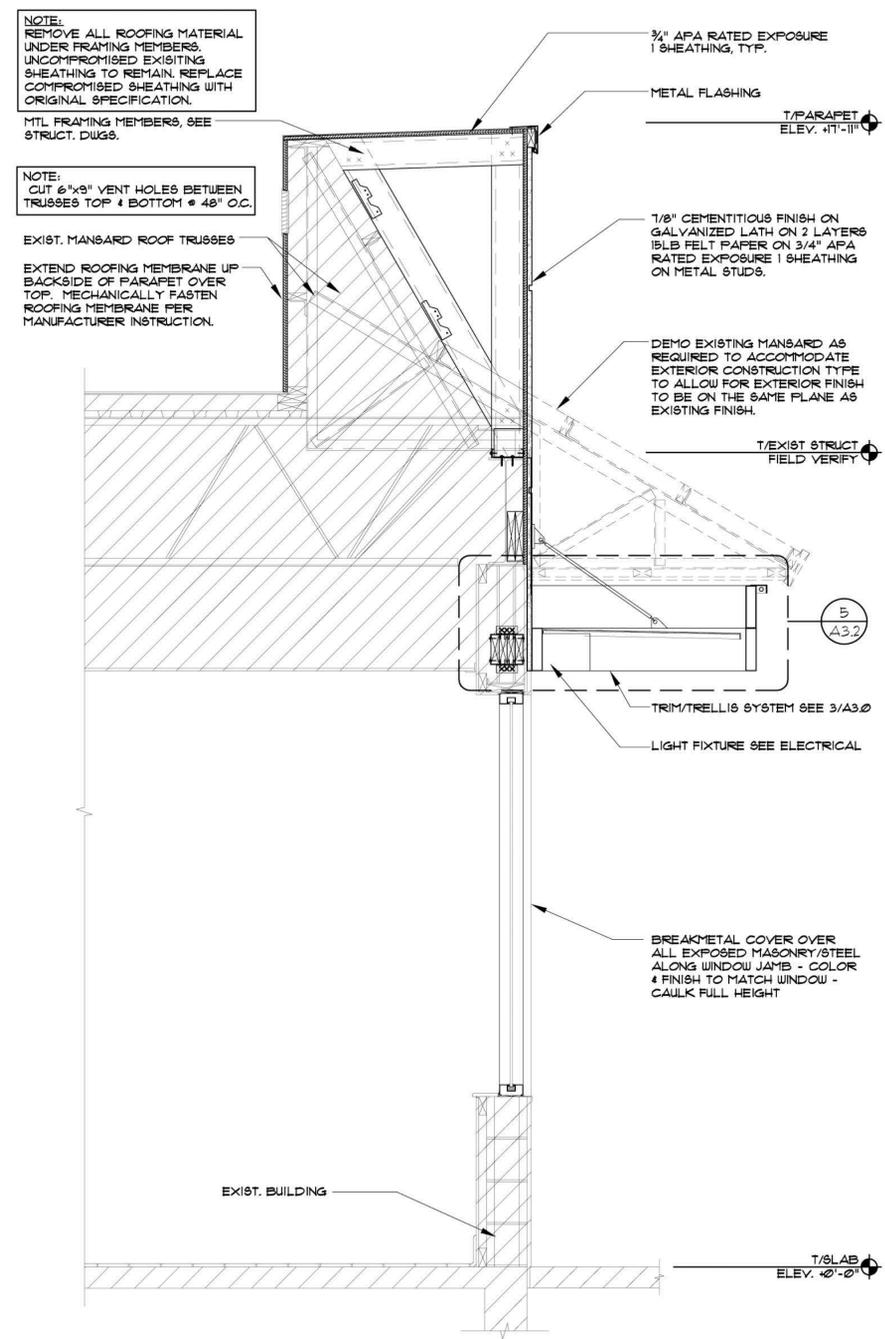
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8 NOT USED
A3.0

