

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION:

PARCEL 1: FEE SIMPLE PARCEL

TRACTS 24, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 48, 49, 50, 51, 52, 53, 54, 55, 57, 58, 59, 60, AND 73, BLOCK 89, THE PALM BEACH FARMS CO. PLAT NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 45-54, OF THE PUBLIC RECORDS OF PALM BEACH, FLORIDA, SAID LANDS NOW LYING, BEING AND SITUATE IN BROWARD COUNTY, FLORIDA; LESS AND EXCEPT THE NORTH 20 FEET OF TRACTS 33 AND 42 CONVEYED TO BROWARD COUNTY BY WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 14, PAGE 599 AND OFFICIAL RECORDS BOOK 24, PAGE 594; LESS THOSE PORTIONS OF TRACTS 33 AND 55 CONVEYED TO THE BROWARD COUNTY EXPRESSWAY AUTHORITY AND BROWARD COUNTY, FLORIDA, BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 13966, PAGE 480; LESS THAT PORTION OF TRACT 24 KNOWN AS PARCEL NO. 101 CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 826 THROUGH 842, INCLUSIVE, AND LESS THAT PORTION OF TRACT 42 KNOWN AS PARCEL NO. 102 CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 845 THROUGH 861, INCLUSIVE, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 6,834,669 SQUARE FEET OR 156,902 ACRES MORE OR LESS.

PARCEL 2: ADJACENT RIGHTS OF WAY

TOGETHER WITH THE REVERSIONARY INTEREST UPON THE SUCCESSFUL COMPLETION OF THE VACATION PROCESS IN COMPLIANCE WITH CITY OF COCONUT CREEK CITY CODE VACATING AND ABANDONING THE FOLLOWING PARCELS OF LAND SHOWN ON THE PLAT OF THE PALM BEACH FARMS CO. PLAT NO. 3, AS RECORDED IN PLAT BOOK 2, PAGES 45-54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, LYING ADJACENT TO PARCEL 1 ABOVE AND DESCRIBED AS FOLLOWS:

- ALL THE LAND COMPRISING N.W. 40TH STREET LYING BETWEEN AND ADJACENT TO TRACTS 57-60 ON THE SOUTH AND TRACTS 49-54 ON THE NORTH, BLOCK 89, ACCORDING TO SAID PLAT OF THE PALM BEACH FARMS CO. PLAT NO. 3;
- THE NORTH 15 FEET OF N.W. 40TH STREET ADJACENT TO THE SOUTH BOUNDARY OF TRACT 55, BLOCK 89, ACCORDING TO SAID PLAT OF THE PALM BEACH FARMS CO. PLAT NO. 3;
- ALL THE LAND COMPRISING BANKS ROAD LYING BETWEEN AND ADJACENT TO TRACTS 41 AND 48 ON THE WEST AND TRACTS 49 AND 49 ON THE EAST, BLOCK 89, ACCORDING TO SAID PLAT OF THE PALM BEACH FARMS CO. PLAT NO. 3;
- THE NORTH HALF OF THE UNOPENED UNNAMED ROAD LYING SOUTH OF AND CONTIGUOUS TO TRACT 73, BLOCK 89, ACCORDING TO SAID PLAT OF THE PALM BEACH FARMS CO. PLAT NO. 3;
- THE UNOPENED PORTION OF CULLUM ROAD LYING BETWEEN TRACT 24 ON THE NORTH AND TRACT 41 ON THE SOUTH, BLOCK 89, ACCORDING TO SAID PLAT OF THE PALM BEACH FARMS CO. PLAT NO. 3;

NOTE: PARCEL 2 IS PRESENTLY A PORTION OF A PUBLICLY DEDICATED ROAD AND THE FEE SIMPLE INTEREST THERETO CAN ONLY BE INSURED ONCE PROPERLY VACATED AND ABANDONED IN ACCORDANCE WITH CITY OF COCONUT CREEK CITY CODE.

SAID RIGHTS OF WAY CONTAINING 142,429 SQUARE FEET OR 3.270 ACRES MORE OR LESS.

SURVEYOR'S REPORT & NOTES:

