

NOTE

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH **AMERICAN VERTICAL DATUM OF 1988** (NAVD 1988)

BACK FLOW PREVENTOR VALVE BENCHMARK CCCABLE TELEVISION RISER CATCH BASIN CLEAN OUT CONCRETE UTILITY POLE CURB INLET DAAINAGE MANHOLE ELECTRIC OUTLET FIRE HYDRANT IRRIGATION CONTROL VALVE MAIL BOX METAL LIGHT POLE MONITORING WELL NUMBER OF REGULAR PARKING SIGN (UNLESS NOTED) SPIGOT VAULT WATER METER WATER VALVE WOOD UTILITY POLE
TOOD OTHER FOLL

SUMMARY TABLE FOR: SCHEDULE B, SECTION II EXCEPTIONS

1111	TITLE COMMITMENT NO. 7559847 (SEE SURVEYOR'S REPORT #2)							
	ION NUMBER AND DING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA					
No. 5	D.B. 553/372 O.R.B. 2031/298	YES YES	NOT PLOTTABLE NOT PLOTTABLE					
No. 6	D.B. 557/244 O.R.B. 2061/839	YES YES	NOT PLOTTABLE NOT PLOTTABLE					
No. 7	P.B. 126/22	YES	SHOWN					
	O.R.B. 36654/1899	YES	NOT PLOTTABLE					
	O.R.B. 33516/156	YES	SHOWN					
No. 8	O.R.B. 18341/697	YES	NOT PLOTTABLE					
	O.R.B. 20143/84	YES	NOT PLOTTABLE					
	O.R.B. 32889/950	YES	NOT PLOTTABLE					
	O.R.B. 36085/1891	YES	NOT PLOTTABLE					
	O.R.B. 48708/1445	YES	NOT PLOTTABLE					
No. 9	O.R.B. 32117/1578	YES	SHOWN					
No. 10	O.R.B. 33516/122	YES	SHOWN					
No. 11	O.R.B. 36731/1423	YES	NOT PLOTTABLE					
No. 12	INST. 114445875	YES	NOT PLOTTABLE					
No. 13	P.B. 166/43	YES	SHOWN					
	O.R.B. 33516/110	YES	SHOWN					
	O.R.B. 35485/817	YES	NOT PLOTTABLE					
No. 14	O.R.B. 29617/160	YES	NOT PLOTTABLE					

VARIABLE WIDTH PUBLIC RIGHT-OF-WAY

SURVEYOR'S REPORT:

- 1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing
- 2. The property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Title Commitment issued by Chicago Title Insurance Company, Title Commitment No. 7559847, effective date 04/04/2019, Where applicable, these instruments are shown on the survey (see SUMMARY TABLE). Avirom & Associates, Inc. did not research the public records for easements, rights-of-way, ownership or other instruments of record.
- 3. The land description shown hereon is in accord with the Title Commitment.
- 4. No underground improvements were located.
- 5. Bearings, distances and/or angles shown hereon are in accord with the plat and/or deed of record and agree with the survey measurements, unless otherwise noted. Bearings are based on the west line of said Parcel 'A' having a bearing of N00°22'32"W.
- 6. The boundary line dimensions as shown on this survey form a mathematically closed figure within ± -0.01 foot.
- 7. The real property legally described herein has access to and from a paved and dedicated public road(s) known as Hillsboro Boulevard (State Road 810) and N.W. 71st Street.
- 8. All observed encroachments, if any, are accurately shown hereon in.
- 9. Elevations shown hereon are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988).
- 10. The property described hereon lies within Flood Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 12011C0158H, Community Panel Number 120031 0158 H, dated 08/18/2014.
- 11. Benchmark Description: Broward County Engineering Department Benchmark #842, Elevation = 14.95 (NAVD 1988).
- 12. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field
- location and may not represent the actual shape or size of the feature.
- 13. This map is intended to be displayed at a scale of 1:480 (1"=40"). 14. Property Address: 4161 W. Hillsboro Blvd., Coconut Creek, Florida.
- 15. Abbreviation Legend: B.C.R. = Broward County Records; B.M. = Benchmark; & = Centerline; D.B. = Deed Book; EL. = Elevation; F.B. = Field Book; ID. = Identification; INST. = Instrument Number; L.B. = Licensed Business; NAVD = North American Vertical Datum; O.R.B. = Official Records Book; OW = Overhead Wires; P.B. = Plat Book; PG. = Page; P.L.S. = Professional Land Surveyor; R.L.S. = Registered Land Surveyor; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

Parcel 1

Parcel "A" OF WORKINGMAN'S NURSERY, according to the Plat thereof recorded in Plat Book 126, Page 22 of the Public Records of Broward County, Florida, LESS that portion conveyed to the State of Florida Department of Transportation by the Warranty Deed recorded in Official Records Book 33601, Page 1736 of the Public Records of Broward County, Florida.

Parcel 2

Non-exclusive easement for ingress and egress for the benefit of Parcel 1 above created by, and more particularly described in Exhibit C of the Mutual Ingress and Egress Easement between First Baptist Church of Coconut Creek and Leder Hillsboro Company, Ltd. recorded in Official Records Book 32117, Page 1578, less and except that portion conveyed to the State of Florida Department of Transportation by the Warranty Deed recorded in Official Records Book 33445, Page 162, all of the Public Records of Broward County, Florida.

Parcel 3

Non-exclusive easement for ingress and egress for the benefit of Parcel 1 above created by, and more particularly described in Exhibit B of the Declaration of Restrictive Covenants for Private Paved Roadways and Access by Leder Hillsboro, Ltd. and New Life Community Church of Broward County, Inc. recorded in Official Records Book 33516, Page 122 of the Public Records of Broward County, Florida, less and except that portion lying within said Parcel 1.

Said lands lying in Broward County, Florida and containing 126,976 square feet (2.9150 acres) more or less.

CERTIFICATION:

To: Congress Statesville, LLC, a North Carolina liability company, Stearns Weaver Miller Weissler Alhadeff & Sitterson, P.A., Chicago Title Insurance Company, The Vine International Ministries, Inc., a Florida not-for-profit corporation, 4161 Hillsboro, LLC, a Florida limited liability company.

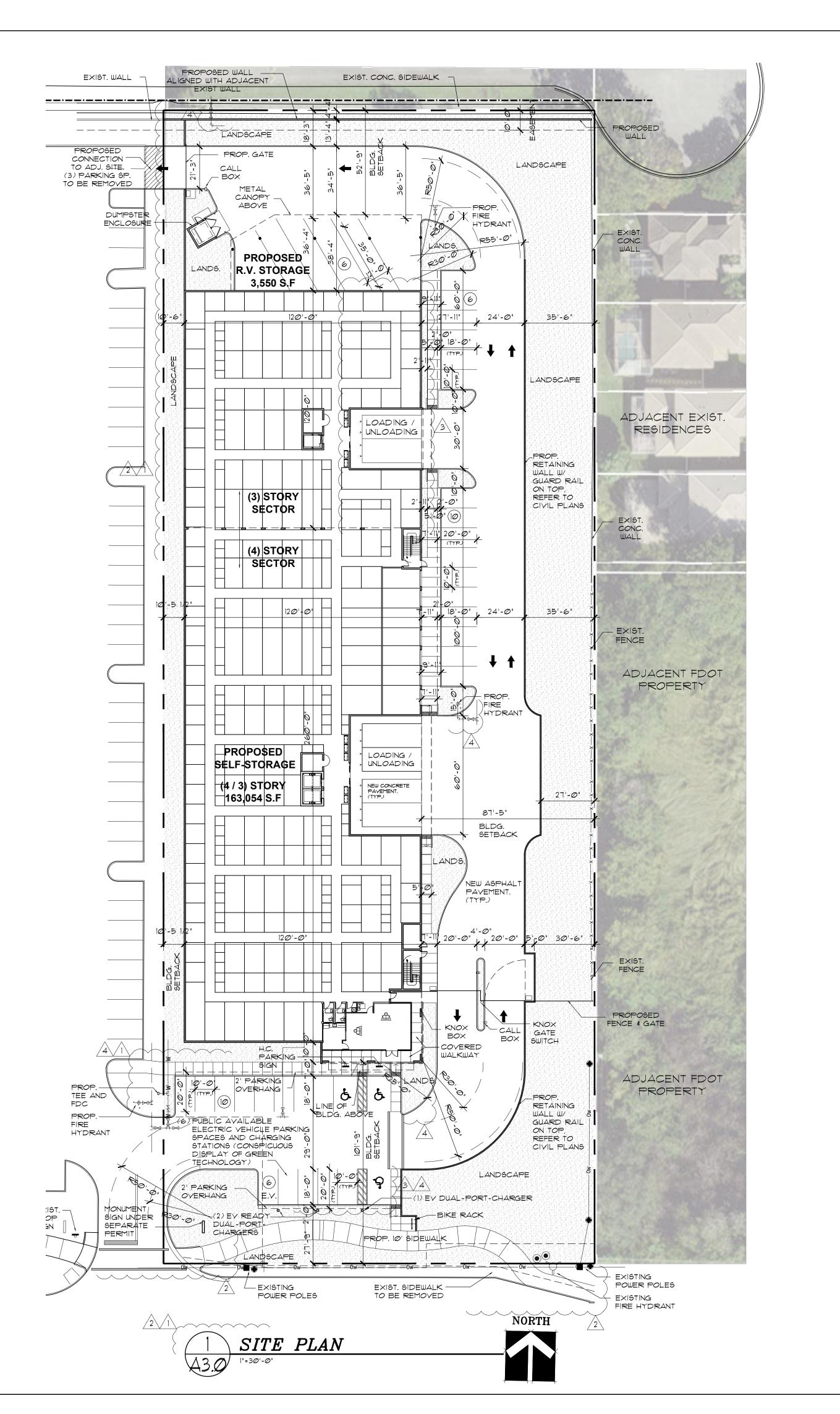
I HEREBY CERTIFY that the attached Boundary and Topographic Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5J—17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

JOHN T. DOOGAN, P.L.S. Florida Registration No. 4409 AVIROM & ASSOCIATES, INC. L.B. No. 3300



REVISIONS	DATE	F.B. / PG.	ВУ	CK'D	CK'D REVISIONS	DATE	F.B. / PG.	ВУ	충
OFFSITE TOPO PER ENGINEER	07/05/2019	1954/71	W.R.E.	J.T.D.					
ADD BUILDING SQUARE FEET	03/13/2020		arc						
ADD TOPO AND WALL LOCATION	09/30/2021	21/1702	OTT						
DELETE VACATED EASEMENTS (INST 116973356)	02/16/2022		arc						

JOB #: 11186





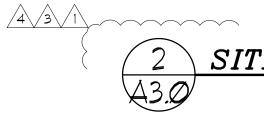






SITE DATA							
DESCRIPTION	ACRES	S.F. AREA	% COVERAGE				
GROSS SITE AREA	2.915	126,976 S.F.	100 %				
PROPOSED IMPERVIOUS			70.1 %				
SIDEWALKS		6,377 S.F.	4.9 %				
BUILDING		42,364 S.F.	33.4 %				
VEHICULAR	40,415 S.F.	31.8 %					
PROPOSED PERVIOUS			29.9 %				
LANDSCAPE OPEN SPAC	37,820 S.F.	29.9 %					
CURRENT ZONING: CF							
FLUM: L-3							
PROPOSED USE:		SELF-SERVICE S	TORAGE				
DEVELOPMENT STANDARDS		ALLOWED	PROVIDED				
FAR - TOTAL BUILDING AREA / C	PER PCD	1.22					
MAX. BUILDING COVERAGE	40%	36.6%					
HEIGHT OF BUILDING (MEASURED	36'	53'					
MIN. OPEN SPACE	20%	29.9%					
MIN. DISTANCE BETWEEN BLDGS.	10'	10'					
SETBACKS		REQUIRED	PROPOSED				
ABUTTING THE ROAD		25'-Ø"	101'-9"				
NEXT TO THE PCD BOUNDARY (1	NO PARKING)	25'-Ø"	10'-6"				
PARKNG RATES AND REQUIREME	INTE PCD						
	1 SPACE /5,000		32.6				
TOTAL SPACES REQUIRED:	101 ACL 73,000		33				
PARKING PROVIDED							
REGULAR PARKING (10'-0" X 18		NG)	3Ø SPACES				
HANDICAPPED PARKING (12'-0"			2 SPACES				
LOADING							
LOADING 6 SPACES TOTAL PARKING SPACES PROVIDED: 38 SPACES							
COVERED PARKING	· ·		6 SPACES				
ELECTRIC VEHICLE PARKING	(5 REGULAR +	I HANDICAPPED S	MACE/ 6 SMACES				
ELECTRIC VEHICLE PARKING 3 CHARGING PEDESTALS							

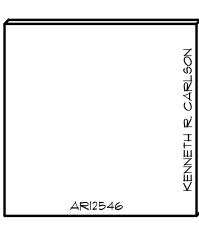
BUILDING DATA						
			_			
GROUND FLOOR			45,914	S.F.		
	OFFICE:	978 S.F.				
(STORAGE:	41,386 S.F.				
COVERED RV S	STORAGE:	3,550 S.F.				
SECOND FLOOR	STOR	AGE:	42,870	S.F.		
THIRD FLOOR	STOR	AGE:	46,110	S.F.		
FOURTH FLOOR	STOR	AGE:	31,710	S.F.		
			•			
TOTAL GROSS AR	EΑ		166,604	S.F.		
NUMBER OF STORA	AGE UNITS	PROP.	1,300			



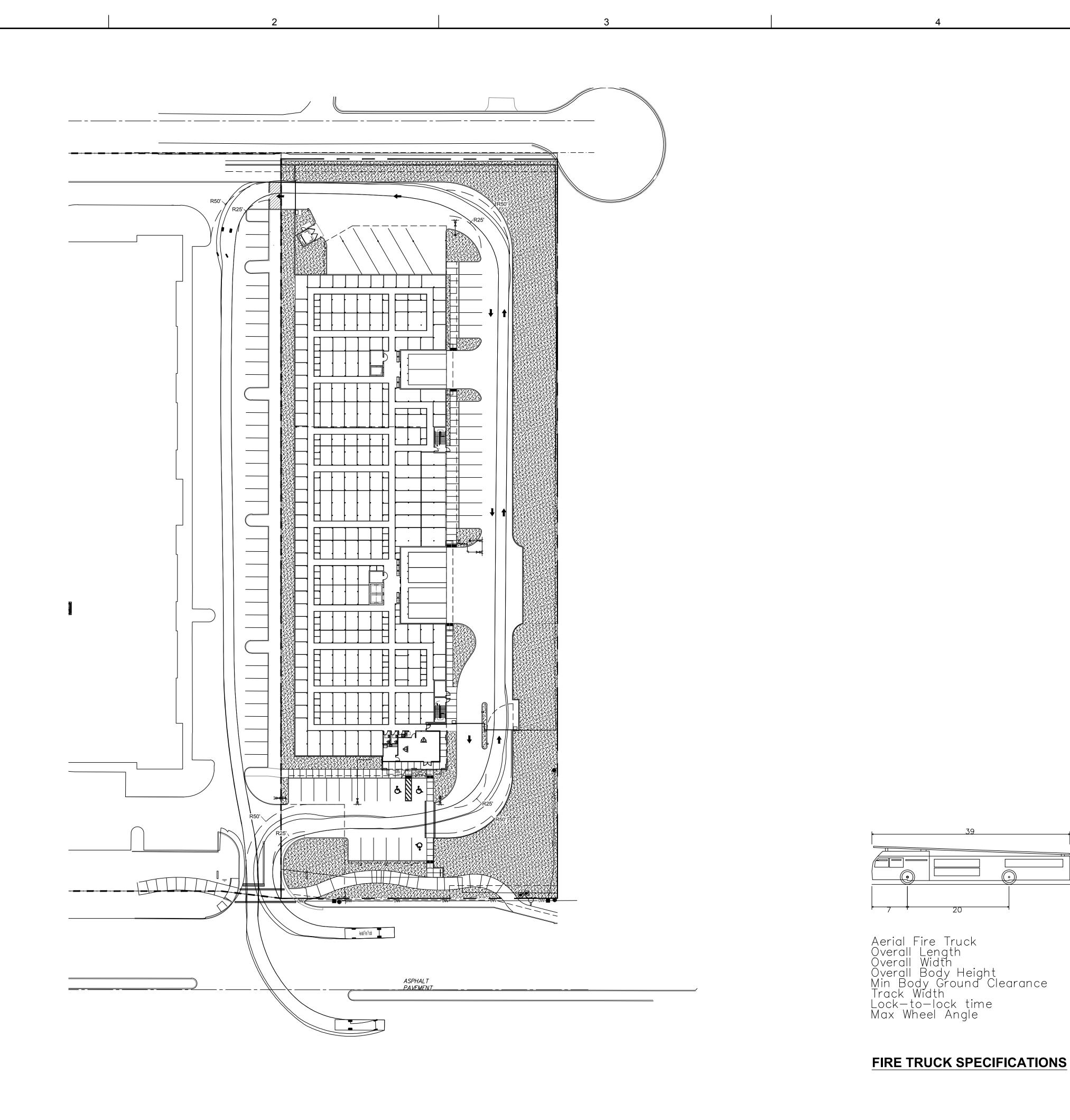
SITE & BUILDING DATA

STORAGE HILLSBORO WEST 4161 W

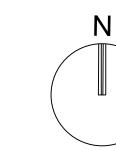
ARCHITECT,



PAGE



D



GRAPHIC SCALE

40

SCALE: 1" = 40 ' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

Corporate Office 301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643 (954) 788-3400

> Miami-Dade County 2160 NW 82 Avenue Doral, Forida 33122

Palm Beach County 120 N Federal Highway, Suite 208 Lake Worth, Florida 33460

> Orange County 2948 E Livingston Street Orlando, Florida 32803

State of Florida Certificate of Authorization Number - 7928

BID / CONTRACT NO. :

REVISIONS

NO. DESCRIPTION DATE

PRELIMINARY PLAN

NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

LEDER 4161 HILLSBORO STORAGE

SCALE: AS NOTED DATE ISSUED: 09/21/2021 DRAWN BY: DESIGNED BY: CHECKED BY:

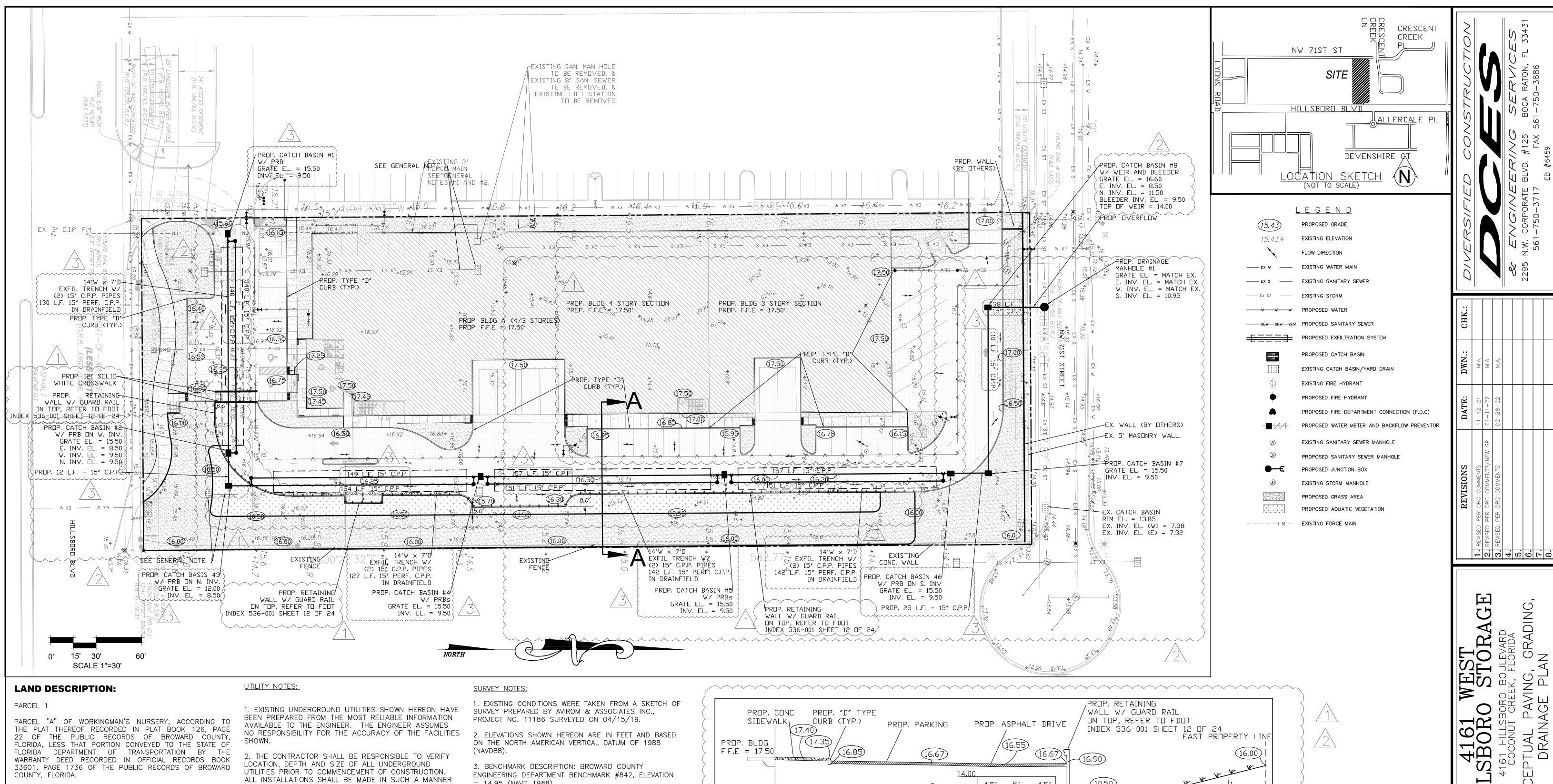
SHEET TITLE

FIRE ACCESS PLAN

SHEET NUMBER

FA-101

PROJECT NO. 09675.01



PARCEL 2

NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT C OF THE MUTUAL INGRESS AND EGRESS EASEMENT BETWEEN FIRST BAPTIST CHURCH OF COCONUT CREEK AND LEDER HILLSBORO COMPANY, LTD. RECORDED IN OFFICIAL RECORDS BOOK 32117, PAGE 1578, LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 33445, PAGE 162, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3

NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT B OF THE DECLARATION OF RESTRICTIVE COVENANTS FOR PRIVATE PAVED ROADWAYS AND ACCESS BY LEDER HILLSBORO, LTD. AND NEW LIFE COMMUNITY CHURCH OF BROWARD COUNTY, INC. RECORDED IN OFFICIAL RECORDS BOOK 33516, PAGE 122 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION LYING WITHIN SAID PARCEL 1.

SAID LANDS LYING IN BROWARD COUNTY, FLORIDA AND CONTAINING 126,976 SQUARE FEET (2.9150 ACRES) MORE OR LESS.

AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE OR ROADWAY CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO ADDRESS THE CONFLICT.

3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE (TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.

4. THE CONTRACTOR SHALL MAINTAIN AND ADJUST ALI EXISTING MANHOLE COVERS, HANDHOLE BOXES, METER BOXES AND VALVE BOXES TO FINISHED GRADE AS REQUIRED.

5. EXISTING WATER AND SEWER SERVICES NOT UTILIZED SHALL BE CUT & CAPPED AT THE MAIN.

= 14.95 (NAVD 1988).