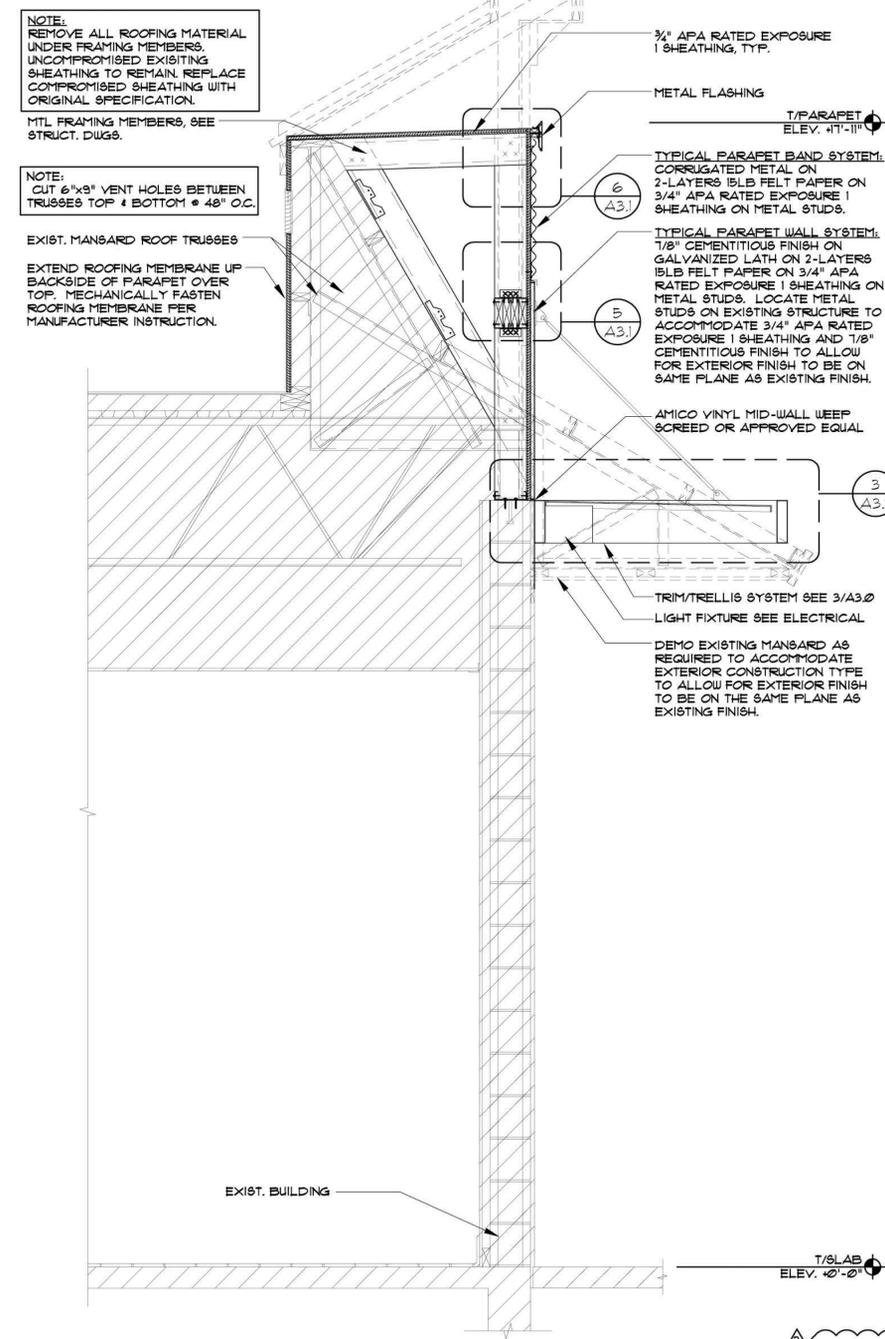
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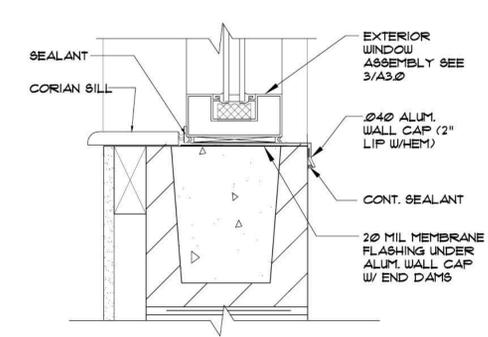
5 NOT USED
A3.0



1 TYPICAL WALL SECTION
3/4" = 1'-0"



2 DRIVE-THRU WALL SECTION
3/4" = 1'-0"



4 FLASHING @ STOREFRONT
3" = 1'-0"

EXTERIOR WINDOW ASSEMBLY (STOREFRONT & ENTRANCE SYSTEM)

1. CLEAR ANODIZED ALUMINUM FRAME
2. NEW IMPACT GLAZING - SEE ELEVATIONS FOR LOCATIONS
3. PROVIDE FLASHING AT HEAD & SILL - CONTINUOUS SILICONE SEALANT, INSIDE AND OUT AT PERIMETER OF WINDOW FRAME
4. PROVIDE 2-PIECE METAL CAP @ CWL SILL
5. 1/2" CORIAN SILL AT INTERIOR

TRELLIS & CANOPY SYSTEM

TRELLIS & CANOPY INFORMATION SHOWN IN CONSTRUCTION DOCUMENTS IS FOR DESIGN INTENT ONLY. APPROVED MANUFACTURERS BELOW SHALL PROVIDE A COMPLETE AND CODE COMPLIANT FINAL DESIGN.

1. FASCIA (TRELLIS): CONT. 2" x 8" CLEAR ANODIZED ALUM. TUBE FASCIA (CANOPY) CONT. 1/4" YELLOW PAINTED ALUM. W/ LED DOWN-LIGHT FIXTURE PER ELEV. OVER 2" x 8" PAINTED ALUM. TUBE.
2. OUTRIGGERS (TRELLIS): CLEAR ANODIZED 2" x 8" ALUMINUM TUBE OUTRIGGERS (CANOPY): PAINTED 2" x 8" ALUMINUM TUBE
3. TIEBACKS (TRELLIS): ANODIZED ALUM. THREADED RODS BY MFR. TIEBACKS (CANOPY): PAINTED ALUM. THREADED RODS BY MFR. LOCATIONS AS INDICATED ON ROOF PLAN. FINAL LOCATIONS AND QUANTITY SHALL BE AS INDICATED ON TRELLIS INSTALLATION DRAWINGS.
4. WHERE INDICATED ON ROOF PLAN, PROVIDE ANODIZED ALUM. PANEL INFILL (TRELLIS) OR YELLOW PAINTED ALUM. PANEL INFILL (CANOPY) TO PROVIDE POSITIVE SLOPE FOR DRAINAGE.
5. SYSTEM SHALL ALLOW FOR MOVEMENT AT EXPANSION JOINTS AND FOR MOVEMENT OF EXTERIOR WALL SYSTEM ON WHICH THE TRELLIS OR CANOPY IS MOUNTED.
6. STRUCTURAL ATTACHMENTS & LOAD CALCULATIONS SHALL BE FURNISHED BY TRELLIS OR CANOPY SYSTEM DESIGNER OF RECORD. SUPPLIER'S DESIGNER OF RECORD SHALL DESIGN PER PREVAILING CODES.

