

# McDonald's USA, LLC

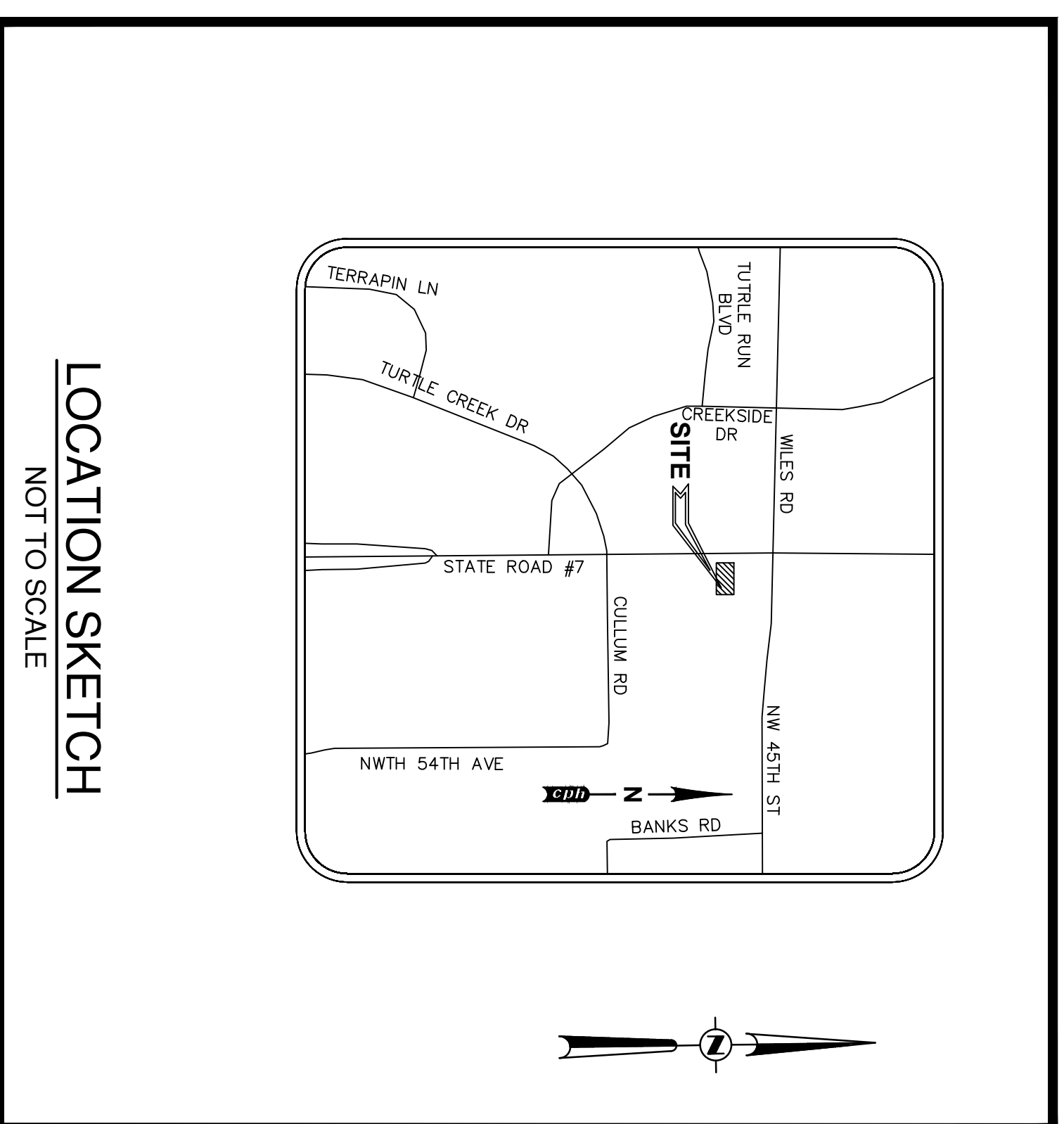
4480 NORTH STATE ROAD 7  
COCONUT CREEK, FLORIDA

## LEGAL DESCRIPTION:

A portion of Parcel "A" of McJAMES PLAT NO. 1 according to the plat thereof as recorded in Plat Book 147 of Page 18 of the Public Records of Broward County, Florida, being more particularly described as:

Commence at the Northwest Corner of said Parcel "A"; thence S 00°59'59" E along the West line of said Parcel "A" for 253.88 Feet to the Point of Beginning of the hereinafter described parcel of land; thence continue S 00°59'59" E along West line for 156.01 Feet; thence N 89°37'53" E for 248.99 feet; thence N 00°22'08" W for 156.00 feet; thence S 89°37'53" W for 250.71 feet to the Point of Beginning.

Said lands situate lying and being in the City of Coconut Creek, Broward County, Florida, and containing 38,977 square feet or 0.895 acres, more or less.



## PROJECT OWNER

MCDONALD'S CORPORATION  
10150 HIGHLAND MANOR DRIVE  
TAMPA, FLORIDA 33160  
(813) 630-9634

## SURVEYOR

GPH CORPORATION  
500 W. FULTON STREET  
SANFORD, FLORIDA  
(407) 322-8941

## ARCHITECT

HARTLEY & PURDY ARCHITECTURE, INC  
1711 NORTH HIMES AVENUE  
TAMPA, FLORIDA 33607  
(813) 353-0035

## LANDSCAPE ARCHITECT

MLA GROUP, INC.  
690 NORTHEAST 13 STREET  
SUITE 105  
FT. LAUDERDALE, FLORIDA 33304  
(954) 763-4071

## PLANNER

CORPORATE PROPERTY SERVICES  
1239 E. NEWPORT CENTER DRIVE  
SUITE 113  
DEEFIELD BEACH, FLORIDA 33442  
(954) 426-5144

## CIVIL ENGINEER

ZAMORA & ASSOCIATES, INC  
11410 N. KENDALL DRIVE SUITE 302  
MIAMI, FLORIDA 33176  
(305) 273-7801

## PROJECT OWNER

MCDONALD'S CORPORATION  
10150 HIGHLAND MANOR DRIVE  
SUITE 470  
TAMPA, FLORIDA 33160  
(813) 630-9634

PROJECT No. 2014-45

DATE: 8/13/2014

**ZAMORA & ASSOCIATES, INC.**  
ENGINEERING LAND PLANNING  
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
(305) 273-7801 FAX (305) 273-9514

## INDEX OF CIVIL DRAWINGS

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PH	PHOTOMETRIC PLAN

**Note: All responses to this checklist are to reflect effects ABOVE minimum code requirements.**

GREEN STANDARDS	DESCRIPTION (examples of how to demonstrate)
LEED (ADD)	Michael Huroff Lead Coordinator, Hardy-Purdy
Sustainable Site Development	Final plans provided at early team walk
Construction Pollution Prevention	Agreement has signed to 75% of waste from construction/paint be N/A and non-apply
Construction site materials recycling	N/A
Sustainable transportation	1 LEV vehicle parking provided and bicycle parking rack
Alternative transportation	N/A
Minimizing heat island effect	N/A
Water Efficiency	Low Flow Toilets, Urinals, Showerheads, Faucets
Energy Efficiency	Low flow faucets, fixtures
Minimum energy performance	LED lights, white membrane roof where applicable
On-site renewable energy	N/A
Indoor air quality	All major alterations are using low VOC products, Interior Painting and Adhesives specifications 098123 Part 2.00, Interior Wall Coverings Specifications 098123 Part 2.04, Acoustical Panel Ceilings - section 098113 Part 2.00
Materials and Recycling	Agreement has signed to 75% of waste from construction/paint be recycled and 75% of waste from demolition/paint be recycled unless otherwise noted
Storage and collection of recyclables post occupancy	Recycling dumpster provided for concrete to use and all cardboard from Regional materials
Regional materials	Regional materials will be used as often as possible
13-320(B)(3)	Regional materials will be used as often as possible
Acknowledgment to maintain the green building components for the life of the building	McDonald's USA, LLC and store operator

GREEN PLAN ACTION ITEMS	DESCRIPTION (examples of how to demonstrate)
Action 1.6 - Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design value.	N/A
Action 2.1 - Achieve 40% tree canopy coverage throughout the City by maintaining tree coverage on public lands and by planting trees throughout the City by 25% by 2014 and 50% by 2020.	N/A
Action 2.2 - Achieve 40% greener roof coverage for new construction in MainStreet Project Area and 10% greener roof coverage for new construction for areas outside of MainStreet. (A high-reflectance paint roof)	N/A
Action 5.3 - Require all construction and demolition debris to divert 75% of waste from landfills.	Recycle Services will provide new recycle rack by front door
Action 7.2 - Bicycle parking on site	N/A

**Note: All responses to this checklist are to reflect effects ABOVE minimum code requirements.**

1. MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
3. (3) 1 1/2" EMPTY CONDUITS TO LOCATIONS SHOWN AT THE LOT PER-METER FOR LOT LIGHTING IS SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR.
4. BASES AND CONDUITS ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE ANCHOR SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN SEPARATE PLAN X. EXISTING UTILITIES ARE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION. G.C. TO PROVIDE AS-BUILT UTILITY PLAN.
6. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATIONS, SIZES, AND CIRCUITING.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND-BREAK.
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 2" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	2/1/17	CITY COMMENTS	GZ	
2	2/24/17	CITY COMMENTS	GZ	

SEAL:

JERRY ZAMORA P.E.  
CIVIL ENGINEER  
P.E. NO. 44207  
E.B. 0008/91  
STATE OF FLORIDA

### PARKING INFORMATION

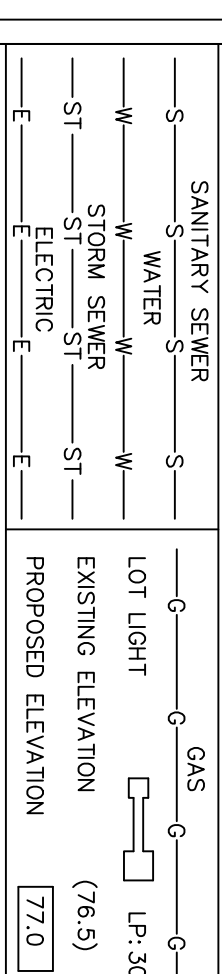
TOTAL SPACES	2 SPACES	12' X 18'	18' X 30'
31	9 SPACES	10' X 18'	90 •
	13 SPACES	10' X 18'	60 •
	7 SPACES	10' X 18'	45 •

### UTILITY INFORMATION

UTILITY	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

PREPARED BY: GPH CORP  
10150 HIGHLAND MANOR STREET  
SANFORD, FL 32771-6841  
DATE: MAY 28, 2014

### LEGEND



4480 N. STATE ROAD 7

CITY STATE  
COCONUT CREEK FLORIDA

COUNTY  
BROWARD

REGIONAL DWG. NO LOCATION CODE NUMBER  
— 009 — 2078

PLAN APPROVAL	DATE
SIGNATURE (2 REQUIRED)	

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.

CO-SIGN SIGNATURES	DATE	BY

STATUS	DATE	BY
PRELIMINARY		
PLAN CHECKED		
AS-BUILT		

McDONALD'S

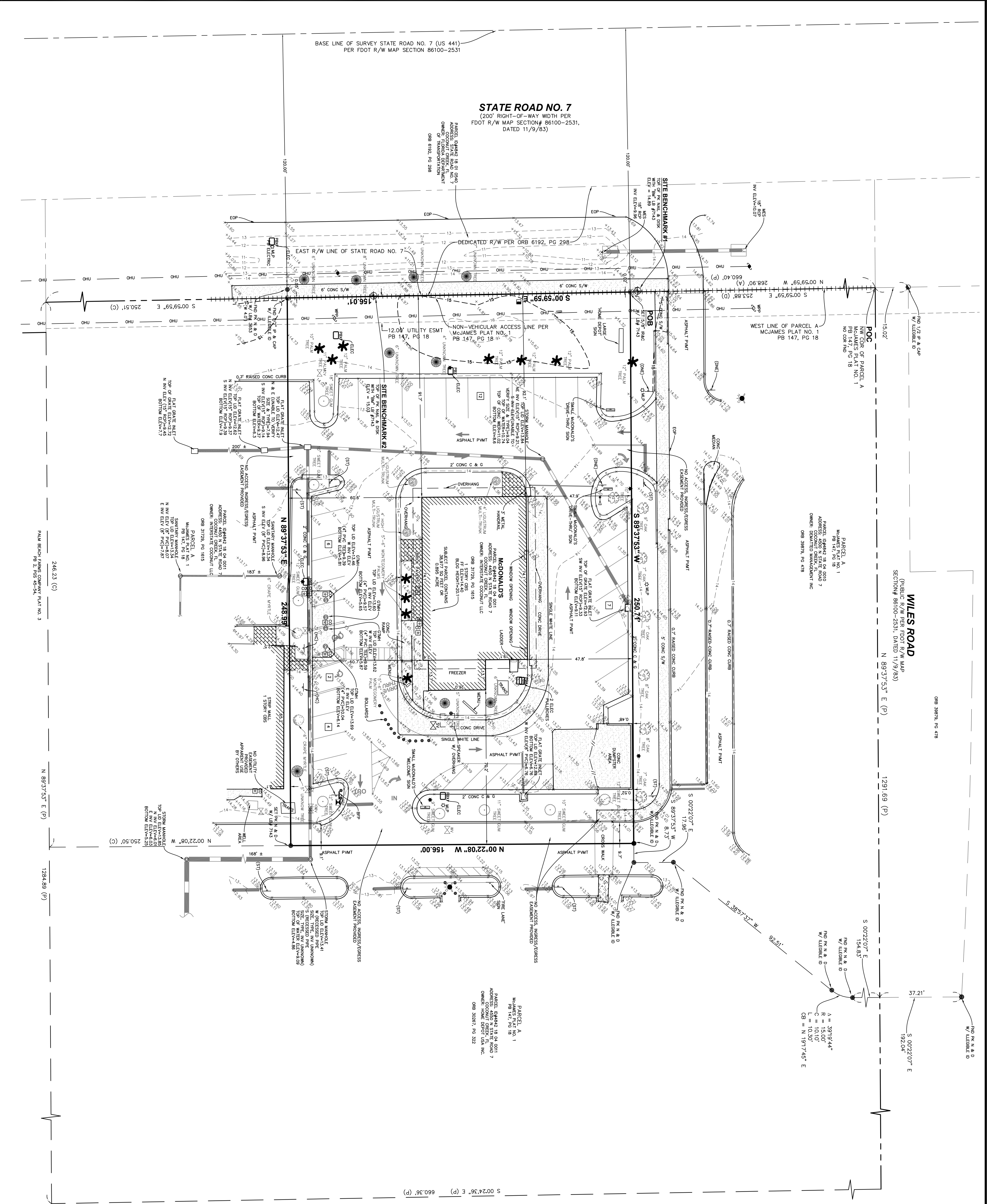
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE ADDRESS

CS







**NOTE:**  
 THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 2 OF 2.

**FIELD REPRESENTATIVES:**  
 G.O.A. - GEORGE A. LANSBARE, L.S. - LICENSED SURVEYOR  
 L.A.S. - LANDSCAPE ARCHITECTS, L.L.C. - LICENSED LANDSCAPE ARCHITECTS  
 M.E.P. - MECHANICAL, ELECTRICAL, PLUMBING ENGINEERS, INC. - LICENSED MECHANICAL ENGINEERS

**GRAPHIC SCALE**  
 1" = 20' FT.

**Survey Prepared By:**  
 GPH  
 5201 GPH, LLC  
 Sanford, FL 32771  
 PH: 407.322.8841

**Eng. License:** 3115  
**Survey License:** No. 7143  
**Arch. License:** No. AA2809298  
**Landsc. License:** No. LA0800298

<b>Field Crew:</b>	E.H.	⚠				
<b>Drawn by:</b>	J.T.F.	⚠				
<b>Checked by:</b>	R.L.R.	⚠				
<b>Approved by:</b>	P.J.K.	⚠				
<b>Scale:</b>	1"=20'	⚠				
<b>Date:</b>	5/29/14	⚠				
<b>Job No.:</b>	M29839	⚠				
<b>File:</b>	M29839.dwg	⚠				
<b>Revision</b>			<b>No.</b>	<b>Date</b>		<b>Bv</b>

**BOUNDARY & TOPOGRAPHIC SURVEY**

**McDonald's**  
 L/C 009-2078  
 WILES AND 441  
 SECTION 18-TOWNSHIP 48 SOUTH-RANGE 42 EAST  
 BROWARD COUNTY, FLORIDA

**www.gph.com**  
**A Full Service A & E Firm**  
 Architects  
 Engineers  
 Environmental  
 Landscape Architects  
 M/E/P  
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**Offices in:**  
 • Florida  
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 • Maryland  
 • Texas

**Sheet No. 2 of 2**



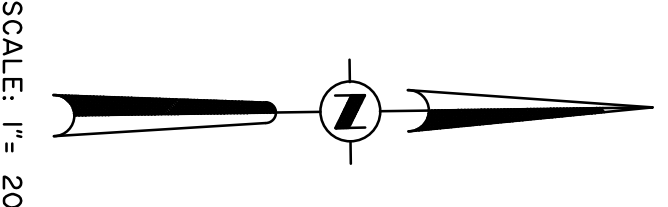


**LIGHTING NOTE:**  
LIGHTING FIXTURES ARE TO REMAIN AT EXISTING LOCATIONS.

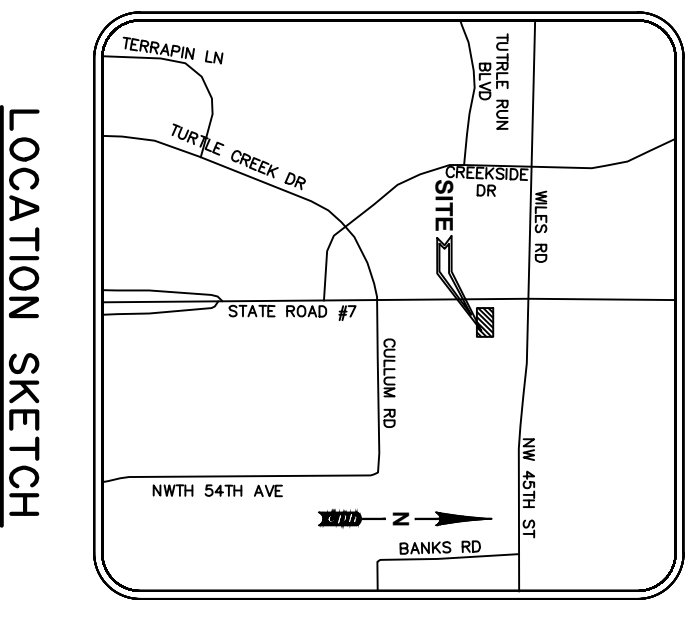
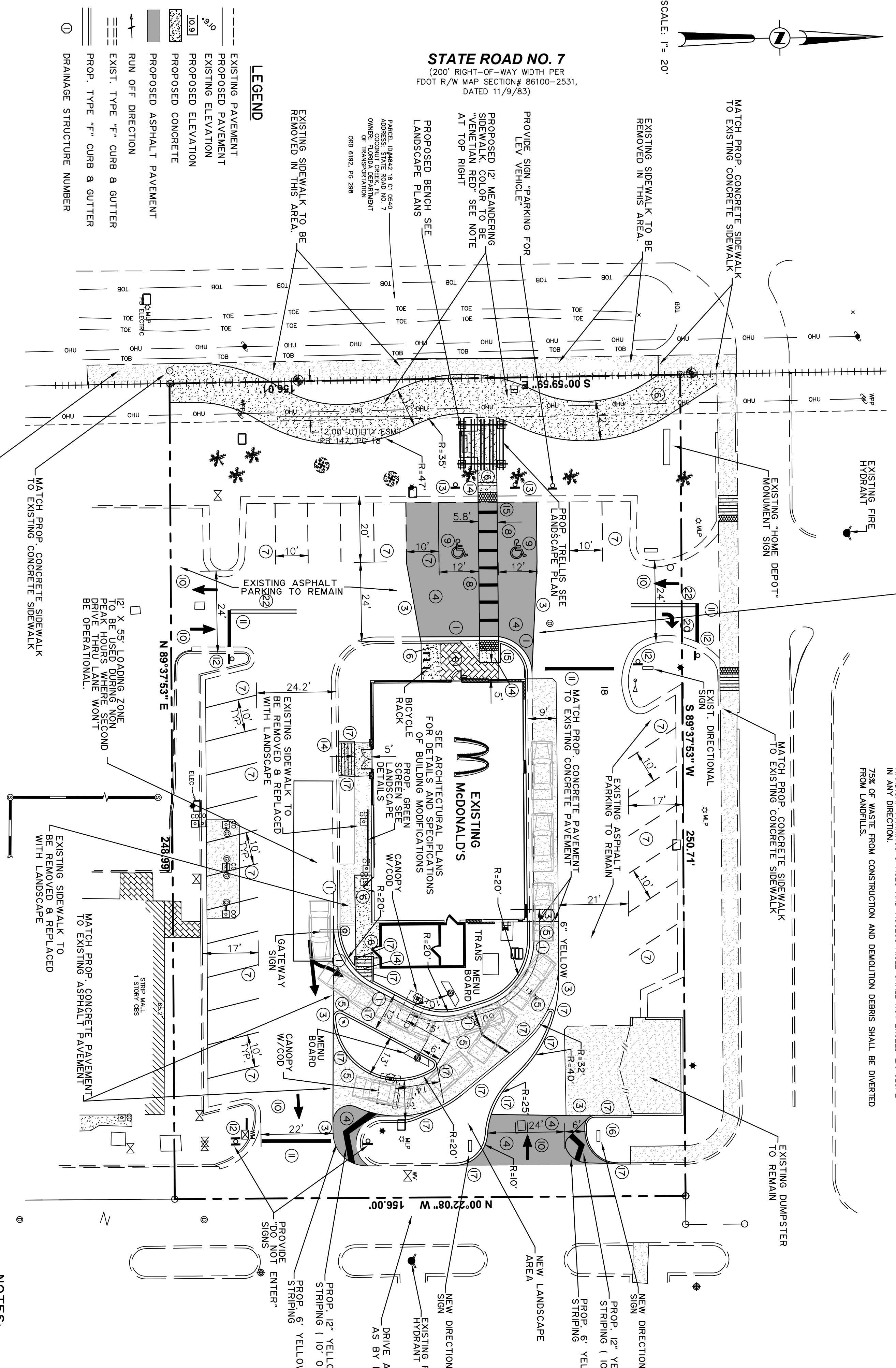
# SITE PLAN

**CONSTRUCTION NOTES:**

AFTER ALL CONSTRUCTION HAS BEEN COMPLETED THE REMAINDER OF THE SITE SHALL BE RE-SEALED AND RE-STRIPPED.  
CONTRACTOR SHALL CLEAN THE ENTIRE DRAINAGE SYSTEM AFTER CONSTRUCTION COMPLETION.  
ALL SIDEWALKS SHALL NOT EXCEED 5% LONGITUDINAL SLOPE NOR 2% CROSS SLOPE. CONTRACTOR TO VERIFY SLOPES AND ADJUST AS NECESSARY.  
HANDICAP PARKING SPACES AND ACCESS AISLE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.  
75% OF WASTE FROM CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE DIVERTED FROM LANDFILLS.