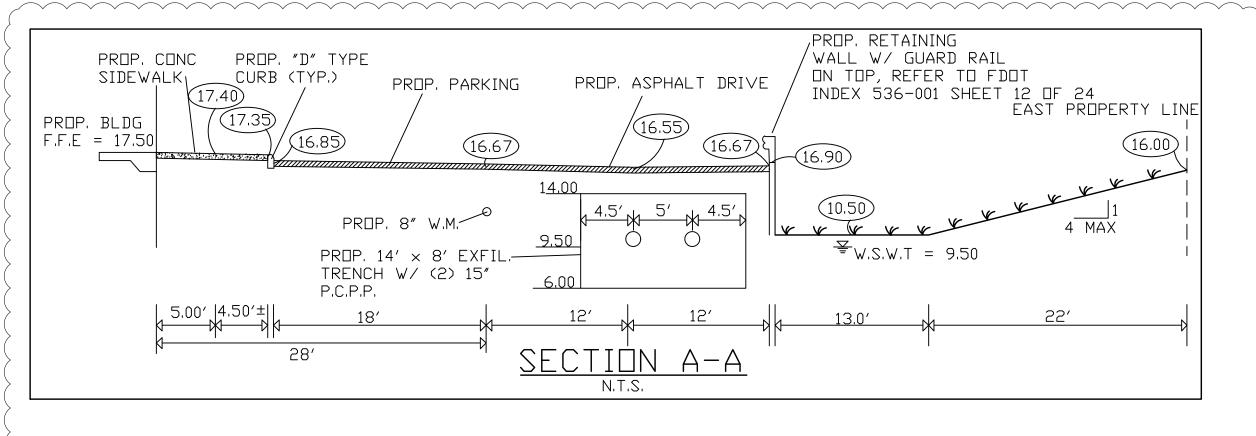
4. THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE X, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12011C0158H, COMMUNITY PANEL NUMBER 120031 0158 H, DATED 08/18/2014.

SITE DATA: ROOF AREA 42,356 S.F. (0.972 AC) GREEN/PERVIOUS AREA 37,817 S.F. (0.868 AC) 46.830 S.F. (1.075 AC) **IMPERVIOUS AREA** TOTAL AREA 127,003 S.F. (2.915 AC) IMPERVIOUS AREA 89,186 S.F. (70.22%)PERVIOUS AREA 37,817 S.F. (29.78%)

GENERAL NOTES:

1. ALL EXISTING DRAINAGE IMPROVEMENTS ONSITE ARE TO BE REMOVED.

2. ALL C.P.P. PIPE LOCATED IN DRAINFIELD/EXFILTRATION TRENCH IS TO BE PERFORATED. PIPE LOCATED FROM THE EDGE OF THE CATCH BASIN/JUNCTION BOX TO THE EDGE OF THE EXFILTRATION TRENCH SHALL BE SOLID PIPE



Neal B. Janov, State of Florida, Professional Engineer, License No. 21998. This item has been digitally signed and sealed by Neal B. Janov, P.E. on June 15, 2022 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic

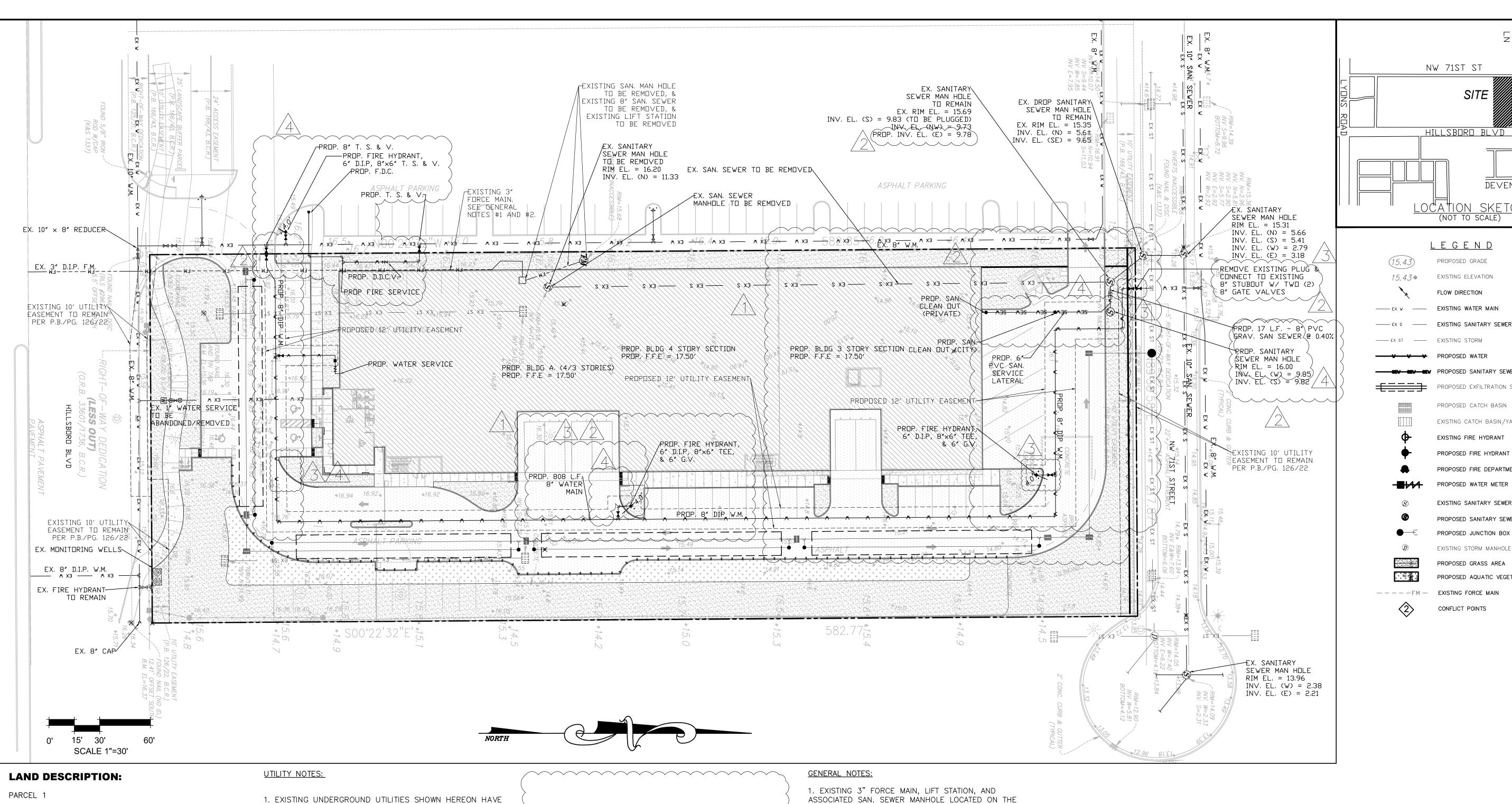
48 HOURS BEFORE DIGGING BROWARD . PALM BEACH . INDIAN RIVER . ST. LUCIE • MARTIN COUNTIES 1-800-432-4770 FOR UNDERGROUND UTILITIES NOTIFICATION AND LOCATION

DISCLAIMER: INFORMATION SHOWN ON THIS PLAN IS A GRAPHIC REPRESENTATION ONLY AND IS NOT TO BE USED IN LIEU OF A HORIZONTAL CONTROL PLAN.

NEAL B. JANOV #21998

DCES **SCALE:** 1"=30' **DATE:** 09-24-2019 DWN. BY: M.A. CHK. BY: N.B.J. JOB NO.: SHEET: C-1 of 2

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PARCEL "A" OF WORKINGMAN'S NURSERY, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 126, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 33601, PAGE 1736 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2

NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT C OF THE MUTUAL INGRESS AND EGRESS EASEMENT BETWEEN FIRST BAPTIST CHURCH OF COCONUT CREEK AND LEDER HILLSBORO COMPANY, LTD. RECORDED IN OFFICIAL RECORDS BOOK 32117, PAGE 1578, LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 33445, PAGE 162, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3

NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT B OF THE DECLARATION OF RESTRICTIVE COVENANTS FOR PRIVATE PAVED ROADWAYS AND ACCESS BY LEDER HILLSBORO, LTD. AND NEW LIFE COMMUNITY CHURCH OF BROWARD COUNTY, INC. RECORDED IN OFFICIAL RECORDS BOOK 33516, PAGE 122 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION LYING WITHIN SAID PARCEL 1.

SAID LANDS LYING IN BROWARD COUNTY, FLORIDA AND CONTAINING 126,976 SQUARE FEET (2.9150 ACRES) MORE OR LESS.

BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES

2. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE OR ROADWAY CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO ADDRESS THE CONFLICT.

3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.

4. THE CONTRACTOR SHALL MAINTAIN AND ADJUST ALL EXISTING MANHOLE COVERS, HANDHOLE BOXES, METER BOXES AND VALVE BOXES TO FINISHED GRADE AS

5. EXISTING WATER AND SEWER SERVICES NOT UTILIZED SHALL BE CUT & CAPPED AT THE MAIN.

42,356 S.F. (0.972 AC)

46.830 S.F. (1.075 AC)

127,003 S.F. (2.915 AC)

37,817 S.F. (29.78%)

89,186 S.F.

(0.868 AC)

(70.22%)

SITE DATA:

TOTAL AREA

<u>IMPERVIOUS AREA</u>

IMPERVIOUS AREA

PERVIOUS AREA

GREEN/PERVIOUS AREA 37,817 S.F.

ROOF AREA

PROPERTY IS TO BE REMOVED.

2. EXISTING 3" FORCE MAIN LOCATED IN THE RIGHT-OF-WAY IS TO BE PRESSURE GROUTED.

Neal B. Janov, State of Florida, Professional Engineer, License No. 21998. This item has been digitally signed and sealed by Neal B. Janov, P.E. on June 15, 2022 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

48 HOURS BEFORE DIGGING BROWARD • PALM BEACH • INDIAN RIVER • ST. LUCIE • MARTIN COUNTIES

1-800-432-4770 FOR UNDERGROUND UTILITIES NOTIFICATION AND LOCATION

INFORMATION SHOWN ON THIS PLAN IS A GRAPHIC REPRESENTATION ONLY AND IS NOT TO BE USED IN LIEU OF A HORIZONTAL CONTROL PLAN.

NEAL B. JANOV #21998

PROPOSED WATER METER AND BACKFLOW PREVENTOR 1 2 C 4 C 9 V

CRESCENT CREEK

ALLERDALE PL

DEVENSHIRE GT

NW 71ST ST

SITE

HILLSBORD BLVD

<u>L E G E N D</u>

PROPOSED GRADE

FLOW DIRECTION

15.43 ⊕ EXISTING ELEVATION

PROPOSED WATER

PROPOSED SANITARY SEWER

PROPOSED EXFILTRATION SYSTEM

EXISTING CATCH BASIN/YARD DRAIN

EXISTING SANITARY SEWER MANHOLE

PROPOSED SANITARY SEWER MANHOLE

PROPOSED FIRE DEPARTMENT CONNECTION (F.D.C)

PROPOSED CATCH BASIN

EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

PROPOSED JUNCTION BOX

EXISTING STORM MANHOLE

PROPOSED GRASS AREA

CONFLICT POINTS

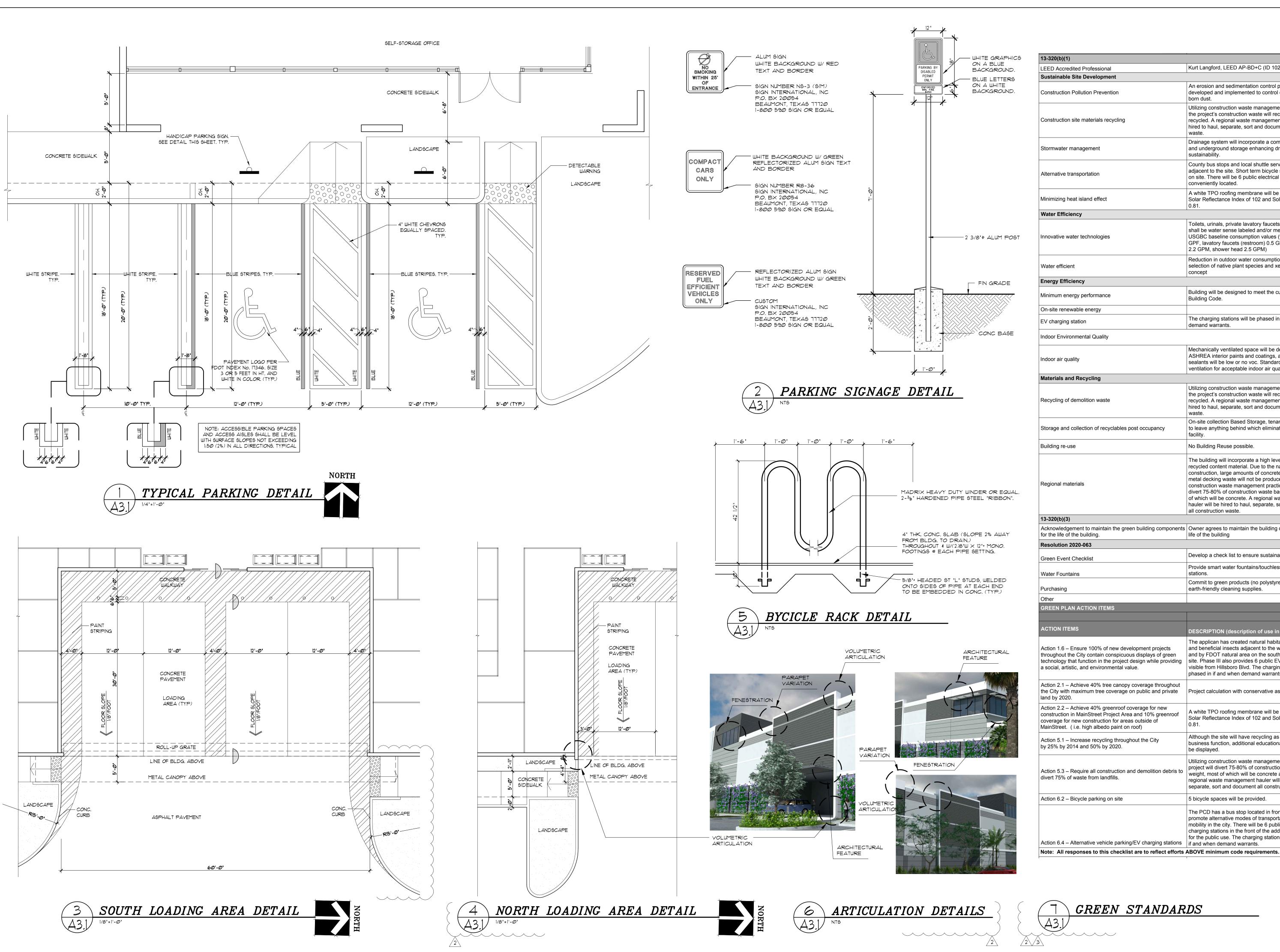
PROPOSED AQUATIC VEGETATION

DCES **SCALE:** 1"=30' **DATE:** 09-24-2019 DWN. BY: M.A. CHK. BY: N.B.J.

WEST STOR/ BORO BOULEVA CREEK, FLORI

JOB NO.: 2373 - 19

SHEET: C-2 of 2

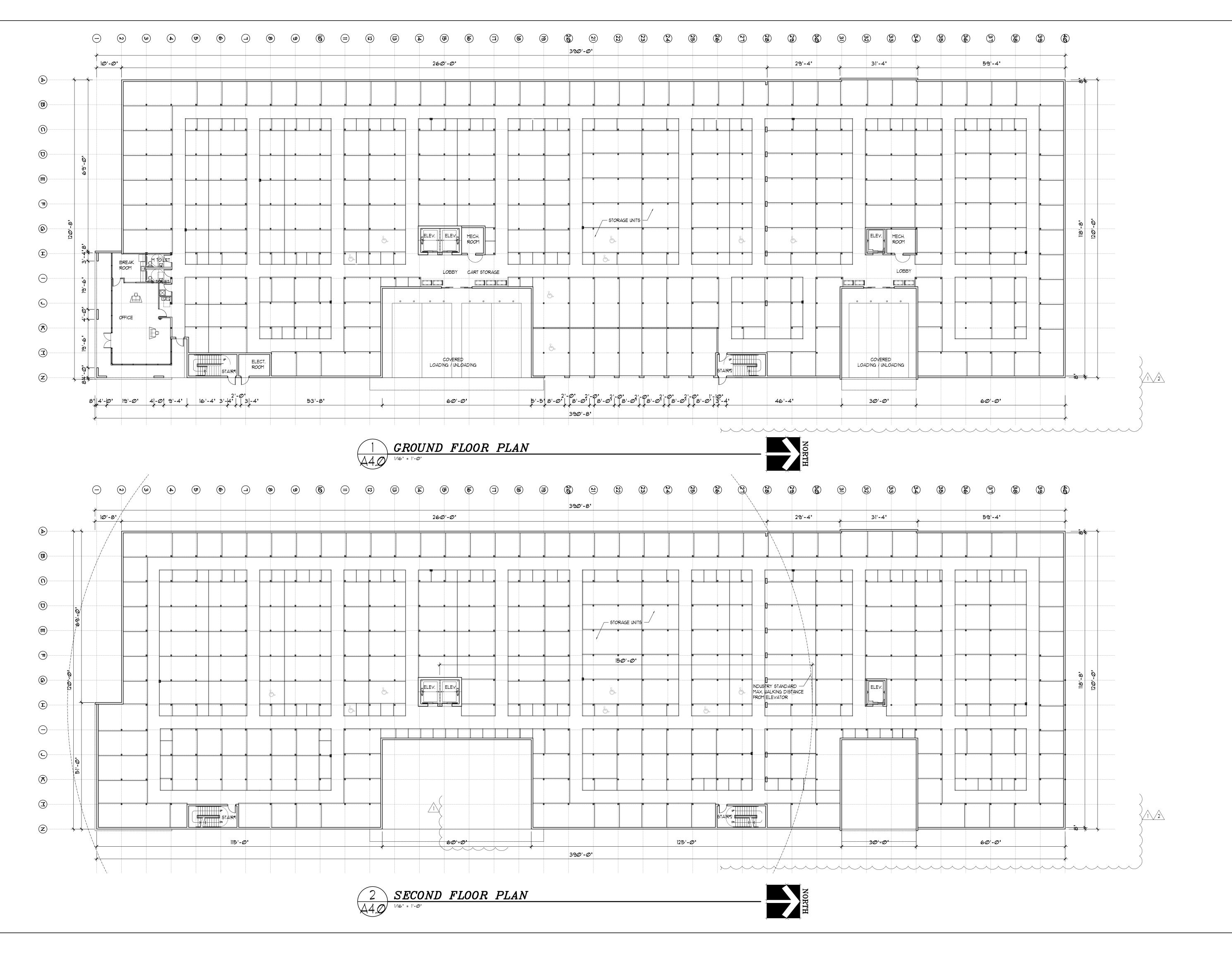


13-320(b)(1)	
LEED Accredited Professional	Kurt Langford, LEED AP-BD+C (ID 10200727)
Sustainable Site Development Construction Pollution Prevention	An erosion and sedimentation control plan will be developed and implemented to control erosion and air
Construction site materials recycling	born dust. Utilizing construction waste management practices 75% of the project's construction waste will recovered, reused and recycled. A regional waste management hauler shall be hired to haul, separate, sort and document all construction waste.
Stormwater management	Drainage system will incorporate a combination of swale and underground storage enhancing drainage sustainability.
Alternative transportation	County bus stops and local shuttle service are located adjacent to the site. Short term bicycle storage is provided on site. There will be 6 public electrical charging stations conveniently located.
Minimizing heat island effect	A white TPO roofing membrane will be installed with a Solar Reflectance Index of 102 and Solar Reflectance of 0.81.
Water Efficiency	
Innovative water technologies	Toilets, urinals, private lavatory faucets and shower heads shall be water sense labeled and/or meet/exceed the USGBC baseline consumption values (water closet 1.6 GPF, lavatory faucets (restroom) 0.5 GPM, kitchen faucet 2.2 GPM, shower head 2.5 GPM)
Water efficient	Reduction in outdoor water consumption through the selection of native plant species and xeriscaping design concept
Energy Efficiency	Duildin muill be deele 11
Minimum energy performance On-site renewable energy	Building will be designed to meet the current Florida Building Code.
EV charging station	The charging stations will be phased in if and when demand warrants.
Indoor Environmental Quality	demand wantante.
Indoor air quality	Mechanically ventilated space will be designed to meet ASHREA interior paints and coatings, adhesives and sealants will be low or no voc. Standards 62.1-2004 - ventilation for acceptable indoor air quality
Materials and Recycling	Utilizing construction waste management practices 75% of
Recycling of demolition waste	the project's construction waste will recovered, reused and recycled. A regional waste management hauler shall be hired to haul, separate, sort and document all construction waste.
Storage and collection of recyclables post occupancy	On-site collection Based Storage, tenants are not allowed to leave anything behind which eliminates recycling at facility.
Building re-use	No Building Reuse possible.
Regional materials 13-320(b)(3)	The building will incorporate a high level of regional and recycled content material. Due to the nature of tilt up construction, large amounts of concrete, steel rebar and metal decking waste will not be produced. Utilizing construction waste management practices the project will divert 75-80% of construction waste based on weight most of which will be concrete. A regional waste management hauler will be hired to haul, separate, sort and document all construction waste.
Acknowledgement to maintain the green building components for the life of the building.	Owner agrees to maintain the building components for the life of the building
Resolution 2020-063	
Green Event Checklist Water Fountains	Develop a check list to ensure sustainable event planning. Provide smart water fountains/touchless bottle refill stations.
Purchasing	Commit to green products (no polystyrene) and earth-friendly cleaning supplies.
Other	cartif mondiy dicuring supplies.
GREEN PLAN ACTION ITEMS	
ACTION ITEMS	DESCRIPTION (description of use in development)
Action 1.6 – Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic, and environmental value.	The applican has created natural habitat for plants, birds and beneficial insects adjacent to the walkway on Hillsboro and by FDOT natural area on the southeast front of the site. Phase III also provides 6 public EV charging stations visible from Hillsboro Blvd. The charging stations will be phased in if and when demand warrants.
Action 2.1 – Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public and private land by 2020.	Project calculation with conservative assumptions is 36%
Action 2.2 – Achieve 40% greenroof coverage for new construction in MainStreet Project Area and 10% greenroof coverage for new construction for areas outside of MainStreet. (i.e. high albedo paint on roof)	A white TPO roofing membrane will be installed with a Solar Reflectance Index of 102 and Solar Reflectance of 0.81.
Action 5.1 – Increase recycling throughout the City by 25% by 2014 and 50% by 2020.	Although the site will have recycling as part of the business function, additional educational information will be displayed.
Action 5.3 – Require all construction and demolition debris to divert 75% of waste from landfills.	Utilizing construction waste management practices the project will divert 75-80% of construction wasted based on weight, most of which will be concrete and metal. A regional waste management hauler will be hired to haul, separate, sort and document all construction waste.
Action 6.2 – Bicycle parking on site	5 bicycle spaces will be provided. The PCD has a bus stop located in front of the site, to promote alternative modes of transportation and increase
Action 6.4 – Alternative vehicle parking/EV charging stations Note: All responses to this checklist are to reflect efforts	mobility in the city. There will be 6 public electrical vehicle charging stations in the front of the additional site visible for the public use. The charging stations will be phased in if and when demand warrants.

PAGE

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WEST ONUT



4161 WEST HILLSBORO STORAGE

4161 WEST HILLSBORO

COCONUT CREEK, BROWARD, FL.

KENNETH R. CARLSON - ARCHITECT, P.A.