7. TRELLIS SYSTEM MAY BE SELECTED FROM ONE OF THE SUPPLIERS LISTED BELOW. EQUIVALENT SYSTEMS FROM NON-APPROVED SUPPLIERS SHALL BE SUBMITTED TO McDONALD'S US RESTAURANT DESIGN FOR REVIEW AND APPROVAL OF DESIGN INTENT. ALL NON-APPROVED SUPPLIERS SHALL MEET ALL OF THE REQUIREMENTS OF THIS SECTION.
8. MANUFACTURER SHALL PROVIDE INSTALLER WITH INSTALLATION INSTRUCTIONS. MANUFACTURER SHALL DESIGN TRELLIS IN ACCORDANCE WITH THE WALL SYSTEM AND BLOCKING AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
9. INSTALLER SHALL NOTIFY TRELLIS & CANOPY DESIGNER OF RECORD, McDONALD'S ACM, G.C. AND ARCHITECT OF ANY DEFICIENCIES THAT WOULD NOT ALLOW FOR THE PROPER INSTALLATION OF THE TRELLIS. TRELLIS SHALL NOT BE INSTALLED UNTIL DEFICIENCIES HAVE BEEN CORRECTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND THE TRELLIS MANUFACTURER'S INSTALLATION INSTRUCTIONS.

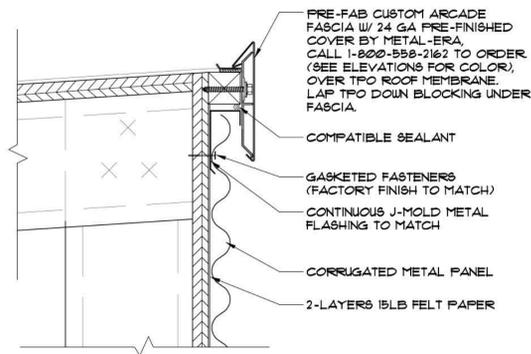
TRELLIS SYSTEM BY:
GREENHECK (718) 395-3942 ALL-LITE (811) 509-2300
www.greenheck.com www.allite.com

YELLOW FASCIA & LED LIGHTING BY:
EVERBRITE (888) 851-4018 PERSONA (800) 843-9888
www.everbrite.com www.personaligna.com

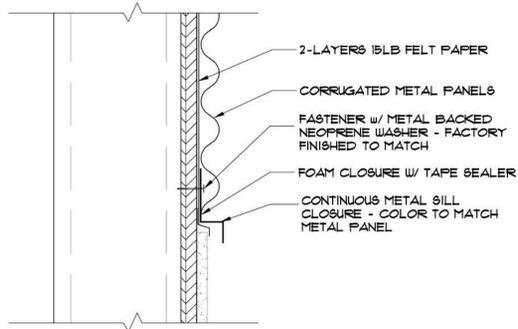
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3 EXTERIOR WALL SYSTEMS
A3.0

DATE	11.21.16	OWNER CHANGES	MB	BY
REV	3			
DESCRIPTION				
<p>PREPARED BY: McDonald's USA, LLC</p> <p>DESIGNED BY: Hartley + Purdy Architecture, Inc.</p> <p>1711 North Himes Avenue, Tampa, Florida 33607 PH: 813.353.0035 FAX: 813.353.4350 Web Site: www.hartleypurdy.com</p>				
<p>MAJOR REMODEL PROGRAM</p> <p>COLOR SCHEME: TERRA COTTA</p> <p>ARCADIE FINISH: STUCCO</p> <p>SITE ADDRESS: 4480 N. S.R. 7, COCONUT CREEK, FLORIDA</p> <p>NAT # 27234</p> <p>09-2078</p>				
SHEET NO.	1402.24			
A3.0				
AA-0003276				