**STATE ROAD NO. 7**  
(200' RIGHT-OF-WAY WIDTH PER  
FDOT R/W MAP SECTION# 86100-2531,  
DATED 11/9/83)



**SIDEWALK NOTE:**  
SIDEWALK COLOR SHALL BE INTEGRAL INTO THE CONCRETE, NOT TOP COATED.  
MANUFACTURER: SOLOMON COLORS  
415 VENTIAN RED  
COLOR:

- SCHEDULE NOTES**
- 1 NEW 2" TYPE "F" CURB & GUTTER
  - 2 NEW WHEEL STOP/BUMPER
  - 3 EXISTING PAVEMENT LINE
  - 4 NEW ASPHALT PAVEMENT
  - 5 NEW CONCRETE PAVEMENT
  - 6 NEW CONCRETE SIDEWALK (PAVERS AT BLDG)
  - 7 NEW 4" PAINTED STRIPING (SINGLE)
  - 8 NEW 4" PAINTED WHITE STRIPING
  - 9 NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
  - 10 NEW PAINTED DIRECTIONAL ARROW
  - 11 NEW 24" WIDE PAINTED WHITE STOP BAR
  - 12 NEW STOP SIGN (R-I)
  - 13 NEW TYPICAL "HANDICAP" SIGN
  - 14 NEW HANDICAP RAMP (1/2 MAX. SLOPE)
  - 15 NEW 3" MINIMUM DETECTABLE WARNING
  - 16 NEW MCDONALD'S DIRECTIONAL SIGN
  - 17 NEW 6" TYPE "D" CONCRETE CURB
  - 18 MCDONALD'S GOLD STRIPING & LETTERING
  - 19 NEW LIGHT POLE
  - 20 NEW RIGHT TURN ONLY SIGN
  - 21 NEW LEFT TURN ONLY SIGN
  - 22 NEW 2.6" YELLOW STRIPING

**SITE DATA:**

LOT AREA:	Proposed
Total Lot Area	36,977 SQ.FT. = 0.80 AC.
Building Area	3,884 SQ.FT. = 0.09 AC.
Sidewalk Area	2,569 SQ.FT. = 0.06 AC.
Paved Area	23,481 SQ.FT. = 0.54 AC.
Landscape Area	8,565 SQ.FT. = 0.20 AC.
Dumpster Area	478 SQ.FT. = 0.01 AC.
PARKING SPACES:	
Total Gross Building Area	= 3,884 square feet
Total Customer Service Area	= 1,185 square feet
PARKING SPACES REQUIRED BY CODE:	
I parking space per 100 square feet of Customer Service Area	1185 sq. ft. / 100 = 11.85 spaces
PLUS	
I parking space per 300 square feet of Remaining Building Area	2,699 sq. ft. / 300 = 9 spaces
Total Required Spaces	21 Spaces
PARKING SPACES PROVIDED:	
Standard	28
LEV	1
Handicap	2
Total	31

**LEGAL DESCRIPTION:**

A portion of Parcel "A" of McJANES PLAT NO. 1 according to the plat thereof as recorded in Plat Book No. 43 of Page 8 of the Public Records of Broward County, Florida, being more particularly described as:

Commence at the Northwest Corner of said Parcel "A", thence S 00°59'59" E along the West line of said Parcel "A" for 253.88 feet to the Point of Beginning of the hereinafter described parcel of land, thence continue S 00°59'59" E along West line for 156.01 feet; thence N 89°37'53" E for 248.99 feet; thence N 00°22'08" W for 156.00 feet; thence S 89°37'53" W for 250.71 feet to the Point of Beginning.

Said lands situate lying and being in the City of Coconut Creek, Broward County, Florida, and containing 36,977 square feet of 0.885 acres, more or less.

- NOTES:**
- BACKGROUND INFORMATION OBTAINED FROM BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY GPH CORPORATION, INC. MAY 29, 2014.
  - ELEVATIONS ARE BASED UPON NAVD DATUM OF 1988 AS SHOWN ON SURVEY.
  - UNDERGROUND UTILITY INFORMATION IS TAKEN FROM THE BEST AVAILABLE SOURCES, BUT SHOULD BE VERIFIED BY THE CONTRACTOR IN THE FIELD WITH THE APPROPRIATE UTILITY AGENCY PRIOR TO COMMENCEMENT OF EXISTING UTILITY LINES OTHER THAN THOSE INDICATED IN THIS DRAWING AS TO POSSIBLE UNMARKED UTILITY LINES.
  - ANY APPARENT DISCREPANCIES IN THE PLANS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY THIS CONSTRUCTION TO A CONDITION EQUAL TO, OR BETTER THAN, THAT NOW EXISTING. CONTRACTOR SHALL ADJUST ANY UTILITY LOS AND/OR COVERS IN PROJECT AREA TO THE FINISHED GRADE.
  - ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST BUILDING CODE IN AFFECT.

PROJECT No. 2014-45 DATE: 8/13/2014

**ZAMORA & ASSOCIATES, INC.**  
ENGINEERING LAND PLANNING  
1410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
(305) 273-7801 FAX (305) 273-9514

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	5/15/15	CITY COMMENTS	GZ	
2	7/11/16	SITE REVISIONS PER CITY	GZ	
3	2/1/17	CITY COMMENTS	GZ	
4	2/24/17	CITY COMMENTS	GZ	

**UNDERGROUND CONTRACTOR:**

Underground Contractor shall comply with the Trench Safety Act, HB 3083, Florida Statutes, which incorporates, but is not limited to, the OSHA Standard 29 C.F.R. Part 1926, Subpart P, Excavation and Trenching.

Contract bids for trench excavations in excess of 5 feet deep shall include reference to the safety standards, written assurance of compliance, and a separate item identifying the contractor's compliance with the safety requirements of the state or other political subdivision.

Engineer is not responsible for the safety of the excavation or design and construction of any shoring.

TOTAL SPACES	2 SPACES	12' X 18'	90 *
31	9 SPACES	10' X 18'	60 *
	13 SPACES	10' X 18'	60 *
	7 SPACES	10' X 18'	48 *

**UTILITY INFORMATION**

SIZE	TYPE	LOCATION
	SANITARY SEWER	
	WATER	
	STORM SEWER	
	ELECTRIC	
	GAS	

PREPARED BY: GPH CORPORATION  
SANITARY ELEVATION: 07/25/22-6841  
DATE: MAY 29, 2014

**LEGEND**

SYMBOL	DESCRIPTION
—S—	SANITARY SEWER
—W—	WATER
—ST—	STORM SEWER
—E—	ELECTRIC
—G—	GAS
—L—	LOT LIGHT
—L-P-30	EXISTING ELEVATION (76.5)
—E—	PROPOSED ELEVATION (77.0)

PLAN SCALE: 1" = 20'  
STREET ADDRESS: 4480 N. STATE ROAD 7  
CITY: COCONUT CREEK  
COUNTY: BROWARD  
STATE: FLORIDA

McDONALD'S

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

JERRY ZAMORA P.E.  
CIVIL ENGINEER  
P.E. No. 44207  
E.B. 0006791  
STATE OF FLORIDA

SEAL:

CONTRACTOR	OFFICE
OWNER	ADDRESS

STATUS: PRELIMINARY  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

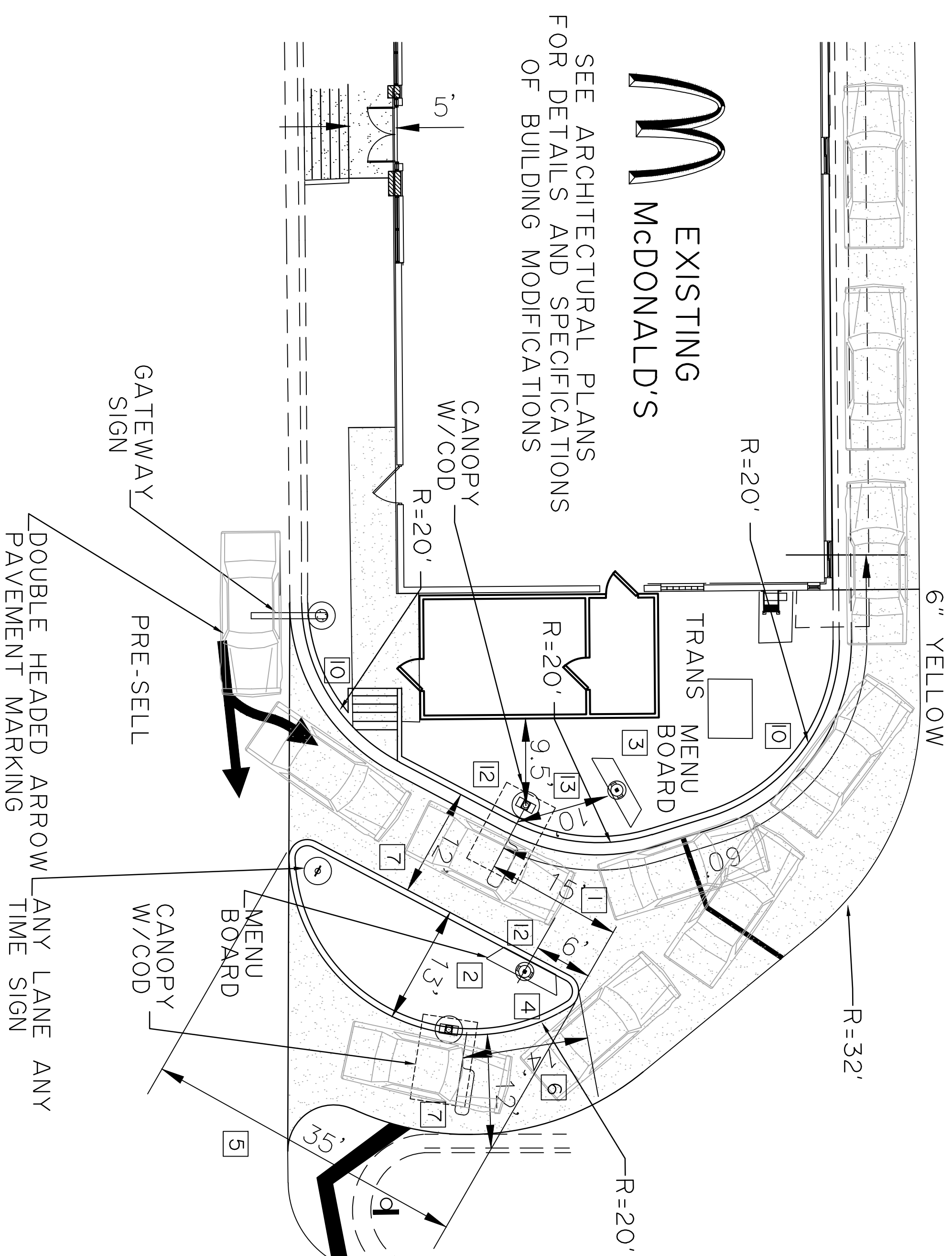
REGIONAL MGR. \_\_\_\_\_  
CONST. MGR. \_\_\_\_\_  
OPERATIONS DEPT. \_\_\_\_\_  
REAL ESTATE DEPT. \_\_\_\_\_

CO-SIGN SIGNATURES

AS-BUILT

**C1**

# DRIVE THRU DETAILS PLAN



- 1 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15 FEET. THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.
- 2 THE CENTER OF THE SECONDARY MENU BOARD FOOTING SHOULD BE LOCATED 22" FROM FACE OF CURB AND APPROXIMATELY 6" FROM THE TIP OF THE CURBED ISLAND.
- 3 THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE BETWEEN 40° AND 50° FROM A CAR POSITIONED AT THE COD.
- 4 THE END CAP OF THE SECONDARY LANE MENU BOARDS SHOULD BE 12" FROM FACE OF CURB.
- 5 THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45". THIS ALLOWS FOR THREE CARS IN EACH LANE, AS COUNTED BACK FROM THE CAR AT THE COD. A THIRD CAR CAN BE POSITIONED AT THE COMMITMENT POINT, WHICH IS THE LAST POINT AT WHICH A CUSTOMER CAN COMMIT TO A LANE.
- 6 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF SECONDARY COD TO BE SET BY DRAWING AN ARC WITH A 14'-0" RADIUS THAT IS CENTERED FROM THE MDPPOINT OF THE ISLAND TIP THEN OFFSET THE FACE OF THE CURB BY 24" TO LOCATE THE CENTER OF COD FOUNDATION. THE LOOP DETECTOR IS TO BE 2' FORWARD OF THE COD CENTER LINE.
- 7 DRIVE THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0" WIDE AS MEASURED FROM CURB FACES.
- 8 DRIVE THRU LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE PASSENGER SIDE ARE TO BE A MIN. OF 10'-0" WIDE AS MEASURED FROM CURB FACE TO PAINT.
- 9 ALL PRE SELL BOARDS AND BOLLARD SIGNS MUST BE 18"-24" FROM FACE OF CURB. THIS IS MEASURED FROM THE CLOSEST POINT ON THE BOARD OR SIGN. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-SELL BOARD IS TO BE 30'.
- 10 THE MIN. RADIUS FOR ALL INSIDE/DRIVERS SIDE DRIVE THRU CURBING IS 20'-0"
- 11 PRE-SELL BOARDS ARE TO BE ORIENTED AT AN ANGLE OF 30° FROM THE CURB. IF LOCATED ON A TURN, THEN THE BOARD SHOULD BE 30° FROM A CAR POSITIONED AT THAT BOARD.
- 12 AUGER COD FOOTINGS TO BE TIGHT AGAINST BACK OF CURB. FACE OF COD'S ARE TO BE 6" FROM BACK OF CURB.
- 13 THE CENTER OF THE PRIMARY LANE MENU BOARD'S FOOTING IS TO BE 10" FROM BACK OF CURB. THIS WILL LEAVE THE FACE OF THE MENU BOARD 9" FROM BACK OF CURB.

## DRIVE THRU DETAIL

SCALE: 1" = 10'

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	2/1/17	CITY COMMENTS	GZ	

SEAL:  
 JERRY ZAMORA P.E.  
 CIVIL ENGINEER  
 P.E. NO. 44207  
 E.B. 0006/791  
 STATE OF FLORIDA

**McDONALD'S**

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OFFICE ADDRESS

PARKING INFORMATION	
TOTAL SPACES	31
2 SPACES	12' X 18' @ 90°
9 SPACES	10' X 18' @ 90°
13 SPACES	10' X 18' @ 60°
7 SPACES	10' X 18' @ 45°

UTILITY INFORMATION	
UTILITY INFORMATION	LOCATION
SANITARY SEWER	
WATER	
STORM SEWER	
ELECTRIC	
GAS	

PREPARED BY: CHH CORP  
 1000 PINEHURST STREET  
 SANFORD, FL 32771-3222-6941  
 DATE: MAY 29, 2014

LEGEND

S - SANITARY SEWER	S - GAS
W - WATER	W - LOT LIGHT
ST - STORM SEWER	ST - EXISTING ELEVATION (78.5)
E - ELECTRIC	E - PROPOSED ELEVATION (77.0)

PLAN SCALE: 1" = 20'

STREET ADDRESS  
 4480 N. STATE ROAD 7

CITY	STATE
COCONUT CREEK	FLORIDA
COUNTY	
BROWARD	
REGIONAL DWG. NO	LOCATION CODE NUMBER
—	009 — 2078

PLAN APPROVAL		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		DATE
CONTRACTOR		
OWNER		
STATUS	DATE	BY
PRELIMINARY		
PLAN CHECKED		
AS-BUILT		

PROJECT No. 2014-45 DATE: 8/13/2014

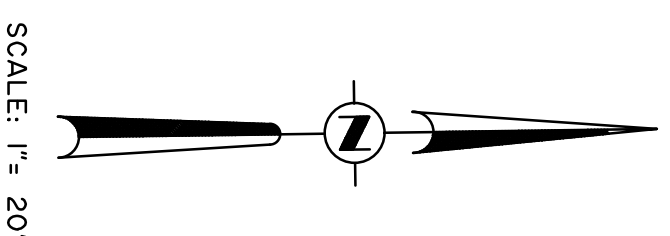
**ZAMORA & ASSOCIATES, INC.**  
 ENGINEERING LAND PLANNING  
 1440 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
 (305) 273-7801 FAX (305) 273-9514

C1A



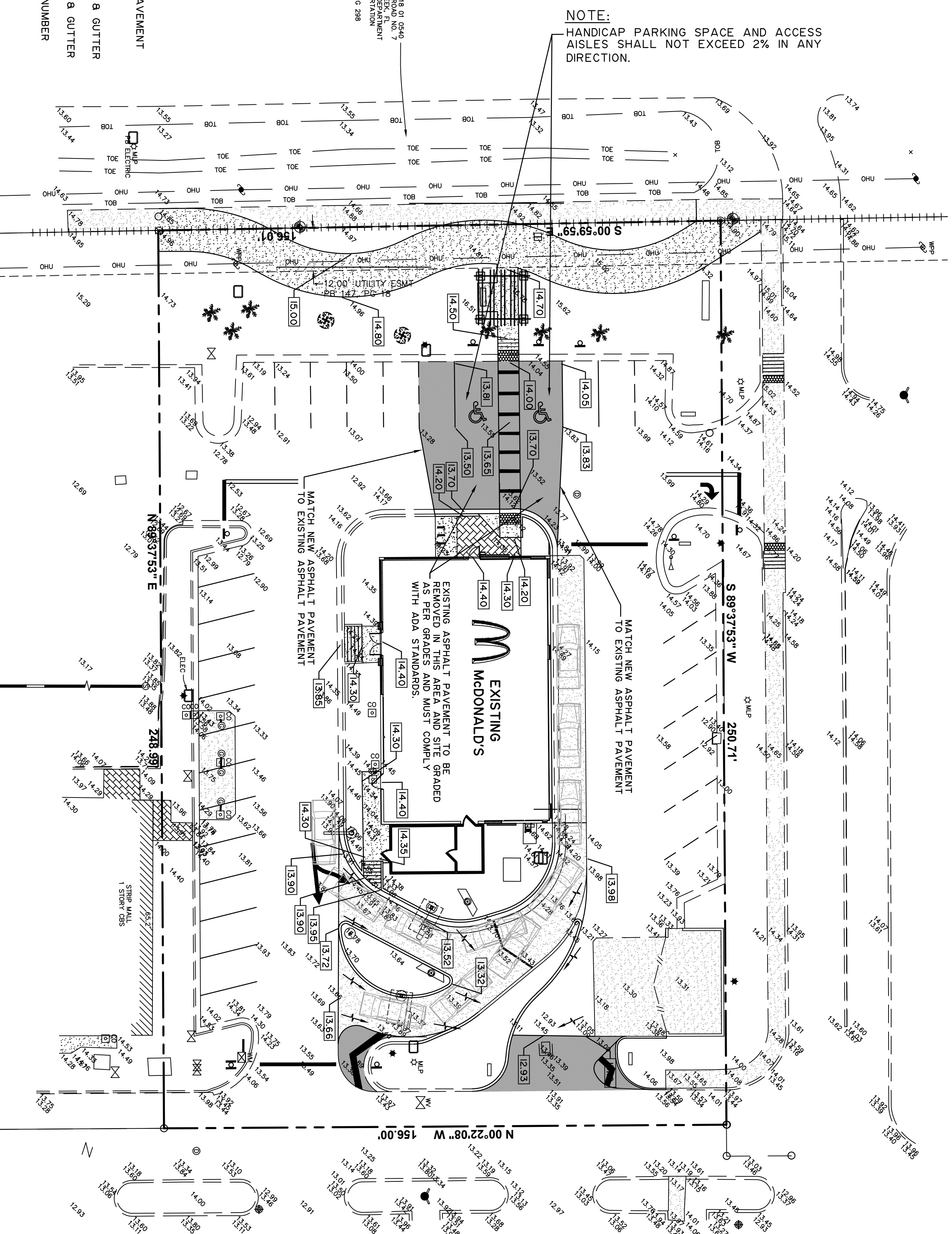


# PAVING, GRADING & DRAINAGE PLAN

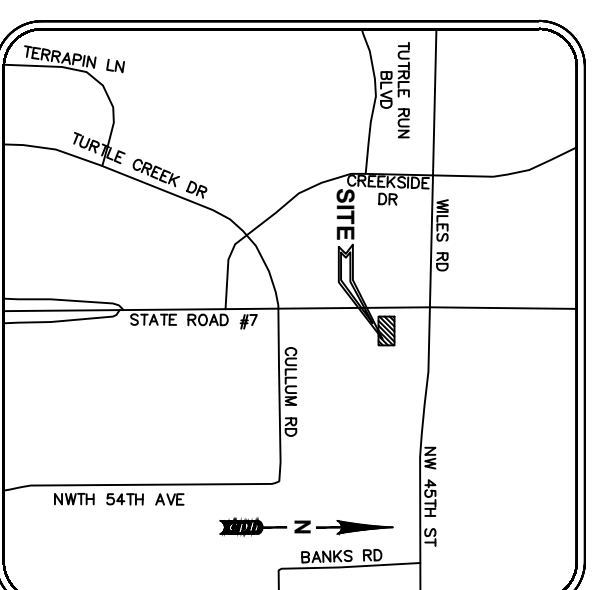


**STATE ROAD NO. 7**  
 (200' RIGHT-OF-WAY WIDTH PER  
 FDOT R/W MAP SECTION# 86100-2531,  
 DATED 11/9/83)

- LEGEND**
- EXISTING PAVEMENT
  - - - - PROPOSED PAVEMENT
  - 0.09 EXISTING ELEVATION
  - 0.09 PROPOSED ELEVATION
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT PAVEMENT
  - RUN OFF DIRECTION
  - EXIST. TYPE "F" CURB & GUTTER
  - PROP. TYPE "F" CURB & GUTTER
  - DRAINAGE STRUCTURE NUMBER



**NOTE:**  
 CONTRACTOR TO VERIFY EXISTING SIDEWALK SLOPES DO NOT EXCEED 2% CROSS SLOPE. CROSS SLOPE SLOPES AND REPAIRS SHALL REMAIN SEPARATE AND REPAIRS.



- GENERAL NOTES:**
- All materials and labor under the project shall conform to City of Coconut Creek specifications and standards.
  - For site dimensions and geometry, see Site Plan sheet C-1.
  - Elevations shown are based on N.A.V. Datum and as shown on Survey.
  - Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work. Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.
  - Contractor shall adjust any utility lids and/or covers in project area to the finished grade.
  - Any apparent discrepancies in the plans and field condition shall be brought to the attention of the Engineer before proceeding with the work.
  - Contractor shall notify the Owner's representative and Engineer if any conditions are found that preclude or impede construction. Contractor shall be responsible for obtaining all necessary permits for all existing underground utilities and for the full depth of all existing organic and deleterious material within the right of way and utility/damage easements shall be removed. No material of FDOT Class A-5, A-7 or A-8 shall be allowed.
  - The Contractor shall restore all areas disturbed by this construction to original condition or better, but not less than existing.
  - Type of concrete shall be 10, or better than, that now existing.
  - Type of concrete shall be 10, or better than, that now existing.
  15. Type S. Asphalt Concrete surface course 6" Limerock base (Minimum LBR 100) compact to 98% of maximum density as determined by AASHTO T-180 and 6" concrete slab on well compacted subgrade compact to 98% of maximum density as determined by AASHTO T-180.
  10. Fill shall be placed in 12" layers loose thickness, measured and compacted to 98% of maximum density as determined by AASHTO T-180. Fill shall be locally acceptable and suitable for fill purposes. The top 12" of fill or cut (Minimum LBR 40) under pavement base shall be compacted to 98% of maximum density as determined by AASHTO T-180.
  - All seepage structures shall be protected during construction that no debris shall enter the system. After construction is completed contractor shall fully clean the drainage boxes and the drainage pipes.
  - The property is located in flood zone X. Elevation - feet.
  - All signage and markings shall conform to the requirements of Broward County, Florida.
  - All reports to the existing pavement shall receive saw-cut edges prior to relaying asphalt. Utility piping or wiring less than four (4) inches in diameter requires a Schedule 40 PVC casing pipe with sand backfill in under paved areas only.
  - Prime coat shall be applied at a rate of 0.25 gallons per square yard. Prime and tack coat for base shall conform to the requirements and specifications of sections 300-1 through 300-7 of FDOT standards specifications.
  - Base and subgrade density tests shall be conducted for a maximum 7000 square feet of finished pavement.
  - Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials, limerock bearing ratios, sieve analysis and densities required by contract documents shall be submitted to the City.
  - Minimum longitudinal slope of pavement shall be 0.3%.
  - Minimum transverse slope of the pavement shall be one percent for parking areas.