1166 W. NEWPORT CENTER DR, SUITE #311

DEERFIELD BEACH, FLORIDA 33442

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*CO®*187 - 9929

Revisions:

||/|2/2|
|| DRC COMMENTS
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|| DRC COMMENTS
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CHECKED BY: FS

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DATE: Ø8/25/2021

6CALE: AS NOTED

PROJECT * 21047

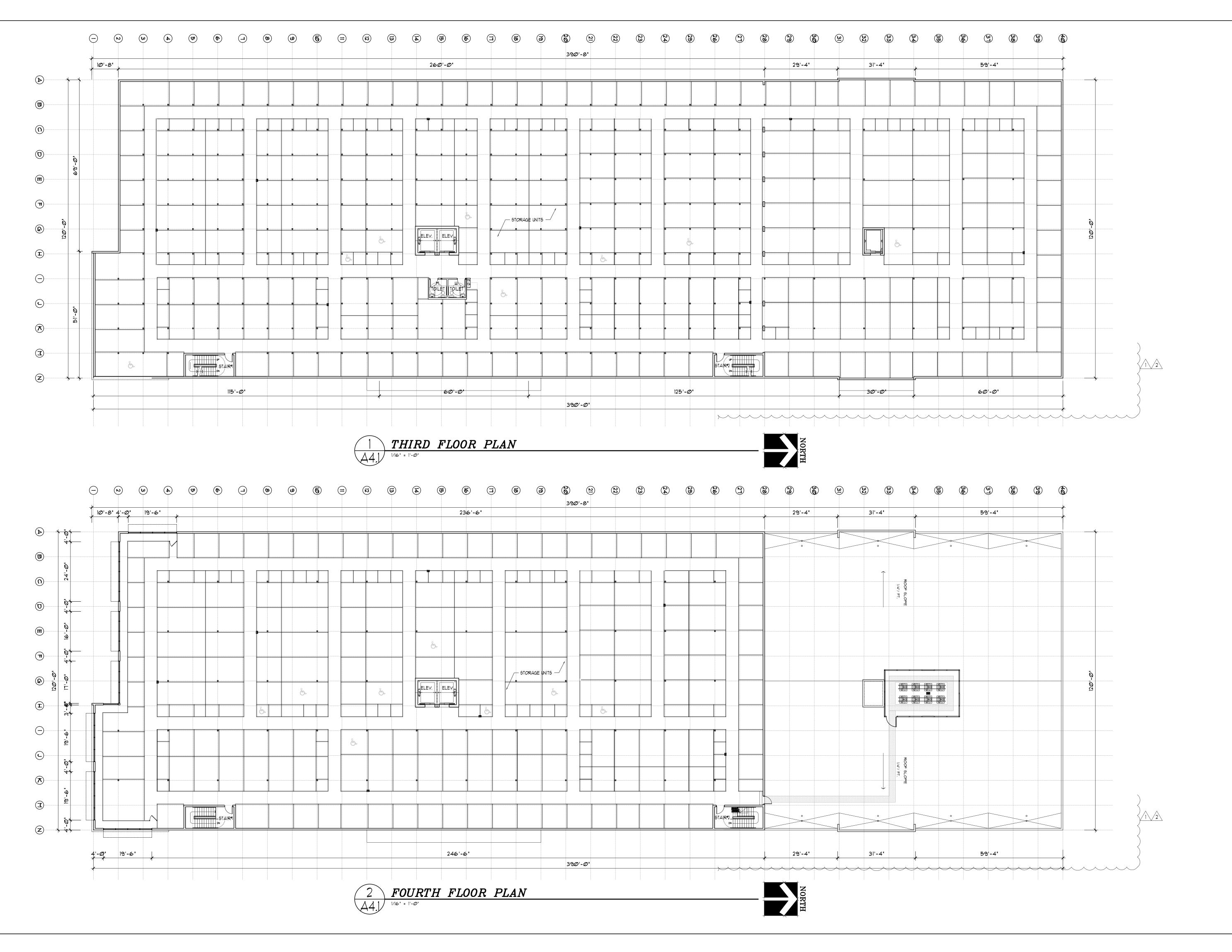
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4161 WEST HILLSBORO STORAGE

4161 WEST HILLSBORO

COCONUT CREEK, BROWARD, FL.

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Revisions:

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	DRC COMMENTS	
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DATE: Ø8/25/2021

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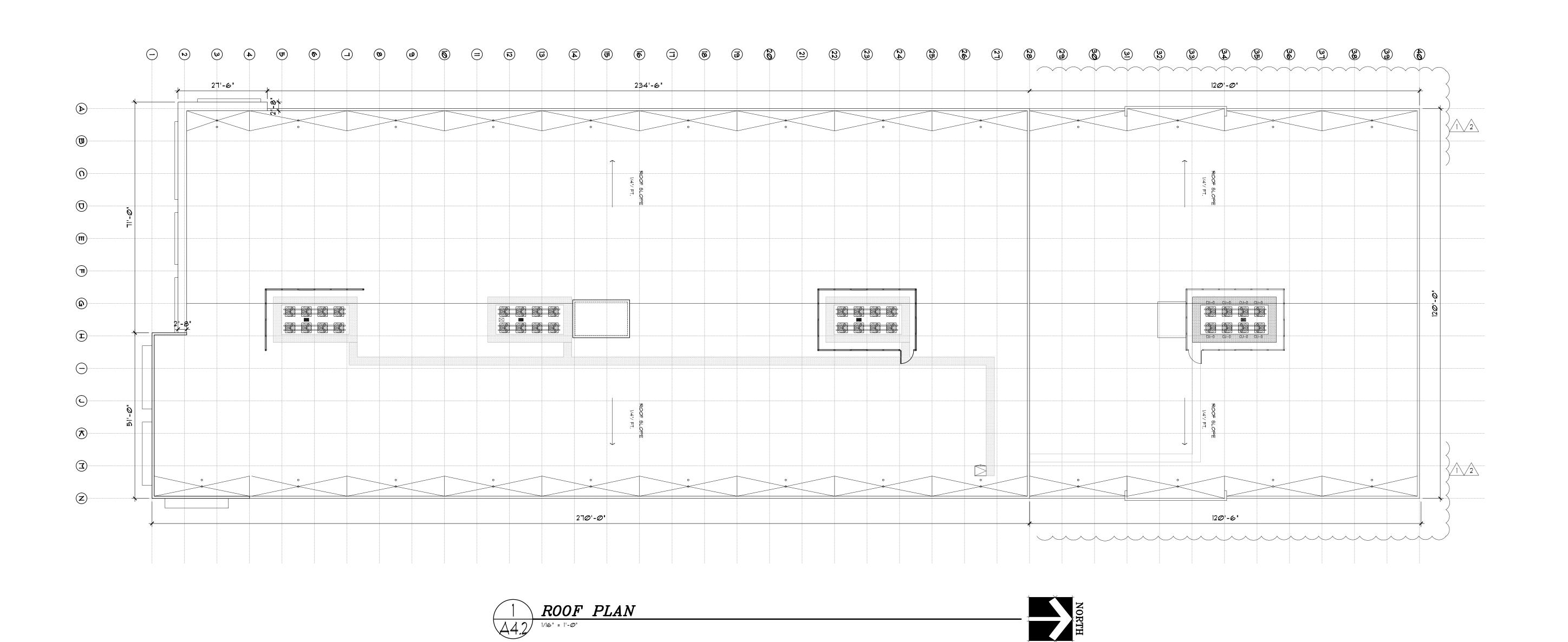
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4161 WEST HILLSBORO STORAGE

4161 WEST HILLSBORO

COCONUT CREEK, BROWARD, FL.

P.A.

ARCHITECT,

R. CARLSON

<u>#</u>

WPORT CENTER DR., 8.
D BEACH, FLORIDA 3
421 - 8848

CHECKED BY: KRC

DATE: 08/25/2021

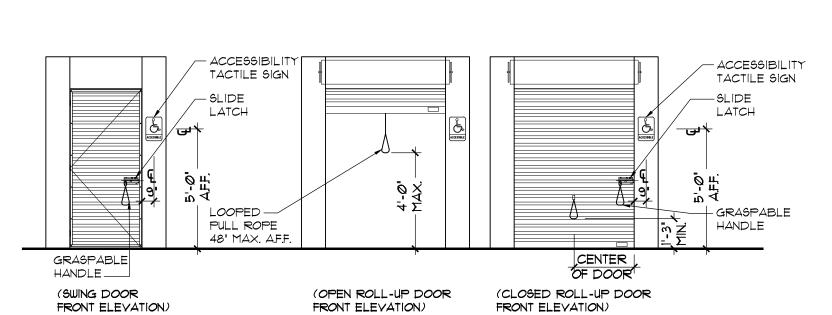
SCALE: AS NOTED

PROJECT *: 21047

CAD DUG FILE:

NO6-1240

A4.2



TYPICAL ITEMS REQUIRED FOR A.D.A SWING DOOR UNIT TYPICAL ITEMS REQUIRED FOR A.D.A ROLL-UP UNIT 8" NYLON STRAP WITH 'S' HOOK FOR LATCH SLIDE.
 8" NYLON STRAP WITH 'S' HOOK FOR

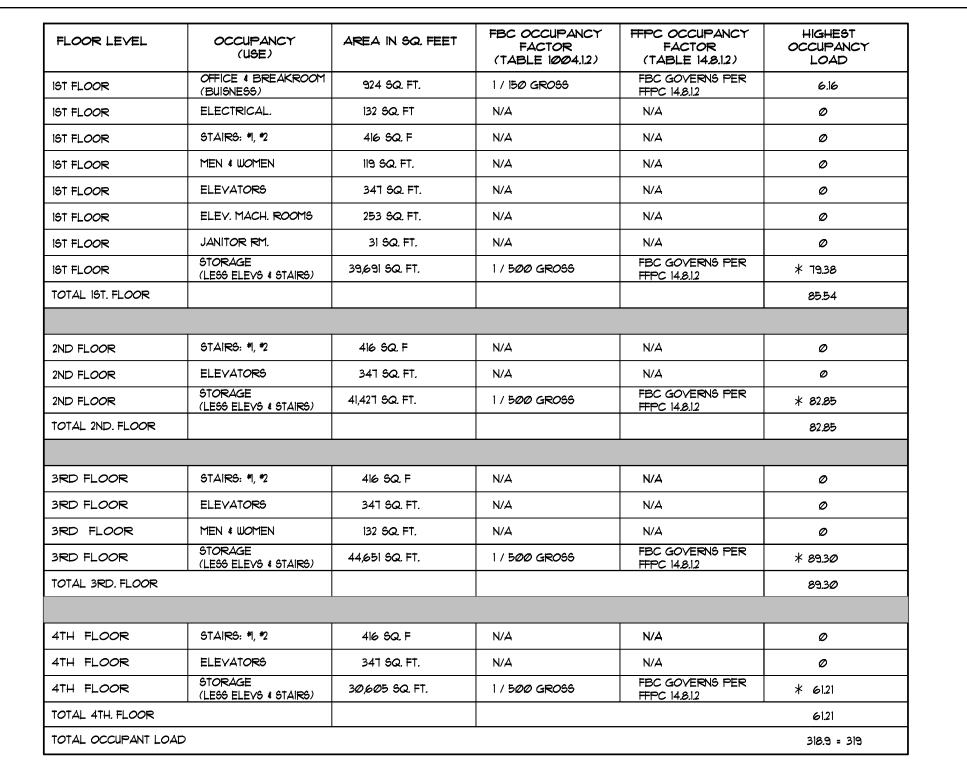
 ACCESSIBILITY SIGN. ALL DOORS SHALL REQUIRE A MAXIMUM OF 5 POUNDS OF FORCE TO OPEN AND CLOSE. SIGN HEIGHT IS 48" MINIMUM TO 60" MAXIMUM,

REFERENCE ADA CODE CHAPTER 2, SECTION 103.

LATCH SLIDE. 12" NYLON STRAP FOR GRASPABLE HANDLE ON FRONT OF DOOR.

48" HANGING STRAP FOR GRASPABLE PULL ROPE.

 ATTACHMENT HARDWARE. ACCESSIBILITY SIGN.



🛮 🖈 TOTAL GROGG FLOOR AREA FOR STORAGE USE, INCLUDES: CORRIDORS, DISPLAY AREAS, ELEVATOR LOBBIES, AND ALL STORAGE UNITS LOCATED WITHIN THE FLOOR LEVEL

FIRE EXTINGUISHER NOTE: FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A4.6

KEY LEGEND FIRE EXTINGUISHER (RECESSED) FE______ FIRE EXTINGUISHER (SURFACE) EXIT SIGNAGE

DOOR NOTES:

DOORS IN MEANS OF EGRESS AND THEIR HARDWARE SHALL COMPLY WITH FFPC 5TH EDITION & NFPA 101, CHAPTER 1. REFER TO DOOR SCHEDULE AND DOOR HARDWARE SCHEDULE ON SHEET A12.0.

2. (KB) INDICATES LOCATION OF KNOX BOX 4400 SERIES MOUNTED AT 5'-0" A.F.F. FIELD VERIFY EXACT LOCATIONS WITH FIRE MARSHAL SLIDING GLASS DOOR HAVE BREAK AWAY DOOR LEAFS FOR EGRESS.

STORAGE UNIT NOTES:

A. STORAGE UNITS TO BE JANUS INTERNATIONAL OR APPROVED EQUAL & TO COMPLY WITH ADA ACCESSIBILITY GUIDELINES.

B. AMOUNT OF ACCESSIBLE STORAGE UNITS PER 6th EDITION (2017)

ACCESSIBILITY: -10 UNITS PLUS 2% IF MORE THAN 200 UNITS. -TOTAL NUMBER OF STORAGE UNITS

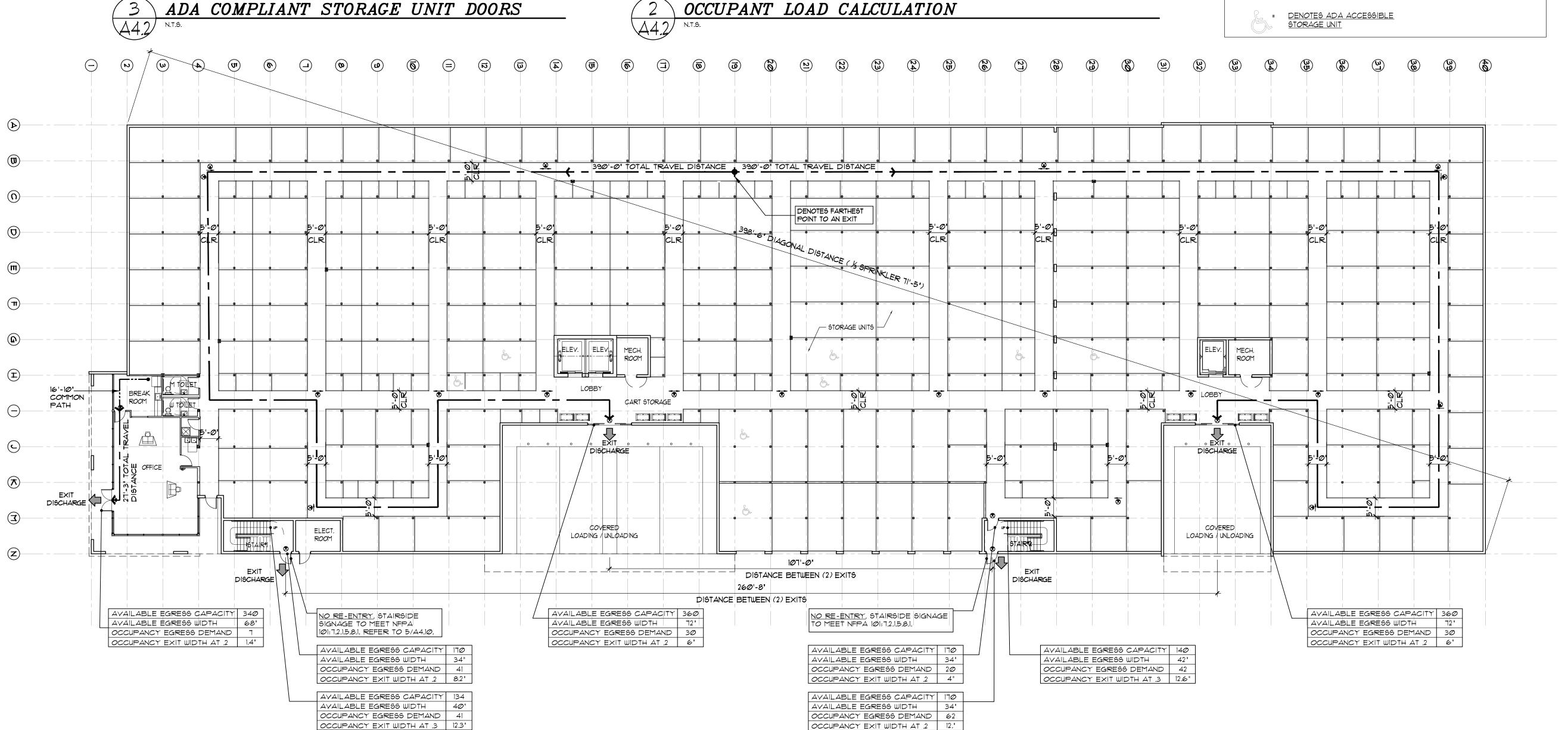
 $1,300 - 200 = 1,100 \times .02 = 22 + 10 = 32$ UNITS REQUIRED: 32 ACCESSIBLE STORAGE UNITS PROVIDED: 32 ACCESSIBLE STORAGE UNITS

GROUND FLOOR: (8) ACCESSIBLE UNITS SECOND FLOOR: (8) ACCESSIBLE UNITS THIRD FLOOR: (8) ACCESSIBLE UNITS FOURTH FLOOR: (8) ACCESSIBLE UNITS

NOTES:

A. ACCESSIBLE STORAGE UNITS TO BE DISPERSED AMONG STORAGE

- UNIT SIZES. SEE FLOOR PLANS. B. EXPOSED STEEL COLUMNS IN STORAGE AREAS SHALL BE
- WRAPPED WITH JANUS PANELS TO 8'-0" A.F.F. C. ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS,
- INCLUDING HARDWARE, PULLS, & SIGNAGE. D. ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A
- MAX. THRESHOLD OF ½" TYP.



OCCUPANCY EXIT WIDTH AT 2

GROUND EGRESS PLAN

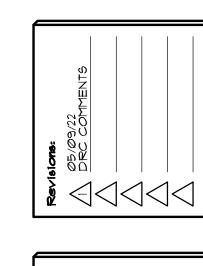


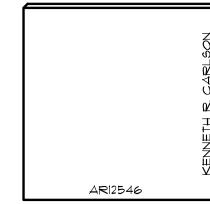
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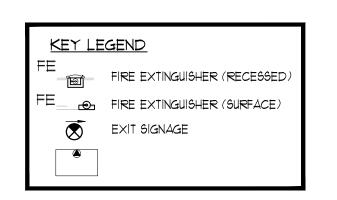
HILLSBORO

4161





PAGE



FIRE EXTINGUISHER NOTE:

FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A4.6

DOOR NOTES:

- I. <u>DOORS IN MEANS OF EGRESS</u> AND THEIR HARDWARE SHALL COMPLY WITH FFPC 5TH EDITION & NFPA 101, CHAPTER 1. REFER TO DOOR SCHEDULE AND DOOR HARDWARE SCHEDULE ON SHEET A12.0.
- (KB) INDICATES LOCATION OF KNOX BOX 4400 SERIES MOUNTED AT 5'-0" AFF. FIELD VERIFY EXACT LOCATIONS WITH FIRE MARSHAL.
 SLIDING GLASS DOOR HAVE BREAK AWAY DOOR LEAFS FOR EGRESS.

STORAGE UNIT NOTES:

- A. STORAGE UNITS TO BE JANUS INTERNATIONAL OR APPROVED EQUAL 4 TO COMPLY WITH ADA ACCESSIBILITY GUIDELINES.
- B. AMOUNT OF ACCESSIBLE STORAGE UNITS PER 6th EDITION (2017) FBC

ACCESSIBILITY: -10 UNITS PLUS 2% IF MORE THAN 200 UNITS. -TOTAL NUMBER OF STORAGE UNITS

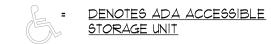
1,300 - 200 =1,100 \times .02 = 22 +10 = 32 UNITS REQUIRED: 32 ACCESSIBLE STORAGE UNITS PROVIDED: 32 ACCESSIBLE STORAGE UNITS

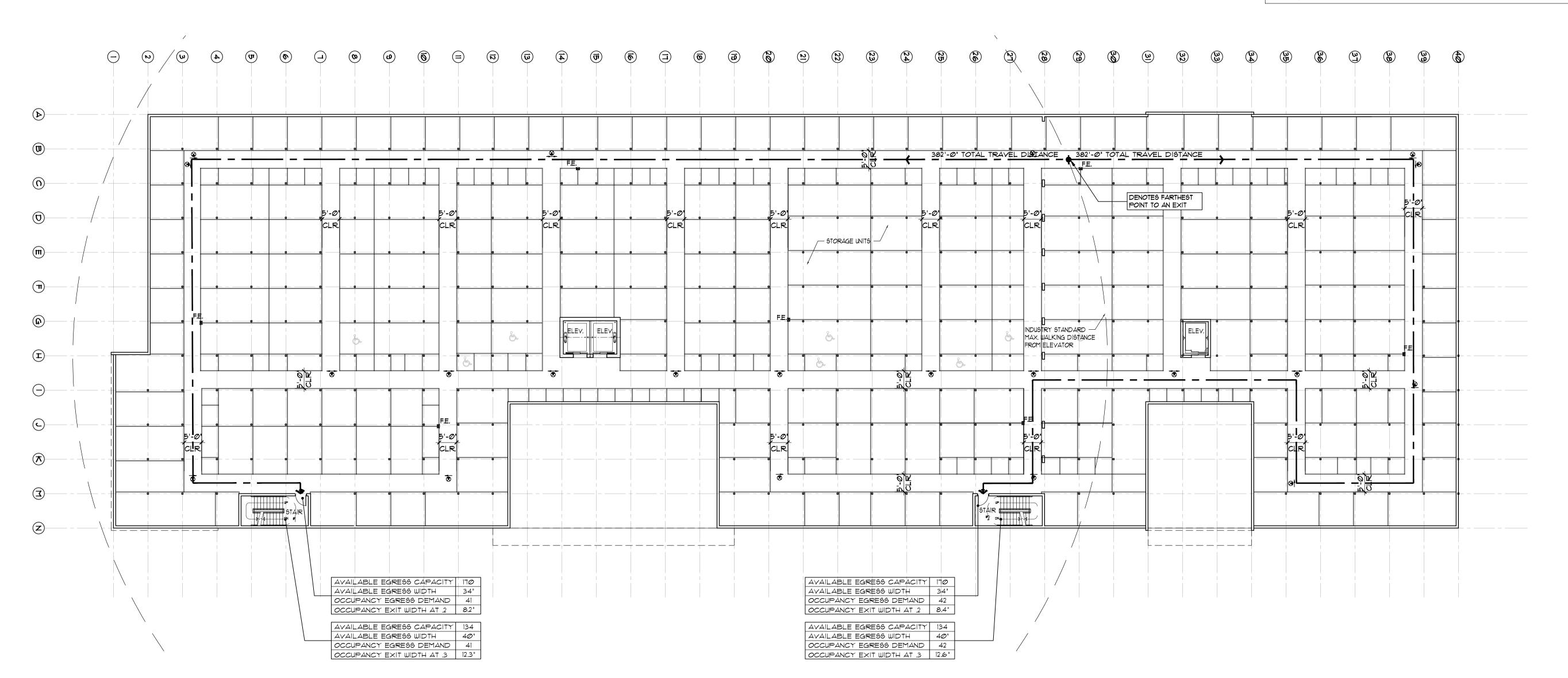
GROUND FLOOR: (8) ACCESSIBLE UNITS
SECOND FLOOR: (8) ACCESSIBLE UNITS
THIRD FLOOR: (8) ACCESSIBLE UNITS
FOURTH FLOOR: (8) ACCESSIBLE UNITS

NOTES

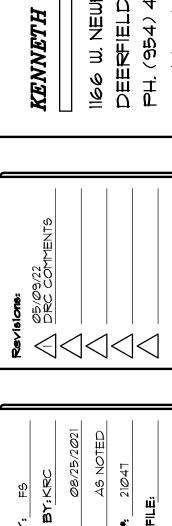
- A. ACCESSIBLE STORAGE UNITS TO BE DISPERSED AMONG STORAGE UNIT SIZES. SEE FLOOR PLANS.
- B. EXPOSED STEEL COLUMNS IN STORAGE AREAS SHALL BE
- WRAPPED WITH JANUS PANELS TO 8'-0" A.F.F. C. ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS,
- INCLUDING HARDWARE, PULLS, & SIGNAGE.