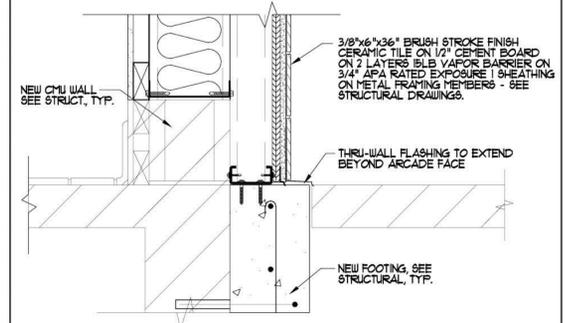


6 DETAIL - PARAPET BAND SYSTEM
A3.1 3/4" = 1'-0"

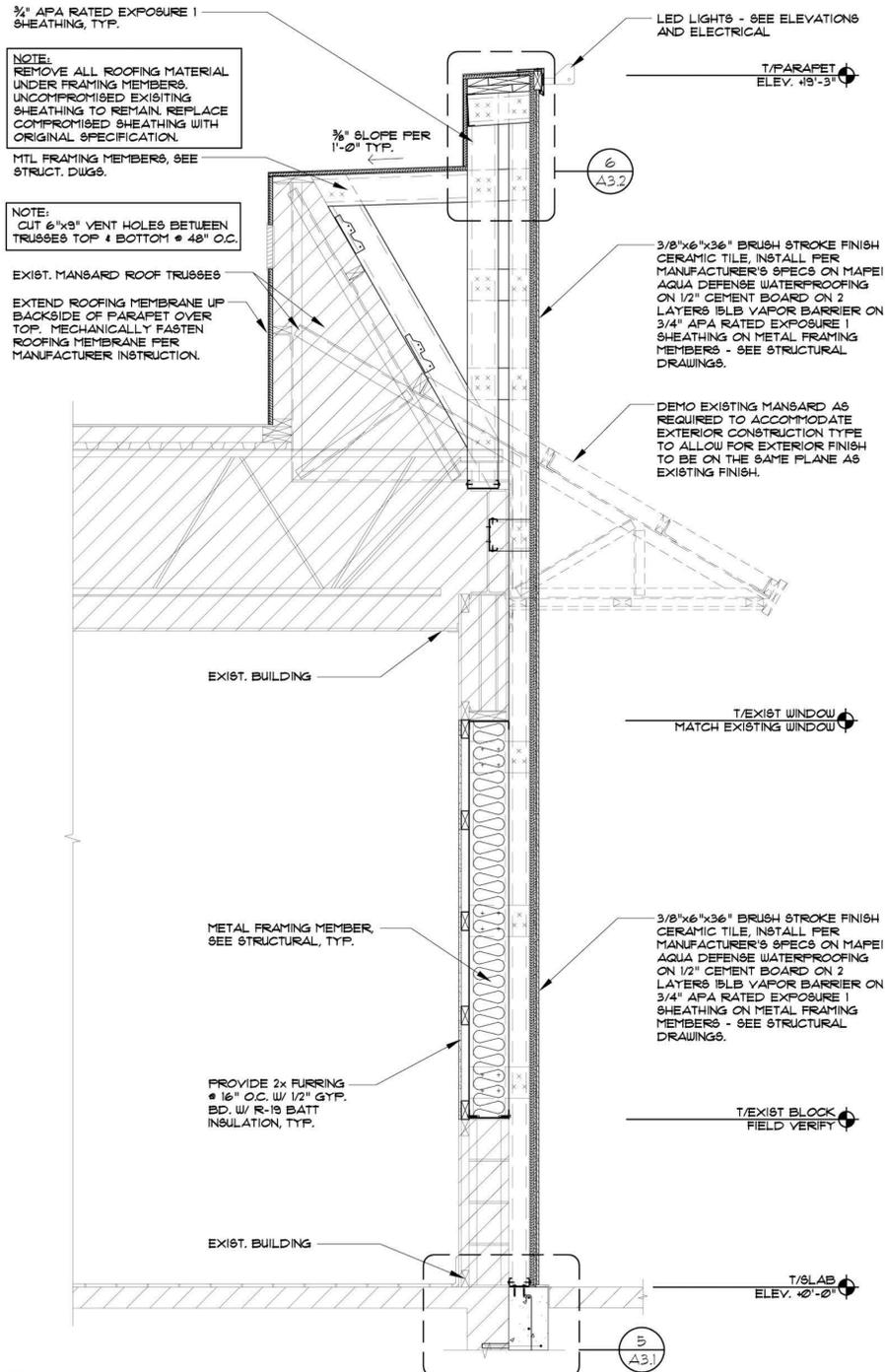


5 DETAIL - PARAPET BAND SYSTEM
A3.1 3/4" = 1'-0"

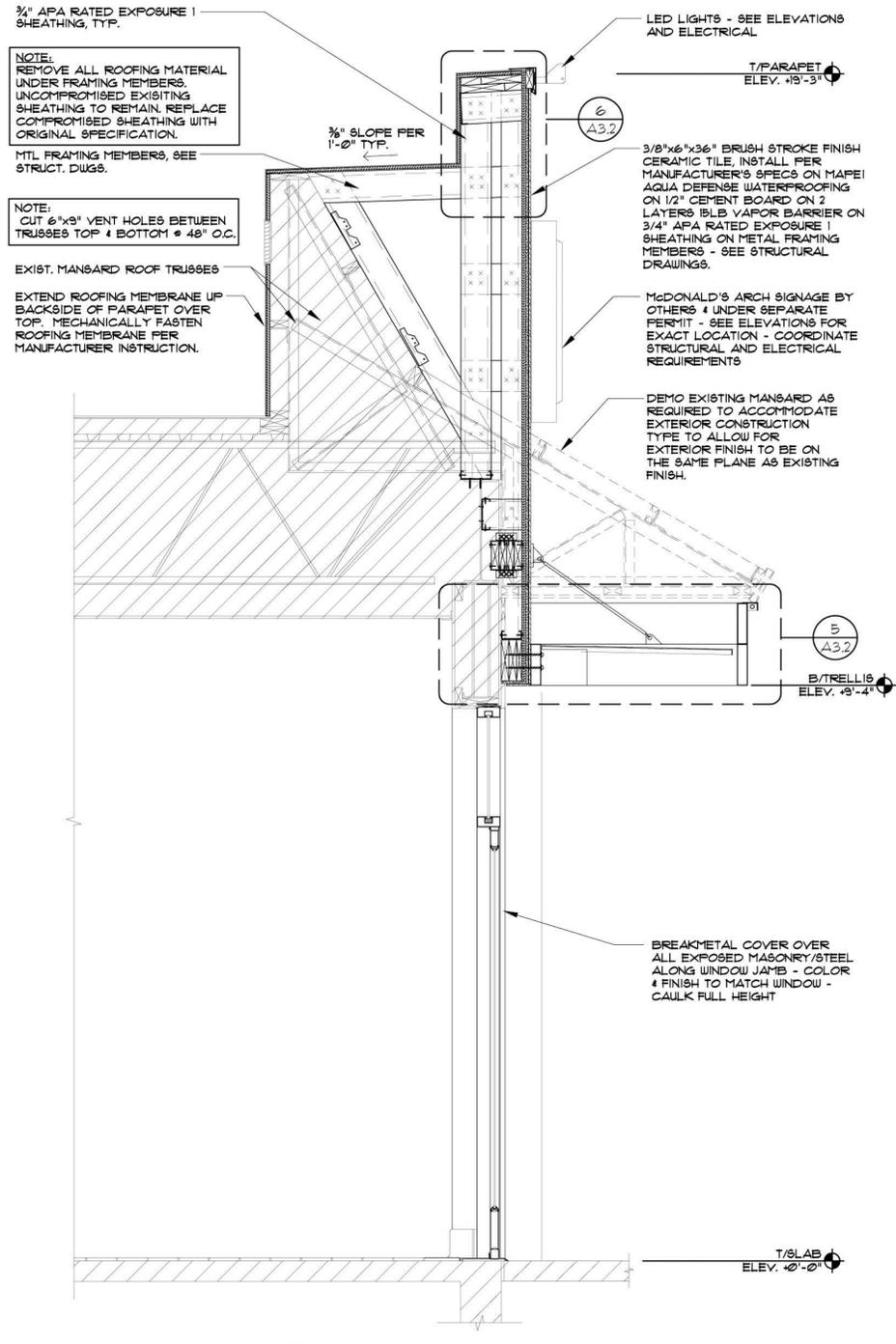