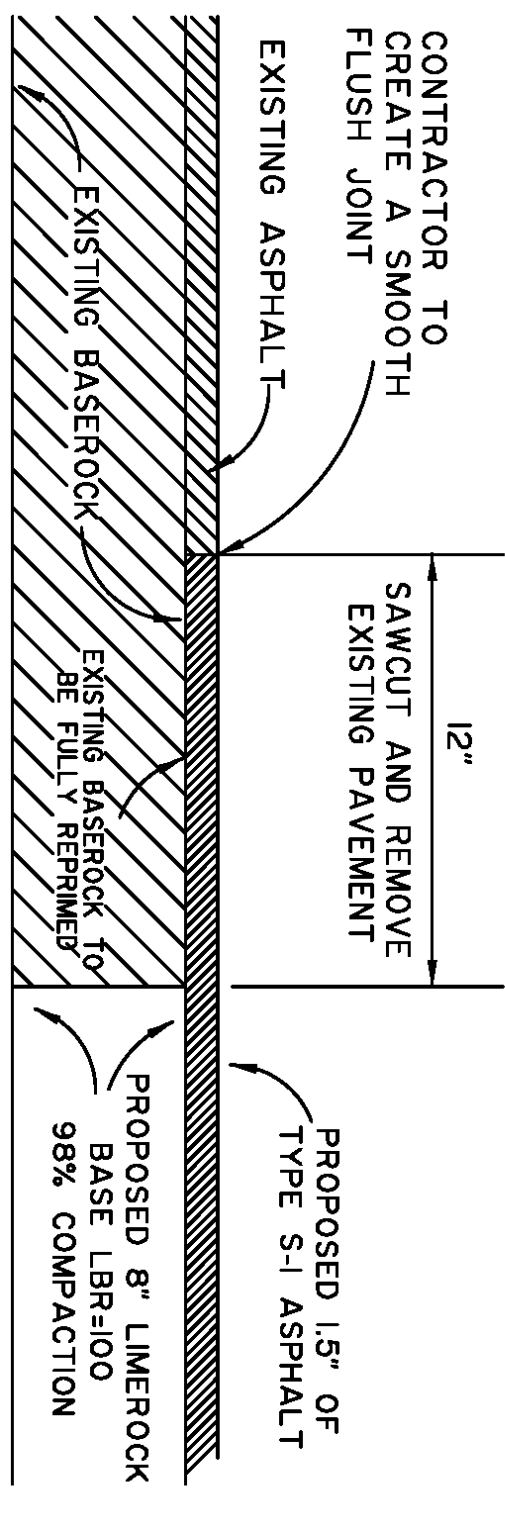
PROJECT No. 2014-45 DATE: 8/13/2014  
**ZAMORA & ASSOCIATES, INC.**  
 ENGINEERING LAND PLANNING  
 11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
 (305) 273-7801 FAX (305) 273-9514

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	2/1/17	CITY COMMENTS	GZ	

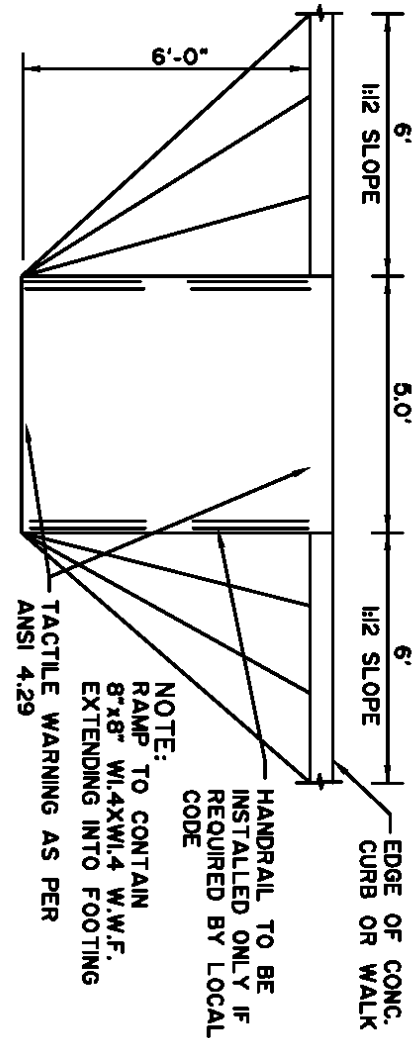
  

<p>SEAL:</p> <p>JERRY ZAMORA P.E.          CIVIL ENGINEER          P.E. NO. 44207          E.B. 0008791          STATE OF FLORIDA</p>		<p>McDONALD'S</p> <p>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</p>											
UTILITY INFORMATION	SIZE	TYPE	LOCATION										
<p>PARKING INFORMATION</p> <table border="1"> <tr> <td>TOTAL SPACES</td> <td>31</td> </tr> <tr> <td>2 SPACES</td> <td>12' X 18' @ 90°</td> </tr> <tr> <td>9 SPACES</td> <td>10' X 18' @ 90°</td> </tr> <tr> <td>13 SPACES</td> <td>10' X 18' @ 60°</td> </tr> <tr> <td>7 SPACES</td> <td>10' X 18' @ 45°</td> </tr> </table>				TOTAL SPACES	31	2 SPACES	12' X 18' @ 90°	9 SPACES	10' X 18' @ 90°	13 SPACES	10' X 18' @ 60°	7 SPACES	10' X 18' @ 45°
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<p>PLAN APPROVAL</p> <p>SIGNATURE (2 REQUIRED) DATE</p> <p>REGIONAL MGR.</p> <p>CONST. MGR.</p> <p>OPERATIONS DEPT.</p> <p>REAL ESTATE DEPT.</p> <p>CO-SIGN SIGNATURES</p>													
<p>CITY</p> <p>COCONUT CREEK</p> <p>FLORIDA</p>		<p>STREET ADDRESS</p> <p>4480 N. STATE ROAD 7</p>											
<p>COUNTY</p> <p>BROWARD</p>		<p>STATE</p> <p>FLORIDA</p>											
<p>REGIONAL DWG. NO</p> <p>—</p>		<p>LOCATION CODE NUMBER</p> <p>009 — 2078</p>											
<p>STATUS</p> <p>PRELIMINARY</p> <p>PLAN CHECKED</p>		<p>DATE</p> <p>BY</p> <p>CONTRACTOR</p> <p>OWNER</p>											

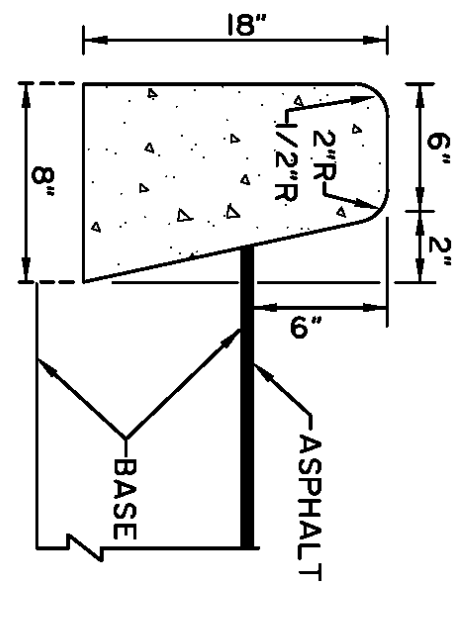
# PAVING & DRAINAGE DETAILS PLAN



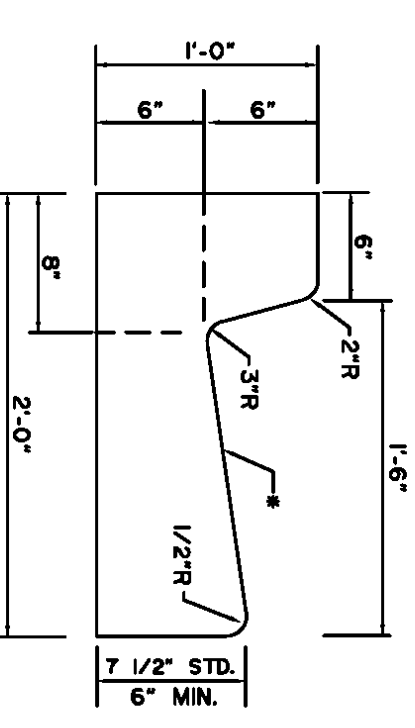
**DETAIL FOR MATCHING EXISTING PAVEMENT**  
(BUTT JOINT)  
N.T.S.



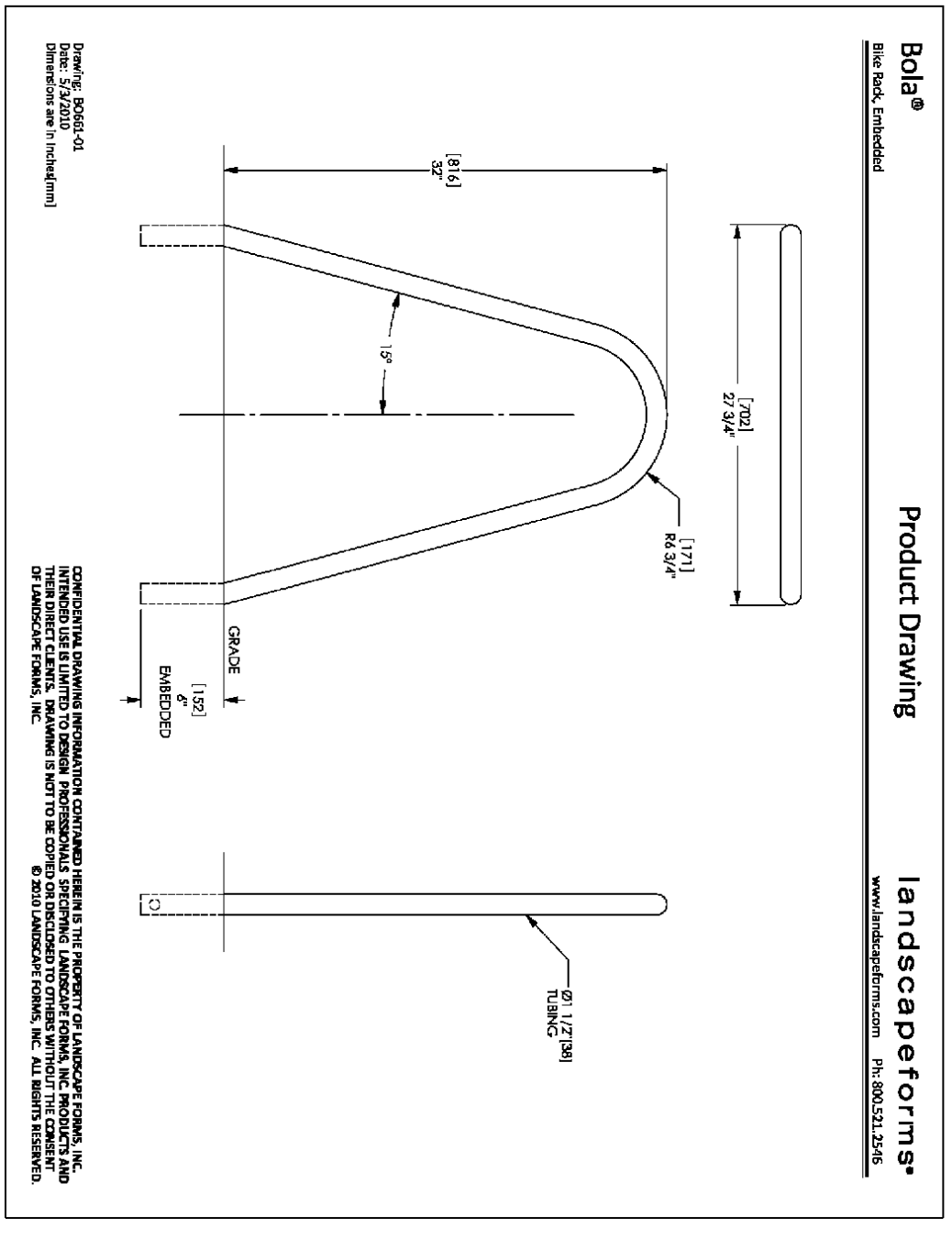
**14 HANDICAP RAMP**



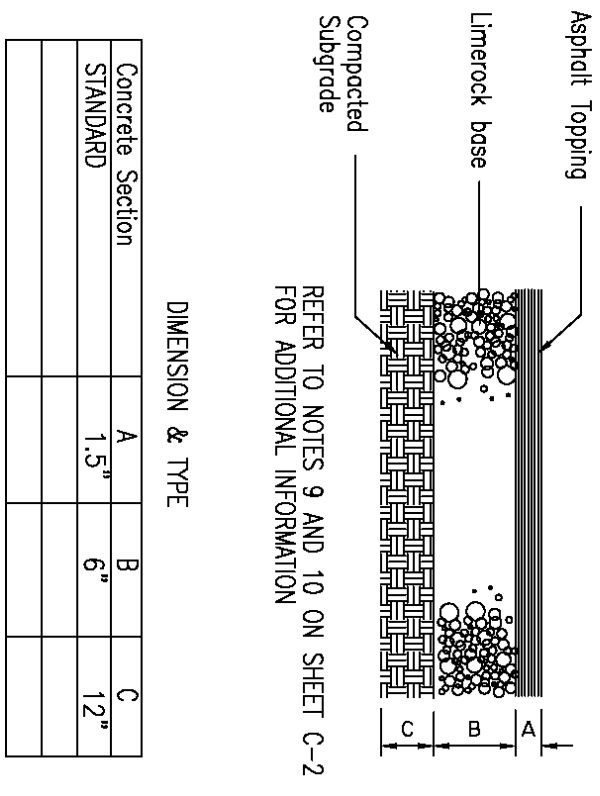
**17 CURB DETAIL**



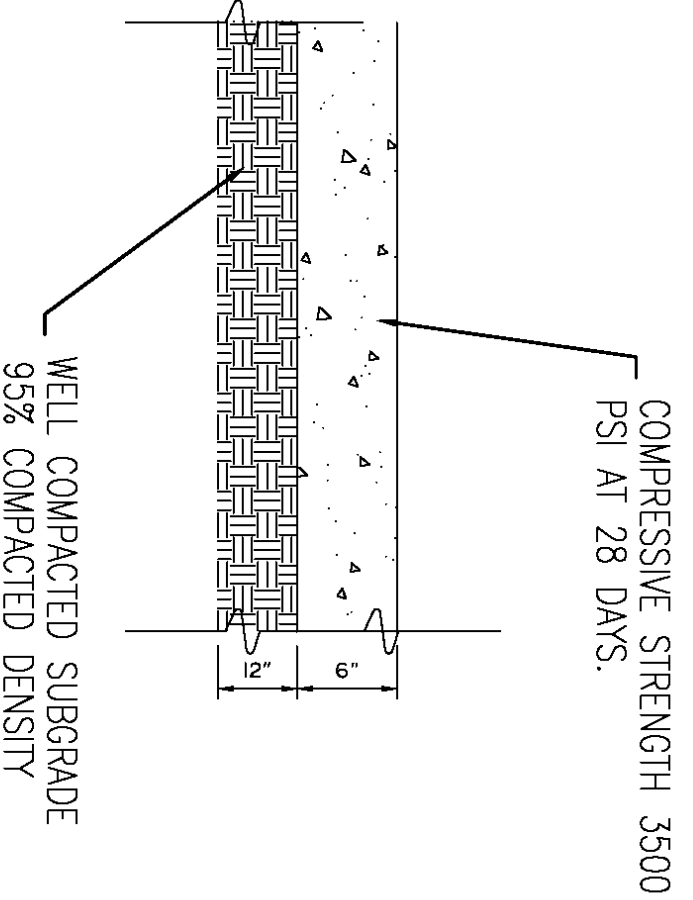
**1 TYPE F CURB**



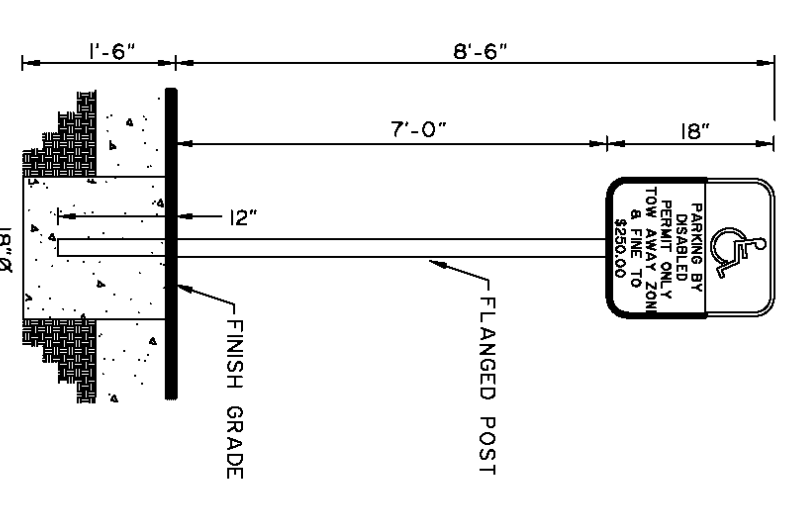
**BIKE RACK DETAIL**



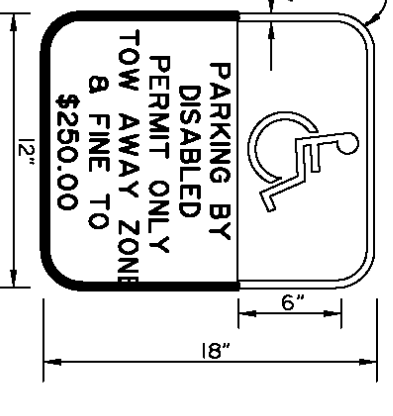
**ASPHALT PAVEMENT DETAIL**



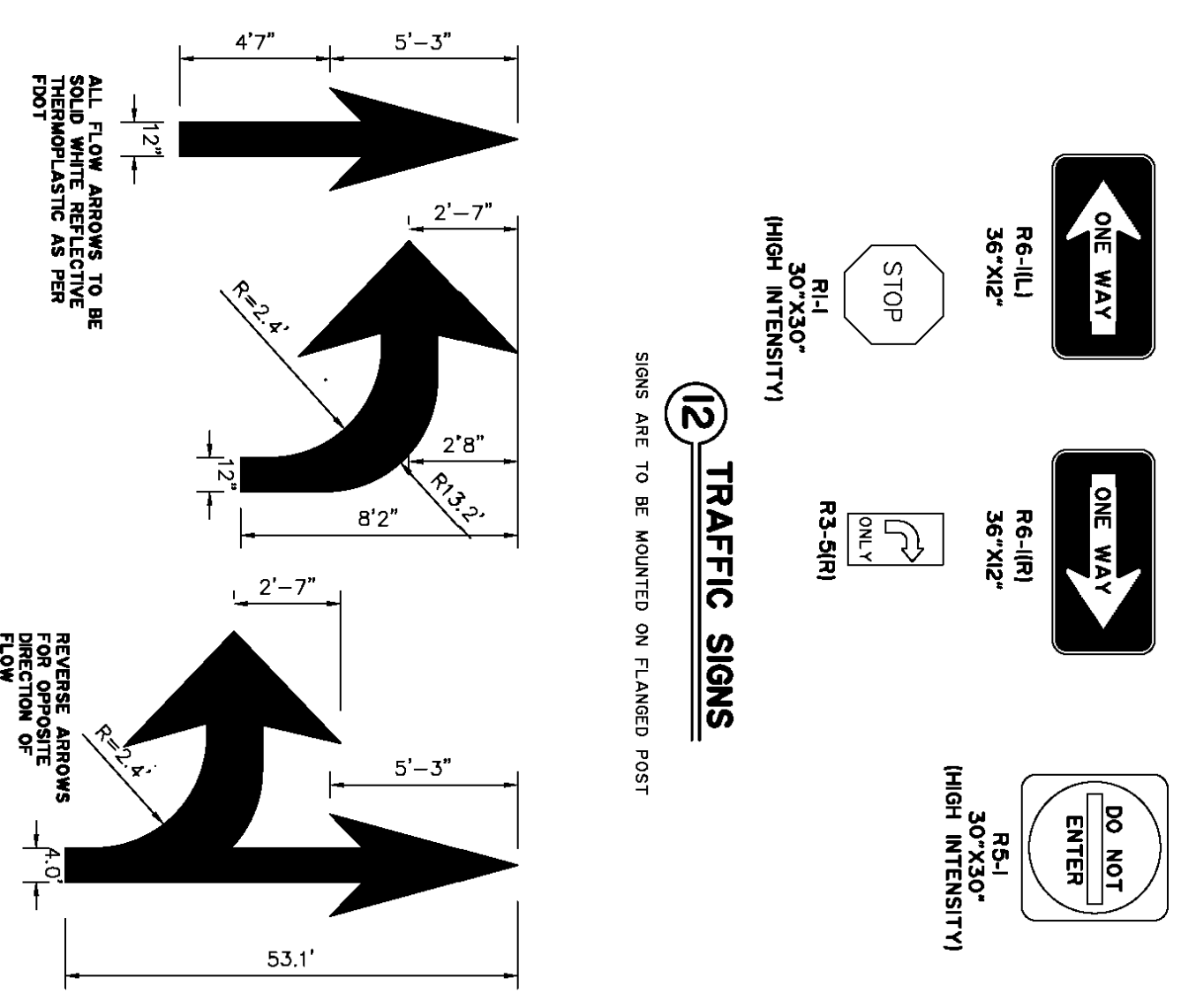
**CONCRETE PAVEMENT DETAIL**



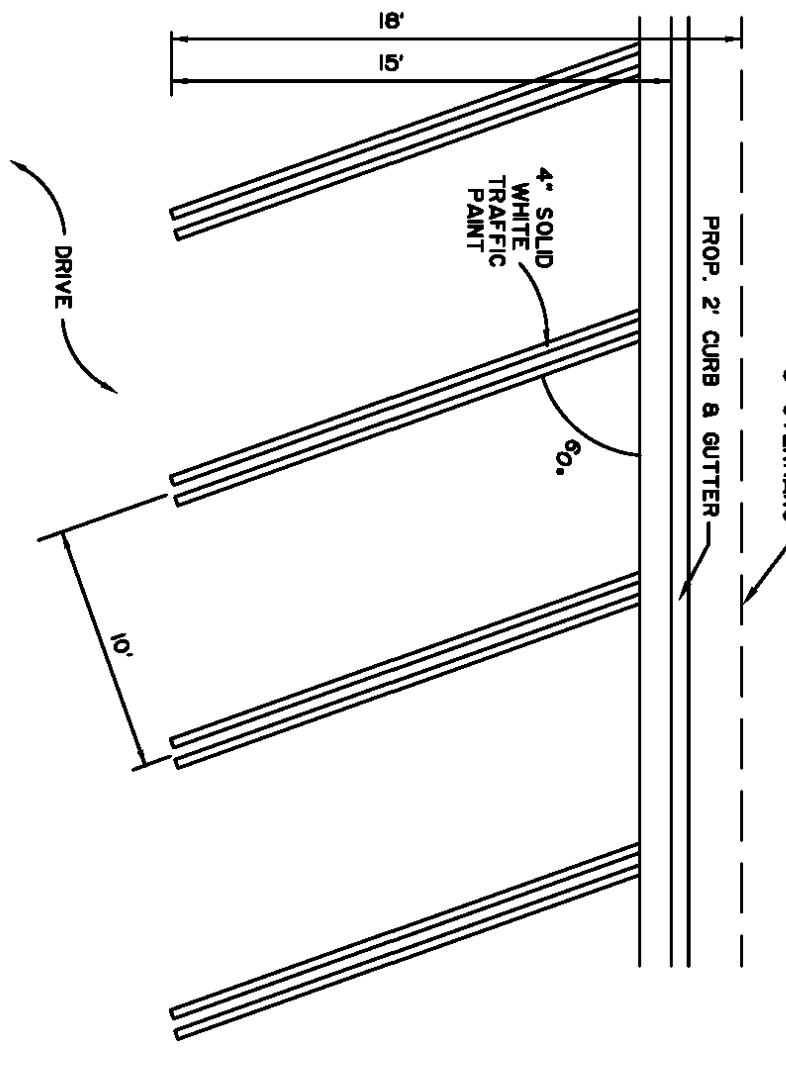
**13 HANDICAPPED SIGN DETAIL**



**7 TYPICAL PARKING SPACES**



**12 TRAFFIC SIGNS**



**10 DIRECTIONAL ARROWS**

**ZAMORA & ASSOCIATES, INC.**  
ENGINEERING LAND PLANNING  
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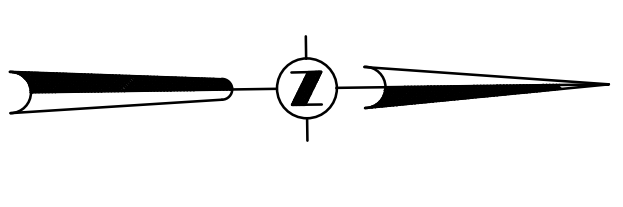
PROJECT No. 2014-45 DATE: 8/13/2014