 D. ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A MAX. THRESHOLD OF ½" TYP.









STORAGE

HILLSBORO

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ARCHITECT,

CARLSON

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CENTER I ACH, FLORI 8848

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SHEET OF

A

A

PAGE OF

KEY LEGEND

FE FIRE EXTINGUISHER (RECESSED)

FE SIRE EXTINGUISHER (SURFACE)

EXIT SIGNAGE

FIRE EXTINGUISHER NOTE:

FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A46

DOOR NOTES:

- 1. <u>DOORS IN MEANS OF EGRESS</u> AND THEIR HARDWARE SHALL COMPLY WITH FFPC 5TH EDITION & NFPA 101, CHAPTER 7. REFER TO DOOR SCHEDULE AND DOOR HARDWARE SCHEDULE ON SHEET A12.0.

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- 5'-0" AFF. FIELD VERIFY EXACT LOCATIONS WITH FIRE MARSHAL.
 3. SLIDING GLASS DOOR HAVE BREAK AWAY DOOR LEAFS FOR EGRESS.

STORAGE UNIT NOTES:

- A. STORAGE UNITS TO BE JANUS INTERNATIONAL OR APPROVED EQUAL & TO COMPLY WITH ADA ACCESSIBILITY GUIDELINES.
- B. AMOUNT OF ACCESSIBLE STORAGE UNITS PER 6th EDITION (2017)

ACCESSIBILITY:

-10 UNITS PLUS 2% IF MORE THAN 200 UNITS. -TOTAL NUMBER OF STORAGE UNITS

1,300 - 200 =1,100 \times .02 = 22 +10 = 32 UNITS REQUIRED: 32 ACCESSIBLE STORAGE UNITS

PROVIDED: 32 ACCESSIBLE STORAGE UNITS

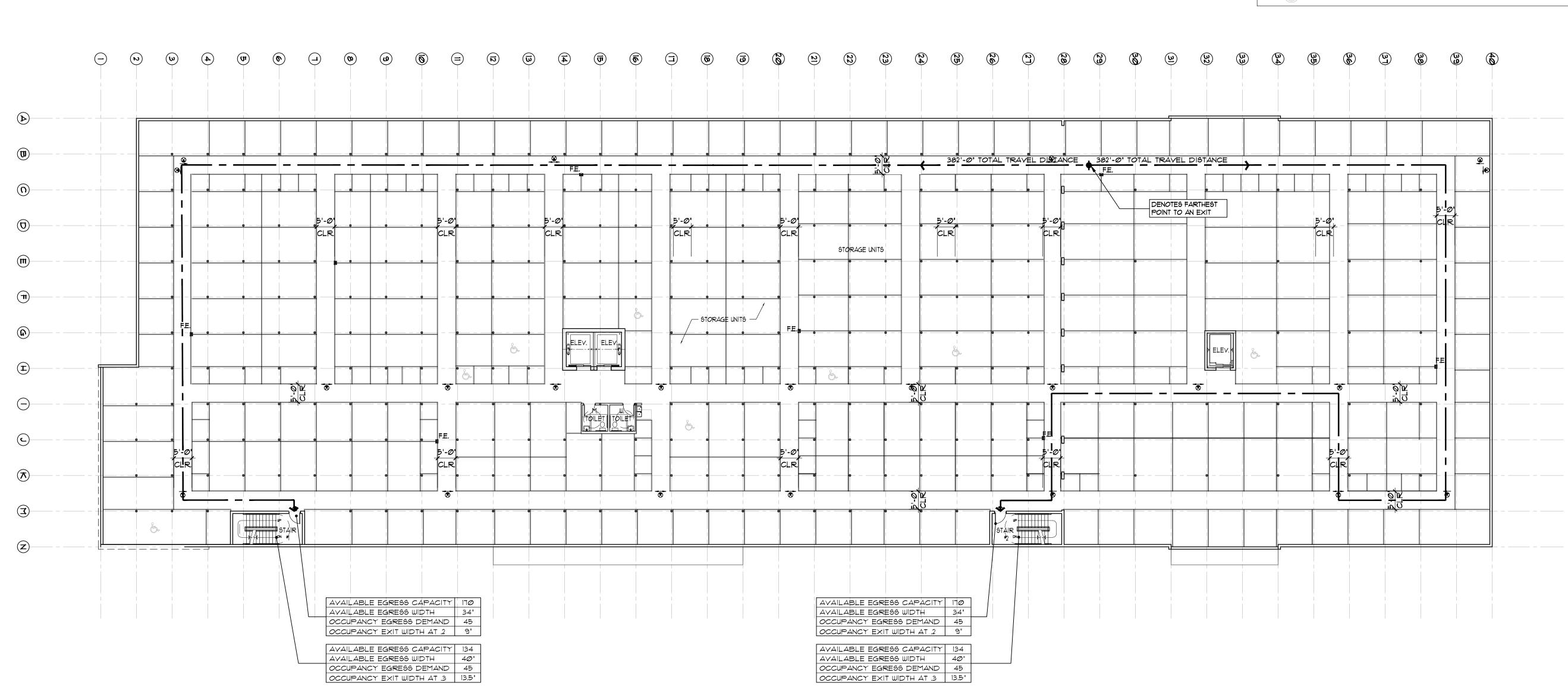
GROUND FLOOR: (8) ACCESSIBLE UNITS

SECOND FLOOR: (8) ACCESSIBLE UNITS
THIRD FLOOR: (8) ACCESSIBLE UNITS
FOURTH FLOOR: (8) ACCESSIBLE UNITS

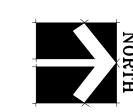
NOTE

- A. ACCESSIBLE STORAGE UNITS TO BE DISPERSED AMONG STORAGE
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- WRAPPED WITH JANUS PANELS TO 8'-0" AFF.
- C. ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS, INCLUDING HARDWARE, PULLS, & SIGNAGE.
- D. ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A MAX. THRESHOLD OF $\frac{1}{2}$ ' TYP.

= DENOTES ADA ACCESSIBLE STORAGE UNIT







4161 WEST HILLSBORO STORAGE

4161 WEST HILLSBORO

COCONUT CREEK, BROWARD, FL.

KENNETH R. CARLSON - ARCHITECT, P.A.

| 166 w. newport center dr, suite #3||

DEERFIELD BEACH, FLORIDA 33442 A,

PH. (954) 421 - 8848 FAX (954) 42

Revisions:

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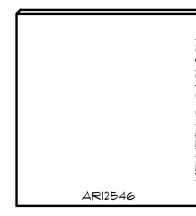
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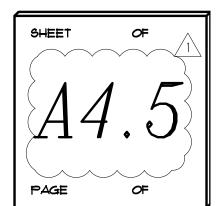
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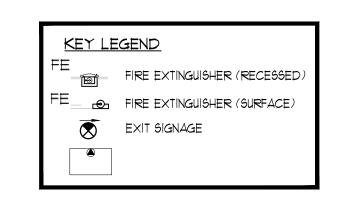
SCALE: AS NOTED

FROJECT * 21Ø47

CAD DWG FILE:







FIRE EXTINGUISHER NOTE:

FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A4.6

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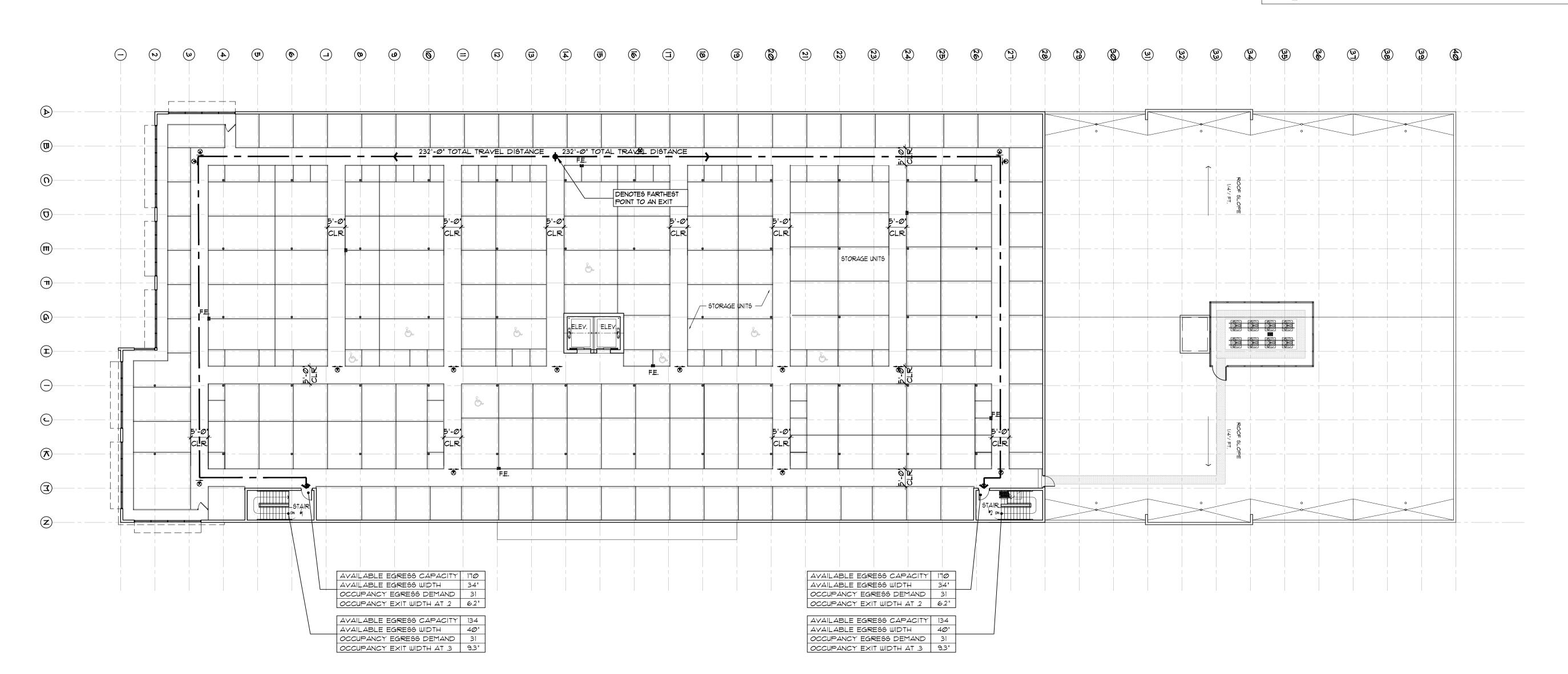
GROUND FLOOR= (8) ACCESSIBLE UNITS SECOND FLOOR: (8) ACCESSIBLE UNITS THIRD FLOOR: (8) ACCESSIBLE UNITS FOURTH FLOOR: (8) ACCESSIBLE UNITS

A. ACCESSIBLE STORAGE UNITS TO BE DISPERSED AMONG STORAGE UNIT SIZES. SEE FLOOR PLANS.

Z

- B. EXPOSED STEEL COLUMNS IN STORAGE AREAS SHALL BE
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- C. ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS, INCLUDING HARDWARE, PULLS, & SIGNAGE. D. ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A
- MAX. THRESHOLD OF ½" TYP.

= DENOTES ADA ACCESSIBLE STORAGE UNIT



HILLSBORO WEST

STORAGE WEST ONUT 4161 <u>@</u> Ö

ARCHITECT, 五 4 CENTER I CH, FLORI 9848 CARLSON **8** KENNETH

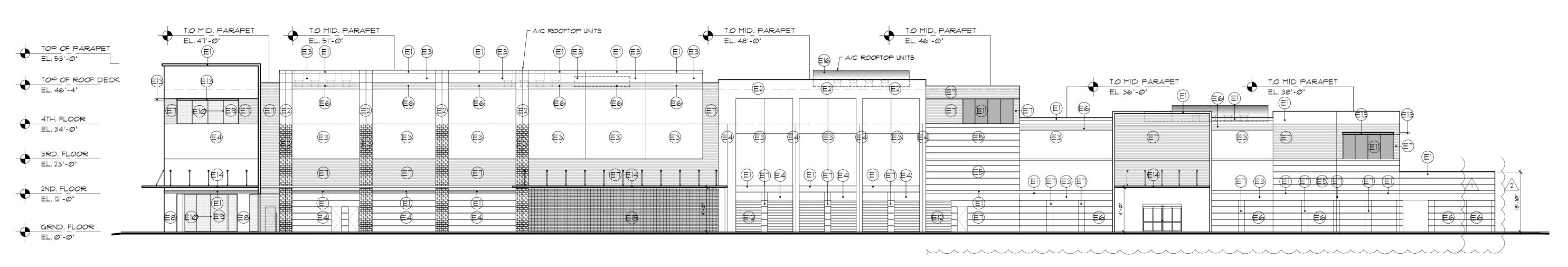
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DEERFIELD

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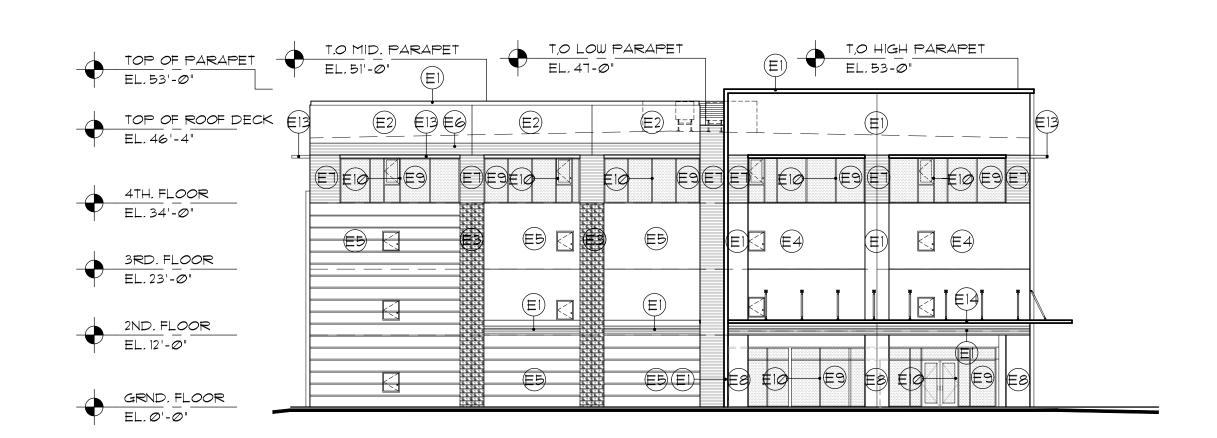
(EI) PAINTED MEDIUM TEXTURE

MATCH MANUF.

SHERWIN WILLIAMS SW 7006

CATALOG NO.





							· · · · · · - · ·		
E 2	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7661	REFLECTION	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	LIGHT GRAY
E 3	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	ודשר שפ	GRAY SCREEN	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	MEDIUM GRAY
E 4	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 6254	LAZY GRAY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	MEDIUM GRAY
E5	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7660	EARL GREY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL70 ON TEX-COTE PRIMER - SOLVENT BASED	GRAY
€6	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7074	SOFTWARE	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	DARK GRAY
E	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7075	WEB GRAY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	DARK GRAY
	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 6258	TRICORN BLACK	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	BLACK
E 9	STOREFRONT GLAZING	YKK	LIGHT GRAY	LIGHT GRAY	IMPACT	-	-	IMPACT RATED	LIGHT GRAY
€10	STOREFRONT FRAMES	YKK	BLACK	BLACK	ANODIZED	-	BY MANUF.	BY MANUF.	BLACK
EII	SPANDREL GLAZING	YKK	BLACK	BLACK	TEMP	FLOAT	-		DARK GRAY
€12	OVERHEAD ROLL-UP DOOR	-	TO MATCH SW 7075	WEB GRAY	EXTERIOR LATEX	SEMI-GLOSS	BY MANUF.	BY MANUF.	DARK GRAY
€13	ALUMINUM SILVER POWDER COATED LOUVERED AWNING	YKK	ALUM. SUN CONTROL SYSTEMS-THERMA SHADE	MILL	ANODIZED	-	BY MANUF.	PREFINISHED	MILL
€13	PREFAB METAL CANOPY	-	TO MATCH 9W 6258	TRICORN BLACK	ANODIZED	BY MANUF.	BY MANUF.	PREFINISHED	BLACK
€15	OVERHEAD ROLL UP GRATE	-	PER MANUFACTURER	MILL	EVERSERVE - GRILLE	BY MANUF.	BY MANUF.	BY MANUF.	MILL
€16	PRE-FINISHED METAL SCREENING	-	TO MATCH 9W 6254	LAZY GRAY	PRE FINISHED	SEMI-GLOSS	BY MANUF.	BY MANUF.	MEDIUM GRAY

COLOR

EXTRA WHITE

TYPE

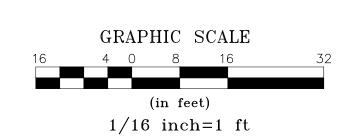
EXTERIOR ACRYLIC

FINISH

COATS NOTE:

2 OVER 1 TEX-COTE XL70 ON TEX-COTE PRIMER PRIMER - SOLVENT BASED





COMMON NAME

STORAGE

WEST HILLSBORO

P.A.

ARCHITECT,

CARLSON

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KENNETH

<u></u>

1166 W. NEWPORT CENTER DR., DEERFIELD BEACH, FLORIDA PH. (954) 427 - 8848

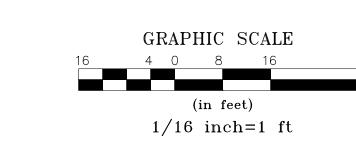
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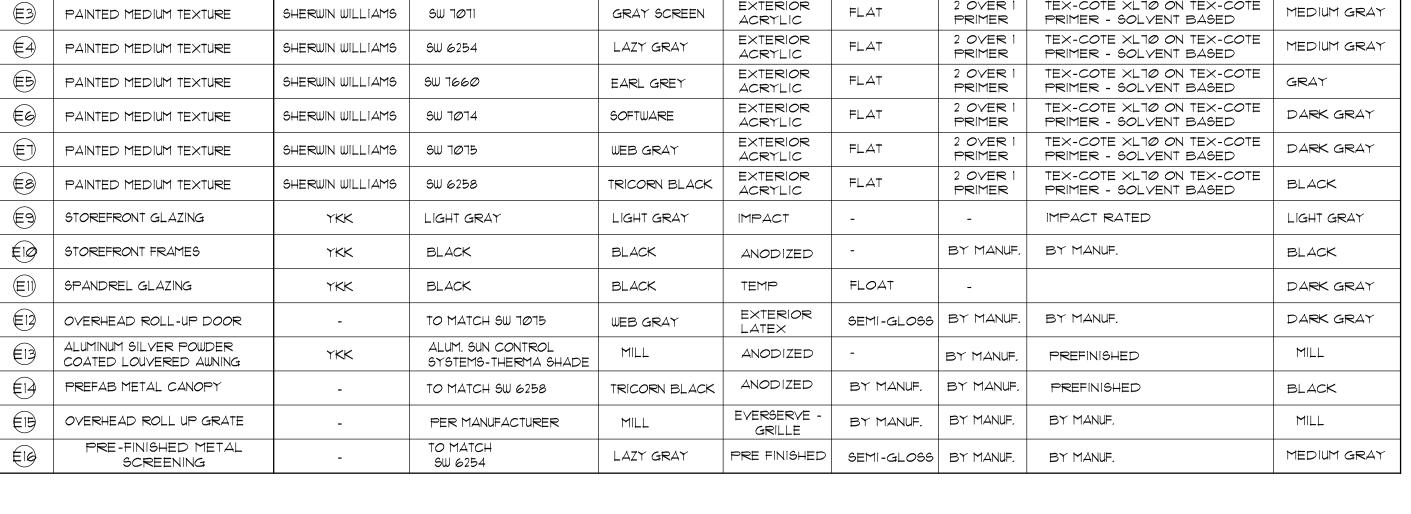
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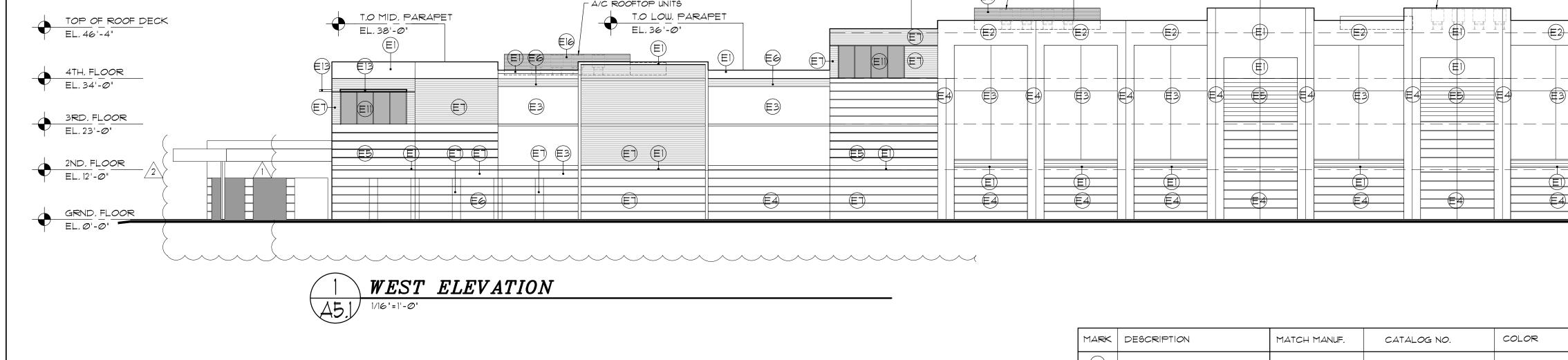
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T.O. MID PARAPET ELEV.= + 51'-0' AFF.