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3 SECTION @ ARCADE FOOTING
A3.1 1/2" = 1'-0"



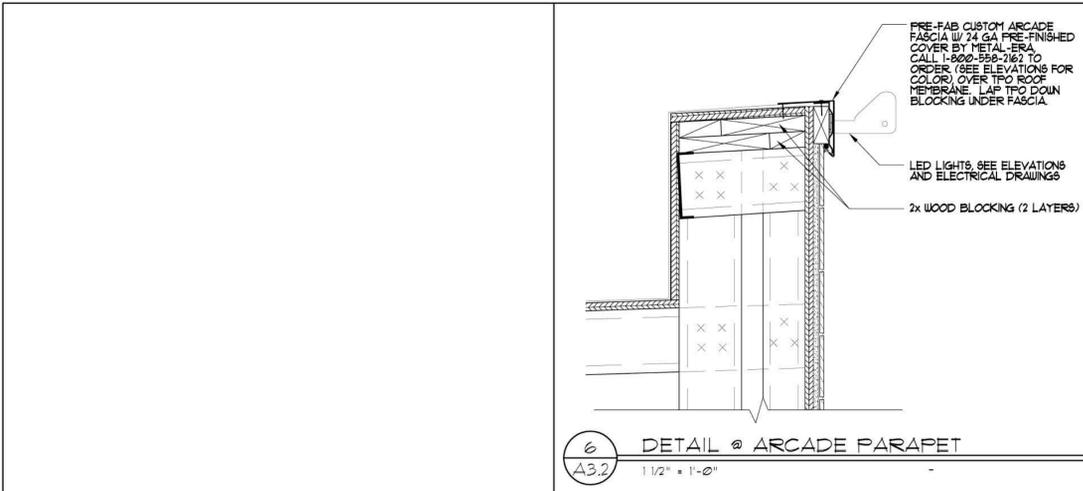
1 ARCADE WALL SECTION
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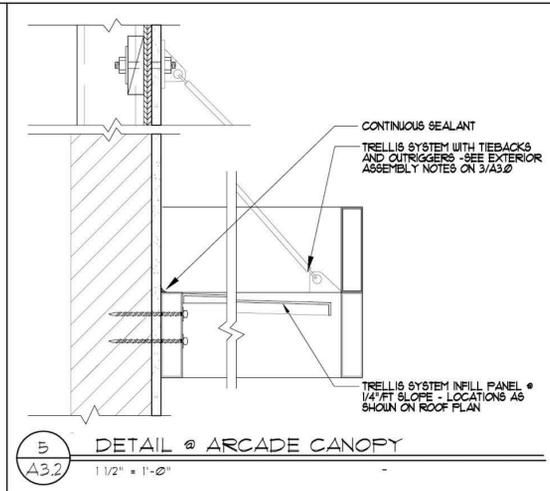
2 ARCADE WALL SECTION
A3.1 3/4" = 1'-0"