<p>1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.</p> <p>2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.</p> <p>3. (3) 1 1/2" EMBRY CONDUITS TO LOCATIONS SHOWN AT THE LOT PER-METER FOR LOT LIGHTING IS SUPPLIED AND INSTALLED BY THE CONTRACTOR. (3) 1 1/2" EMBRY CONDUITS TO LOCATIONS SHOWN AT THE LOT PER-METER FOR LOT LIGHTING IS SUPPLIED AND INSTALLED BY THE CONTRACTOR.</p> <p>4. BASES FOR FLUORESCENT ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLUORESCENT SUPPLIER.</p> <p>5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT INSTALLATION, G.C. TO PROVIDE AS-BUILT UTILITY PLAN.</p> <p>6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITIES. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATIONS, SIZES, AND CIRCUITING.</p> <p>7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK GROUND/BENCHMARK.</p> <p>8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.</p> <p>9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 4" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.</p>		<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>ISSUE/REF</th> </tr> <tr> <td>1</td> <td>5/15/15</td> <td>CITY COMMENTS</td> <td>GZ</td> <td></td> </tr> <tr> <td>2</td> <td>2/1/17</td> <td>CITY COMMENTS</td> <td>GZ</td> <td></td> </tr> <tr> <td>3</td> <td>2/24/17</td> <td>CITY COMMENTS</td> <td>GZ</td> <td></td> </tr> </table>	REV	DATE	DESCRIPTION	BY	ISSUE/REF	1	5/15/15	CITY COMMENTS	GZ		2	2/1/17	CITY COMMENTS	GZ		3	2/24/17	CITY COMMENTS	GZ																			
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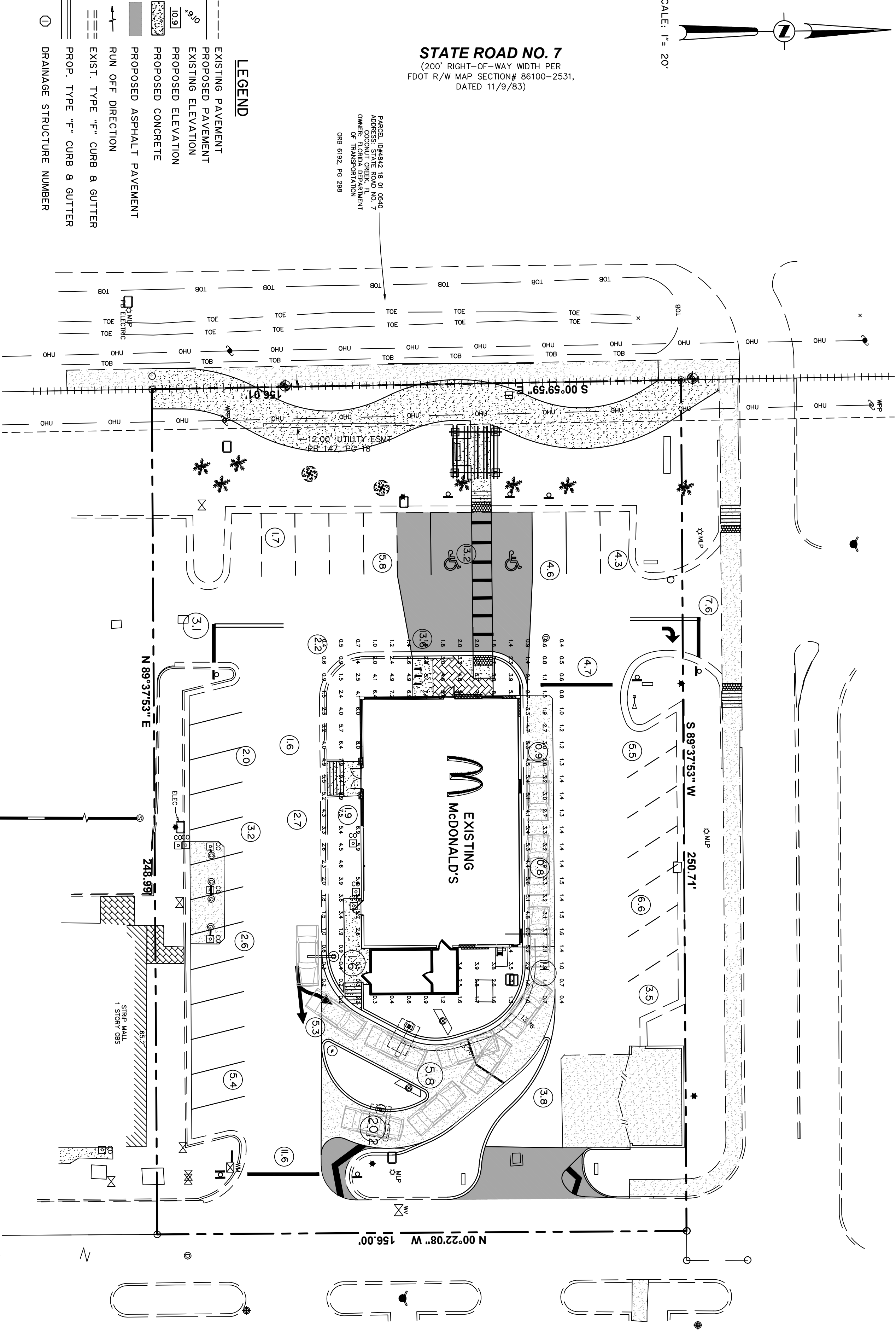


# PHOTOMETRIC PLAN



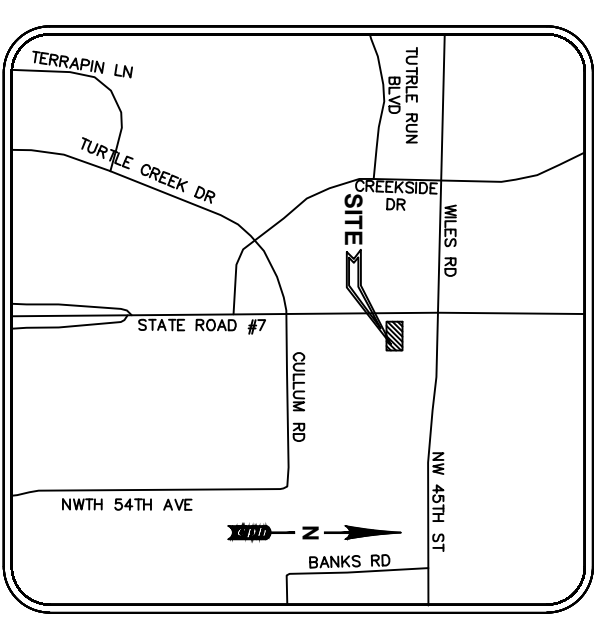
**STATE ROAD NO. 7**  
(200' RIGHT-OF-WAY WIDTH PER  
FDOT R/W MAP SECTION# 86100-2531,  
DATED 11/9/83)

PARCEL 18422 18 01 0240  
ADDRESS: STATE ROAD NO. 7  
OWNER: FLORIDA DEPARTMENT  
OF TRANSPORTATION  
DBF 6182, PG. 298



- LEGEND**
- EXISTING PAVEMENT
  - - - PROPOSED PAVEMENT
  - EXISTING ELEVATION
  - - - PROPOSED ELEVATION
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT PAVEMENT
  - RUN OFF DIRECTION
  - EXIST. TYPE "F" CURB & GUTTER
  - PROP. TYPE "F" CURB & GUTTER
  - ① DRAINAGE STRUCTURE NUMBER

- PHOTOMETRIC LEGEND**
- ② DENOTES EXISTING FOOTCANDLE READING ON THE SITE/PAVED AREAS
  - ③ DENOTES PROPOSED FOOTCANDLE READING AFTER BUILDING IMPROVEMENTS FROM BUILDING



LOCATION SKETCH  
SCALE: N.T.S.

1. MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
3. (3) 1 1/2" EMPTY CONDUITS TO LOCATIONS SHOWN AT THE LOT PER-METER FOR LOT LIGHTING IS SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR.
4. BASES FOR FLOODLIGHTS ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE GENERAL CONTRACTOR.
5. PROPOSED LIGHTS ARE SPACED AT 30' ON CENTER. EXACT SPACING IS TO BE DETERMINED BY THE GENERAL CONTRACTOR.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATIONS, SIZES, AND CIRCUITING.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 2" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRASSING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

- UNDERGROUND CONTRACTOR:**
- A. Underground Contractor shall comply with the French Safety Act, HB 855, Florida Statutes, which incorporates, but is not limited to, the OSHA Standard 29 C.F.R. Part 1926, Subpart F, Excavation and Trenching.
    1. Contract bids for trench excavations in excess of 5 feet deep shall include reference to the safety standards, written cost of completion, and a separate item identifying the political subdivision.
    2. Engineer is not responsible for the safety of the excavation or design and construction of any spacing.

**PARKING INFORMATION**

TOTAL SPACES	2 SPACES	12' X 18'	90 *
31	9 SPACES	10' X 18'	50 *
	13 SPACES	10' X 18'	50 *
	7 SPACES	10' X 18'	45 *

**UTILITY INFORMATION**

UTILITY	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

**LEGEND**

SANITARY SEWER	—S—	GAS	—G—
WATER	—W—	LOT LIGHT	—L—
STORM SEWER	—ST—	EXISTING ELEVATION (76.5)	—E—
ELECTRIC	—E—	PROPOSED ELEVATION (77.0)	—E—

PLAN SCALE: 1" = 20'

STREET ADDRESS: 4480 N. STATE ROAD 7

CITY: COCONUT CREEK  
STATE: FLORIDA

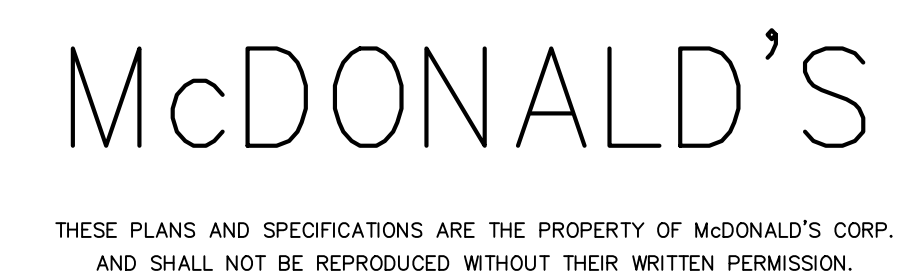
COUNTY: BROWARD

REGIONAL DWG. NO: —

LOCATION CODE NUMBER: 009 — 2078

REV	DATE	DESCRIPTION	BY	ISSUE/REF

SEAL:  
JERRY ZAMORA P.E.  
CIVIL ENGINEER  
P.E. NO. 44207  
E.B. 0008/91  
STATE OF FLORIDA



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STATUS	DATE	BY
PRELIMINARY		
PLAN CHECKED		
AS-BUILT		

CO-SIGN SIGNATURES

CONTRACTOR	OWNER

PROJECT No. 2014-45  
DATE: 8/13/2014

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ENGINEERING  
1410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
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LEGEND

- EXISTING PAVEMENT
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- EXISTING ELEVATION
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- PROPOSED ASPHALT PAVEMENT
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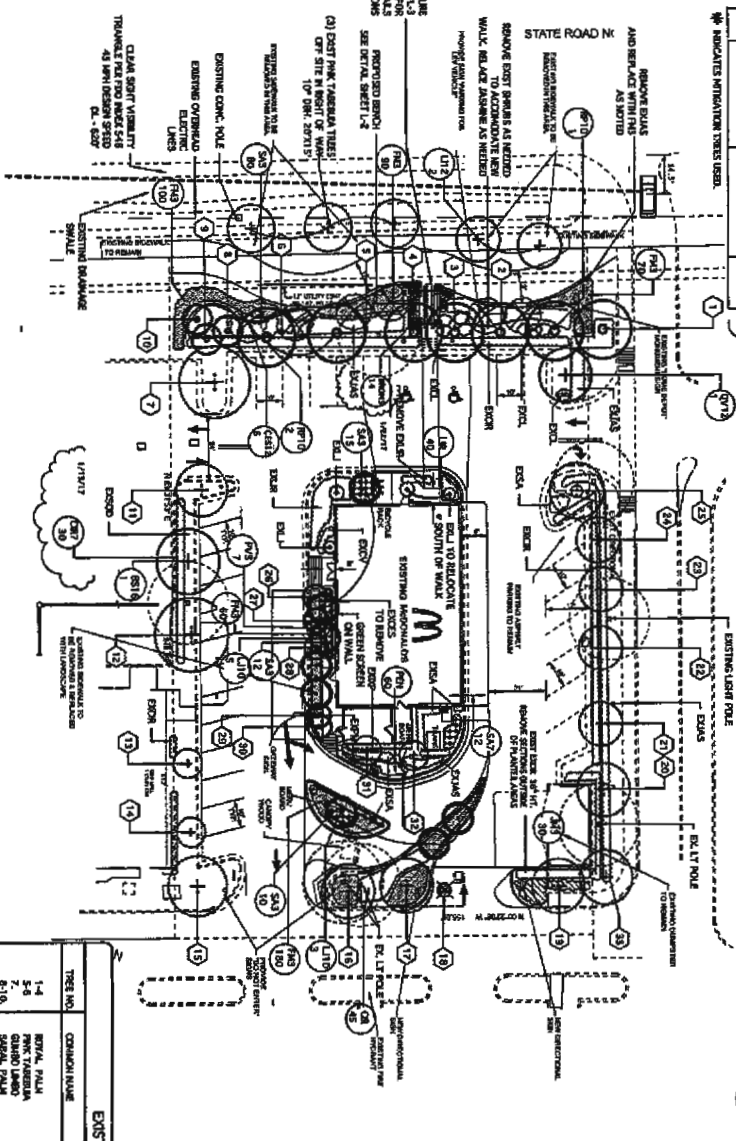
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- ③ DENOTES PROPOSED FOOTCANDLE READING AFTER BUILDING IMPROVEMENTS FROM BUILDING

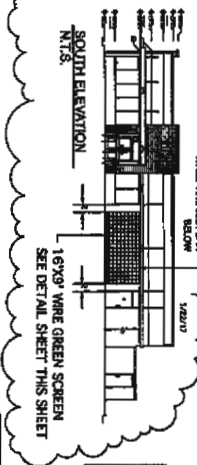
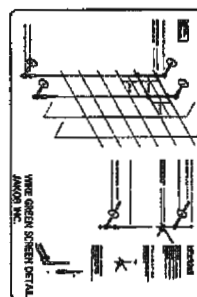


NO.	DESCRIPTION	QUANTITY
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NOTE: CONTRACTOR SHALL OBTAIN TREE CUTTING PERMITS FROM THE CITY OF COCONUT CREEK, FLORIDA. PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREES REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREES REMOVED.



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**KEY**

- ⊕ EXISTING TREE TO REMAIN
- ⊕ EXISTING PALM TO REMAIN
- ⊕ EXISTING TREE TO BE MOVED
- ⊕ EXISTING TREE TO BE RELOCATED

**NOTES**

CONTRACTOR SHALL NOT REMOVE OR RELOCATE ANY TREES ON SITE WITHOUT THE PRIOR APPROVAL OF A TREE REMOVAL/RELOCATION PERMIT. ALL REMOVAL AND RELOCATION PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREES REMOVED.

**KEY**

- ⊕ EXISTING TREE TO REMAIN
- ⊕ EXISTING PALM TO REMAIN
- ⊕ EXISTING TREE TO BE MOVED
- ⊕ EXISTING TREE TO BE RELOCATED

**EXISTING TREE INVENTORY**

NO. 1: 18' DBH, 12' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 2: 12' DBH, 10' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 3: 10' DBH, 8' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 4: 8' DBH, 6' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 5: 6' DBH, 4' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 6: 4' DBH, 3' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 7: 3' DBH, 2' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 8: 2' DBH, 1' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 9: 1' DBH, 0.5' HGT, 100% CANOPY COVER, 100% HEALTHY  
 NO. 10: 0.5' DBH, 0.2' HGT, 100% CANOPY COVER, 100% HEALTHY  
 TOTAL: 10 TREES, 100% CANOPY COVER, 100% HEALTHY

TREE NO.	COMMON NAME	SIZE (DBH, HGT, CR)	CONDITION	REMOVAL/RELOCATION CATEGORY
1-4	ROYAL PALM	14" DBH, 40' O.A.	GOOD	REMAIN
5-7	SHADY LINDEN	12" DBH, 30' O.A.	GOOD	REMAIN
8-10	SHADY PALM	12" DBH, 20' O.A.	GOOD	REMAIN
11	SHADY PALM	12" DBH, 15' O.A.	GOOD	REMAIN
12	SHADY PALM	12" DBH, 10' O.A.	GOOD	REMAIN
13	SHADY PALM	12" DBH, 8' O.A.	GOOD	REMAIN
14	SHADY PALM	12" DBH, 6' O.A.	GOOD	REMAIN
15	SHADY PALM	12" DBH, 4' O.A.	GOOD	REMAIN
16	SHADY PALM	12" DBH, 3' O.A.	GOOD	REMAIN
17	SHADY PALM	12" DBH, 2' O.A.	GOOD	REMAIN
18	SHADY PALM	12" DBH, 1' O.A.	GOOD	REMAIN
19	SHADY PALM	12" DBH, 0.5' O.A.	GOOD	REMAIN
20	SHADY PALM	12" DBH, 0.2' O.A.	GOOD	REMAIN
21	SHADY PALM	12" DBH, 0.1' O.A.	GOOD	REMAIN
22	SHADY PALM	12" DBH, 0.05' O.A.	GOOD	REMAIN
23	SHADY PALM	12" DBH, 0.02' O.A.	GOOD	REMAIN
24	SHADY PALM	12" DBH, 0.01' O.A.	GOOD	REMAIN
25	SHADY PALM	12" DBH, 0.005' O.A.	GOOD	REMAIN
26	SHADY PALM	12" DBH, 0.002' O.A.	GOOD	REMAIN
27	SHADY PALM	12" DBH, 0.001' O.A.	GOOD	REMAIN
28	SHADY PALM	12" DBH, 0.0005' O.A.	GOOD	REMAIN
29	SHADY PALM	12" DBH, 0.0002' O.A.	GOOD	REMAIN
30	SHADY PALM	12" DBH, 0.0001' O.A.	GOOD	REMAIN
31	SHADY PALM	12" DBH, 0.00005' O.A.	GOOD	REMAIN
32	SHADY PALM	12" DBH, 0.00002' O.A.	GOOD	REMAIN
33	SHADY PALM	12" DBH, 0.00001' O.A.	GOOD	REMAIN

**PROJECT:** McDonald's  
 4480 N. STATE RD. 7  
 COCONUT CREEK, FLORIDA

**DATE:** 11/11/11  
**SCALE:** 1" = 20' 0"

**LOCATION CODE NUMBER:** 008  
**DATE:** 11/11/11

**McDONALD'S**  
 4480 N. STATE RD. 7  
 COCONUT CREEK, FLORIDA

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S COMPANY AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

**REVISIONS:**

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# GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COCONINO COUNTY AND THE ARIZONA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE ARIZONA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
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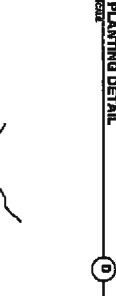
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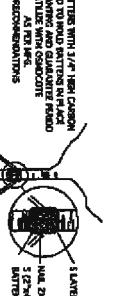
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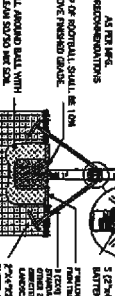
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## 600 PLANTING DETAIL



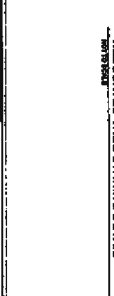
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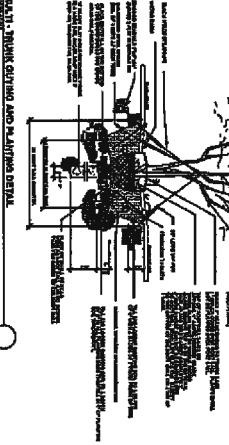
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## 300 PLANTING DETAIL



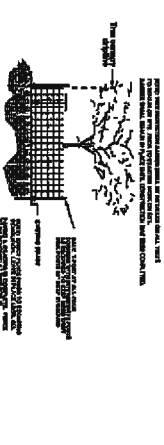
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## BRIND PLANTING DETAIL



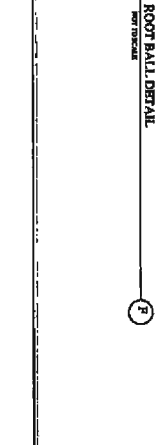
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## ROOT BALL DETAIL



## ROOT BALL DETAIL



## GENERAL LANDSCAPE NOTES

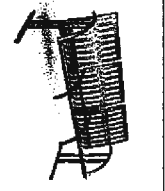
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**CITY OF COCONINO COUNTY TREE PLANTING NOTES**

These notes and specifications shall be read in conjunction with the drawings and specifications for the project. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Coconino County and the Arizona Department of Transportation and Construction. All materials and methods of construction shall be approved by the City Engineer and the Arizona Department of Transportation and Construction. The contractor shall maintain access to all adjacent properties and utilities at all times. All utilities shall be protected and marked prior to construction. The contractor shall maintain adequate drainage and erosion control measures throughout construction. All excavations shall be protected and backfilled with compacted fill. The contractor shall maintain adequate access to all adjacent properties and utilities at all times. All materials and methods of construction shall be approved by the City Engineer and the Arizona Department of Transportation and Construction. The contractor shall maintain access to all adjacent properties and utilities at all times. All utilities shall be protected and marked prior to construction. The contractor shall maintain adequate drainage and erosion control measures throughout construction. All excavations shall be protected and backfilled with compacted fill. The contractor shall maintain adequate access to all adjacent properties and utilities at all times.