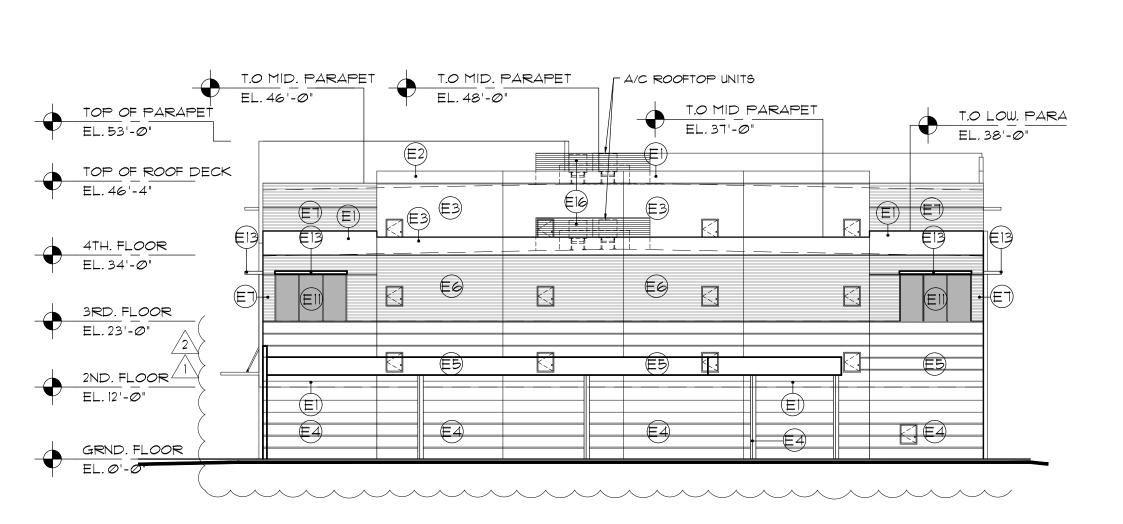




T.O MID. PARAPET

EL. 51'-0"

/ A/C ROOFTOP UNITS



NORTH ELEVATION

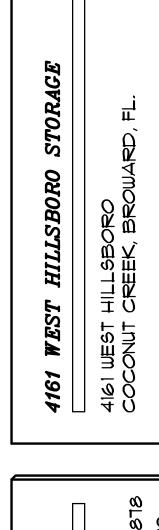
- A/C ROOFTOP UNITS

TOP OF PARAPET

EL.53'-@"



/ A/C ROOFTOP UNITS



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CARLSON

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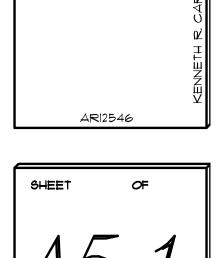
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| 166 W. NEW!

DEERFIELD

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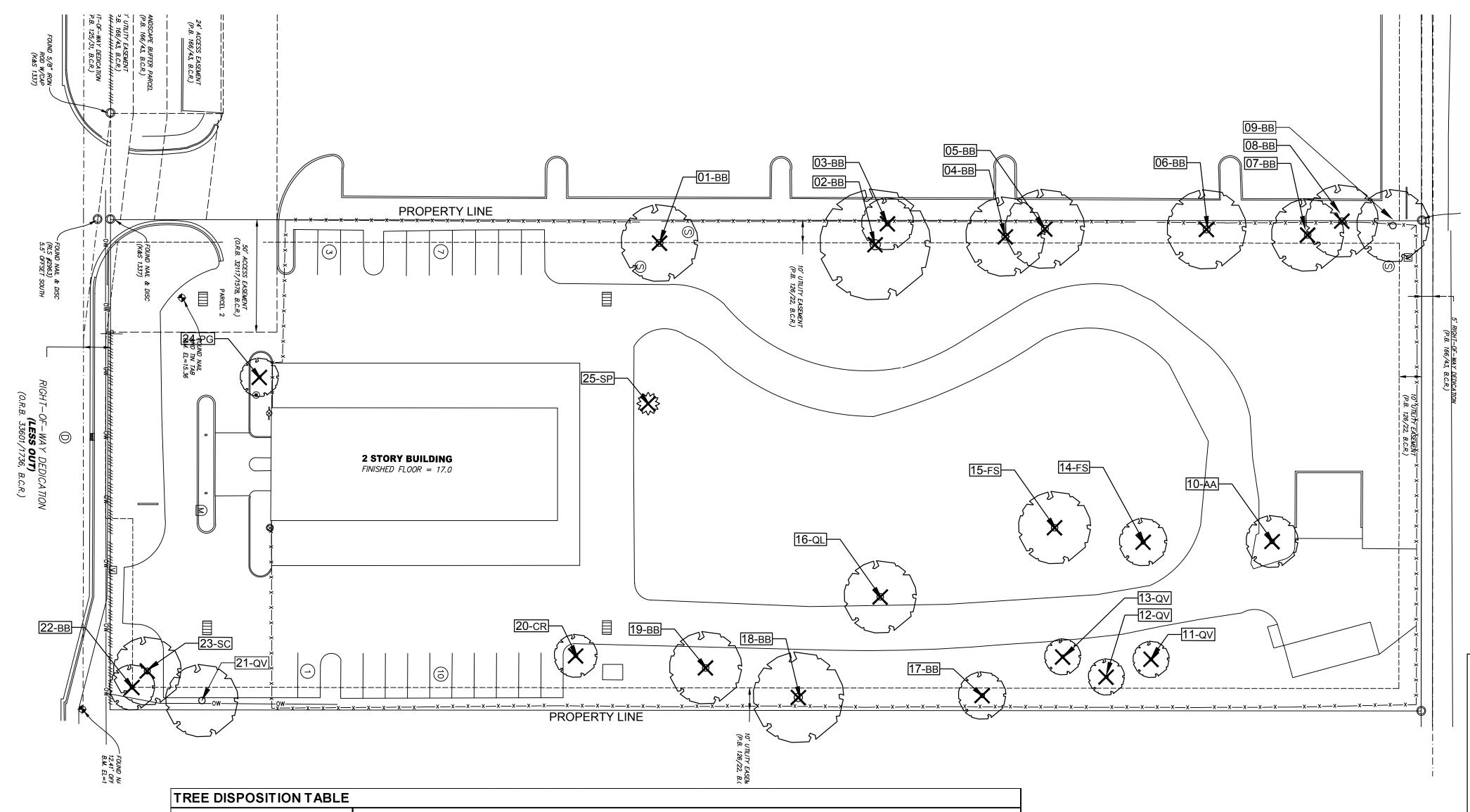












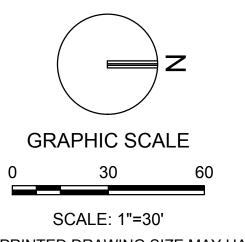
TREE	DISPOSITION TABLE	Ē	,						
PROJ	ECT#: 09675.01	PROJECT NAME: Leder	· Hillsb	oro B	lvd.				
TREE #	COMMON NAME	SCIENTIFIC NAME	DBH	HT.	CNPY.	TREE %	TREE	TREE	COMMENTS
I KEE #	COMMON NAME	SCIENTIFIC NAME	IN.	FT.	FT.	CONDITION	DISPOSITION	CANOPY S.F.	COM MENTS
1	BLACK OLIVE	"Bucida buceras"	13	30	35	50	REMOVE	962	poor branching, inclusions, leaning, storm damag
2	BLACK OLIVE	"Bucida buceras"	22	35	50	40	REMOVE	1962	TD, BD, shared canopy, storm damage, dieback
3	BLACK OLIVE	"Bucida buceras"	14	35	18	25	REMOVE	254	TD, BD, shared canopy, storm damage, dieback
4	BLACK OLIVE	"Bucida buceras"	18	35	35	50	REMOVE	962	TD, BD, shared canopy, storm damage, dieback
5	BLACK OLIVE	"Bucida buceras"	13	30	35	50	REMOVE	962	BD, shared canopy, shaded, storm damage
6	BLACK OLIVE	"Bucida buceras"	12	30	35	60	REMOVE	962	TD, BD, shared canopy, storm damage
7	BLACK OLIVE	"Bucida buceras"	15	30	30	60	REMOVE	706	BD, shared canopy, storm damage, dieback
8	BLACK OLIVE	"Bucida buceras"	12	30	30	40	REMOVE	706	BD, shared canopy, inclusions, poor branching
9	BLACK OLIVE	"Bucida buceras"	15	30	30	40	REMAIN	706	BD, shared canopy, co-dom, inclusions, poor branching
10	EARLEAF ACACIA	"Acacia auriculiformis"	19	30	20	65	REMOVE	314	invasive exotic, co-dom, damaged
11	LIVE OAK	"Quercus virginiana"	5	20	12	50	REMOVE	113	TD
	LIVE OAK	"Quercus virginiana"	2,3	12	10	50	REMOVE	79	multi-stem,
_	LIVE OAK	"Quercus virginiana"	5	12	8	50	REMOVE	50	TD, BD
14	FICUS	"Ficus spp."	15	30	20	30	REMOVE	314	TD, BD, multi-stem
15	FICUS	"Ficus spp."	8,8	30	30	40	REMOVE	706	co-dom, BD, dieback
16	LAUREL OAK	"Quercus laurifolia"	16	40	30	15	REMOVE	706	co-dom, BD, poor branching,severe dieback
17	BLACK OLIVE	"Bucida buceras"	9	20	20	20	REMOVE	314	storm damage, top half snapped off
18	BLACK OLIVE	"Bucida buceras"	20	40	40	50	REMOVE	1256	TD, BD, shared canopy, shaded, dieback
19	BLACK OLIVE	"Bucida buceras"	18	30	30	40	REMOVE	706	TD, BD, shared canopy, shaded, dieback
20	PITCH APPLE	"Clusia rosea"	12	20	16	30	REMOVE	201	TD, BD, multi-stem
21	LIVE OAK	"Quercus virginiana"	16	25	30	50	REMAIN	706	BD, shared canopy, roots/paving
22	BLACK OLIVE	"Bucida buceras"	11	20	16	50	REMOVE	201	BD, shared canopy
23	JAMBOLAN PLUM	Syzygium cumini	22	25	25	50	REMOVE	N/A	BD, shared canopy
24	YEW	"Podocarpus gracilior"	11	18	14	40	REMOVE	154	BD, poor branching,dieback
25	CABBAGE PALM	"Sabal palmetto"	10	20	12	60	REMOVE	113	
								12,590	Total S.F. canopy of trees removed
PROVIDED REPLACEMENT									
	REPLACEMENT	EQUIVALENT	P'	ROVIDE	ĒD.	PROVIDED			
	CATEGORY	REPLACEMENT VALUE		QTY:		CANOPY			
	CATEGORY 1 TREES	(300 SF)		66	=	19,800 SF			
	CATEGORY 2 TREES	(150 SF)		9	=	1,350 SF			
	CATEGORY 3 TREES	(100 SF)		50	=	5,000 SF		12,590 SF	TOTAL CANOPY LOSS
1		(50.05)		_					

9 = 450 SF

26,600 SF TOTAL CANOPY REPLACEMENT

CATEGORY 4 TREES

(50 SF)



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

TREE DISPOSITION LEGEND:

EXISTING TREE/PALM TO REMAIN (NO SYMBOL);
TO BE PROTECTED DURING CONSTRUCTION

EXISTING TREE/PALM TO RELOCATE

REFER TO LANDSCAPE PLAN FOR NEW LOCATION

EXISTING TREE/PALM TO REMOVE
REMOVE ALL CAT 1 INVASIVE EXOTICS (EX: BRAZ. PEPPER)

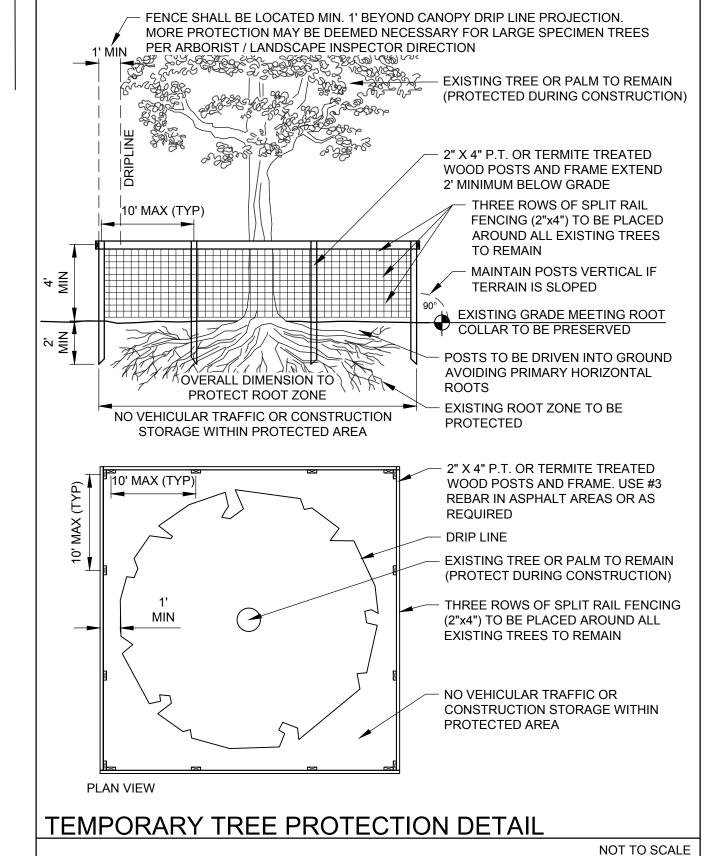
EXISTING TREE/PALM NUMBER
REFER TO TREE DISPOSITION TABLE ON LD-102

TREE DISPOSITION NOTES:

- 1. EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
- 2. SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
- 3. CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
- 4. TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE
- PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.

 5. ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED
- COUNTY TREE TRIMMER.

 6. BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND
- 7. REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
- 8. ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.



KEITH

301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643 (954) 788-3400

> 2160 NW 82 Avenue Doral, Forida 33122

Miami-Dade County

120 N Federal Highway, Suite 208 Lake Worth, Florida 33460

Orange County
2948 E Livingston Street

Palm Beach County

State of Florida Certificate of Authorization Number - 7928

Orlando, Florida 32803

BID / CONTRACT NO. :

REV	'ISIONS	
NO.	DESCRIPTION	DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

LEDER 4161 HILLSBORO STORAGE

SCALE:	AS NOTED
DATE ISSUED:	09/21/2021
DRAWN BY:	SR
DESIGNED BY:	MP
CHECKED BY:	MP

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

TREE DISPOSITION PLAN

SHEET NUMBER

LD-101

PROJECT NO. 09675.01

City of Coconut Creek - Lands	scape Requirements							
Zoning	P	CD						
Net Site Area	126,976 SF	2.91 AC						
Total Pervious Area	37,207 SF							
Minimum Landscape R	Requirements							
	REQUIRED	PROVIDED						
1 Tree per 1000 SF (Min.) 37,207/1000 =	37 TREES	37 TREES						
5 shrubs per 1000 SF (Min.)	186 SHRUBS	186 SHRUBS						
* Includes Existing Trees								
Buffer/Perimete	er Trees							
	REQUIRED	PROVIDED						
West (583') 1 tree per 40 LF	N/A	N/A						
East (583') 1 tree per 40 LF	15	15 TREES						
Roadway Buffer Re	quirement							
1 tree per 2000 SF of total land area	REQUIRED	PROVIDED						
40 shrubs per 2000 SF plus continuous hedge (3 tiers)								
North (NW 71st St) - 3,270 SF/2000 SF =	2 TREES	4 TREES						
	65 SHRUBS	108 SHRUBS						
South (Hillsboro Blvd) - 5,450/2000 SF =	3 TREES	3 TREES						
	109 SHRUBS	978 SHRUBS						
Street Tre	es							
North (218') 1 tree per 40 LF	6 TREES	6 TREES						
South (218') 1 tree per 30 LF (overhead wires)	8 TREES	8 TREES						
VUA Requirement								
VUA Impervious Area	41,379 SF							
·	REQUIRED	PROVIDED						
1 SF of Landscape area required per 100 SF of paved area	414 SF	26,981 SF						
Parking Islands - 1 tree per island	9 TREES	9 TREES						
Building Foundation (se	ec. 13-443 (7) €							
BUILDING A								
1 tree, 20 shrubs, 30 gc per 40 LF (tiered)	REQUIRED	PROVIDED						
	1 tree	4 palms,						
North side (26 LF)	13 shrubs,20 Gc	50 Shrubs, 0 GC						
South side (109 LF)	3 trees	4 trees,						
·	55 shrubs, 82 Gc 5 trees	76 Shrubs, 74 GC 3 trees,						
East side (206 LF)	103 shrubs, 154 Gc	245 Shrubs, 313 GC						
	10 trees	12 trees,						
West side (380 LF)	190 shrubs, 285 Gc	332 Shrubs, 200 GC						
TOTAL TREES RE	QUIRED							
Includes buffer trees, street trees, parking island	97	117*						
trees, bldg foundation and min tree code required		_ -						
Native Require								
	REQUIRED	PROVIDED						
Trees - 50% of required trees	49 TREES	85						
Shrubs - 50% of required shrubs	343 SHRUBS	2,977 SHRUBS						
Tree Require								
	REQUIRED	PROVIDED						
Canopy Trees - minimum 40% of required trees	39	68*						
Intermediate Trees - minimum 30% of required trees	29	14						
Small Trees - minimum 10% of required trees	10	8						
Palms - 3:1= canopy tree; 50% of required max		36 (12 TREES)						

*Includes Existing ***Trees/Shrubs added to adjacent buffer

NOTES

SOD TO BE ST. AUGUSTINE 'FLORATAM', CONTRACTOR TO DETERMINE

ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.

ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED

BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND

CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.

PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.

ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.

NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

CITY STANDARD LANDSCAPE NOTES

- 1. All landscape and specifications shall meet or exceed the minimum requirements as provided in the City of Coconut Creek Land Development Code. Plans are incomplete without written notes and specifications.
- 2. All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition. Trees shall not be tipped, topped, or shaped prior to installation.
- 3. Landscape shall be placed to edge of abutting streets, canals, lakes or other lands. 4. All mechanical equipment, air conditioning, irrigation pump stations and equipment, FPL transformers,
- pool pumps, etc., must be screened on three (3) sides by landscape shrubs. NOTE: The quantity of screening shrubs is in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust on-center spacing as necessary and/or provide additional plants to provide an adequate
- 5. Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two inches, tree trunks excluded. Measurement shall be made from top of root ball planted at proper elevation.
- 6. Guying/staking practices shall not permit nails, screws, wires, etc., to penetrate outer surfaces of trees, palms or other plant material. Trees, palms and plant material rejected due to this practice shall be replaced with the inspector on site.
- 7. Burlap material, wire cages, plastic/canvas straps, etc., must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material REMOVED ENTIRELY prior to planting the tree or shrub.
- 8. All plant material shall be free of pests, insects, disease, weeds, etc.
- 9. All required landscape material shall be installed using a planting soil mix comprised of a type appropriate to the individual proposed plant material and the native soil found on the site.
- 10. All plant material shall be planted at the proper depth, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
- 11. All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area. 12. Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment
- caused by this permit to the satisfaction of the inspector. 13. Refer to Coconut Creek Fire Equipment Clear Zone diagram to maintain a safe zone fronting fire
- hydrants. 14. Do not plant trees, shrubs or groundcover within Electric Meter Clear Zone. Provide a safe zone as described by the Electrical Inspector.
- 15. All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with 50% overlap (minimum) using rust free water, except preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water
- Management District or other jurisdictional agency. 16. Irrigation permits and plans shall be submitted for approval at time of building permits.
- 17. All non-single family or duplex irrigation systems other than City water systems shall require a South Florida Water Management District water use permit prior to issuance of an irrigation permit and installation of the irrigation system as required.
- 18. All site amenities to include site street lights, landscape common open space, irrigation common open space, buffers, berms, landscape entry features, etc. leading up to and including the model center and/or first certificate of occupancy must be completed and functional prior to issuance of the first
- requested certificate of occupancy. 19. The height of all required, designed and installed berms shall be from the highest adjacent point whether it is the sidewalk, parking area, vehicular use area, surrounding ground, etc. Where a berm abuts a sidewalk, there shall be a one (1) foot level sod area adjacent to the sidewalk prior to the start
- of incline for the berm. 20. An inspection is req'uired prior to the backfilling of trees/palms in all parking medians and islands.

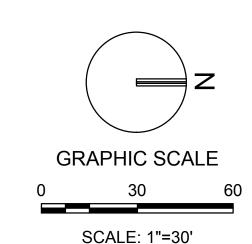
PLANT LIST

	SHR	SHRUBS & GROUNDCOVERS								
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	SPECIE %					
375	**	ARA	Arachis glabrata PERENNIAL PEANUT	6" HT; 12" SPRD; 12" O.C.	8.5%					
178	**	CLU	Clusia guttifera SMALL LEAF CLUSIA	36" HT; 30" SPRD; FULL TO BASE; 30" O.C.	4%					
90	**N	СНН	Chrysobalanus icaco 'Horizontal' HORIZONTAL COCOPLUM	18" HT; 20" SPRD; 24" O.C.	2%					
285	**N	CHR	Chrysobalanus icaco COCOPLUM	24" HT; 24" SPRD; 24" O.C.	7%					
74	**N	CRN	Clusia rosea 'Nana' DWARF CLUSIA	12" HT; 16" SPRD; 18" O.C.	2%					
593	**N	ERN	Ernodia littoralis GOLDEN CREEPER	12" HT; 14" SPRD; 16" O.C.	15%					
35	*	GAL	Galphimia gracilis THRYALLIS	24" HT; 24" SPRD; 24" O.C.	1%					
11	**N	HAM	Hamelia patens FIREBUSH	5' HT; 36" SPRD; FULL; TREE FORM	.02%					
219	**	HPD	Hamelia nodosa DWARF FIREBUSH	24" HT; 24" SPRD; 24" O.C.; FULL TO BASE	5%					
95	**	JUN	Juniperus conferta 'Parsonii' PARSON'S JUNIPER	12" HT; 16" SPRD; 18" O.C.	2.5%					
105	**	LAM	Lantana montividensis Trailing Lantana	12" HT; 14" SPRD; 18" O.C.	2.5%					
213	**N	MUH	Muhlenbergia capillaris GULF MUHLY GRASS	24" HT; 24" SPRD; 30" O.C.	5%					
305	**N	NEP	Nephrolepsis exaltata SWORD FERN	12" HT; 14" SPRD; 24" O.C. CERTIFIED NATIVE ONLY	9%					
7	*	PAS	Passiflora incarnata PURPLE PASSION VINE	6' HT; FULL VINE; ATTACH TO WALL GRID	.01%					
315	*N	PSY	Psychotria nervosa WILD COFFEE	20" HT; 24" SPRD; 24" O.C.	10%					
50	*	RON	Rondeletia splendens PANAMA ROSE	24" HT; 24" SPRD; 24" O.C.	1%					
35	**N	SER	Serenoa repens SAW PALMETTO	18" HT; 18" SPRD; 36" O.C.	1%					
75	**N	STJ	Stachytarpheta jamaicensis NATIVE PORTERWEED	12" HT; 16" SPRD; 24" O.C.	2%					
28	*	TFP	Tabernaemontana 'Flore Pleno' CRAPE JASMINE	36" HT; 36" SPRD; FULL CANOPY; TREE STANDARD	1%					
265	**N	TRD	Trachelospermum floridanum DWF FAKAHATCHEE GRASS	24" HT; 24" SPRD; 30" O.C.	4%					
1300	**N	WET	Sagittaria, Pontederia, Juncus WETLAND MIX	12" HT; BARE ROOT; 24" O.C.; 40%, 20%, 40% QTY.	29%					
175	**N	ZAM	Zamia pumila (Zamia floridana) COONTIE	20" HT; 20" SPRD; 24" O.C.	4%					
		SOD	ST. AUGUSTINE 'FLORATUM'	SOLID SOD						
N	DENO	TES NATIV	E SPECIES	1						
**	DENOTES HIGH DROUGHT TOLERANT SPECIES									

- - **DENOTES HIGH DROUGHT TOLERANT SPECIES**
- **DENOTES MODERATE DROUGHT TOLERANT SPECIES**

PLANT LIST

	TREE						
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	SPECIE %	REPL CAT	
5	*N	AR	Acer rubrum RED MAPLE	15' HT; 7' SPRD; FULL CANOPY	3%	1	
12	**N	CE	Conocarpus erectus GREEN BUTTONWOOD	12' HT; 6' SPRD; FULL CANOPY	9%	1	
13	**N	BS	Bursera Simaruba GUMBO LIMBO	12' HT; 6' SPRD; FULL CANOPY	9%	1	
3	*N	IC	llex cassine DAHOON HOLLY	10' HT; 4' SPRD; FULL CANOPY	2%	3	
4	**	ED	Eleocarpus decipiens JAPANESE BLUEBERRY	12' HT; 5' SPRD; FULL CANOPY	3%	2	
3	**	LI	Lagerstroemia indica CRAPE MYRTLE	10' HT; 5' SPRD; MULTI-STEM; FULL CANOPY	2%	3	
8	**N	MF	Myrcianthes fragrans SIMPSON STOPPER	8' HT; 5' SPRD; MULTI-STEM; FULL CANOPY	6%	3	
10	**N	PI	Pinus elliottii SLASH PINE	12-15' STAGGERED HTS; 6'-7' SPRD; FULL CANOPY	4%	1	
15	**N	QV	Quercus virginiana LIVE OAK	15' HT; 7' SPRD; FULL CANOPY	11%	1	
6	**N	TD	Taxodium distichum BALD CYPRESS	15' HT; 6' SPRD; FULL CANOPY	4%	1	
9	**N	TD2	Taxodium distichum BALD CYPRESS	10' HT; 4' SPRD; FULL CANOPY	7%	3	
-	**	TH	Tabebuia heterophylla PINK TRUMPET	12' HT; 6' SPRD; FULL CANOPY	3%	2	
8	**	PE	Ptychosperma elegans SOLITAIRE PALM	8' & 12' CT; STAGGERED HTS; SINGLE	6%	4	
1	**	PE3	Ptychosperma elegans SOLITAIRE PALM	8' - 12' CT; STAGGERED HTS; TRIPLE	1%	4	
42	**N	SP	Sabal palmetto CABBAGE PALM / SABAL PALM	14 - 28' STAGGERED CT HTS; SLICK; SEE PLAN	20%	3	



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

UPON THE USER. LEDER 4161 HILLSBORO

Ed)	SCALE:	AS NOTED
	DATE ISSUED:	09/21/2021
	DRAWN BY:	MP, KS
-	DESIGNED BY:	MP
li I	CHECKED BY:	KS
li		
<u> </u>		
\downarrow		
i I		
ji .	MICHAEL J. PHI	LLIPS, RLA
	FLORIDA REG. N (FOR THE	O. LA0001540 FIRM)
	SHEET TITLE	
1		

301 East Atlantic Boulevard

Pompano Beach, Florida 33060-6643

(954) 788-3400

Miami-Dade County

2160 NW 82 Avenue

Doral, Forida 33122

Palm Beach County

120 N Federal Highway, Suite 208

Lake Worth, Florida 33460

Orange County

2948 E Livingston Street

Orlando, Florida 32803

State of Florida Certificate of

Authorization Number - 7928

PRELIMINARY PLAN

NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE

DURING THE PERMITTING PROCESS.