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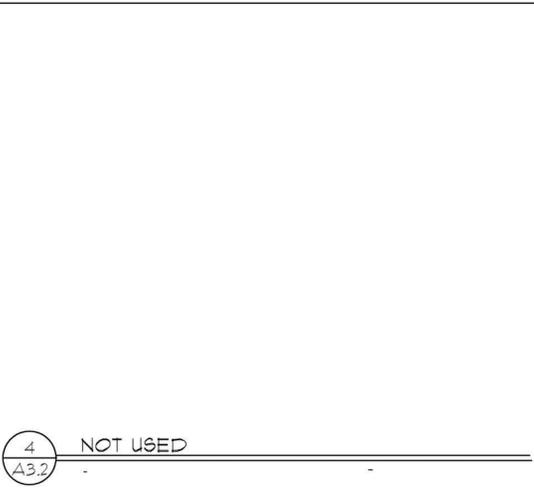
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SHEET NO. 1402.24		A3.1		SITE ADDRESS 4480 N. S.R. 7, COCONUT CREEK, FLORIDA		NAT # 27234	
PREPARED FOR: McDonald's USA, LLC		PREPARED BY: Hartley + Purdy Architecture, Inc.		DATE: 11.21.16		OWNER CHANGES	
© 2012 McDonald's USA, LLC		1711 North Himes Avenue, Tampa, Florida 33607		3		REV	
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SCOTT J. PURDY		AR 91876		3		REV	