## MATERIALS - LANDSCAPE

- 1. SAND - 1/4\"/>



## BENCH DETAIL

# McDONALD'S

4480 N. STATE RD. 7  
COCONUT CREEK FLORIDA

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

## EXISTING TREE DISPOSITION PLAN

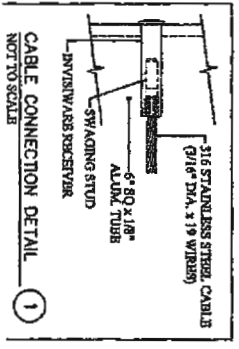
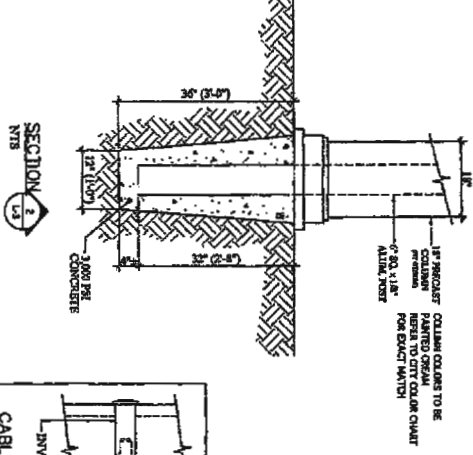
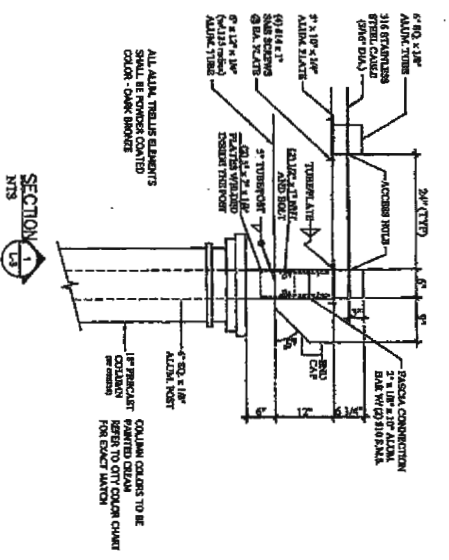
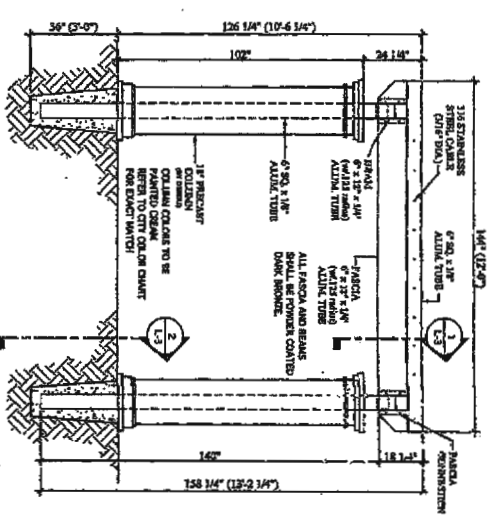
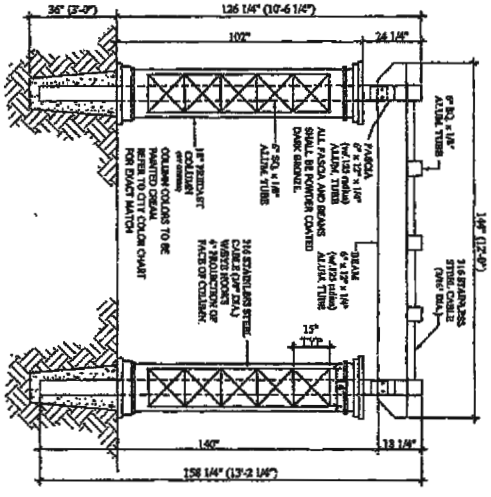
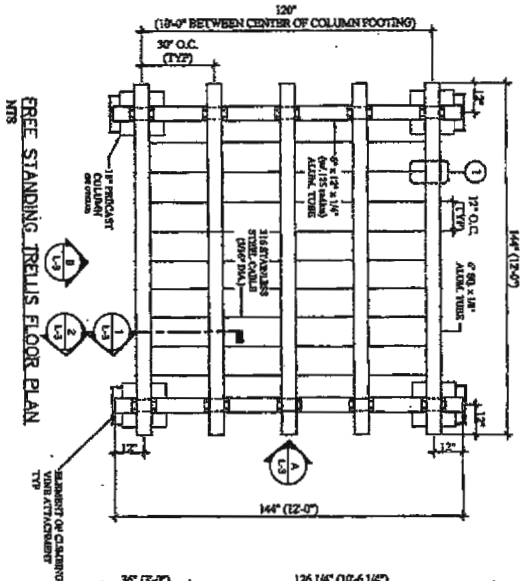
REV. DATE COMMENTS 12/27/14  
REV. DATE COMMENTS 10/21/12



## L-2

LOCATION CODE NUMBER  
009 - 2078  
DATE DRAWN: 9-21-14





- GENERAL TRELLIS NOTES:**
1. PAINT: ALL METAL EXTERIORS 60% ZINC (G16)
  2. FINISH: FACTORY APPLIED POLYURETHANE CONDENSED COAT (AIA DRY BLENDED, FIELD TOUCHLESS)
  3. COLOR: DARK BRASS REFER TO CITY COLOR CHART FOR EXACT MATCH
  4. ALL TRUSS BRIMS AND CAPS
  5. BASE SHOE: VERTICAL FABRICATION AND ASSEMBLY (G16) AS PER APPROVED SUBMITTED SHOP DRAWINGS AND IN ACCORDANCE WITH INDUSTRY PRACTICES & TOLERANCES. ALL DIMENSIONS AND NOMINAL, APPROX & CAN VARY.
  6. FIELD FABRICATION BY METAL SHEED INDUSTRIES
  7. INSTALLATION BY METAL SHEED INDUSTRIES
  8. ALL FASTENERS/ANCHORS SHALL BE MUST RESISTANT BY WSL
  9. NAUT. ORDER, FABRICATION & INSTALLATION SHALL NOT COMMENCE UNTIL DWG APPROVALS BY CUSTOMER.

<b>REVISIONS:</b> REV. DMC COMMENTS 1/13/17	<b>SHEET TITLE:</b> EXISTING TREE DISPOSITION PLAN
<b>PROJECT:</b> <b>McDONALD'S</b> 4480 N. STATE RD. 7 COCONUT CREEK FLORIDA	<b>LOCATION CODE NUMBER:</b> 008 - 2078
<b>SCALE:</b> AS SHOWN	<b>DATE DRAWING SET:</b> 02-14
<b>SHEET NO.:</b> L-3	<b>443</b>



DOOR HARDWARE

- GENERAL NOTES:**
1. ALL EXIT DOORS SHALL BE KEYLESS IN THE DIRECTION OF EGRESS.
  2. THE OPENING FORCE OF ALL INTERIOR FISHPAIL DOORS SHALL NOT EXCEED 8 1/2 LBS.
  3. THE OPENING FORCE OF ALL INTERIOR FISHPAIL DOORS SHALL NOT EXCEED 5 LBS.
  4. REMOVE FRAMING HARDWARE FOR ALL INTERIOR DOORS AS NOTED ON THE DOOR.
  5. ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PUNCHING OR TWISTING OF THE HANDLE TO OPERATE.
- DOOR #1**
1. 1 EA CLOSER LCN 4621 x 8
  2. 3 EA HINGE OFFSET PIVOT ANH 4-5/8 1/4 GRADE 11 PROVIDE EXPOSED PARTS OF CAST ALUMINUM ALLOY AS SUPPLIED BY DOOR MANUFACTURER.
  3. 1 EA FISHPAIL HANDLE KAMBER CO-8 OR HAGER FISHPAIL SET 184D/18V.
  4. 1 EA FRING HARDWARE ADAMS RITE PFR CO 8600 SERIES WITH OUTSIDE CYLINDER.
  5. 1 EA THRESHOLD NATIONAL GATED PRODUCTS, NC MODEL TYPE THRESHOLD 239, 3/4" WIDE X 1/2" RISE (ADA ACCESSIBLE).
  6. 1 EA WEATHER STRIPPING PROVIDE COMPRESSION WEATHER STRIPPING AGAINST TRIMED STOPS, AT OTHER EDGES PROVIDE WEATHER STRIPPING RETAINED IN MARKET WEATHER STRIPPING IN BOTTOM DOOR RAIL. ADJUSTABLE FOR CONTACT W/ THRESHOLD. THE BUILDING IS OCCUPIED/DURING BUSINESS HOURS.

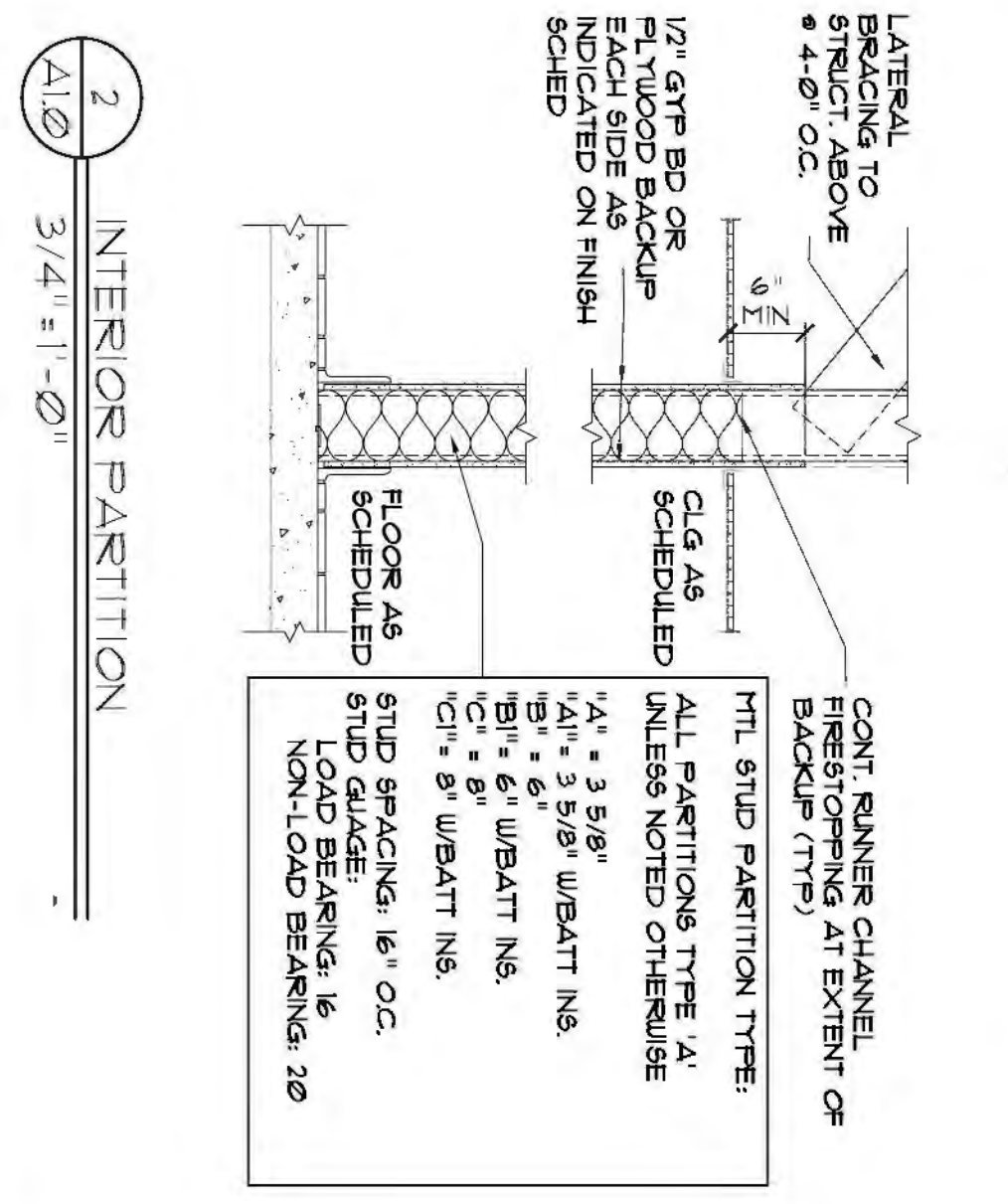
- DOOR #2**
1. 1 EA HINGE 706-1/16" DIA 831 ALUM HAZER
  1. 1 EA CLOSER ALL HAZER ALUM LCN
  3. 1 EA FRING STRIP 1/2" X 48" 5/8" DIA VDFRNL
  4. 1 EA EXIT ALARM EAS2000 FLUSH DETEX
  5. 1 EA LOCKWAD CLIPW US320 DON-10
  6. 1 EA WEATHER STRIP 24 X 48 VDFRNL
  7. 1 EA WEATHER STRIP 24 X 48 VDFRNL
  8. 1 EA THRESHOLD 239D 48" NGLAND
  9. 1 EA SLEEP GIVA 48" NGLAND
  10. 1 EA VIEW FRAME LEVELPRO 9 X 3 PWS WFLAP ON INSIDE NGLAND
- DOOR #3A**
1. 1 EA HINGE 706-1/16" DIA 831 ALUM HAZER
  1. 1 EA CLOSER ALL HAZER ALUM LCN
  3. 1 EA FRING STRIP 1/2" X 48" 5/8" DIA VDFRNL
  4. 1 EA EXIT ALARM EAS2000 FLUSH DETEX
  5. 1 EA LOCKWAD CLIPW US320 DON-10
  6. 1 EA WEATHER STRIP 24 X 48 VDFRNL
  7. 1 EA WEATHER STRIP 24 X 48 VDFRNL
  8. 1 EA THRESHOLD 239D 48" NGLAND
  9. 1 EA SLEEP GIVA 48" NGLAND
  10. 1 EA VIEW FRAME LEVELPRO 9 X 3 PWS WFLAP ON INSIDE NGLAND
- DOOR #3B**
1. 1 EA HINGE 706-1/16" DIA 831 ALUM HAZER
  1. 1 EA CLOSER ALL HAZER ALUM LCN
  3. 1 EA FRING STRIP 1/2" X 48" 5/8" DIA VDFRNL
  4. 1 EA EXIT ALARM EAS2000 FLUSH DETEX
  5. 1 EA LOCKWAD CLIPW US320 DON-10
  6. 1 EA WEATHER STRIP 24 X 48 VDFRNL
  7. 1 EA WEATHER STRIP 24 X 48 VDFRNL
  8. 1 EA THRESHOLD 239D 48" NGLAND
  9. 1 EA SLEEP GIVA 48" NGLAND
  10. 1 EA VIEW FRAME LEVELPRO 9 X 3 PWS WFLAP ON INSIDE NGLAND

**GENERAL DOOR NOTES:**

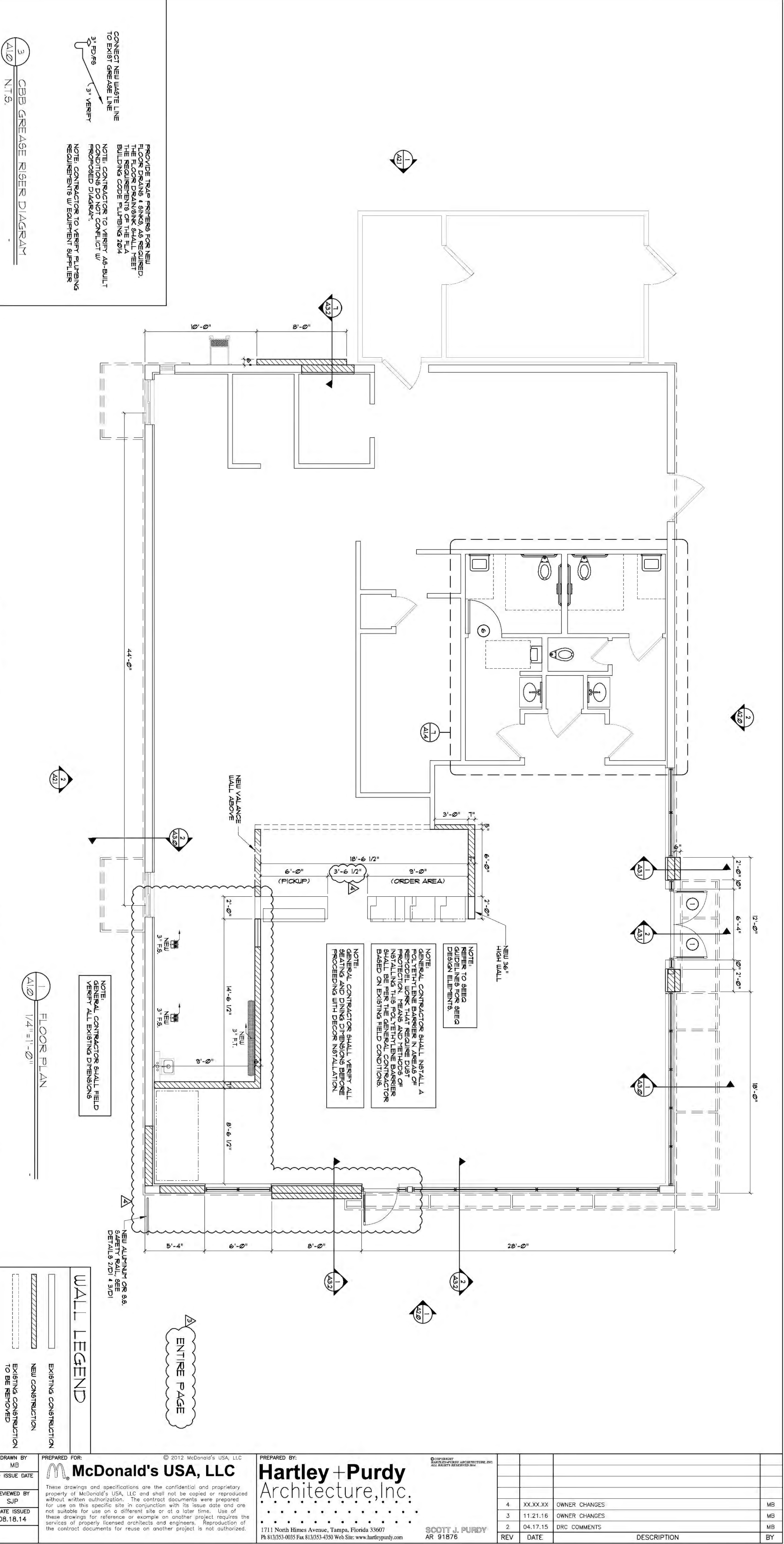
1. GC TO VERIFY ALL ACCESSIBILITY DOOR SIZES WERE MET BY LOCAL CODES - SEE GENERAL.
2. DETEX ALARM CONTACT SWITCHES SHALL BE RECESSED INTO THE TOP OF THE DOOR.
3. FOLLOW RETAIL FRAME ABOVE.
4. DETEX ALARM CONTACT SWITCHES FOR DOORS 3, 3A & 3B. 1 SUPPLIED BY UNIVERSAL MANUFACTURING 1-800-811-1144.
5. DETEX ALARM CONTACT SWITCHES FOR DOORS 3, 3A & 3B. 1 SUPPLIED BY UNIVERSAL MANUFACTURING 1-800-811-1144.
6. ALL INTERIOR AND WALL DOORS TO HAVE A LAMINATED FINISH AS INDICATED PER DETEX DOOR.
7. ALL EXTERIOR DOORS SHALL HAVE MAX 1/2" LEVEL CHANGE PER SIDE WALK.

MARK	DOOR	SIZE	TYPE	FRAME	FINISH	GLASS
1	ALUM	3'-0" X 7'-0" (3) 3/4"	A	ALUM	(NOTE 6)	6" X 6" W/LED GLASS
2	HT	4'-0" X 7'-0" (3) 3/4"	B	HT	2 1/2" X 6" 4" HD	6" X 6" W/LED GLASS
3	HT	4'-0" X 7'-0" (3) 3/4"	D	HT	2 1/2" X 6" 4" HD	6" X 6" W/LED GLASS
4	HT	3'-0" X 7'-0" (3) 3/4"	C	HT	2 1/2" X 6" 4" HD	6" X 6" W/LED GLASS

- GENERAL NOTES**
1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND/OR FACE OF FOUNDATION WALLS UNLESS OTHERWISE NOTED.
  2. INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.
  3. SEE SITE PLAN FOR SIDEWALKS, RAMP, ETC.
  4. DO NOT SCALE DRAWINGS.
  5. MINIMUM INTERIOR FINISH CLASSIFICATION: OCCUPANCY A2 NONSPARKING EXIT ENCLOSURES AND EXIT PASSAGEWAYS. A CORRIDORS AND EXIT ENCLOSED SPACES. B ROOMS AND ENCLOSED SPACES. C
  6. USE 1/2" PL. WOOD BEHIND CERAMIC TILE UNO TYP.
  7. GYP BD TO BE USED ON DINING SIDE OF INTERIOR PARTITIONS UNO.
  8. MATCH EXISTING FINISHES UNO TYP.
  9. VERIFY EQUIP. TRNG, ELEC. & PLUMBING REQUIREMENTS W/ KITCHEN EQUIPMENT SUPPLIER.
  10. GC TO REQUEST & FOLLOW ADA REPORT WHEN AVAILABLE.