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS

FROM ALL AGENCIES HAVING JURISDICTION

OVER THE PROJECT WILL FALL SOLELY

STORAGE

DATE

DESCRIPTION

BID / CONTRACT NO. :

REVISIONS

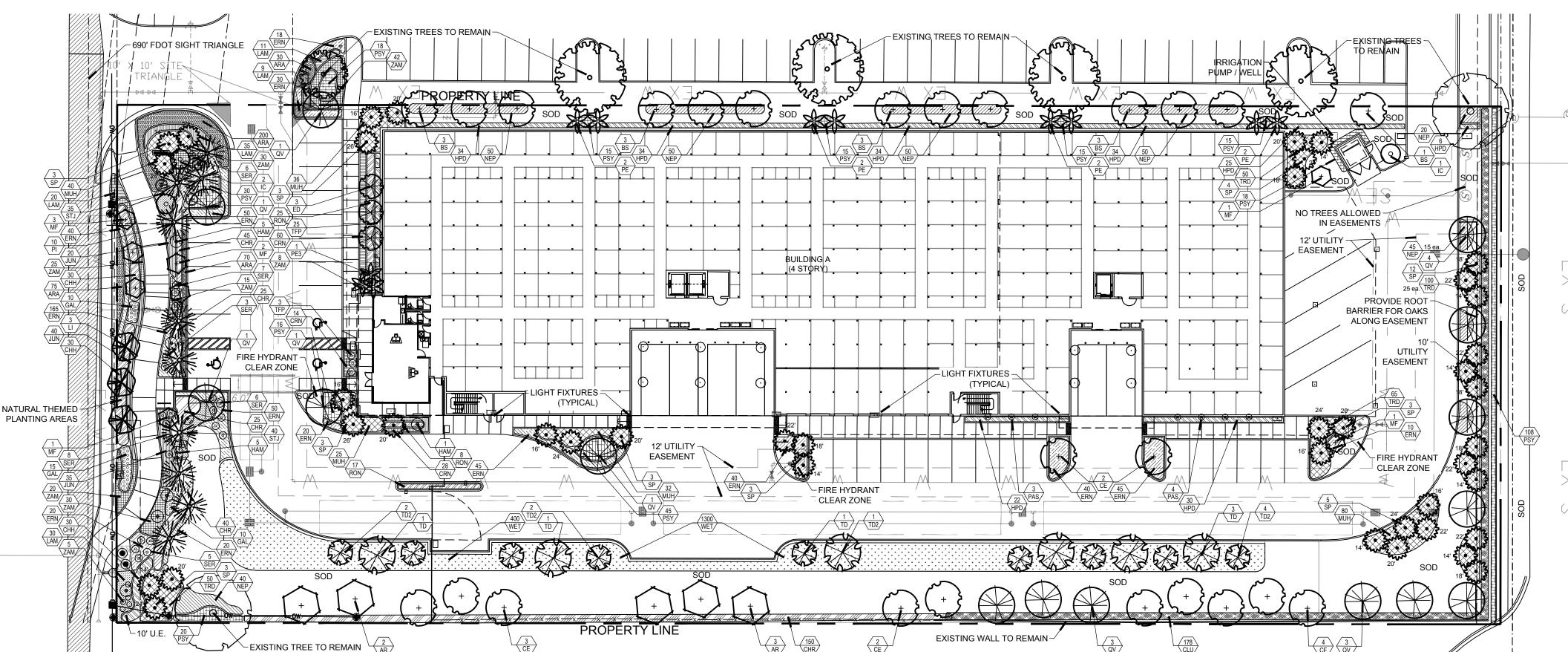
NO.

LANDSCAPE PLAN

SHEET NUMBER

LP-101

PROJECT NO. 09675.01



BIDDING

well as Worker's Compensation.

prior to construction.

1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to

2. Contractor understands that an important element of the design of this project is meeting landscape

doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.

3. Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish

provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below.

4. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer,

1. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as

2. Contractors and Subs must ensure they are doing take offs from Bldg Dep. Revised sets and / or Bid Set

5. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting

6. All Plant Material shall meet or exceed height and spread requirement. Heights are local code requirement and

7. All landscape material was confirmed to be available at time of design. Landscape contractor understands that

9. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan

and the quantities on the plant list shall be brought to the attention of the Landscape Archtiect for clarification.

and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill

material from plant beds, in addition to fine grading and mulching all plantbeds and individual trees shall be

(include price per ton). Small rocks and gravel beds shall have landscape fabric material and minimum 4"

do his or her take off, submit price per S.F. and in the end, sod all areas that are not covered either by plants,

mulch and/or rocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing

costs are reimbursable by owner or included in bid. Research permit status and research all permits and

additional documentation and certifications required such as separate tree removal permit for example, and

of receipt of these plans shall notify the landscape architect in writing of any and all discrepancies. In case of

discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without

10. All labor and material for soil amendments and fertilizer that is required to ensure the successful establishment

12. Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks

13. All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to

15. Contractor shall be responsible for obtaining and paying for costs of all permits described in bid whether permit

16. General / Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional root

18. Landscape contractor is responsible for verifying all plant quantities prior to bidding and within 7 calendar days

1. Plants grown in containers prior to installation shall be removed from their containers before they are planted in

2. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal,

3. All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive

4. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any

5. Tree, palm, accent shrubs and bed lines are to be located in the field and approved by the Landscape

7. In areas where asphalt is removed in order to receive landscape material, the lime rock sub-base material

8. Landscape contractor is responsible for sending photographs to the landscape architect to pre-approve all

9. Landscape contractor shall coordinate his or her work with that of the irrigation, landscape lighting, and

10. The landscape contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have

1. Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the

2. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to

3. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape

1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior

2. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper,

3. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on

to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as

Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on

the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing

contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.

governing authority prior to the issuance of the first building permit for the project.

Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.

unwanted trees, palms, shrubs, ground covers, sod and weeds within landscape areas.

been removed. Landscape contractor shall wait 7 days after pre-emergence treatment prior to planting.

state and local laws and regulations pertaining to the inspection for plant disease and insect infestation.

the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of

equipment being screened and/or per the requirements of the utility as necessary. All hedge material required

for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide

additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as

property of Keith and Associates and may not be duplicated without authorization or used for other projects

damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape

Architect / owner prior to planting. Landscape Contractor acknowledges that material planted without approval

of location may be subject to relocation by Landscape Architect to maintain design intent if not followed

their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown

/ or design intent related and always governs over container size. Container size given for reference only and

must be sized-up to meet height requirements of plant list. Plant material available with excessive height

some material may not be available locally, however is available in Tri-County Region. Plant material supply is

the responsibility of the Landscape Contractor that is awarded the contract and he/she shall take steps to

ensure availability at the time of installation. Bring to the attention of Landscape Architect if specific material is

no longer available at the time of bidding and / or prior to actual construction. Substitutions must be approved

documents. Verify with this Office that you are bidding from latest available plans.

beyond specifications must be consulted with Landscape Architect for design intent.

included in the contractor's bid to perform the work represented in this plan set.

14. Final payment to the Contractor shall be for actual plants installed on the project.

barriers determined to be needed on site and as job progresses.

17. Refer to Section T, Watering, for supplemental watering requirement.

3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding.

4. When submitting an RFI reference sheet number, detail number and/or note category and number.

herbicide, pre-emergence herbicide, seed, and mulch.

are to be disregarded by Landscape Contractor.

8. Pre-inspections of site required prior to bidding.

11. Bid shall be itemized for possible value engineering.

sod which may be damaged during construction.

prior consent of the Landscape Architect.

Contractor at no additional cost to the owner.

hardscape contractor if different.

PERMITS & REGULATIONS

installation if required.

6. All trees must be pruned as per Landscape Architect's direction.

trees, palms, and shrubs prior to delivery to project site.

must also be removed and replaced with approved planting soil mix.

GENERAL LANDSCAPE NOTES

than the intended.

depth. Boulders to be bid by unit.

consider prior to bidding.

accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight

conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other

location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and

ordinances with a design flare that includes symmetry, alignment, focal points and / or smooth curvilinear

forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any

and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details

3. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing authority / Landscape Architect and Owner. 4. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all

underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.

5. All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in the field by contractor to avoid all utilities, and all other obstructions.

6. If/ When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, inc. Notification Center. In addition, call the Governing Agency's Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by

the contractor prior to the start of work operations. Above and below ground utilities shall be verified and located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans and confirm conflicts between indicated or located utilities and landscape work. The contractor shall then notify the Project Engineer of said conflicts and the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations

will be adjusted as necessary when in conflict with existing utilities. 8. The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to

accommodate utilities compliance. Excavations within 5' of known utilities should be done by hand. Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.

10. Leave clearance and access to all above ground or at grade meters and equipment.

11. Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines. 12. Landscaping shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs,

drainage structures, etc. Bring to the attention of Landscape Architect any conflicts.

1. Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new approved construction or as may be deemed necessary as job progresses.

Mechanical Root barriers will be used for large existing Canopy Trees and chemical type barriers will be used 3. Mechanical Root barriers will be "DeepRoot" and Chemical Root barriers will be "Biobarrier". Substitutions

must be of approved equal or better quality. Root barriers will be installed per manufacturer specifications.

Root barrier depths will be determined by the manufacturer recommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by Landscape Architect Architect / ISA Arborist and Landscape Inspector.

M. LANDSCAPE BACKFILL & SOIL AMENDMENT

1. All building construction material and foreign material shall be removed from the planting areas and replaced with 70/30 mix (70% sand / 30% organic compost) or amend existing soils per section H.2. 2. Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the

root ball of all trees and shrubs, the top 6" of all shrubs and ground cover beds and top 2" of all grassed areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all undesirable foreign materials. Recycled compost is encouraged as a soil amendment alternative. Planting soil to be weed free. Planting backfill for palms shall be clean coarse native sand unless specified elsewhere.

4. Do not allow air pockets to form when backfilling. All trees shall be watered-in utilizing water probe or a tree

N. PLANT SIZE & QUALITY All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications given cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance.

2. Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B at the discretion of Landscape Architect; if so, root bound and/or circling roots shall be removed and root ball must be proportionate to Tree / Palm

U.O.N, All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

4. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".

All trees and palms shall be free of open wounds and unsightly visible scars.

6. All substitutions must be approved by the governing authority if it is required Canopy and by Landscape Architect / Owner if supplementary accent material.

7. Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant disease and insect infestation.

8. Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the

Landscape architect. Plants shall be pruned prior to delivery only upon the approval of the Landscape 9. All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.

10. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting shock.

11. Root suckers on any tree are not acceptable and must be properly pruned.

12. Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than six feet in height. Contractor to supply photograph of trees prior to purchase and installation.

PLANTING NOTES 1. At the discretion of the Landscape Architect, plants are subject to review for approval for size, variety, condition

and appropriateness to the design intent. 2. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees

3. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design. 4. Set tree no deeper than it was in its original growing condition with the top of the root ball even with, or slightly

higher (+/- 1") than the finished grade. 5. All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade.

6. All trees and palms shall be braced / staked per accepted standards by the Florida Nursery, Growers & Landscape Association (FNGLA). Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

All trees, new or relocated, to be staked and guyed as detailed. Layout shrubs to create a continuous smooth front line and fill in behind with triangular spacing. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1' wider than the spread of roots and 3" deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before

grade slightly dished and bermed at edges of excavation. Apply 3" of mulch. 10. Groundcover and shrubs to be spaced in a uniform and consistent pattern per planting details. 11. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a

minimum of three sides by landscape shrubs. 12. Contractor shall not mark or scar trunks in any fashion.

placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form

13. When requested by Landscape Architect, demonstration of healthy root system if not previously approved, can

include tree removal and re-installation for inspection at no additional cost to the owner. 14. Remove rejected Plant material from the Site immediately and replace with acceptable plants.

1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart:

Agriform® 21-gm Tablets (SKU# 90026*; 500 tablets/case)

NEW Tree / Shrub Container Size 1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box Installation: 1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24

• Place plant in the hole and backfill to halfway point. Do not place tablets in the bottom of the planting hole. • Place Agriform Tablets in the hole about 1to 2 inches away from root tips. • Finish filling the hole around the plant to grade level.

slopes greater than 3:1 shall be immediately staked after planting.

SCOTTS: 1-800-492-8255 or visit www.scottspro.com

1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted. These disturbed areas shall have proper irrigation established or re-established if they were disrupted or

Landscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod areas. 2. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Seville' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field

3. Sod shall be machine stripped no more than 24 hours prior to laying. 4. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on

SUBMITTALS

1. Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.

2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include

3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the

INSPECTION & ACCEPTANCE

Notify the governing Agency if required and Landscape Architect of commencement. 2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for

inspection and approval by the Landscape Architect prior to final installation. 3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans

prior to scheduling of the final inspection. 4. Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.

5. No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner 6. To obtain final payment, Contractor must provide release of all mechanic's liens and material liens.

1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants. 2. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges and

3. All trees in sodded areas shall have a clean cut 4' diameter mulch ring.

4. Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited. 5. All mulch shall have a minimum 3" separation from the trunk of the tree/palm trunk to avoid rotting.

All plant material shall be watered in thoroughly at the time of planting. 2. It is the sole responsibility of the Landscape Contractor to ensure that all new plantings receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract.

CLEAN UP

1. The Landscape Contractor is responsible for maintaining all landscape planting areas

until final acceptance of the owner. 2. The contractor is responsible for mowing the entire project during planting and establishment periods, based on mowing project once a month from October to April, and twice a month from April to October (During installation and plant establishment only and until final inspection and owner accepts and takes ownership).

Any excess soil, undesired stones or debris resulting from landscape operations shall

be removed promptly, keeping the site clean as work progresses. 4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials,

debris, unused plant material, empty plant containers, and all equipment from the

project site. W. MAINTENANCE

1. Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.

2. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected.

3. Trees and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility at traffic intersection.

GUARANTEE & REPLACEMENT

1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.

MISCELLANEOUS. All work to be done in a professional manner.

No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.

3. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.

ABBREVIATIONS IN NOTES AND PLANS

U.N.O. = Unless Otherwise Noted L.A = Landscape Architect S.F.= Square Feet STD = Standard (single trunk) B&B = Balled and Burlapped BLDG DEP = Building Department RFI = Request for Information FPL= Florida Power & Light C.O. = Certificate of Occupancy

ISA CA or ISA Arborist = International Society of Arboriculture Certified Arborist

301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643 (954) 788-3400

> Miami-Dade County 2160 NW 82 Avenue Doral, Forida 33122

Palm Beach County 120 N Federal Highway, Suite 208 Lake Worth, Florida 33460

> Orange County 2948 E Livingston Street Orlando, Florida 32803

State of Florida Certificate of Authorization Number - 7928

BID / CONTRACT NO. REVISIONS DESCRIPTION DATE

LEDER 4161 HILLSBORO **STORAGE**

SCALE: AS NOTED DATE ISSUED: 09/21/2021 DRAWN BY: SR DESIGNED BY: MP CHECKED BY: MP

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

LANDSCAPE **DETAILS**

SHEET NUMBER

LP-201

PROJECT NO. 09675.01

1. Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs

F. EXISTING TREES

E. TREE REMOVAL

designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the

2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.

3. Prune trees to remove damaged branches and improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.

4. Prune existing shrubs to remove damaged branches and improve natural shape. 5. Existing trees to remain shall be trimmed per Ansi-A300 standards. Supervision of the trimming shall be

performed by an ISA Certified Arborist to ensure quality work. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas.

7. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event

8. If plans call for relocation of trees, palms or plants. High level of care should be exercised to assure that they

are not damaged in the process and that they are promptly replanted upon being dug up. 9. All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines

must traverse the protection area, they shall be tunneled or bored under the tree. 10. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree protection zone.

11. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.

TREE RELOCATION (These notes for relocation trees only and if applicable)

Tree Relocation process must be performed or supervised by ISA Certified Arborist. 3. Water the root zones to field capacity for 5 continuous days before root pruning. At a minimum soak the soil to a 4'-0" depth within a 6' radius. Root prune a minimum of six weeks before relocation. Prune away all dead or damaged limbs or fronds. For trees, prune out 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather

Flag all trees and palms to be transplanted with differentiating color than those to be saved or removed.

fronds above the bud and tie them loosely with jute twine to avoid damage. 4. Brace root pruned trees awaiting relocation.

5. Root prune $\frac{1}{3}$ rd of the root system, irrigate daily for 2 weeks then root prune another $\frac{1}{3}$ rd, irrigate daily and prune last $\frac{1}{3}$ rd on actual relocation date, no less than two weeks (six weeks total minimum root pruning by stages). ISA Arborist on staff shall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staff to balance for intense root ball loss, canopy shall be trimmed only as necessary to increase survival.

Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart. 7. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and

sawdust or other fine organic material. Do not compact. 8. Form a rootball size in compliance with Florida grades and Florida standards number 1 or better. 9. Maintain the soil moisture at field capacity throughout the six weeks.

10. Allow the plant to regenerate roots over a period of six weeks. 11. At the end of six weeks, prepare the planting pit at the new location. Overdig the hole diameter a minimum of 2' beyond the root ball, with the recipient hole to be at least 1/3 larger than the area that was trenched for

12. With the consulting arborist present, undercut the entire root ball of the plants to be transplanted at a depth

specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with heavy equipment. 13. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachment to

the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the lifting and moving operation. 14. Install trees within 24 hours of removal from their original location to locations provided by Landscape Architect or Developer with approval of municipal / Landscape Inspector.

15. Experienced Tree Spade operator shall move tree or experienced tree mover shall choose best means and methods to strap and rig tree for transporting safely without damage to new location. 16. Maintain trees in a healthy and vigorous condition during installation and throughout the plant establishment period. Replace trees that do not meet this requirement with the same species, size, and quality or per mitigation requirements specific to the governing authority with jurisdiction.

17. Fertilize the plant as directed by the consulting arborist. 18. When the plant is placed in the new location, backfill the planting pit with topsoil and water thoroughly to eliminate air pockets and compact the soil. Set the tree no deeper than its original condition.

19. Cover the root ball area with 3" depth of organic mulch. 20. Provide fungicide and fertility applications at the direction of the consulting arborist. 21. Post transplant watering to provide moisture and reduce any excessive stress due to root desiccation.

22. The diameter of the root--pruning or transplanting circle shall be at a distance away from the trunk equal to 12 times each inch of trunk diameter at breast height. 23. For all palms except Sabal palmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied

Watering to be adjusted according to conditions and at the supervision and direction of the ISA certified

without an extensive amount of weight that may damage the heart of the palm. The Sabal palmetto shall have all fronds cut without damaging the bud. 24. Transplanting must occur within 24 hours after being dug for relocation. Trees/palms should be kept in shade and the canopy kept moist.

25. Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the existing location. 26. The landscape Contractor is to verify that all new holes have appropriate percolation.

27. Padding the sling may be necessary so that the trunk or "boots" are not damaged. 28. A 6" saucer shall be created around the edge of the plant pit to help hold water, see planting detail for additional information. 29. Over the guarantee period the Landscape contractor shall be responsible for resetting any trees or palms that

are not vertical when caused by winds less than 74 mph. 30. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of: First month-daily, Second month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per

31. For trees over 4" in caliper at the time of planting, the schedule should be: First six weeks, daily, one and a half months to six months - three times per week, last six months - one time per week.

SITE PREPARATION & GRADING 1. Landscape contractor shall loosen and till compacted soils that are overly compacted in all planting areas of

the project to provide for proper soil aeration for plant establishment. 2. Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. The planting areas should be clean to a depth equal to the root ball of the trees/palms proposed for the area. Planting area soils shall be tested for ph before planting. Soils showing high (alkaline) ph (over 7.5) shall be amended or replaced with native soil having a ph range of 6.5 - 7.5, as approved by Landscape Architect.

3. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.

removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting. 5. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris, 6. General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading shall be provided by the Landscape Contractor. All planting beds shall be free of all rocks 1/2" or

4. Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been

larger, sticks, and objectionable material including weeds and weed seeds. All lime rock shall be removed/cleaned down to the native soils. The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. 8. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tenax" orange safety fencing or similar, to be installed before the beginning of the project.

Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade. 9. Final grade within planting areas to be 4" below adjacent paved areas or top of curb. Sod areas to be 2" below. 10. All planting beds shall be shaped and sloped to provide proper drainage away from building and structures and to swales, if applicable.

IRRIGATION Any Irrigation Notes and specifications included in Irrigation Sheets govern over the following Irrigation Notes. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions

for all individual trees in turf areas and all planting beds. 3. Irrigation / Landscape contractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all landscaped areas and furnish and install a rain sensor.