Hartley + Purdy Architecture, Inc.		1711 North Himes Avenue, Tampa, Florida 33607		11.21.16		DATE	
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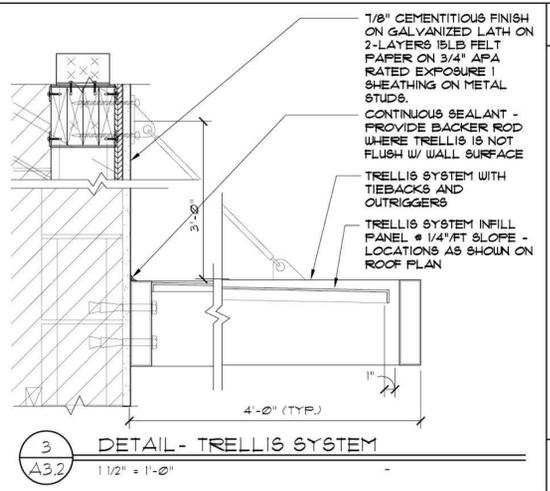
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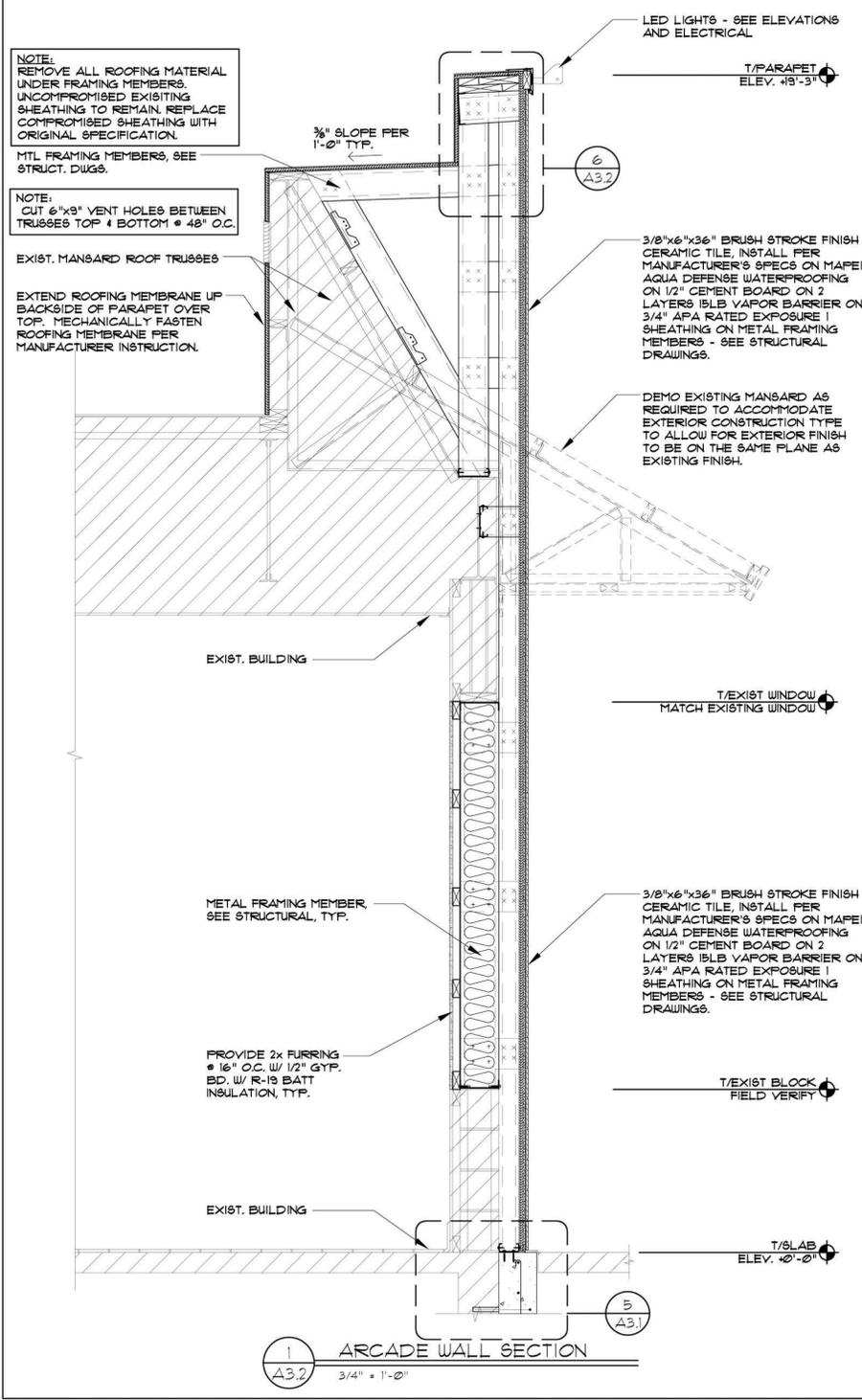
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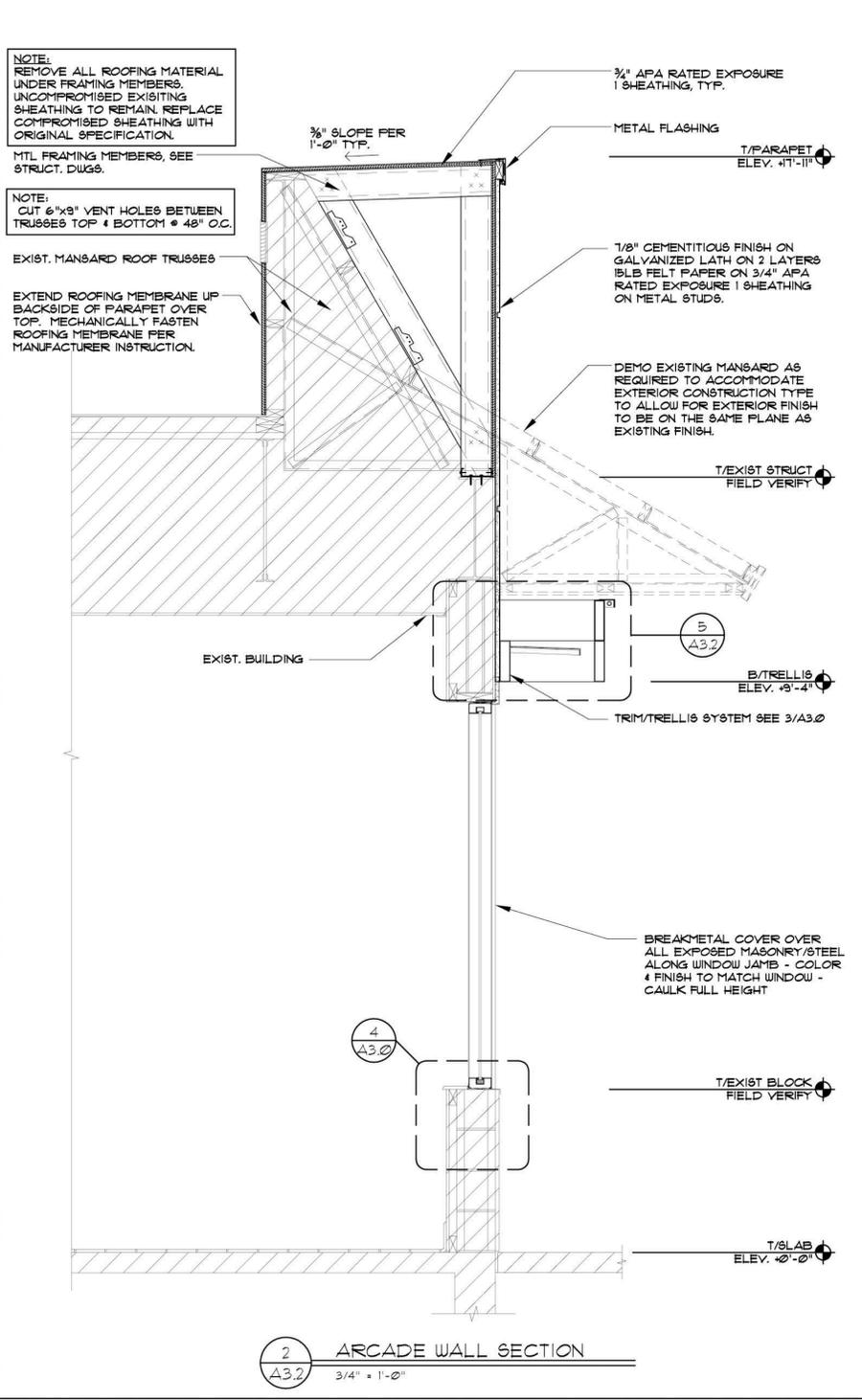
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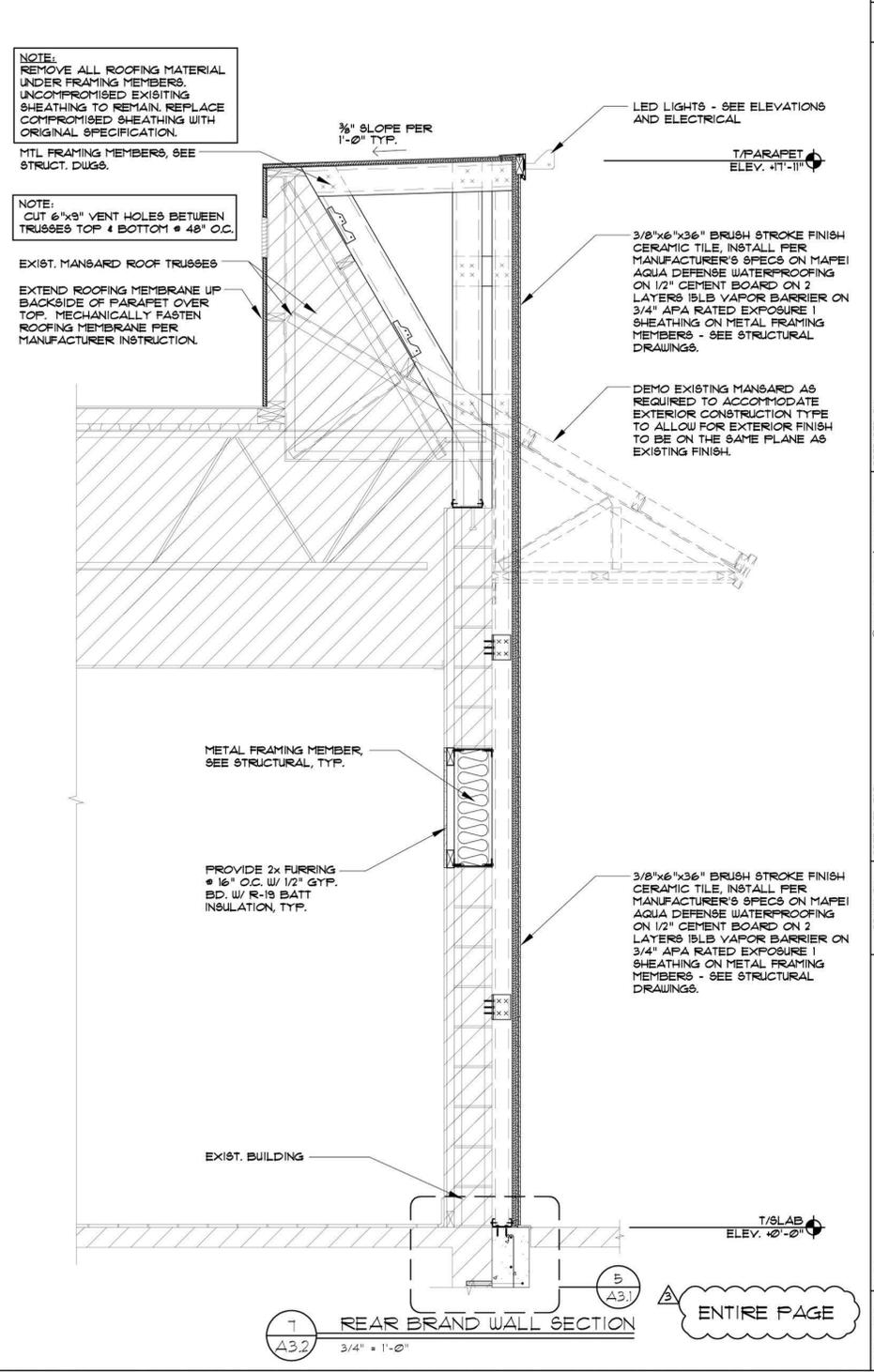
3
A3.2 1 1/2" x 1'-0"