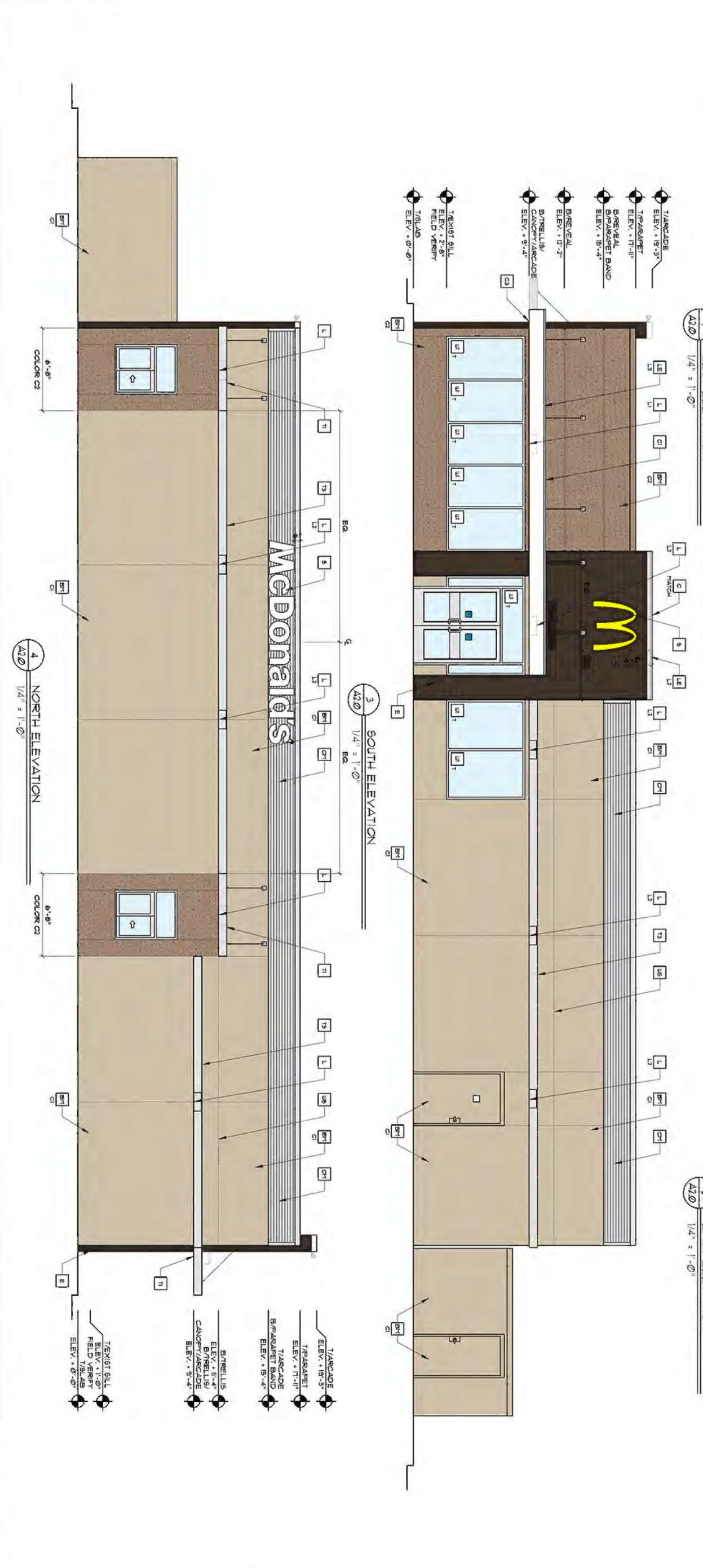
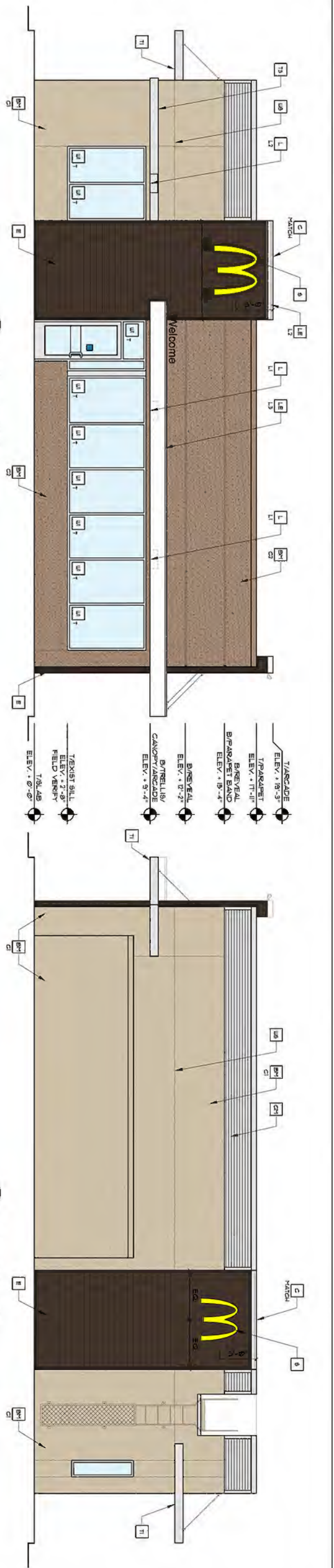


SHEET NO.	TITLE	DRAWN BY	PREPARED FOR:
A1.0	MAJOR REMODEL PROGRAM	MB	McDonald's USA, LLC
1402.24	DESCRIPTION	STD ISSUE DATE	
COLOR SCHEME: TERRA COTTA		REVIEWED BY	
ARCADE FINISH: STUCCO		SJP	
SITE ID 009-2078	27234	DATE ISSUED	08.18.14
SITE ADDRESS	4480 N. S.R. 7, COCONUT CREEK, FLORIDA		



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3	11.21.16	OWNER CHANGES	MB																
2	04.17.15	DRC COMMENTS	MB																





- KEY NOTES:**
- 1 NEW CERAMIC TILE FLOOR
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REV	DATE	DESCRIPTION	BY
4	02.02.17	OWNER CHANGES	CWS
3	11.16.16	OWNER CHANGES	MB
2	04.17.15	DRC COMMENTS	MB

NO.	DATE	BY
1	08.18.14	SJP

<b>MAJOR REMODEL PROGRAM</b>	<b>DESCRIPTION</b>	<b>DATE ISSUED</b>	<b>DATE</b>
COLOR SCHEME: TERRA COTTA	ARCADIE FINISH: STUCCO	08.18.14	
SITE ID: 009-2078	NAT # 27234	DATE ISSUED	
SITE ADDRESS: 4480 N. S.R. 7, COCONUT CREEK, FLORIDA			

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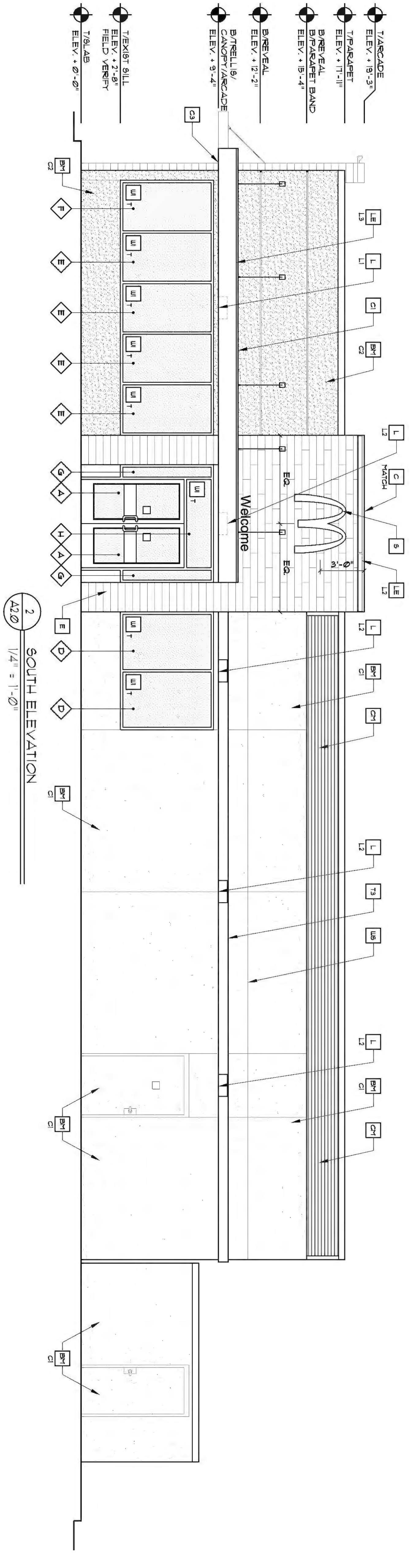
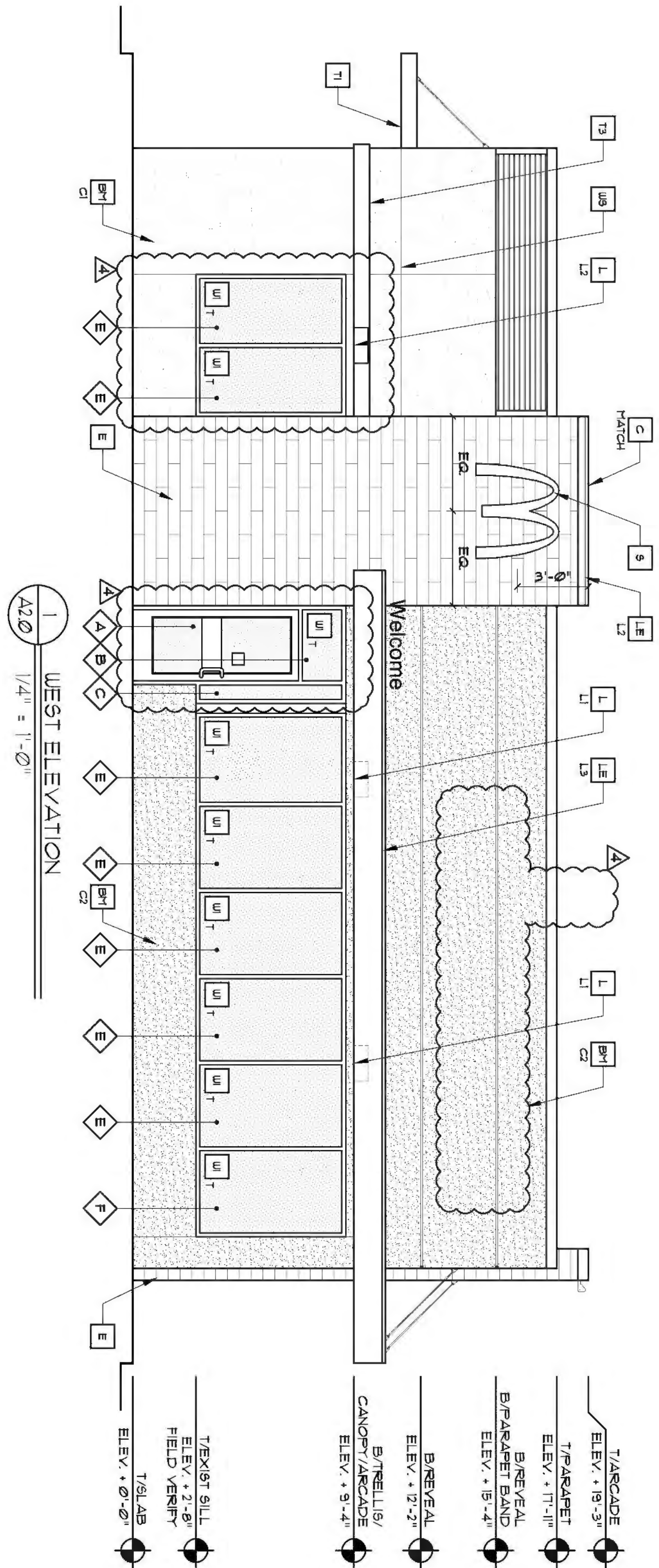
**BUILDING DATA**

WIND VELOCITY ( mph )	110
IMPORTANCE FACTOR	1.00
BUILDING CATEGORY	II
EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT ( <i>C<sub>i</sub></i> )	0.18
MEAN ROOF HEIGHT ( <i>H<sub>r</sub></i> )	11.93'
MEAN ROOF HEIGHT ( <i>H<sub>r</sub></i> )	48.0'
BUILDING LENGTH ( <i>L</i> )	14.67'
ROOF SLOPE ( <i>X : Y</i> )	0

FLORIDA BUILDING CODE - 2014 - PRESSURES NOTED ARE ASD PRESSURES, A 0.6 FACTOR HAS BEEN APPLIED

**WALL OPENINGS SCHEDULE**

MARK	DESCRIPTION	LOCATION ZONE	OPENING ELEVATION	DIMENSION WIDTH	HEIGHT	MAX POSITIVE PRESSURE <i>P<sub>u</sub></i>	MAX NEGATIVE PRESSURE <i>P<sub>u</sub></i>
A	GLASS DOOR	4	3.5	3	1	32.93	-38.98
B	FIXED GLASS	4	5.83	13.4	6.34	36.59	-39.64
C	FIXED GLASS	4	5.83	4	6.34	36.59	-39.64
D	FIXED GLASS	4	5.83	3.5	6.34	32.93	-35.98
E	FIXED GLASS	5	5.83	3.5	6.34	32.93	-41.41
F	FIXED GLASS	4	5.83	0.93	6.34	36.59	-39.64
G	FIXED GLASS	4	5.83	0.93	6.34	36.59	-39.64
H	FIXED GLASS	4	5.83	0.93	6.34	36.59	-39.64

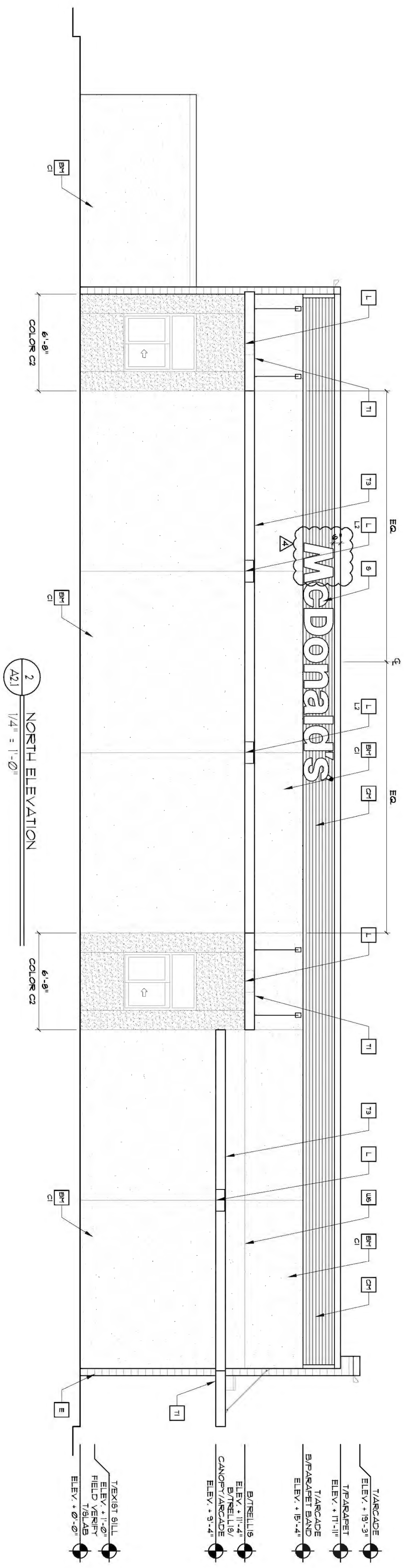
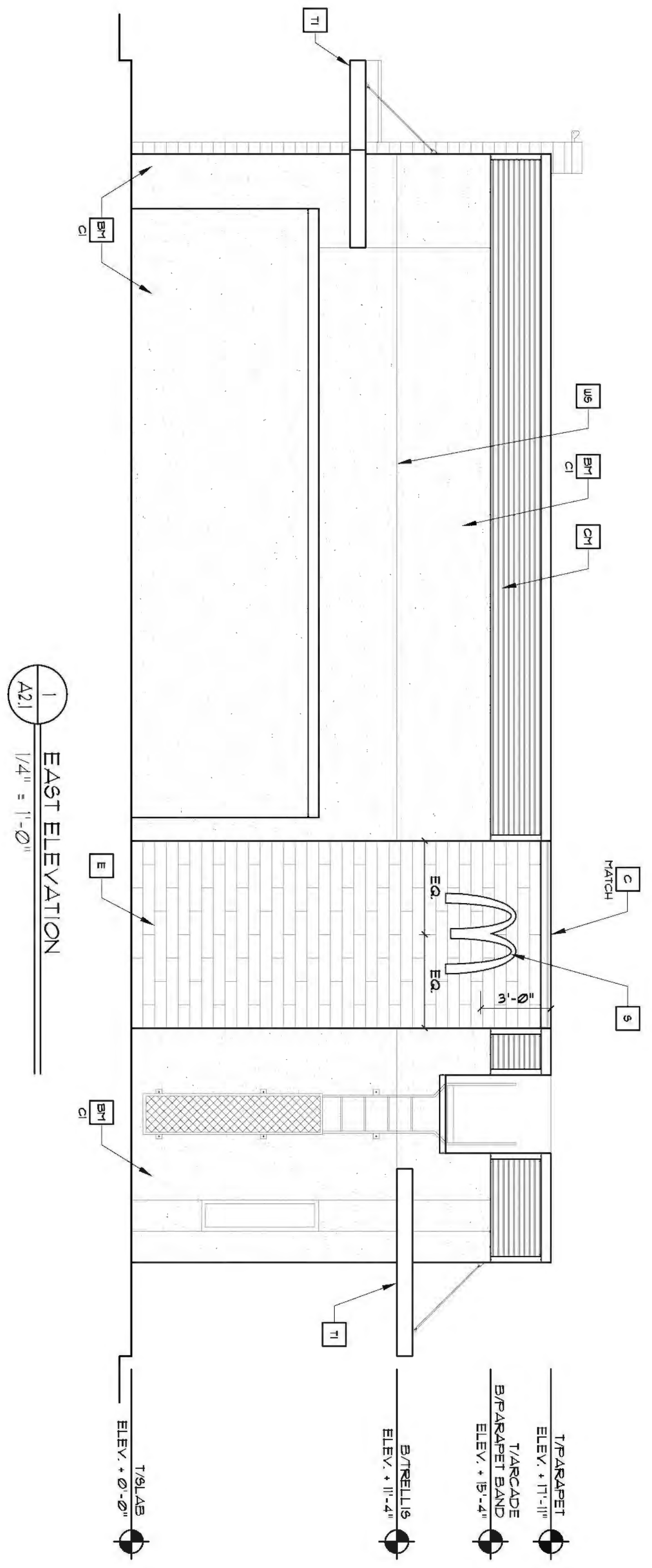


ENTIRE PAGE

- KEY NOTES:**
- 1 NEW CERAMITIC TILE FINISH
  - 2 COLOR: BERNALIN MOORE
  - 3 BARNER BRUSH AC-90
  - 4 ALUMINUM BRUSH AC-11
  - 5 METAL CORNING
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SHEET NO. <b>A2.0</b> MA-0003276	TITLE <b>MAJOR REMODEL PROGRAM</b>	DRAWN BY MB	PREPARED FOR <b>McDonald's USA, LLC</b>	PREPARED BY <b>Hartley + Purdy Architecture, Inc.</b>																
	DESCRIPTION COLOR SCHEME: TERRA COTTA ARCADE FINISH: STUCCO	STD ISSUE DATE	REVIEWED BY SJP	DATE ISSUED 08.18.14																
SITE ID: 009-2078 NAT #: 27234 SITE ADDRESS: 4480 N. S.R. 7, COCONUT CREEK, FLORIDA		<p>© 2012 McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p> <p>1711 North Himes Avenue, Tampa, Florida 33607 Ph 813/353-0035 Fax 813/353-4350 Web Site: www.hartleypurdy.com</p> <p>SCOTT J. PURDY AR 91876</p>																		
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2	04.17.15	DRC COMMENTS	MB																	





- KEY NOTES:**
- BT NEW CERAMTICOUS FINISH
  - BT COLOR: BENTONITE HOOPER
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ENTIRE PAGE

SHEET NO. <b>A2.1</b> MA-003276	TITLE <b>MAJOR REMODEL PROGRAM</b>	DRAWN BY MB	PREPARED FOR: <b>McDonald's USA, LLC</b>	PREPARED BY: <b>Hartley + Purdy Architecture, Inc.</b>	<small>© 2012 McDonald's USA, LLC</small> <small>ALL RIGHTS RESERVED BY</small>	<small>© 2012 HARTLEY + PURDY ARCHITECTURE, INC.</small> <small>ALL RIGHTS RESERVED BY</small>																				
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SITE ID: 009-2078 NAT #: 27234 SITE ADDRESS: 4480 N. S.R. 7, COCONUT CREEK, FLORIDA		SCOTT J. PURDY AR 91876		<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>4</td> <td>02.02.17</td> <td>CODE COMMENTS</td> <td>MB</td> </tr> <tr> <td>3</td> <td>11.21.16</td> <td>OWNER CHANGES</td> <td>MB</td> </tr> <tr> <td>2</td> <td>04.17.15</td> <td>DRC COMMENTS</td> <td>MB</td> </tr> <tr> <td>1</td> <td>08.18.14</td> <td>DESCRIPTION</td> <td>BY</td> </tr> </tbody> </table>			REV	DATE	DESCRIPTION	BY	4	02.02.17	CODE COMMENTS	MB	3	11.21.16	OWNER CHANGES	MB	2	04.17.15	DRC COMMENTS	MB	1	08.18.14	DESCRIPTION	BY
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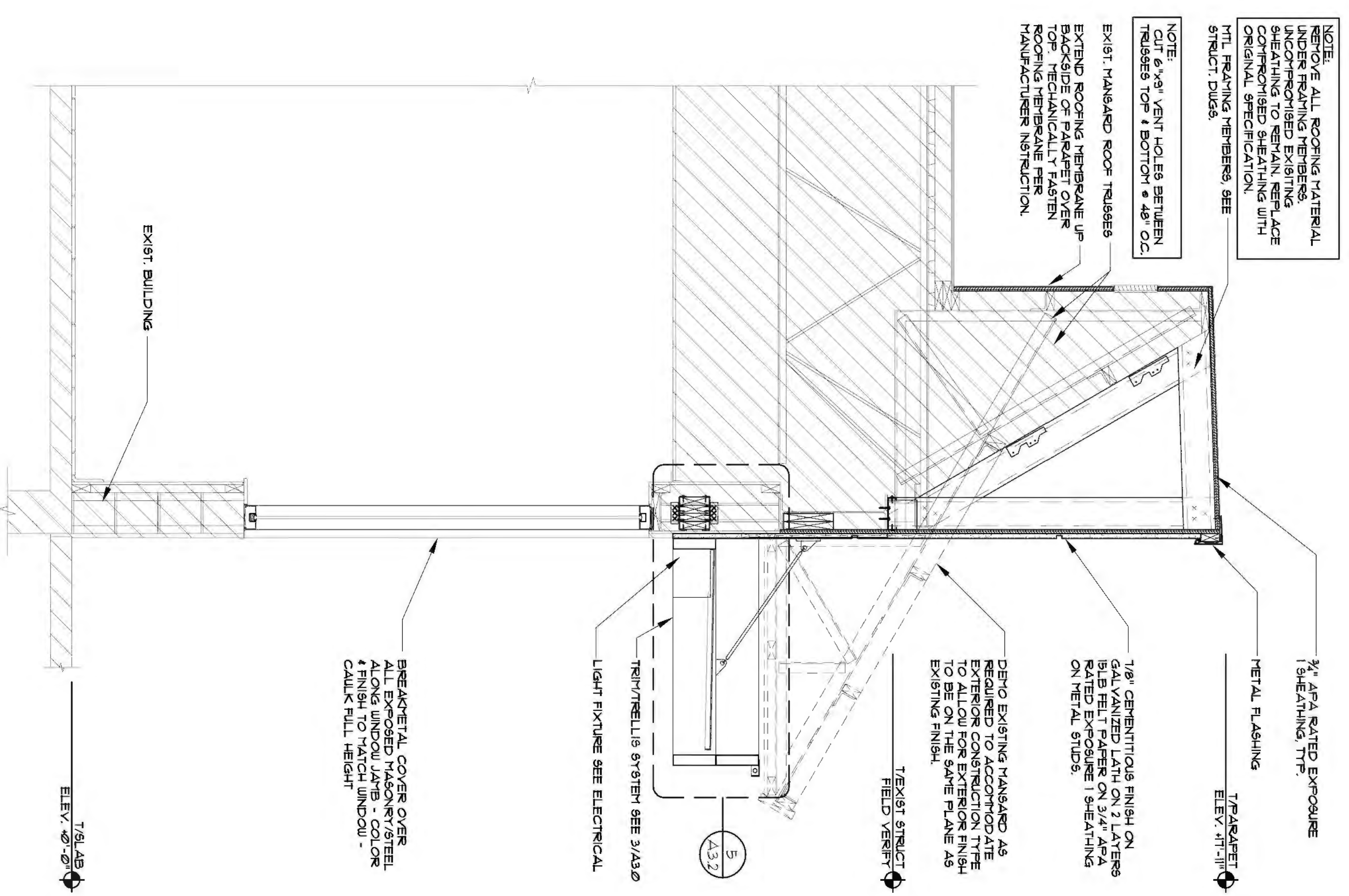
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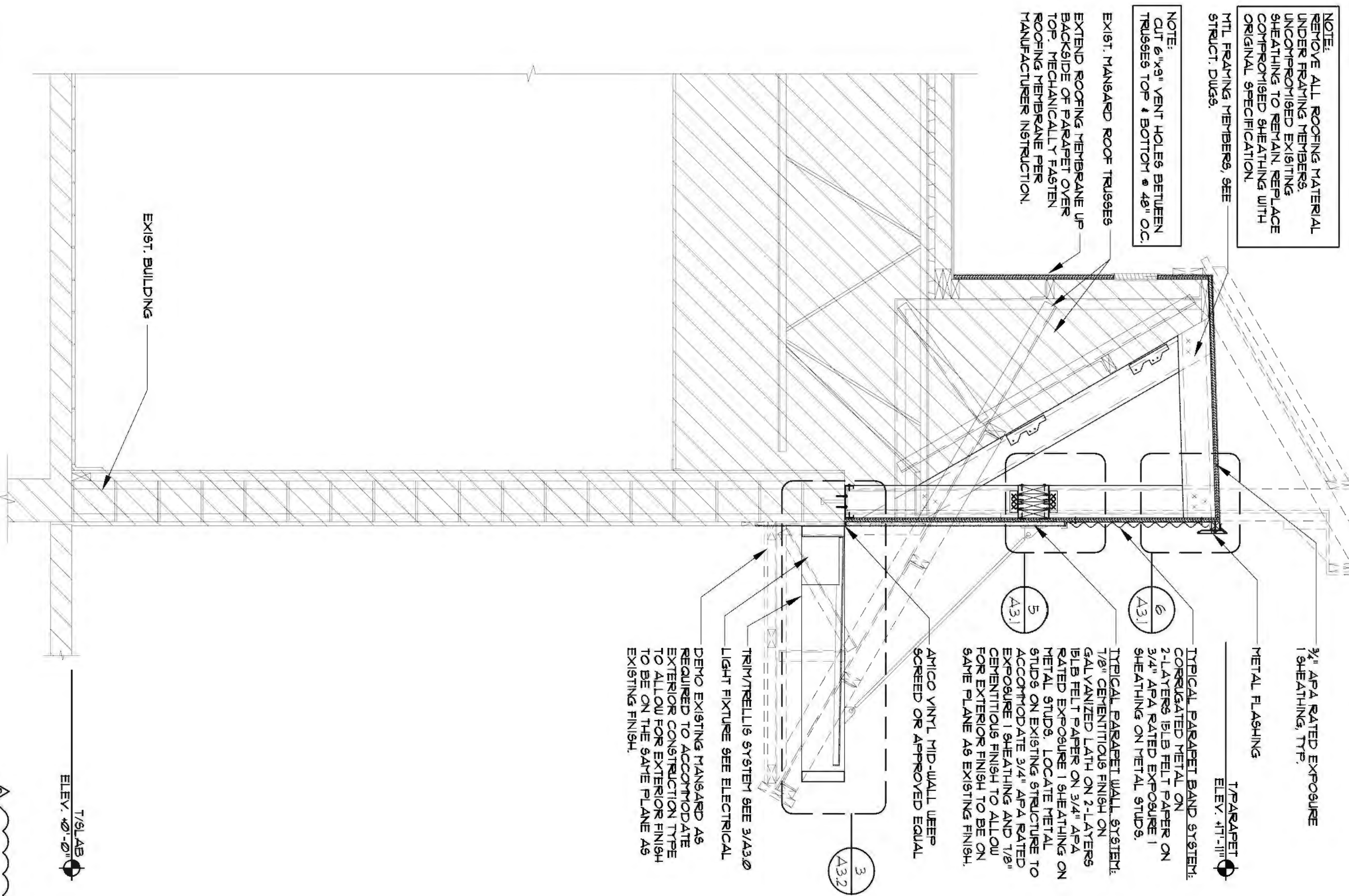
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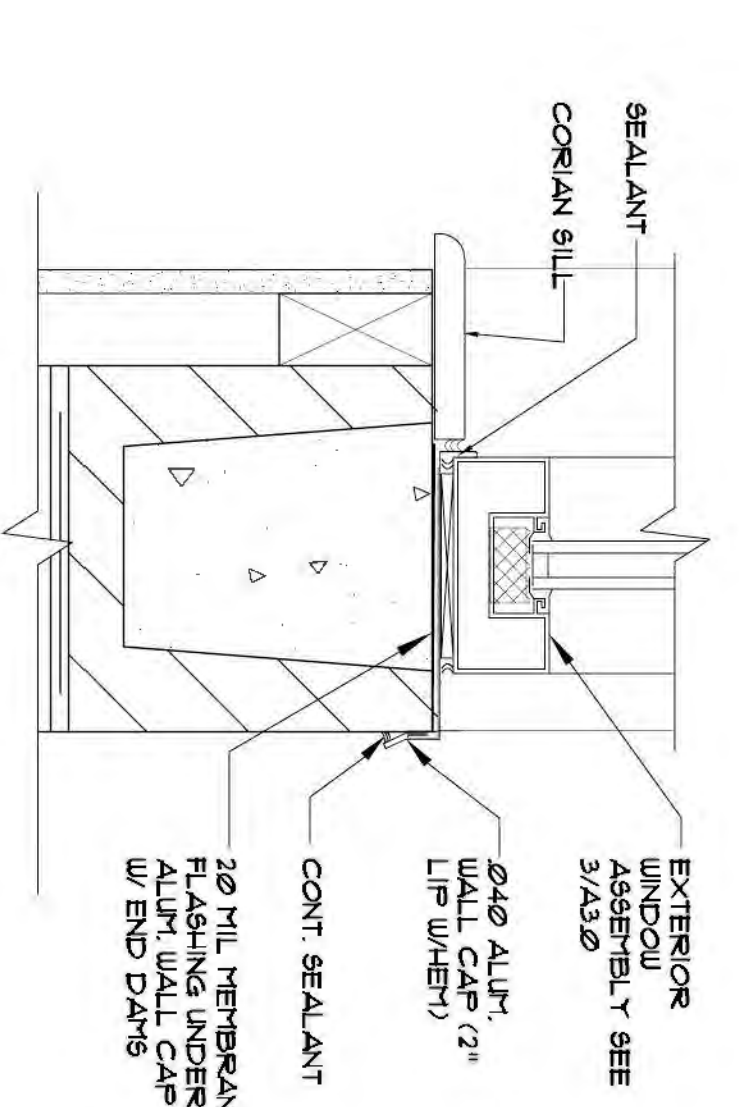


