



Springs – McKenzie Plat

6301 Lyons Road, Coconut Creek, Florida 33073

PID: 4842 06 28 0021

Aerial View of Property



EXHIBIT "A"

DESCRIPTION:

A PORTION OF THAT CERTAIN DEDICATED 10.00 FOOT WIDE UTILITY EASEMENT LYING IN PARCEL "A", SPRINGS - MCKENZIE PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 165, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID PARCEL "A"; THENCE ALONG THE WEST LINE OF SAID PARCEL "A", NORTH 00°24'54" WEST A DISTANCE OF 10.00 FEET TO THE NORTH SIDELINE OF THAT CERTAIN DEDICATED 10.00 FOOT WIDE UTILITY EASEMENT AS SHOWN ON SAID PLAT AND VACATED AND ABANDONED PER CITY OF COCONUT CREEK ORDINANCE NO. 2019-018 AND RECORDED IN INSTRUMENT NUMBER 116529969 OF SAID BROWARD COUNTY PUBLIC RECORDS AND THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID WEST LINE, NORTH 00°24'54" WEST A DISTANCE OF 493.77 FEET TO THE NORTH LINE OF THE LANDS DESCRIBED IN THAT CERTAIN WARRANTY DEED AND RECORDED IN INSTRUMENT NUMBER 116166642 OF SAID PUBLIC RECORDS; THENCE ALONG SAID NORTH LINE, NORTH 90°00'00" EAST A DISTANCE OF 10.00 FEET TO THE EAST SIDELINE OF SAID 10.00 FOOT WIDE UTILITY EASEMENT; THENCE ALONG SAID EAST SIDELINE, SOUTH 00°24'54" EAST A DISTANCE OF 493.70 FEET TO THE AFORESAID NORTH SIDELINE; THENCE ALONG SAID NORTH SIDELINE, SOUTH 89°37'06" WEST A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, AND CONTAINING 4,937 SQUARE FEET, MORE OR LESS.

SURVEYOR'S NOTES:

1. SURVEY MAPS OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE ORIGINAL SEAL, OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR AND MAPPER.
2. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THE SURVEYOR, FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
4. THE "DESCRIPTION" SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
5. DATA SHOWN HEREON WAS COMPILED FROM INSTRUMENTS RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
6. BEARINGS SHOWN HEREON ARE REFERENCED TO THE SPRINGS-MCKENZIE PLAT, RECORDED IN PLAT BOOK 165, PAGE 7, BROWARD COUNTY PUBLIC RECORDS. THE WEST LINE OF PARCEL "A" IS SHOWN TO BEAR NORTH 00°24'54" WEST.

CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED SKETCH AND DESCRIPTION OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION ON JULY 26, 2021. I FURTHER CERTIFY THAT THIS SKETCH AND DESCRIPTION MEETS THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO FLORIDA STATUTES CHAPTER 472.027.

THIS IS NOT A SURVEY

SHEET 1 OF 2

**CAULFIELD & WHEELER, INC.**
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

David E. Rohal,
P.S.M.
Digitally signed by David E. Rohal, DN: cn=David E. Rohal, ou=Professional Land Surveyors, email=drohal@caulfield.com Date: 2021.07.26 15:00:00 -0400

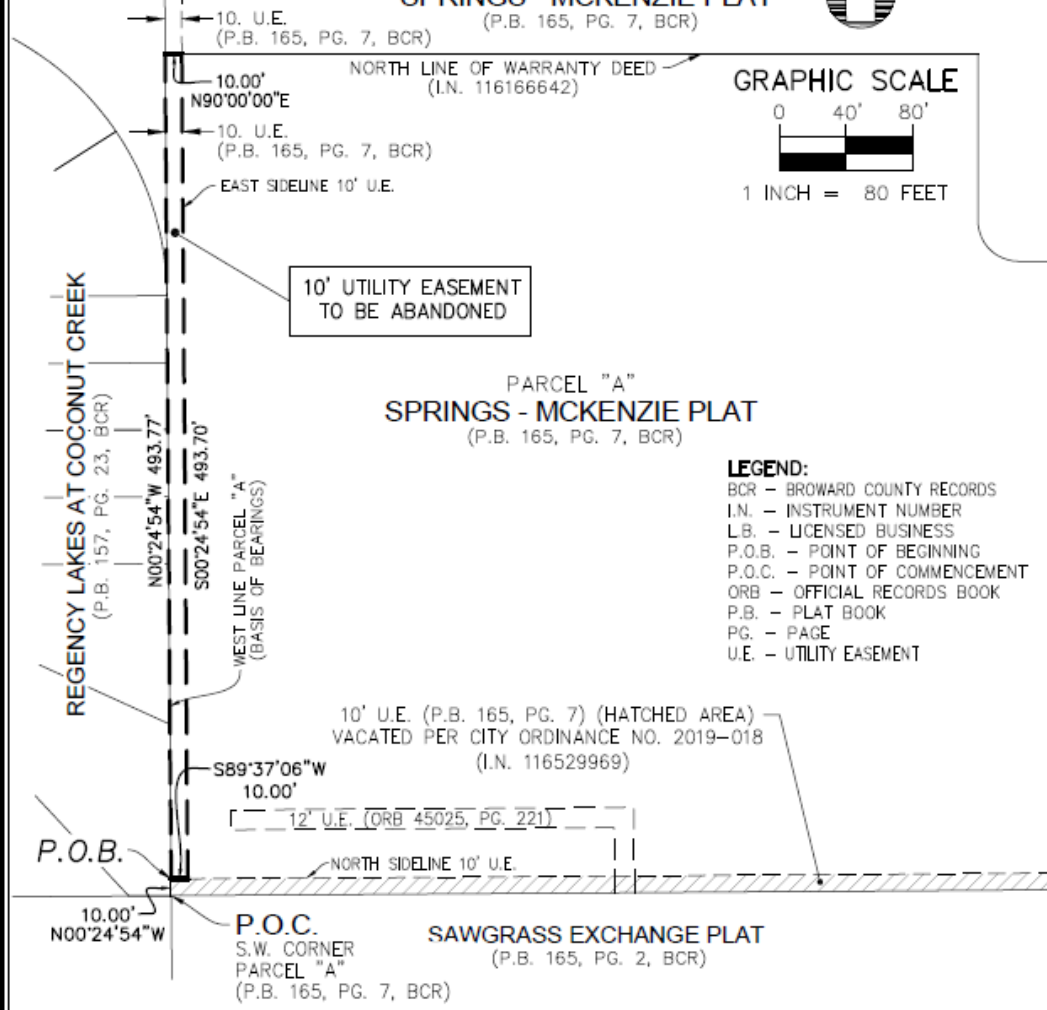
DAVID E. ROHAL
PROFESSIONAL LAND
SURVEYOR NO. 4315
STATE OF FLORIDA
L.B. 3591

DATE	7/26/2021
DRAWN BY	der
F.B./ PG.	NONE
SCALE	NONE
JOB NO.	8281-VACWEST

SPRINGS - MCKENZIE PLAT
UTILITY EASEMENT ABANDONMENT (WEST)
SKETCH AND DESCRIPTION

EXHIBIT "A"

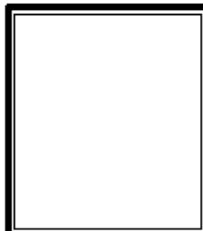
PARCEL "A"
SPRINGS - MCKENZIE PLAT
(P.B. 165, PG. 7, BCR)



THIS IS NOT A SURVEY

SHEET 2 OF 2

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