1
A3.2 3/4" x 1'-0"



2
A3.2 3/4" x 1'-0"



7
A3.2 3/4" x 1'-0"

ENTIRE PAGE

SHEET NO.	TITLE	DATE	REV	DESCRIPTION
1402.24	MAJOR REMODEL PROGRAM	09-2018	2	
A3.2	ARCADÉ WALL SECTION	08-18-14	2	
AA-0003276	COLOR SCHEME: TERRA COTTA	04-17-15	2	
	ARCADÉ FINISH: STUCCO	04-17-15	2	
	SITE ADDRESS	11.21.16	3	OWNER CHANGES
	NAT #	04-17-15	3	DRC COMMENTS
	SITE #	04-17-15	3	DATE
	4480 N. S.R. 7, COCONUT CREEK, FLORIDA	04-17-15	3	REV
		04-17-15	3	DATE
		04-17-15	3	REV
		04-17-15	3	DESCRIPTION

DRAWN BY: MB
 CHECKED BY: MB
 DESIGNED BY: MB
 PREPARED FOR: McDonald's USA, LLC
 PREPARED BY: Hartley + Purdy Architecture, Inc.
 1711 North Himes Avenue, Tampa, Florida 33607
 PH: 813.933.0035 FAX: 813.933.4350 Web Site: www.hartleypurdy.com
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