1 TYPICAL WALL SECTION  
3/4" = 1'-0"



2 DRIVE-THRU WALL SECTION  
3/4" = 1'-0"

ENTIRE PAGE



4 FLASHING @ STOREFRONT  
3/4" = 1'-0"

**EXTERIOR WINDOW ASSEMBLY (STOREFRONT & ENTRANCE SYSTEM)**

1. CLEAR ANODIZED ALUMINUM FRAME
2. NEW IMPACT GLAZING - SEE ELEVATIONS FOR LOCATIONS
3. PROVIDE FLASHING AT HEAD & SILL - CONTINUOUS SLOPE
4. PROVIDE 2\"/>

**TRELLIS & CANOPY SYSTEM**

- TRELLIS & CANOPY INSTALLATION SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. TRELLIS & CANOPY SHALL PROVIDE A COMPLETE FINAL DESIGN. SHALL PROVIDE A COMPLETE AND CODE COMPLIANT FINAL DESIGN. FINISHES PER ELEV. OVER 2\"/>
  1. FASCIA (TRELLIS) CONT. 2\"/>
  2. OUTRIGGERS (TRELLIS) CLEAR ANODIZED 2\"/>
  3. TRELLIS (TRELLIS) CLEAR ANODIZED ALUM. THREADED RODS BY THE QUANTITY AS INDICATED ON ROOF PLAN. FINAL LOCATIONS AND QUANTITY SHALL BE AS INDICATED ON TRELLIS INSTALLATION DRAWINGS.
  4. WHERE INDICATED ON ROOF PLAN PROVIDE ANODIZED ALUM. PANEL, INHILL (TRELLIS) OR YELLOW PAINTED ALUM. PANEL (CANOPY) TO PROVIDE POSITIVE SLOPE FOR DRAINAGE.
  5. SYSTEM SHALL ALLOW FOR NO DEFLECT AT EXPANSION JOINTS AND FOR ROOFING OF EXTERIOR WALL SYSTEM ON WHICH THE TRELLIS OR CANOPY IS MOUNTED.
  6. STRUCTURAL ATTACHMENTS & LOAD CALCULATIONS SHALL BE PROVIDED BY THE SUPPLIER OF THE SYSTEM. SUPPLIER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PERMITS, DESIGN, ENGINEERING, AND RECORD SETS. SUPPLIER'S DESIGN SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
  1. TRELLIS SYSTEM SHALL BE SELECTED FROM ONE OF THE SUPPLIERS LISTED IN THE CONSTRUCTION DOCUMENTS. SUPPLIER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PERMITS, DESIGN, ENGINEERING, AND RECORD SETS. SUPPLIER'S DESIGN SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
  2. MANUFACTURER SHALL PROVIDE INSTALLER WITH INSTALLATION INSTRUCTIONS. MANUFACTURER SHALL DESIGN TRELLIS IN ACCORDANCE WITH THE WALL SYSTEM AND BLOCKING AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
  3. INSTALLER SHALL NOTIFY TRELLIS & CANOPY DESIGNER OF RECORD, RECORD SETS, AND ARCHITECT OF ANY DEFICIENCIES THAT WOULD NOT ALLOW FOR THE PROPER INSTALLATION OF THE TRELLIS. CORRECTED RECORD SETS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL OF DESIGN INTENT. ALL NON-APPROVED SUPPLIERS SHALL MEET ALL OF THE REQUIREMENTS OF THIS SECTION.

3 EXTERIOR WALL SYSTEMS

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A3.0	MAJOR REMODEL PROGRAM	MB	McDonald's USA, LLC	Hartley + Purdy Architecture, Inc.	11.21.16	OWNER CHANGES	MB
1402.24	DESCRIPTION	STD ISSUE DATE	REVIEWED BY	DATE ISSUED	REV	DATE	DESCRIPTION
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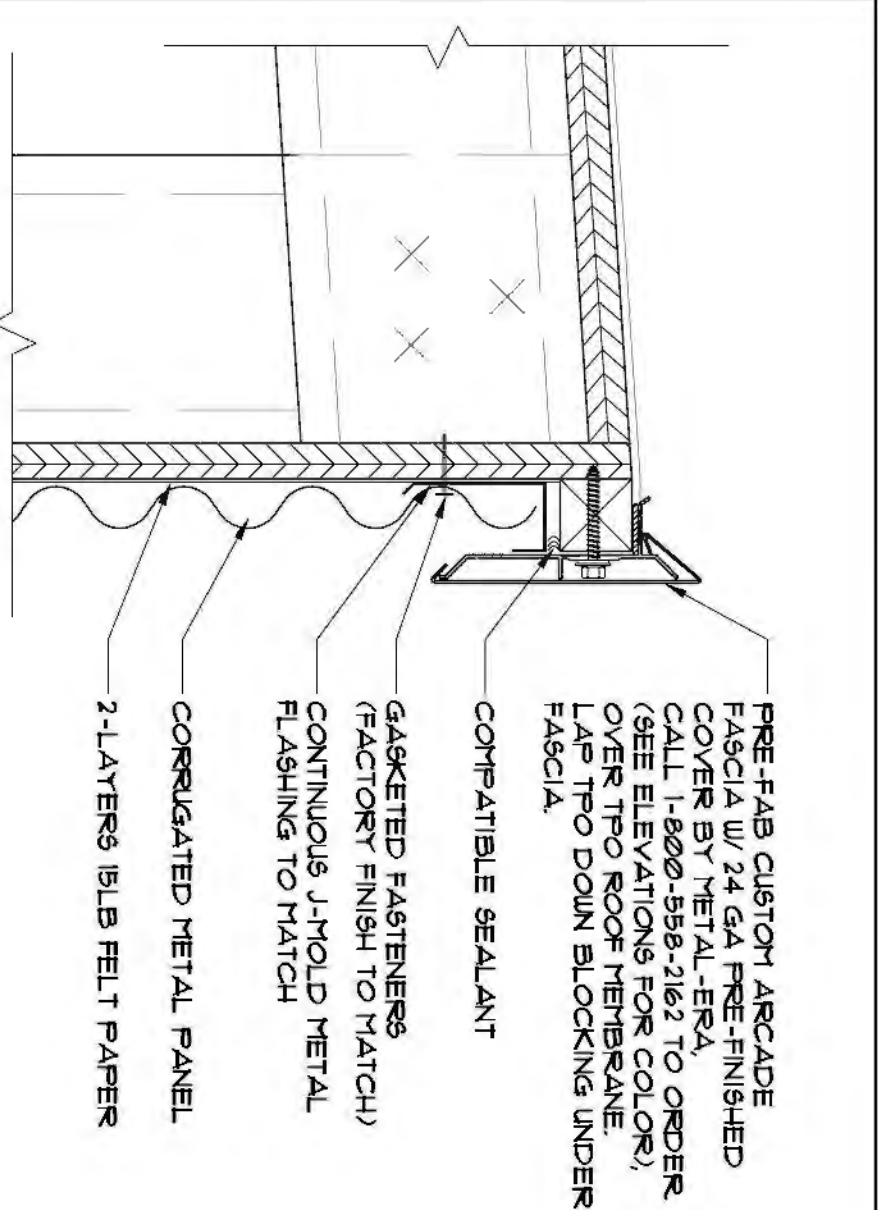
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MA-0003276

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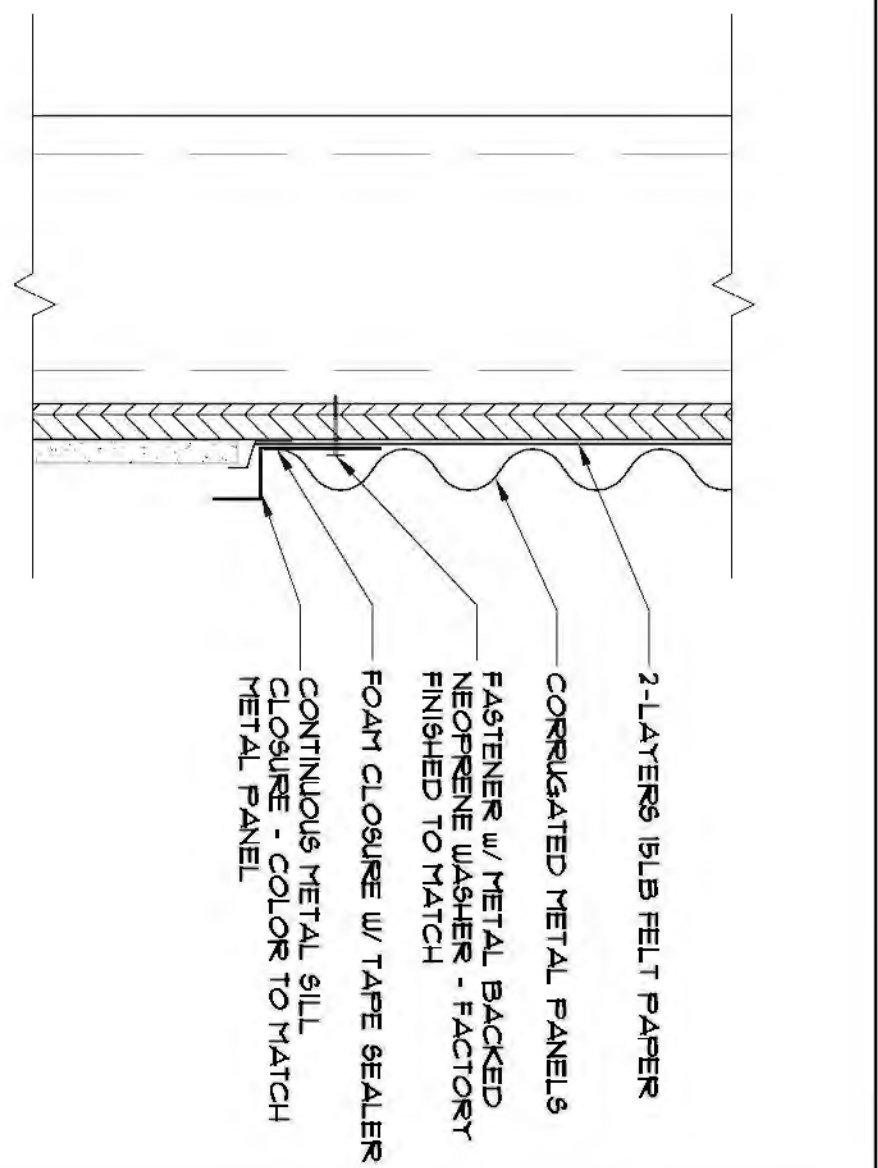
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AR 91876

3	11.21.16	OWNER CHANGES	MB
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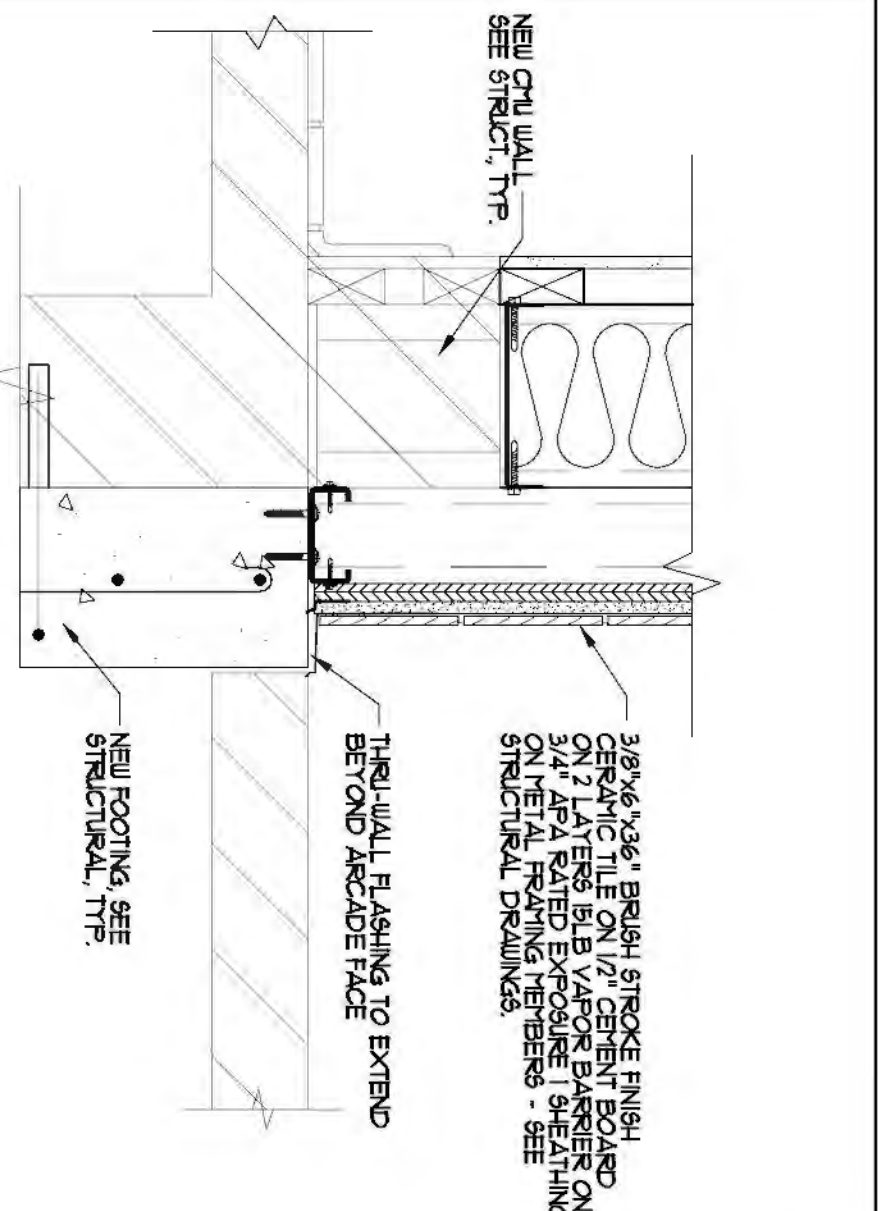