4. Irrigation Contractor to adapt design to onsite conditions adjusting heads and changing nozzles as required to avoid overspray onto buildings or paved areas 5. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the

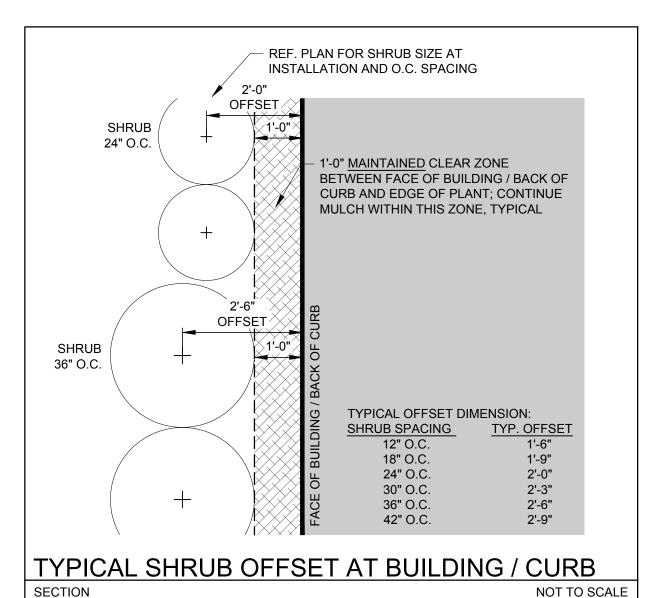
contractor at his or her expense. Water for plant establishment should be included in the cost of the plant.

6. All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management district with jurisdiction shall be strictly adhered to. 7. Any existing irrigation system shall be retrofitted to comply with the specifications as outlined above.

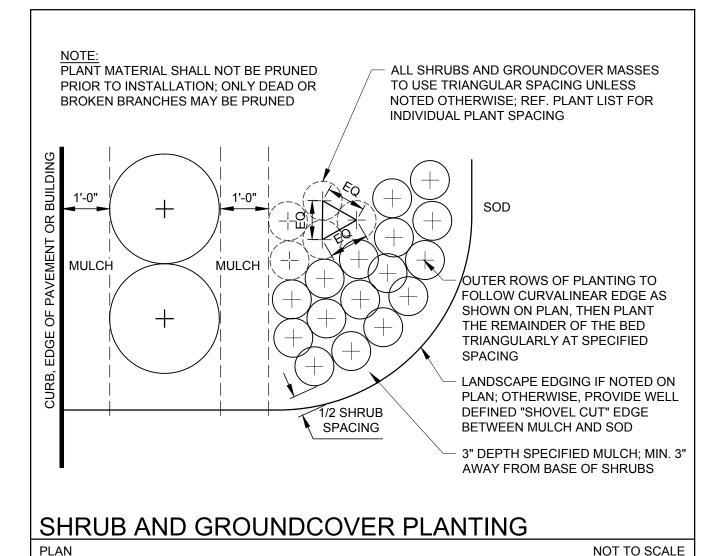
HARDSCAPE & OTHER MATERIALS 1. Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved surfaces, unless otherwise indicated on the plans. Refer to details.

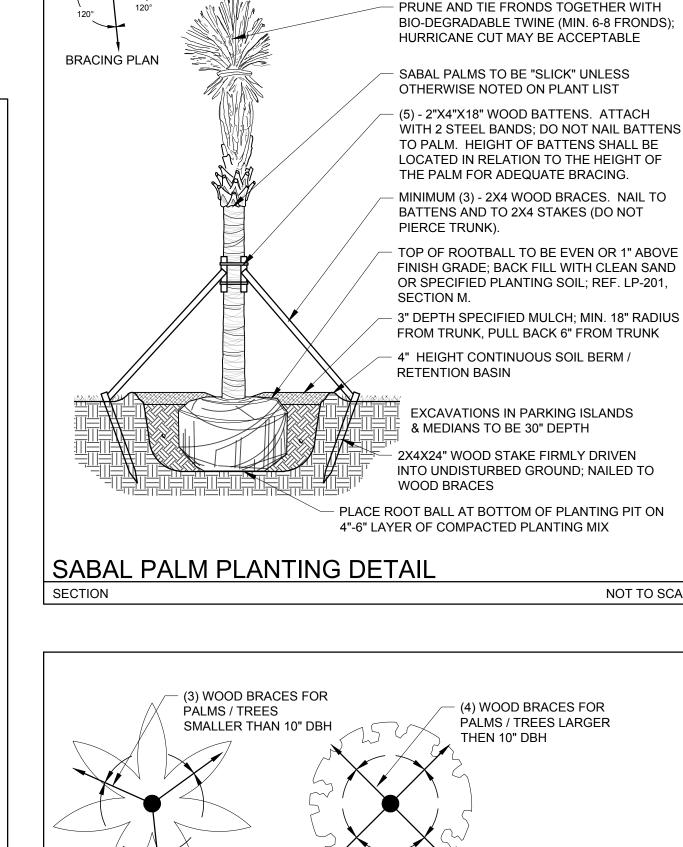
K. UTILITIES / CLEARANCES

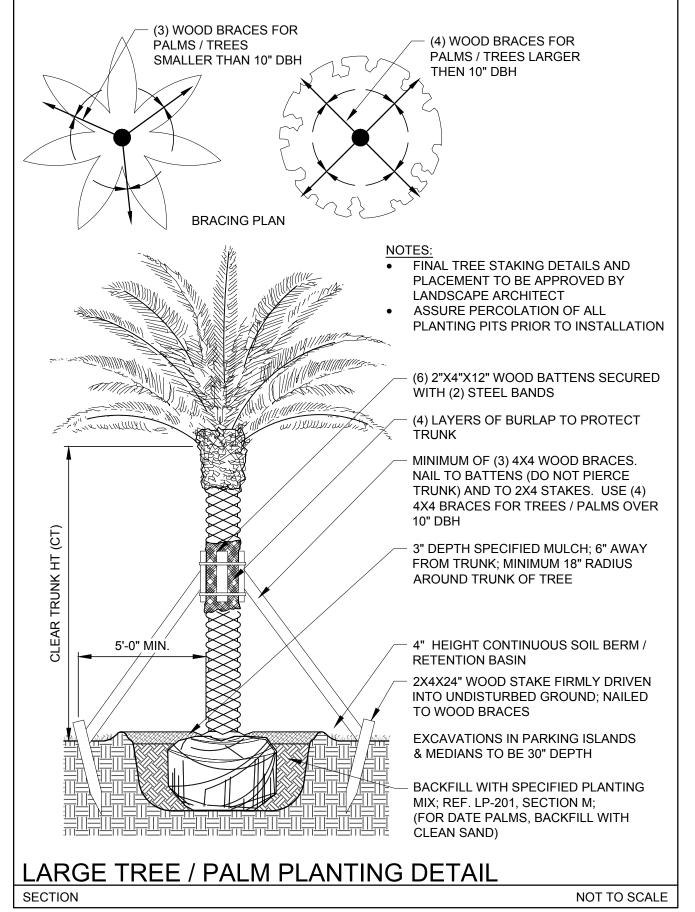
1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried

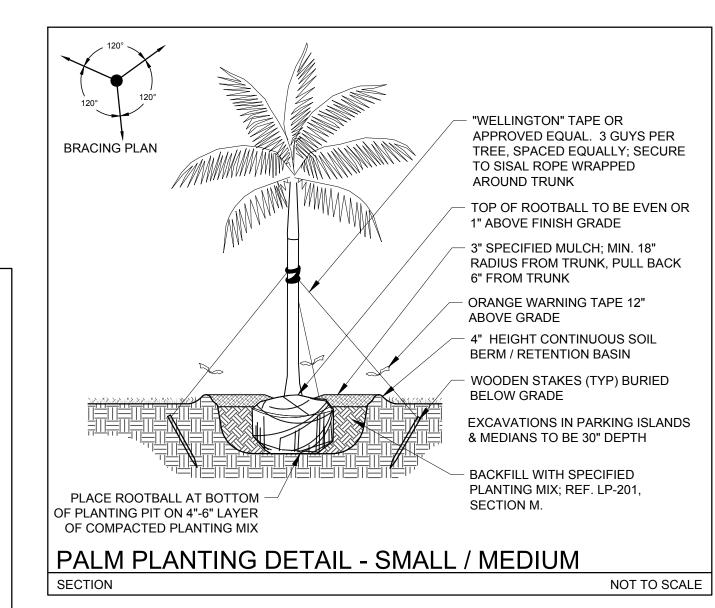


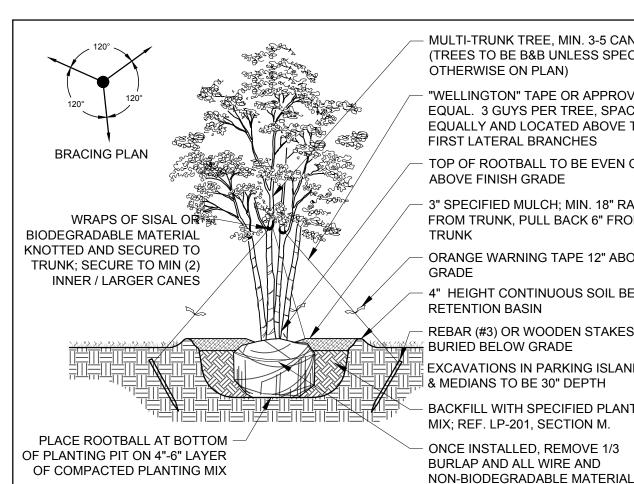
FENCE SHALL BE LOCATED MIN. 1' BEYOND CANOPY DRIP LINE PROJECTION. MORE PROTECTION MAY BE DEEMED NECESSARY FOR LARGE SPECIMEN TREES PER ARBORIST / LANDSCAPE INSPECTOR DIRECTION - EXISTING TREE OR PALM TO REMAIN (PROTECTED DURING CONSTRUCTION) 2" X 4" P.T. OR TERMITE TREATED WOOD POSTS AND FRAME EXTEND 2' MINIMUM BELOW GRADE THREE ROWS OF SPLIT RAIL 10' MAX (TYP) FENCING (2"x4") TO BE PLACED AROUND ALL EXISTING TREES TO REMAIN - MAINTAIN POSTS VERTICAL IF TERRAIN IS SLOPED **EXISTING GRADE MEETING ROOT** COLLAR TO BE PRESERVED POSTS TO BE DRIVEN INTO GROUND AVOIDING PRIMARY HORIZONTAL OVERALL DIMENSION TO PROTECT ROOT ZONE EXISTING ROOT ZONE TO BE NO VEHICULAR TRAFFIC OR CONSTRUCTION PROTECTED STORAGE WITHIN PROTECTED AREA 2" X 4" P.T. OR TERMITE TREATED 10' MAX (TYP) WOOD POSTS AND FRAME. USE #3 REBAR IN ASPHALT AREAS OR AS REQUIRED DRIP LINE EXISTING TREE OR PALM TO REMAIN (PROTECT DURING CONSTRUCTION) THREE ROWS OF SPLIT RAIL FENCING (2"x4") TO BE PLACED AROUND ALL EXISTING TREES TO REMAIN NO VEHICULAR TRAFFIC OR CONSTRUCTION STORAGE WITHIN PROTECTED AREA PLAN VIEW TEMPORARY TREE PROTECTION DETAIL NOT TO SCALE











NOT TO SCALE

MULTI-TRUNK TREE, MIN. 3-5 CANES (TREES TO BE B&B UNLESS SPECIFIED OTHERWISE ON PLAN)

"WELLINGTON" TAPE OR APPROVED EQUAL. 3 GUYS PER TREE, SPACED **EQUALLY AND LOCATED ABOVE THE** FIRST LATERAL BRANCHES TOP OF ROOTBALL TO BE EVEN OR 1"

ABOVE FINISH GRADE 3" SPECIFIED MULCH; MIN. 18" RADIUS FROM TRUNK, PULL BACK 6" FROM

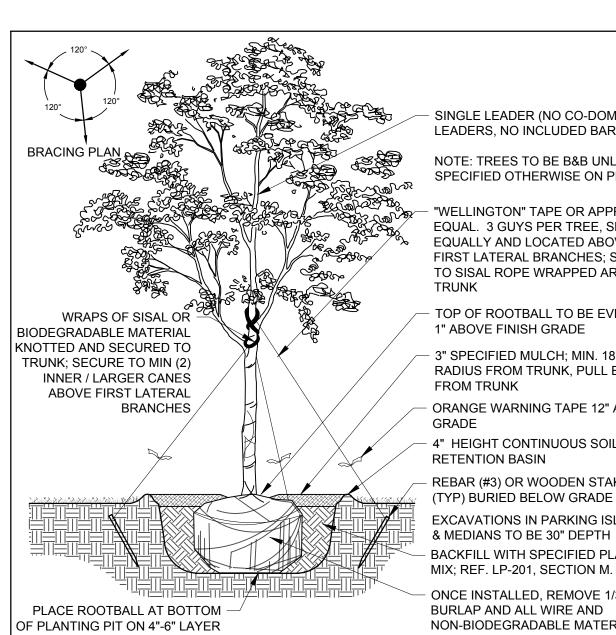
ORANGE WARNING TAPE 12" ABOVE GRADE 4" HEIGHT CONTINUOUS SOIL BERM.

RETENTION BASIN REBAR (#3) OR WOODEN STAKES (TYP BURIED BELOW GRADE EXCAVATIONS IN PARKING ISLANDS & MEDIANS TO BE 30" DEPTH

BACKFILL WITH SPECIFIED PLANTING MIX; REF. LP-201, SECTION M. ONCE INSTALLED, REMOVE 1/3 BURLAP AND ALL WIRE AND

TREE PLANTING DETAIL - MULTI-TRUNK

NOT TO SCALE



SECTION

SINGLE LEADER (NO CO-DOMINANT LEADERS, NO INCLUDED BARK)

NOTE: TREES TO BE B&B UNLESS SPECIFIED OTHERWISE ON PLAN

WELLINGTON" TAPE OR APPROVED EQUAL. 3 GUYS PER TREE, SPACED EQUALLY AND LOCATED ABOVE THE FIRST LATERAL BRANCHES; SECURE TO SISAL ROPE WRAPPED AROUND

TOP OF ROOTBALL TO BE EVEN OR 1" ABOVE FINISH GRADE

3" SPECIFIED MULCH; MIN. 18" RADIUS FROM TRUNK, PULL BACK 6" FROM TRUNK **ORANGE WARNING TAPE 12" ABOVE**

4" HEIGHT CONTINUOUS SOIL BERM / RETENTION BASIN

REBAR (#3) OR WOODEN STAKES (TYP) BURIED BELOW GRADE **EXCAVATIONS IN PARKING ISLANDS**

BACKFILL WITH SPECIFIED PLANTING MIX; REF. LP-201, SECTION M. ONCE INSTALLED, REMOVE 1/3 BURLAP AND ALL WIRE AND

NOT TO SCALE

NON-BIODEGRADABLE MATERIAL FROM THE ROOTBALL OF COMPACTED PLANTING MIX TREE PLANTING DETAIL - SINGLE TRUNK

301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643 (954) 788-3400 Miami-Dade County

> 2160 NW 82 Avenue Doral, Forida 33122 Palm Beach County

120 N Federal Highway, Suite 208 Lake Worth, Florida 33460

> Orange County 2948 E Livingston Street

Authorization Number - 7928

Orlando, Florida 32803 State of Florida Certificate of

BID / CONTRACT NO.

REVISIONS

DESCRIPTION DATE

LEDER 4161 HILLSBORO **STORAGE**

SCALE: AS NOTED DATE ISSUED: 09/21/2021 **DRAWN BY:** SR **DESIGNED BY:** MP CHECKED BY: MP

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

LANDSCAPE **DETAILS**

SHEET NUMBER

LP-501

PROJECT NO. 09675.01

SPECIFIED MULCH; AT LEAST 3" AWAY FROM BASE OF SHRUBS TURF AREA SHOVEL CUT EDGE EXCAVATE TO: - MIN. 18" BED DEPTH FOR SHRUB MATERIAL SLOPE TOWARDS SHRUB BED; - MIN. 18" FOR GROUNDCOVER PLANTING; MULCH FLUSH WITH PAVEMENT - EXCAVATION SHALL BE CONTINUOUS THROUGHOUT PLANTING BED TO RECEIVE PLANTING SOIL AND PLANTS; NO PIT PLANTING PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY OR AT THE DIRECTION OF THE

TOP OF ROOTBALL EVEN OR

1" ABOVE FINISHED GRADE

BETWEEN

SPECIES

LANDSCAPE ARCHITECT. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING BEDS PRIOR TO INSTALLATION.

SHRUB AND GROUNDCOVER PLANTING

SECTION

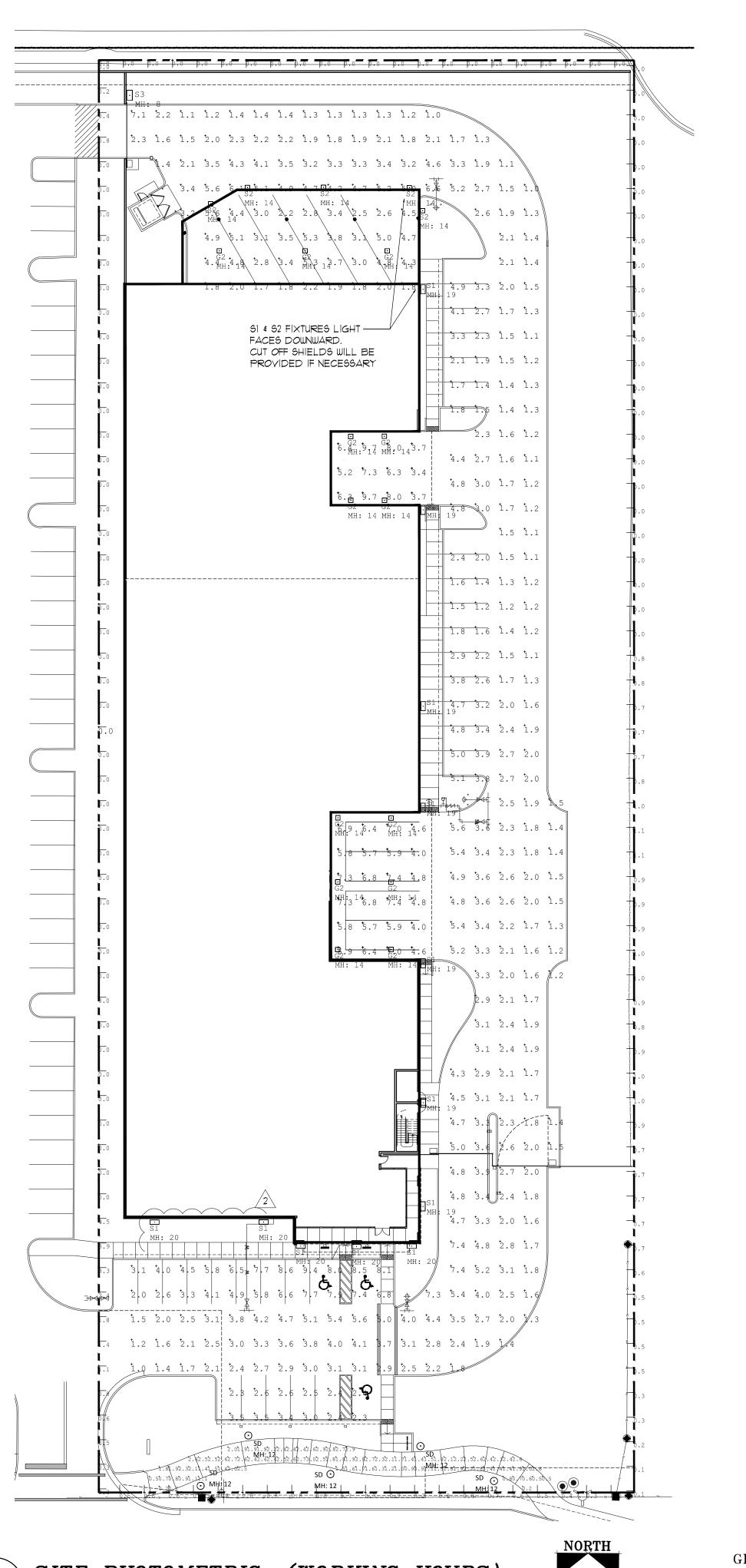
MAINTAINED

CLEAR ZONE

NOT TO SCALE

FILL BED WITH 3"

NOT TO SCALE



Symbol	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
\odot	SD	SINGLE	N.A.	0.900	EMM-E01-LED-E1-SL2-HSS	24.7
→	G2	SINGLE	N.A.	0.900	CLCS17S-40W-4000K	37.5
<u> </u>	S1	SINGLE	N.A.	0.900	GWC-SA2C-740-U-T4FT	113
+	S2	SINGLE	N.A.	0.900	GWC-SA1A-740-U-T4FT	34
<u> </u>	S3	SINGLE	N.A.	0.900	PRV-P-PA1A-730-U-T2R-HSS	30.7

Calculation Summary							
Scene: WORKING HOURS							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
NORTH COVERED LOADING	Illuminance	Fc	6.48	9.7	3.4	1.91	2.85
PARKING AND DRVELANE	Illuminance	Fc	2.98	9.4	1.0	2.98	9.40
PED WALKWAY	Illuminance	Fc	1.83	3.0	0.2	9.15	15.00
PROPERTY LINE	Illuminance	Fc	0.38	4.5	0.0	N.A.	N.A.
SOUTH COVERED LOADING	Illuminance	Fc	6.05	7.4	4.0	1.51	1.85

McGraw-Edison

DE SERVICIO SECRETARIO SECRETARIO

GWC Galleon Wall

Wall Mount Luminaire

Product Features

DANS SAT PRINCIPAL STREET BAA

Connected Systems

Lumark AP

Surface / Canopy Luminaire

CLCS Canopy

Product Features

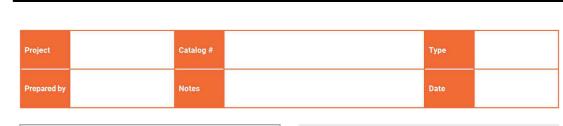
Product Certifications

CERTIFIED CLASSA CAMUCIS ADIO

WaveLinx

Enlighted

Qty. Luminare Lumens Total Lamp description 12 14850 S1 LED wallpack 32 LED wallpack 5 5008 S3 LED wallpack 1 3394 Total Luminare Lumens Site allowed Project is compliant?



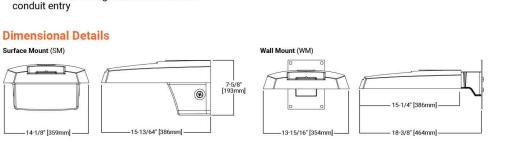
















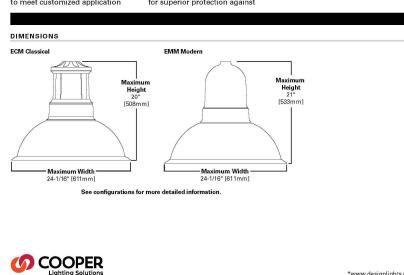


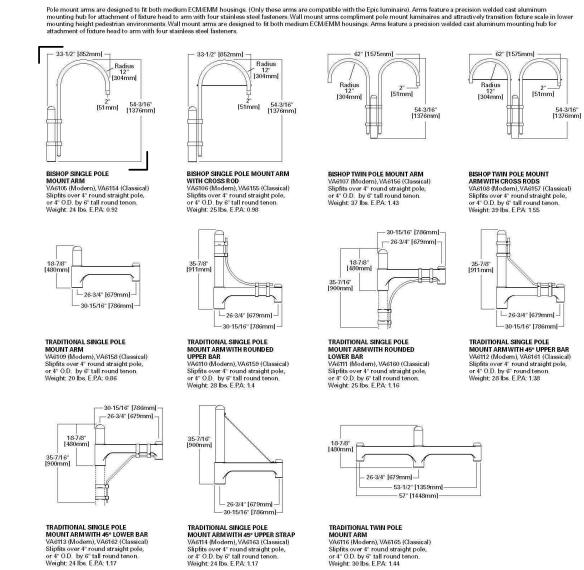


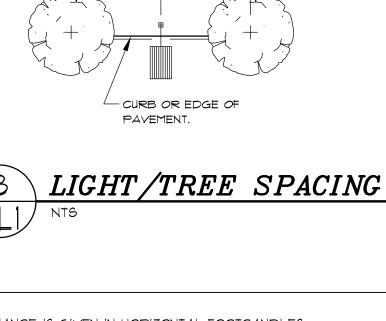


HIPPING DATA proximate Net Weight: lbs. [20 kgs.]