6  
A3.1  
3'-11/8" TYP.  
DETAIL - PARAPET BAND SYSTEM

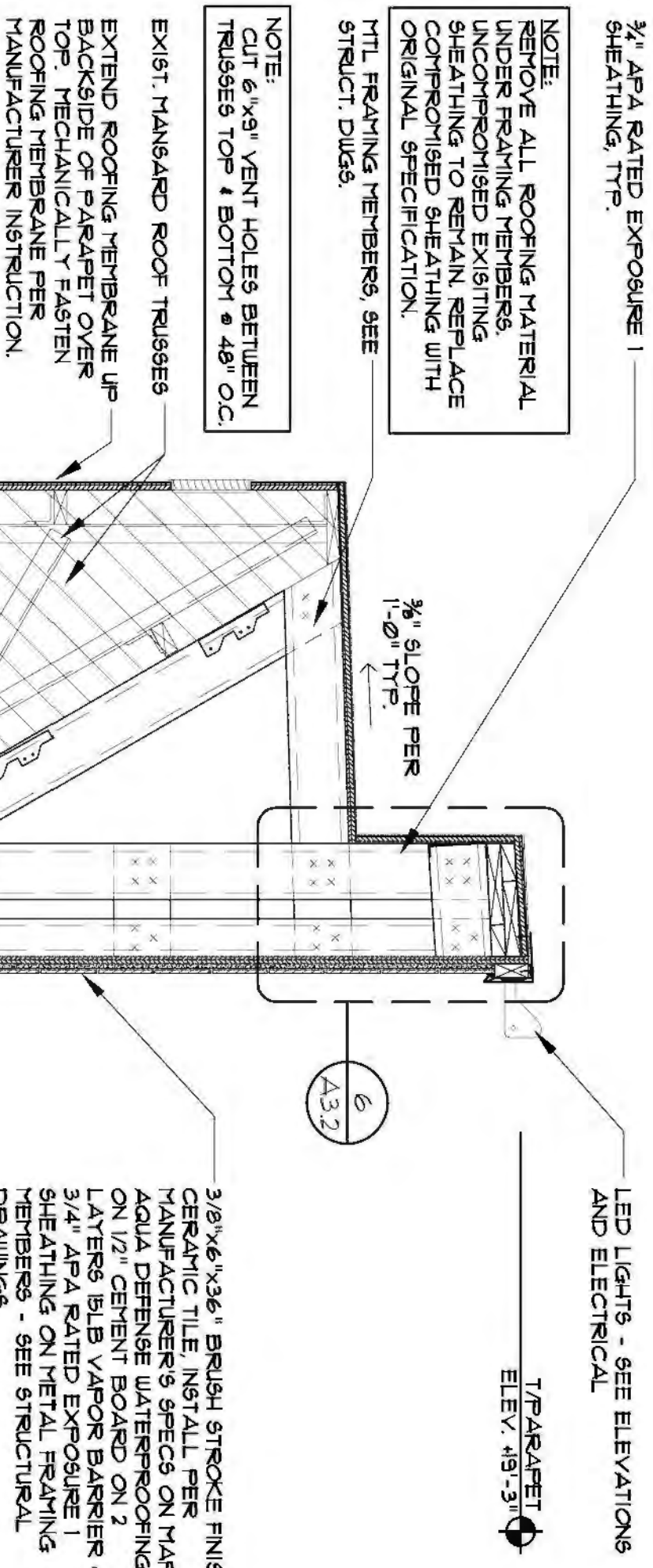


5  
A3.1  
3'-11/8" TYP.  
DETAIL - PARAPET BAND SYSTEM

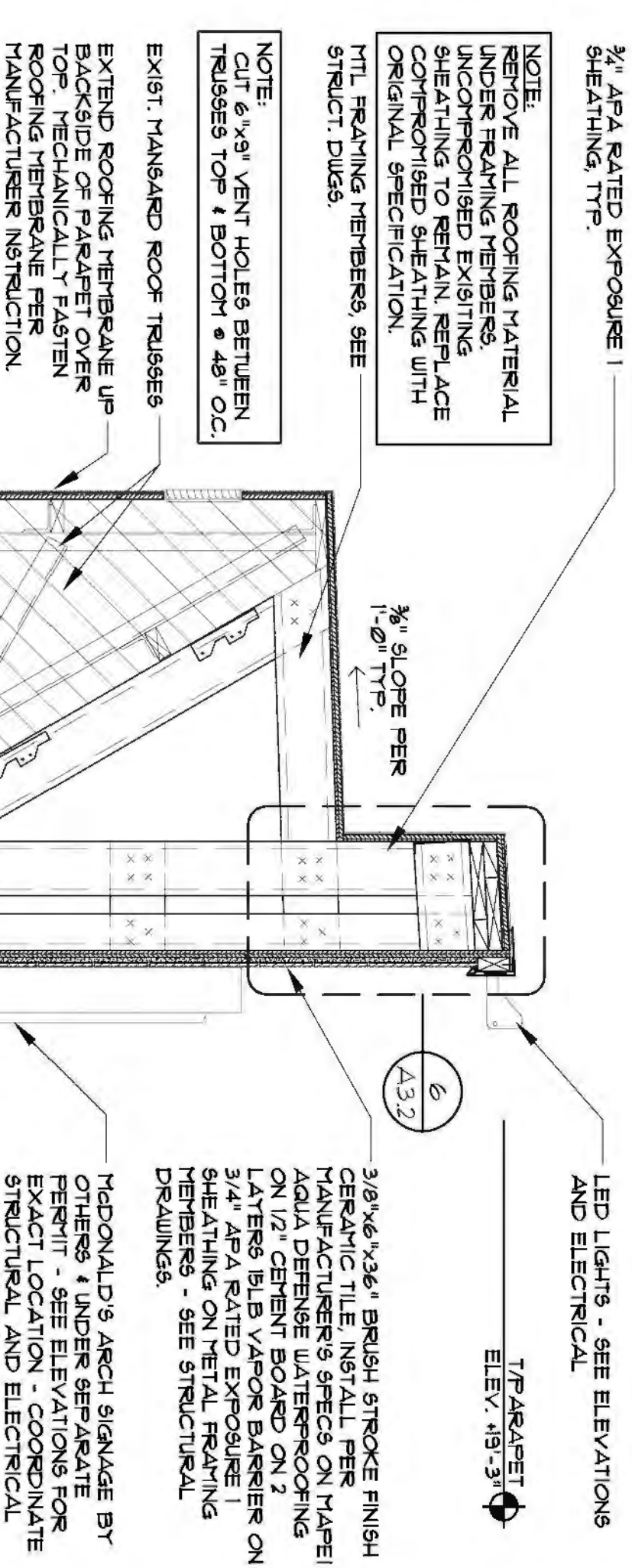
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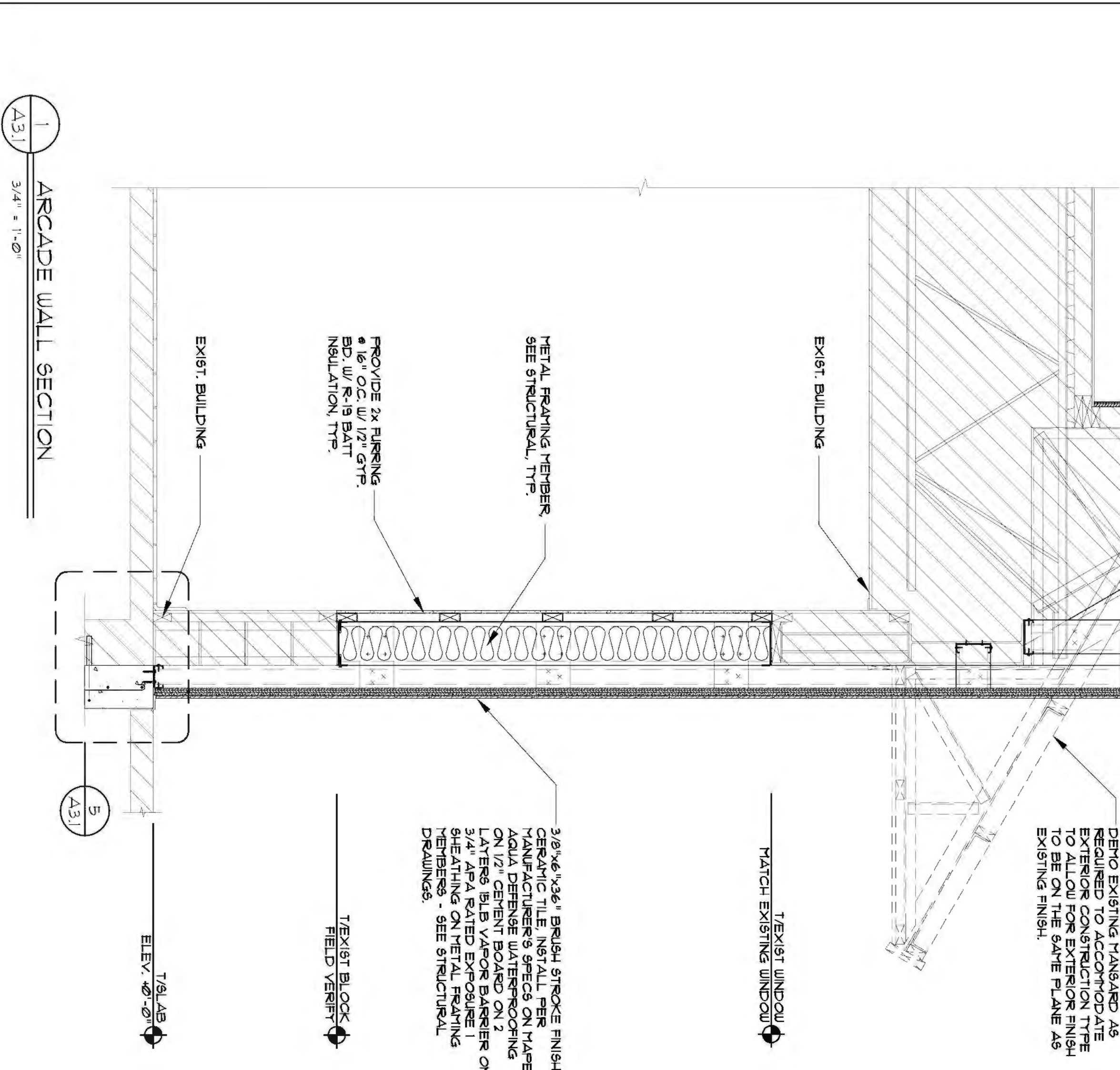
3  
A3.1  
11/2" TYP.  
SECTION @ ARCADE FOOTING



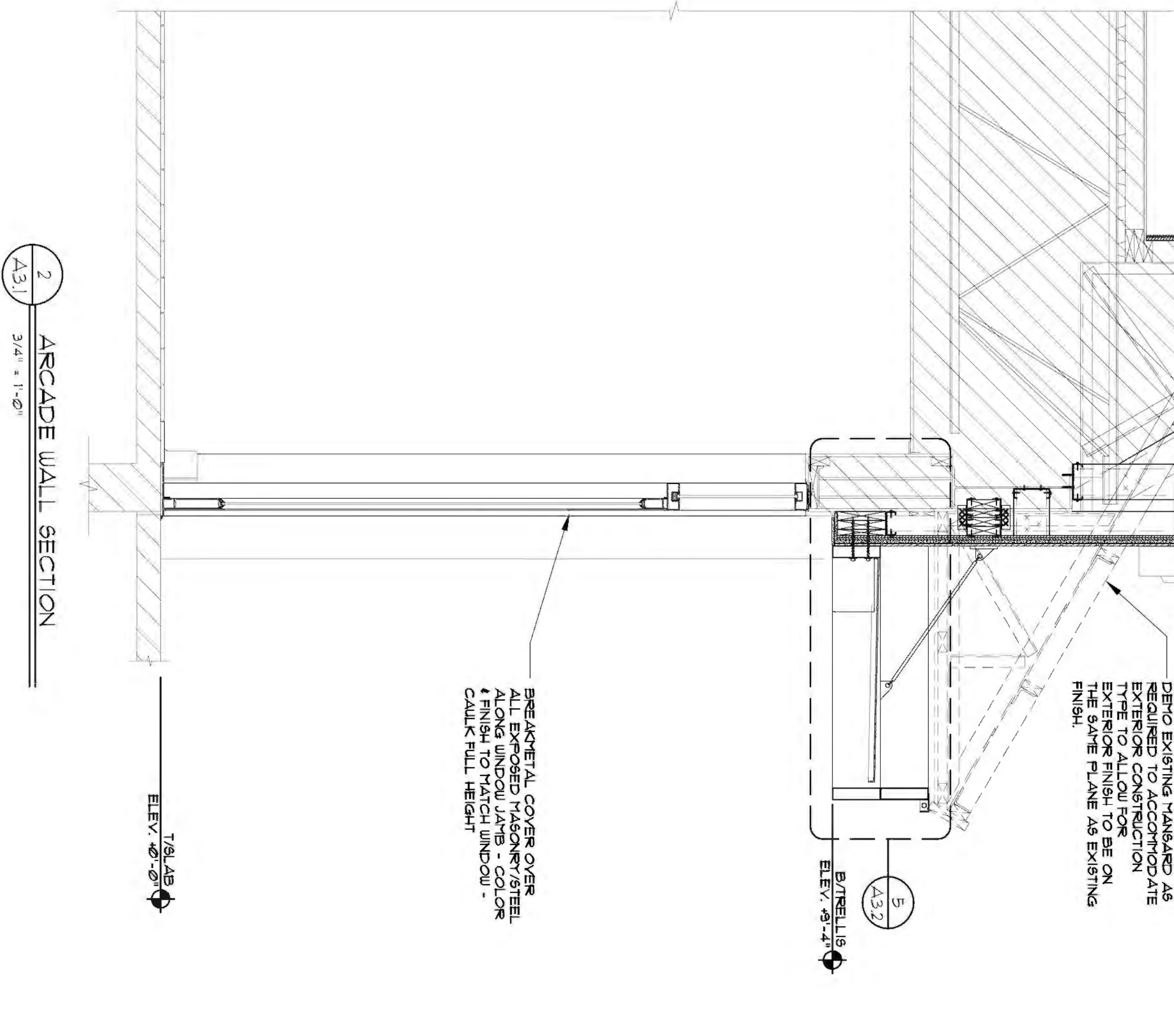
6  
A3.1  
3'-11/8" TYP.  
DETAIL - PARAPET BAND SYSTEM



5  
A3.1  
3'-11/8" TYP.  
DETAIL - PARAPET BAND SYSTEM



1  
A3.1  
3/4" TYP.  
ARCADE WALL SECTION



2  
A3.1  
3/4" TYP.  
ARCADE WALL SECTION

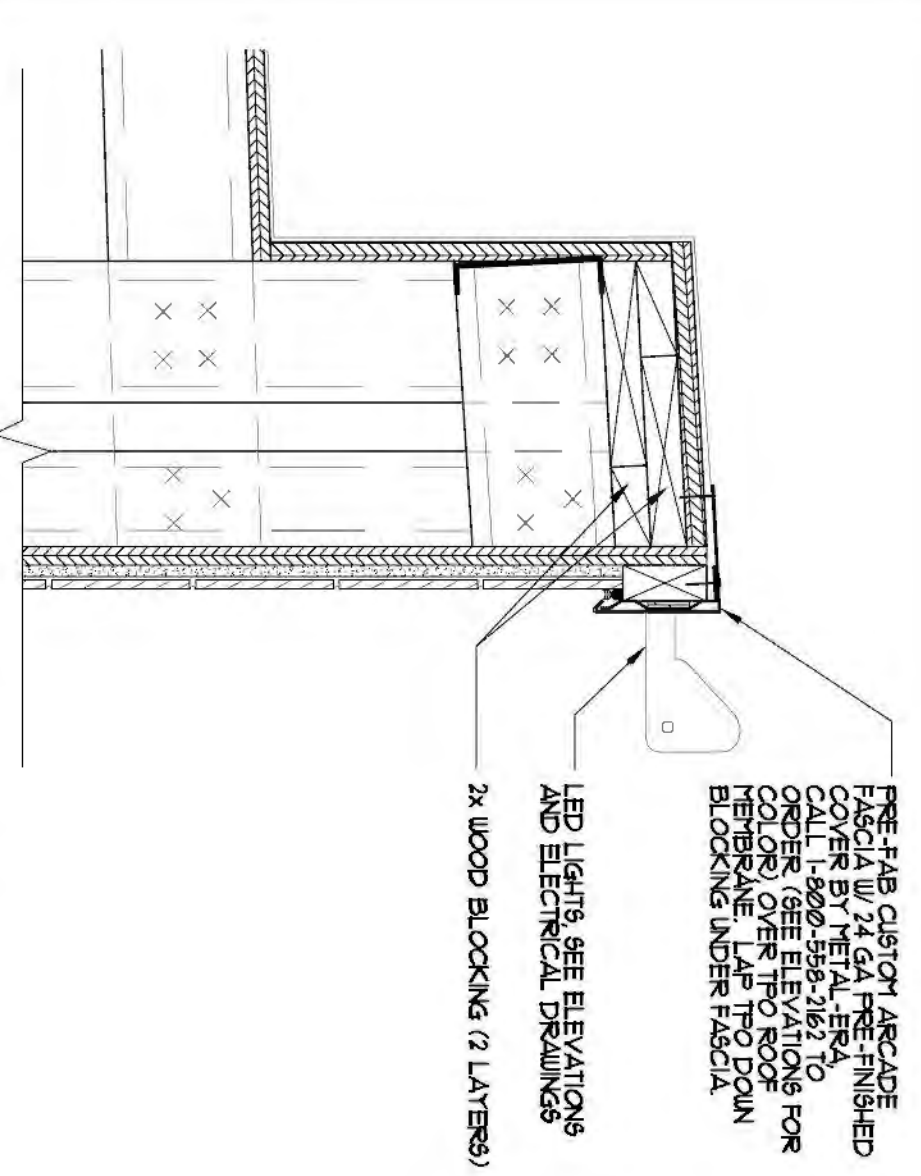


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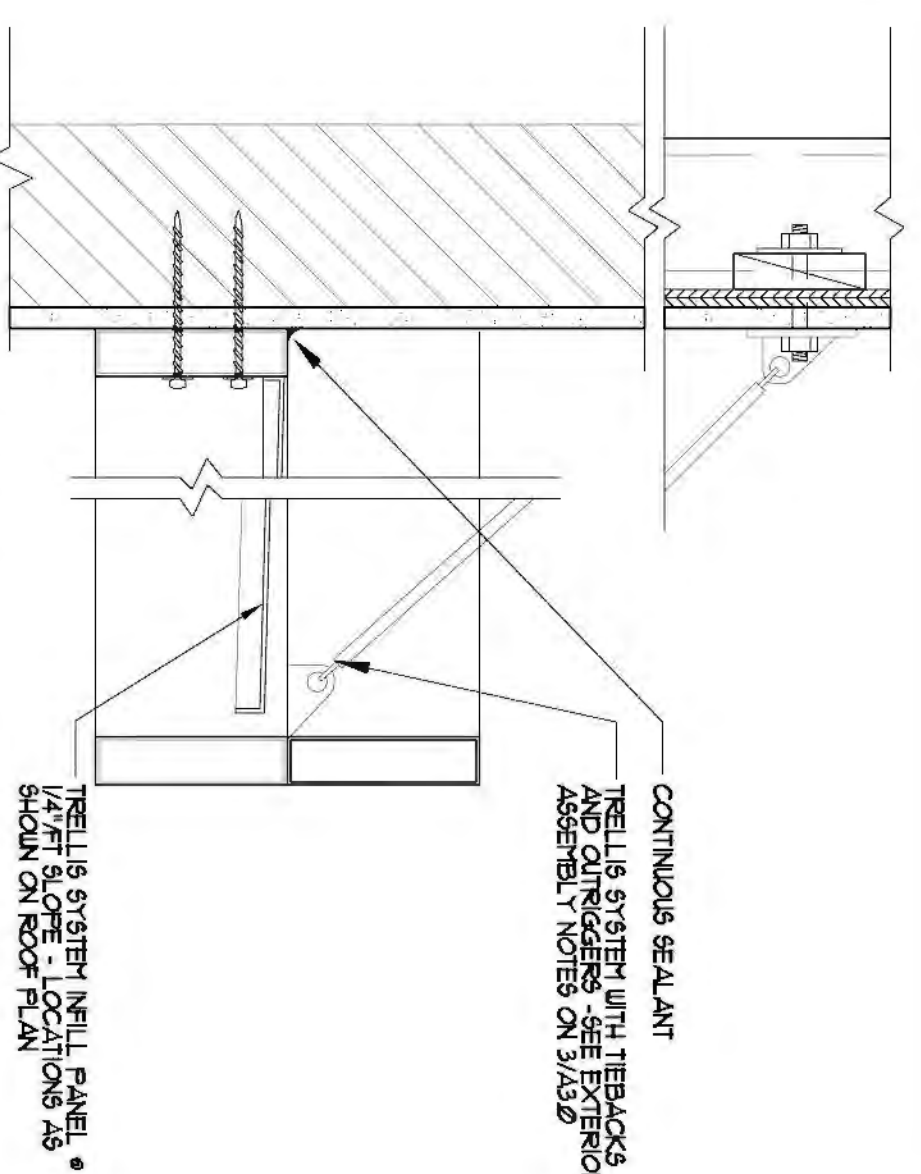
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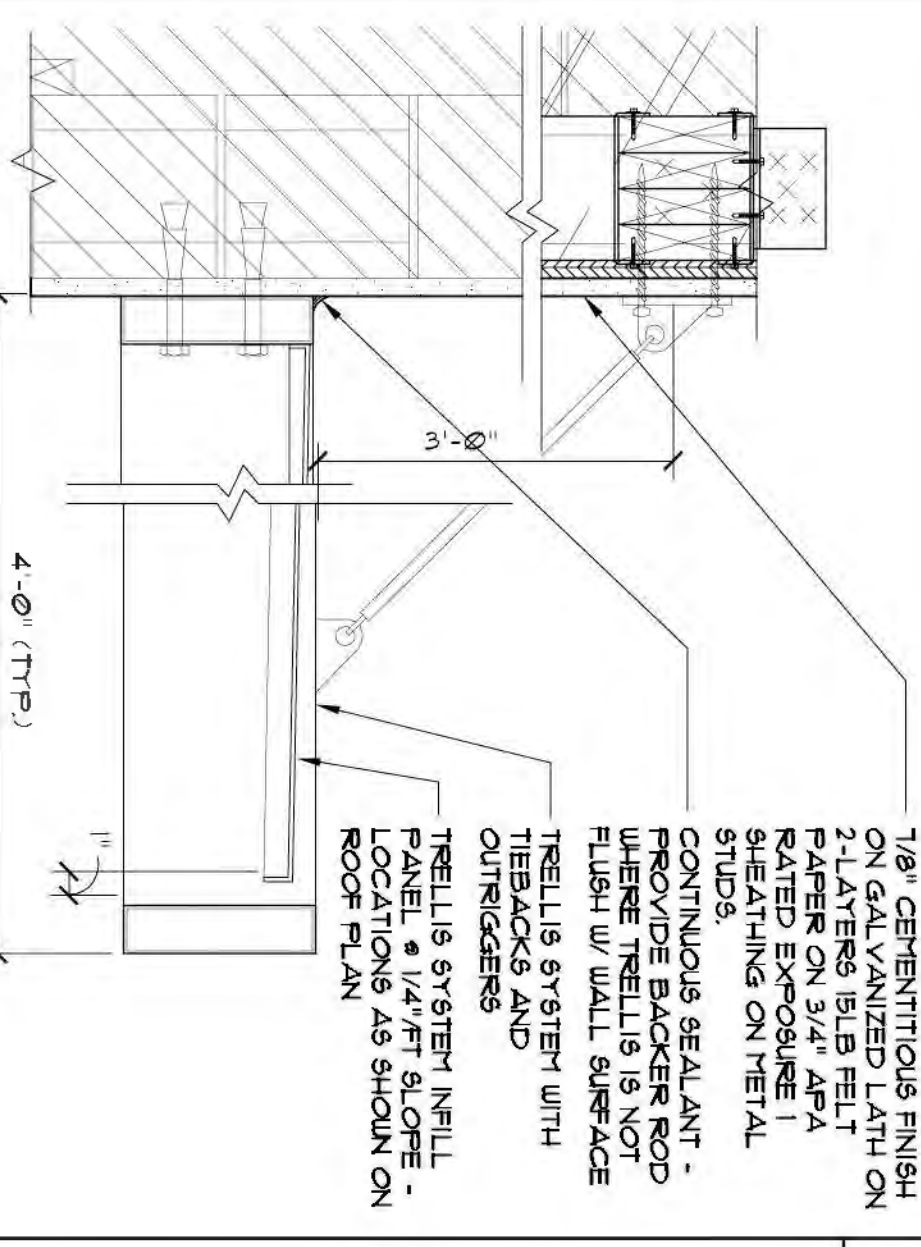


6 DETAIL @ ARCADE PARAPET  
1/2" = 1'-0"



5 DETAIL @ ARCADE CANOPY  
1/2" = 1'-0"

4 NOT USED



3 DETAIL - TRELLIS SYSTEM  
1/2" = 1'-0"

NOTE:  
REMOVE ALL ROOFING MATERIAL UNDER FRAMING MEMBERS. UNCOMPLETED EXISTING SHEATHING AND SEALANT SHALL BE DEMOLISHED AND METAL FLASHING SHALL BE REINSTALLED WITH ORIGINAL SPECIFICATION. METAL FLASHING MEMBERS, SEE STRUCT. DWGS.

NOTE:  
CUT 6"x8" VENT HOLES BETWEEN TRUSSES TOP & BOTTOM @ 48" O.C.

EXIST. HANGARD ROOF TRUSSES  
EXTEND ROOFING MEMBRANE UP EXTERIOR SIDE OF PARAPET OVER EXISTING METAL FLASHING PER MANUFACTURER INSTRUCTION.

3/8"x6"x36" BRUSH STROKE FINISH CERAMIC TILE, INSTALL PER MANUFACTURER'S SHEETS ON HANGARD. DEMOLISH WATERPROOFING LAYERS, BLB VAPOR BARRIER ON 3/4" APA RATED EXPOSURE 1 SHEATHING ON METAL FRAMING MEMBERS. SEE STRUCTURAL DRAWINGS.

EXIST. BUILDING  
EXIST. WINDOW  
HATCH EXISTING WINDOW

PROVIDE 2x BIRNING @ 16" O.C. W/ 1/2" GYP. BD. W/ R-18 BATT INSULATION TYP.

3/8"x6"x36" BRUSH STROKE FINISH CERAMIC TILE, INSTALL PER MANUFACTURER'S SHEETS ON HANGARD. DEMOLISH WATERPROOFING LAYERS, BLB VAPOR BARRIER ON 3/4" APA RATED EXPOSURE 1 SHEATHING ON METAL FRAMING MEMBERS. SEE STRUCTURAL DRAWINGS.

EXIST. BUILDING  
EXIST. WINDOW  
HATCH EXISTING WINDOW

1 ARCADE WALL SECTION  
3/4" = 1'-0"

NOTE:  
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NOTE:  
CUT 6"x8" VENT HOLES BETWEEN TRUSSES TOP & BOTTOM @ 48" O.C.

EXIST. HANGARD ROOF TRUSSES  
EXTEND ROOFING MEMBRANE UP EXTERIOR SIDE OF PARAPET OVER EXISTING METAL FLASHING PER MANUFACTURER INSTRUCTION.

1/2" APA RATED EXPOSURE 1 SHEATHING, TYP.  
METAL FLASHING  
7/8" PARAPET ELEV. 41'-11 1/2"

EXIST. BUILDING  
EXIST. WINDOW  
HATCH EXISTING WINDOW

BREAKEMETAL COVER OVER ALL EXPOSED MASONRY/STEEL. FINISH TO MATCH WINDOW CALLOUT HILL HEIGHT.

EXIST. BUILDING  
EXIST. WINDOW  
HATCH EXISTING WINDOW

2 ARCADE WALL SECTION  
3/4" = 1'-0"

NOTE:  
REMOVE ALL ROOFING MATERIAL UNDER FRAMING MEMBERS. UNCOMPLETED EXISTING SHEATHING AND SEALANT SHALL BE DEMOLISHED AND METAL FLASHING SHALL BE REINSTALLED WITH ORIGINAL SPECIFICATION. METAL FLASHING MEMBERS, SEE STRUCT. DWGS.

NOTE:  
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EXIST. BUILDING  
EXIST. WINDOW  
HATCH EXISTING WINDOW

PROVIDE 2x BIRNING @ 16" O.C. W/ 1/2" GYP. BD. W/ R-18 BATT INSULATION TYP.

3/8"x6"x36" BRUSH STROKE FINISH CERAMIC TILE, INSTALL PER MANUFACTURER'S SHEETS ON HANGARD. DEMOLISH WATERPROOFING LAYERS, BLB VAPOR BARRIER ON 3/4" APA RATED EXPOSURE 1 SHEATHING ON METAL FRAMING MEMBERS. SEE STRUCTURAL DRAWINGS.

EXIST. BUILDING  
EXIST. WINDOW  
HATCH EXISTING WINDOW

1 REAR BRAND WALL SECTION  
3/4" = 1'-0"

ENTIRE PAGE

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