COOPER COUNTRY







25040

326471.6

STORAGE

HILLSBORO

4161

ARCHITECT,

3 1/2

WEST TUNO:

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3394 206634

Yes

ILLUMINANCE IS GIVEN IN HORIZONTAL FOOTCANDLES . LIGHTING DESIGN DERIVED FROM PUBLISHED IES PHOTOMETRIC FILES

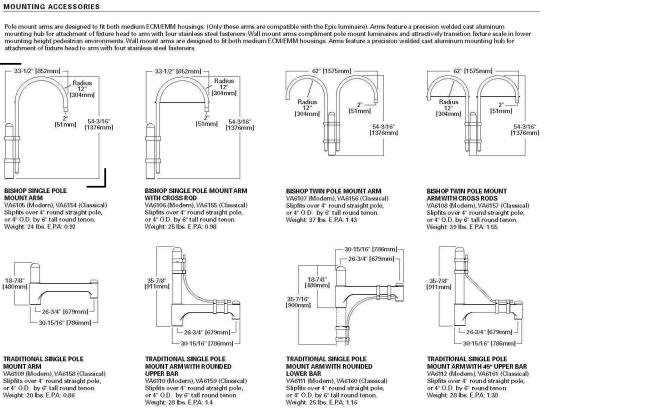
CROSS VERIFY VOLTAGE / PHASE W/ PROJECT CONDITIONS PRIOR TO ORDERING W/ ARCHITECT / OWNER. LIGHTING FIXTURES MARKED WITH (*) ARE PRODUCT SPECIFIC AND ARE NOT TO BE SUBSTITUTED WITHOUT SPECIFIC APPROVAL WITH ARCHITECT / OWNER PRIOR TO START OF CONSTRUCTION. THESE FIXTURES ARE PART OF A LIGHTING ANALYSIS FOR THE EXTERIOR OF THE BUILDING, FOR ADDITIONAL INFORMATION REGARDING LIGHTING PRODUCTS CONTACT: "MATT MARSHALL" AT 'LIGHTING DYNAMICS, INC' 7835 W. COMMERCIAL BLVD. TAMARAC, FL. 33351 (954) 944-0286

SUBMITTALS OF ALTERNATE LIGHT FIXTURES REQUIRE COMPLETE PHOTOMETRICS SIGNED AND SEALED BY FLORIDA REGISTERED, LICENSED ELECTRICAL ENGINEER FOR ARCHITECTS REVIEW AND IF ACCEPTABLE SUBMITTAL TO BUILDING DEPARTMENT FOR PERMIT REVISION BY GENERAL CONTRACTOR AT CONTRACTOR'S EXPENSE

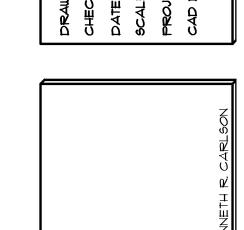
NOTE:

Light Compliance Chart

AN OUTDOOR LIGHTING INSTALLATION SHALL NOT BE PLACED IN PERMANENT USE UNTIL A LETTER OF COMPLIANCE SIGNED AND SEALED BY A REGISTERED ENGINEER OR ARCHITECT IS PROVIDED TO THE CITY STATING THE THE LIGHTS HAVE BEEN FIELD-TESTED AND MEET THE STANDARDS OF THIS CODE.

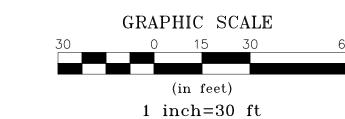


ECM/EMM EPIC MEDIUM LED



SHEET PAGE

AR12546



52

Ordering Information page 2

Control Options page 6

Quick Facts

COOPER
Lighting Solutions

Typical Applications

and Healthcare Entryways

Interactive Menu

Dimensional Details

CLCS15 / CLCS17

COOPER Lighting Solutions

Bank and Pharmacy Drive-thrus . Covered Side Walks . Hospitality

Stock Ordering Information page 2

Replaces 150W up to 400W HID equivalent

Fixed output and selectable configurations available across 2 housing sizes

Lumen packages range from 5,500 - 17,600 lumens (40W - 120W)

Energy and maintenance savings up to 86% versus HID solutions

Efficacies up to 153 lumens per watt at maximum output

 Product Specifications page 2 Energy and Performance Data page 2

AccuLED Optics™

Dimensional Details

• Product Specifications page 2

Optical Configurations page 3

Energy and Performance Data page 4

Choice of thirteen high-efficiency, patented

• Efficacies up to 154 lumens per watt

• Downward and inverted wall mounting configurations

• Eight lumen packages from 3,215 up to 17,056

NOTES:

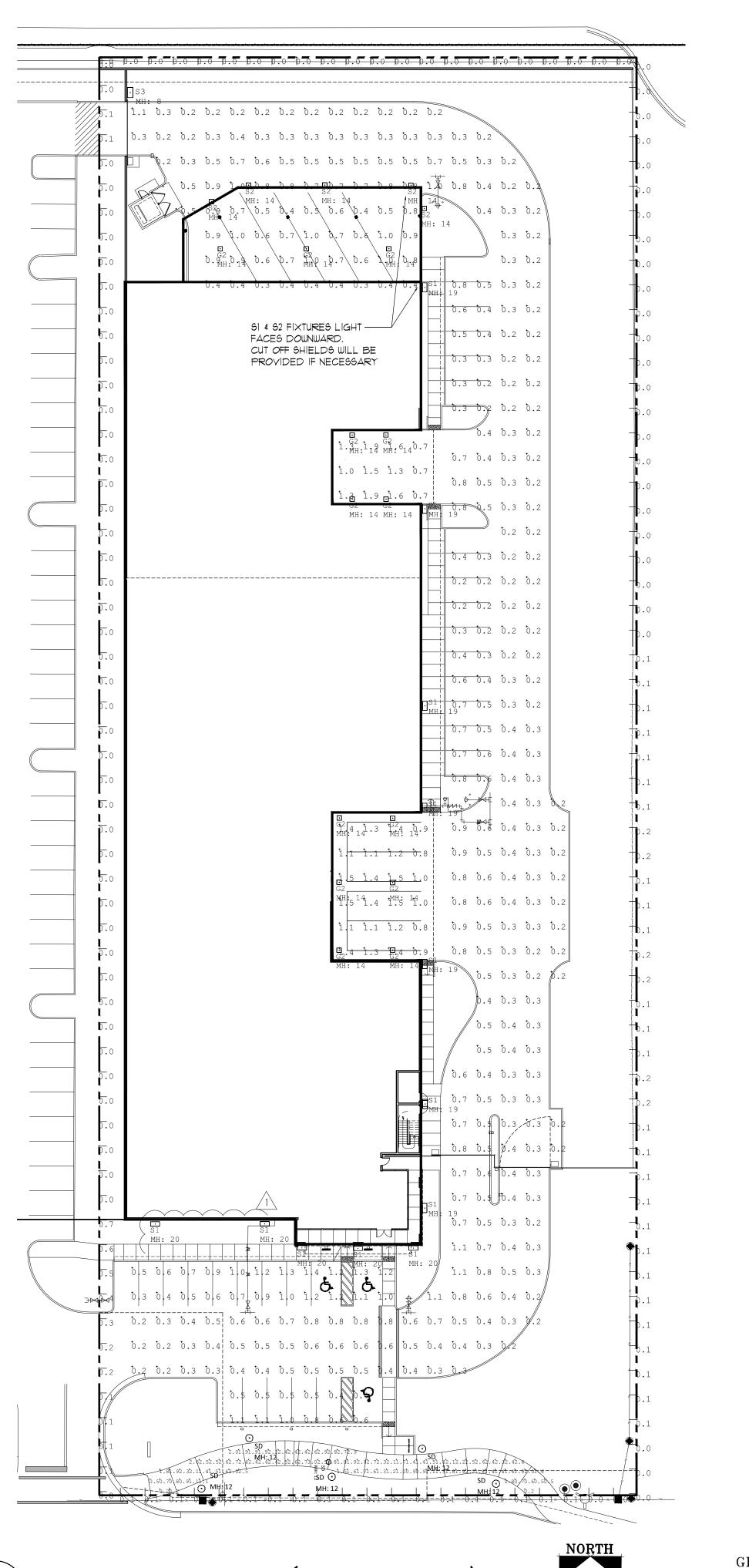
1. Visit https://www.designlights.org/search/ to confirm qualification. Not all product variations are DLC qualified.

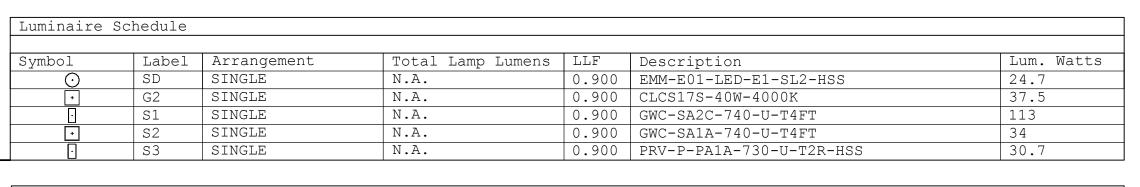
2. IDA Certified for 3000K CCT and warmer only.



PS514103EN page 1 May 25, 2021 1:17 PM

SITE PHOTOMETRIC (WORKING HOURS





Calculation Summary								
Scene: AFTER HOURS								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
NORTH COVERED LOADING	Illuminance	FC	1.29	1.9	0.7	1.84	2.71	
PARKING AND DRVELANE	Illuminance	FC	0.98	3.5	0.3	3.27	11.67	
PED WALKWAY	Illuminance	FC	1.83	3.0	0.2	9.15	15.00	
PROPERTY LINE	Illuminance	FC	0.12	0.7	0.0	N.A.	N.A.	
SOUTH COVERED LOADING	Illuminance	Fc	1.22	1.5	0.8	1.53	1.88	

51 = 52

McGraw-Edison

TO STATE OF THE PERSON OF THE

GWC Galleon Wall

Wall Mount Luminaire

Product Features

DANS SAT PRINCIPAL STREET BAA

Connected Systems

Lumark AP

Surface / Canopy Luminaire

CLCS Canopy

Product Features

Product Certifications

CERTIFIED CLASSA CAMUCIS ADIO

WaveLinx

Enlighted

Ordering Information page 2

Control Options page 6

Quick Facts

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Dimensional Details

• Product Specifications page 2

Optical Configurations page 3

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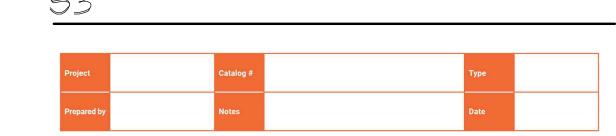
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Interactive Menu Ordering Information page 2 Mounting Details page 3 • Product Specifications page 3 Energy and Performance Data page 4 Control Options page 5

Quick Facts Direct-mounted discrete light engine for improved optical uniformity and visual comfort Lumen packages range from 4,300 - 11,300 lumens (30W - 90W)

• Replaces 70W up to 250W HID equivalents Efficacies up to 147 lumens per watt Surface mount configuration with standard conduit entry

Dimensional Details Surface Mount (SM)

Connected Systems

PS514108EN page 1 December 10, 2021 9:01 AM

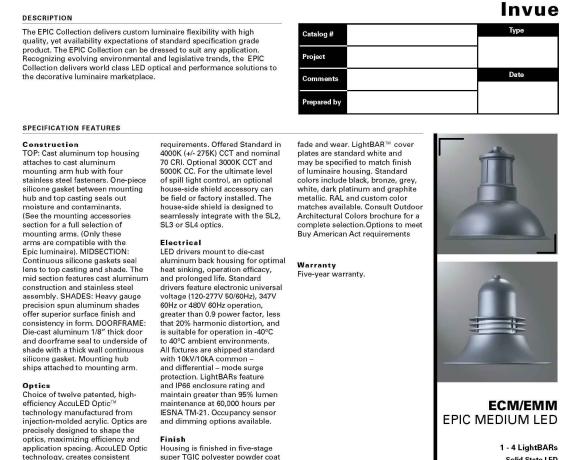
WaveLinx

NOTES.

1. Visit https://www.designlights.org/search/ to confirm qualification. Not all product variations are DLC qualified.

2. IDA Certified for 3000K CCT and warmer only.

SD



DIMENSIONS **ECM Classical** EMM Modern See configurations for more detailed information. Scene/Channel Summary Scene: AFTER HOURS Switched | Dimming | # Lums 0.15



- CURB OR EDGE OF

PAVEMENT.

ILLUMINANCE IS GIVEN IN HORIZONTAL FOOTCANDLES 2. LIGHTING DESIGN DERIVED FROM PUBLISHED IES PHOTOMETRIC FILES

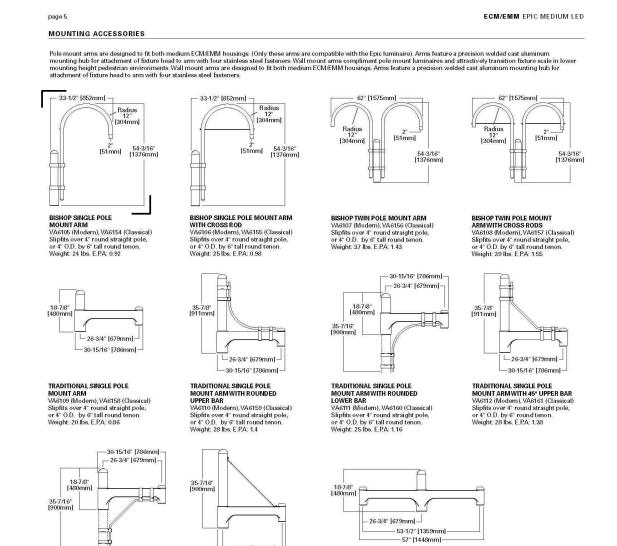
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NOTE:

COOPER COUNTRY

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TRADITIONAL TWIN POLE MOUNT ARM VA6116 (Modern), VA6165 (Classic: Slipfits over 4" round straight pole or 4" O.D. by 6" tall round tenon. Weight: 30 lbs. E.P.A: 1.44

SHEET

PAGE

AR12546

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STORAGE

HILLSBORO

4161

WEST TUNO:

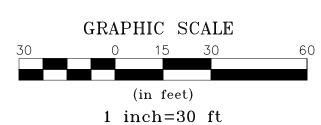
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3 1/2

application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against Solid State LED RTIFICATION DATA HIPPING DATA proximate Net Weight: lbs. [20 kgs.] COOPER Lighting Solutions

COOPER Lighting Solutions





PS514103EN page 1 May 25, 2021 1:17 PM

Greenspoon Marder...

Julian Bobilev, AICP 200 East Broward Boulevard, Suite 1800 Fort Lauderdale, Florida 33301 Direct Phone: 954.527.6258 Direct Fax: 954.333.4266 Email: julian.bobilev@gmlaw.com

May 17, 2022

VIA EMAIL: laguiar@coconutcreek.net

Liz Aguiar, AICP
Principal Planner
City of Coconut Creek
Department of Sustainable Development
4800 West Copans Road
Coconut Creek, FL 33063

Re: Community Meeting Summary – Hillsboro Self-Storage

4161 Hillsboro Boulevard – PZ-21090005

Dear Ms. Aguiar:

On behalf of 4161 Hillsboro, LLC, ("Applicant"), please consider this letter as a summary report of community outreach efforts undertaken in relation to the proposed rezoning and site plan applications regarding the above referenced matter.

At 6:00 p.m. on May 16, 2022, we held a community meeting in the office of the Extra Space Self Storage building located at 4191 W. Hillsboro Boulevard. An invitation was mailed on May 5 to all property owners within the City's required 500 ft. notice radius of the entire PCD boundary, to the additional residents within the Crescent Creek community outside of the notice radius, and to the tenants at 4171 W. Hillsboro Boulevard. Five (5) individuals attended the meeting. The applicant team consisted of Sean Leder and Dennis Mele and Julian Bobilev from Greenspoon Marder LLP. Commissioner Josh Rydell was also in attendance. The attendee list is as follows:

- 1. Dee Buys
- 2. Gary Lobban
- 3. Cecile Lobban
- 4. Charmaine Buchanan
- 5. Jonathan Ormon

Dennis Mele introduced the project and noted that it had been revised twice; once to shift the main building "A" from the eastern property line to the western property line, and a second time to eliminate all the single-story buildings per City direction. Mr. Mele also noted there would be no access from the site onto NW 71st Street.

Letter Re: Community Meeting Summary – Hillsboro Storage - PZ-21090005

May 17, 2022 Page No. 2

Mr. Mele then invited the residents to look out the windows of the self-storage facility towards the shopping center to the west. He noted that the distance from the drive aisle curb to the property line wall was approximately 15-20 feet, with a drainage swale and landscaping adjacent to the wall. In the new project, on the other hand, the distance from the drive aisle curb to the property line wall would be 35 feet, with an initial line of trees, drainage swale, hedge, and a second line of trees. Since the new project would be adjacent to residential rather than a shopping center, it is required to have more landscaping.

Mr. Mele concluded the project would likely go to PZB in July, and a date would be notated on the public notice sign in front of the property once it was known. Commissioner Josh Rydell noted that this would require a 1,000-foot notice. The project would also be in front of the City Commission for two readings likely in August.

Below is a summary of questions and comments from the attendees and the responses provided by the development team.

Landscaping and Buffering

Q: Gary Lobban: How high would the trees on the eastern property line be?

A: Trees would be 15 feet in height with a 7-foot spread at the time of planting. They would be live oaks.

Q: Charmaine Buchanan: Live oaks' roots can spread to our property and cause damage.

A: We have a 35-foot area so there is plenty of room for the planting.

A resident suggested palm trees. *Gary Lobban* stated that palm trees are not canopy trees so they would not have the desired buffering effect. Dennis Mele also stated palm trees would not work well to shield the building from view.

Q: Cecile Lobban: Who is going to maintain the landscaping?

A: It will be on the applicant's side of the property line and they will be responsible for maintaining the landscaping.

Building Height

Q: *Gary Lobban*: Having a high building behind our homes is a privacy issue.

A: The good thing about self-storage versus another use is there are no windows, so nobody can look out. With office use, you could look out. It is also a low traffic generator.

Q: Charmaine Buchanan: Do you have an RV storage area?

A: There are six (6) parking spaces in the back where you could store RVs. At one point we were proposing doing a whole parking lot for RV storage, but the City pushed back.

Letter Re: Community Meeting Summary – Hillsboro Storage - PZ-21090005

May 17, 2022 Page No. 3

There will be a metal canopy and RVs will have to fit under there. You won't be able to see much of anything with the canopy and the landscaping.

Q: Charmaine Buchanan: Even with the wall, from my second story we can see everything going on in the Sherwin Williams building.

A: Right now you only have a wall and not landscaping. Sean Leder put in the wall much earlier than he is required to do. Landscaping cannot be put in without irrigation and right now there is no electricity to run the irrigation.

Q: Cecile Lobban: It's going to be an eyesore. My only concern is the 3-story portion. **A:** Think about what else could be built in the CF district, like a church, playground, basketball court, school, etc, all of which would be more impactful uses.

Lighting

Q: Cecile Lobban: What about the lighting?

A: Coconut Creek has a dark sky ordinance. Not only can you not have light spill onto the ground of the adjoining property, but you also can't have glare onto the adjoining property. The City makes us do a photometric plan for every light on the outside of the property.

Construction Vibration

Q: Charmaine Buchanan: When the other self-storage was being constructed, my house was shaking due to vibration. I was concerned about cracks in the pool or the foundation. This construction is going to be that much closer.

A: We will not be using dynamic compaction. We will be using standard construction methods since the soil is good.

Please contact me at (954) 527-2485 if you have any questions or comments regarding this summary letter or the community outreach meeting.

Sincerely,

GREENSPOON MARDER LLP

Julian Bobilev, AICP

Attachments:

- 1. Notice Certification
- 2. May 16, 2022 Applicant PowerPoint Presentation
- 3. May 16, 2022 Community Meeting Sign-In Sheet

Boca Raton Denver Edison Ft. Lauderdale Las Vegas Los Angeles Miami Naples New York Orlando Portland Scottsdale Tallahassee Tampa West Palm Beach



CERTIFICATION LETTER

City of Coconut Creek

Date:

May 5, 2022

Applicant:

Greenspoon Marder LLP.

Subject Property:

Parcel A of Workingman's Nursery Plat as recorded in Plat

Book 126 Page 22 of the Public Records of Broward

County, Florida

General Location:

4161 W. Hillsboro Boulevard

This letter also certifies that the attached mailing lists are a complete and accurate representation of the property owners within 500 feet of the subject property listed above, all parcels within the Crescent Creek Homeowner's Association, and the tenants of 4171 W. Hillsboro Boulevard.

This letter certifies that the attached notice was mailed on May 5, 2022.

Sincerely,

Christina Mathews

Sworn and subscribed before me this 5th day of

May, 2021.

Signature of Notary

JEFFERSON DURHAM
Commission # HH 094399
Expires February 17, 2025
Bonded Thru Troy Fain Insurance 800-385-7019

1025 Yale Drive Hollywood, Florida 33021 954-920-2205

Email: cutroplanning@yahoo.com

4161 Hillsboro Blvd project Community Meeting

May 16, 2022 6:00 PM



Building and Site Design Prior to Presentation to the Crescent Creek Community HOA

Buildings:

Bldg. A: 86,400 SF, 3 stories, 40'

high

Bldg. B: 7,500 SF

Bldg. C: 3,000 SF

Bldg. D: 3,800 SF

Bldg. E: 4,200 SF

Bldg. F: 4,200 SF

(Bldgs. B through

F are all 1 story

and a max. of 17'

high)





ng 3D

Building and Site Design After Presentation to the Crescent Creek Community HOA

Buildings:

Bldg. A: 114,000 SF, 4 stories, 53'

high

Bldg. B: 10,250 SF

Bldg. C: 3,800 SF

Bldg. D: 4,200 SF

Bldg. E: 4,200 SF

Bldg. F: 3,800 SF

(Bldgs. B through F

are all 1 story and

a max. of 17' high)

Design Changes:

Buildings A and B have been flipped so that the larger Bldg. A is on the west side, farther from residences.





#2, 3D

Building and Site Design After Engaging in Development Review Committee Process with City of Coconut Creek Department of Sustainable Development

Buildings:

One building only: 166,604 SF 4 stories @53' 3 stories @38'

Design Changes:

Per City staff comments, all single-story buildings have been eliminated and incorporated into the main building to keep the entire massing away from residential property line.









#3, 3D

Community Meeting – Sign-in Sheet – May 16, 2022

Proposed Development at 4161 W. Hillsboro Boulevard, Coconut Creek (34076.0002)

Name	Address	Phone Number	E-Mail
Set Burs	460 SE 17 4 Ave Despite Book N 7087 Cres Cric LN.	954-444-333	3 deebuysabellson
	Desphiels Land		
GARY + CECILE LOBBA	N 7087 Cres Cric LN.		
CHARMANE BULHANAN	7093 CRESCENT CREEK UN.		
Sonathan Omand	4042 Crescent Creek Pl.	954.531. 1512	jonathanormen Lom
270			
	(53H) (53H) (15H) (15H)		
5448			
1			