- THE DESCRIPTION SHOWN HEREON IS BASED ON SCHEDULE A OF THE AMERICAN LAND COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FILE NUMBER 18055510 WITH AN EFFECTIVE DATE OF MAY 9, 2018 AT 8:00 AM.
- ADDITIONS OR DELETIONS TO THE SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF SOUTHSTAR DEVELOPMENT PARTNERS, INC., OR THE PARTIES CERTIFIED TO FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT AND AFOREMENTIONED CLIENT FOR THIS PROJECT.
- REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN THAT WHICH IT WAS INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER OR CRAVEN THOMPSON & ASSOCIATES, INC., WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT ANY LIABILITY TO THE SURVEYOR OR COMPANY. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
- THE EXPECTED USE OF THIS SURVEY AND MAP IS FOR COMMERCIAL/HIGH RISK. THEREFORE THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK LINEAR AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE STANDARDS OF PRACTICE IN THE STATE OF FLORIDA (5J-17.053 F.A.C.). THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=200' OR SMALLER FOR SHEET 2 AND A SCALE OF 1"=40' OR SMALLER FOR SHEETS 3-13. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY.
- THE ELEVATIONS SHOWN HEREON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF 1988 AND BASED ON A THREE WIRE LEVEL LOOP BENCH RUN AROUND THE OVERALL PROJECT USING AS A BASIS OF ELEVATION: FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PROJECT NETWORK CONTROL FOR STATE ROAD 834 (SAMPLE ROAD) FINANCIAL PROJECT NUMBER 413838-1-5201 DATED 04/2005. FOUND FOOT MONUMENT STAMPED 834-86-05-005 IN THE CENTERLINE OF SAMPLE ROAD +/- ON THE WEST BUILDING LINE OF ADDRESS 5610 SAMPLE ROAD. ELEVATION = 15.57.
- BEARINGS SHOWN HEREON ARE RELATIVE TO GRID NORTH, STATE PLANE COORDINATES, FLORIDA EAST ZONE, NAD83 WITH 1990 ADJUSTMENT AND BASED ON A LINE BETWEEN THE FOUND MONUMENTATION AT THE SOUTH QUARTER (S1/4) CORNER AND THE SOUTHEAST CORNER OF SECTION 18-50-42 AS DELINEATED HEREON HAVING A BEARING OF **NORTH 88° 28' 34" WEST**
- THE MEASUREMENTS SHOWN HEREON WERE ORIGINALLY OBTAINED UTILIZING A "LEICA TC-800 SERIES" TOTAL STATION AND "TDS" DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES. A COMPLETE CLOSED TRAVERSE LOOP WAS RUN IN THE FIELD EAST ALONG SAMPLE ROAD, NORTH ALONG LYONS ROAD, WEST ALONG WILES ROAD, AND SOUTH ALONG STATE ROAD 7. ONCE CLOSED AND BALANCED SEPARATE INTERIOR CLOSED TRAVERSES WERE RUN ALONG BANKS ROAD, NW 40TH STREET, NW 54TH AVENUE, CULLUM ROAD, AND THROUGH THE CENTER OF THE FPL TRANSMISSION LINES FROM NW 54TH AVENUE TO LYONS ROAD. THIS SURVEY RECOVERS THE PREVIOUSLY FOUND AND SET CORNERS AND HAVE BEEN REPLACED BY PERMANENT REFERENCE MONUMENTS AS OF MARCH 12, 2018.
- THE BOUNDARY SHOWN HEREON WAS CALCULATED FROM INFORMATION ON THE RECORDED PLAT OF PALM BEACH FARMS CO. PLAT NO. 3, PLAT BOOK 2, PAGES 45-54, FOUND MONUMENTATION ON SECTION LINES, RIGHT-OF-WAY LINES, AND OTHER RECORDED PLATS SURROUNDING THIS SITE AND DELINEATED HEREON. SECTION CORNERS FOUND AND USED TO DETERMINE LOCATIONS AND GRID BEARINGS AND DISTANCE ARE AS FOLLOWS: SE CORNER AND S 1/4 CORNER OF SECTION 18-48-42 AS DELINEATED HEREON IN SAMPLE ROAD, ALSO FOUND AND USED WERE THE W 1/4 CORNER AND NW CORNER OF SAID SECTION 18, AND THE EAST 1/4 CORNER AND THE NE CORNER OF SECTION 13-48-41 ALL IN STATE ROAD 7 TO THE WEST OF THIS SURVEY.
- DETAILS A, B, C, D AND E REFLECTED ON SHEETS 2 AND 13 OF THIS SURVEY REFLECT DIFFERENCES FOUND BETWEEN THE FIELD LOCATIONS OF THE TRACT LINES FROM THE UNDERLYING PLAT OF PALM BEACH FARMS CO. PLAT NO. 3, RECORDED PLATS AND F.D.O.T. RIGHT-OF-WAY MAPS AND SURVEY CONTROL SURROUNDING THIS PROPERTY. BASED ON OUR FINDINGS WE MADE A BEST FIT DETERMINATION OF THE LANDS DESCRIBED WITH THE LANDS REMAINING BETWEEN THE RECORDED PLATS AND RIGHTS-OF-WAY OF RECORD.
- ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13, SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND DIFFERENCES FOUND ON THE SITE
- THE SUBJECT PROPERTY FALLS WITHIN FLOOD ZONES "X", "AE" ELEVATION 14, AE ELEVATION 13, AND AH ELEVATION 14 EFFECTIVE AUGUST 18, 2014 BASED ON FEMA FLOOD ZONE MAPS PANEL NUMBERS 12011C0165H, 12011C0166H, AND 12011C0170H (SEE SHEET 14 FOR APPROXIMATE FLOOD ZONE LIMITS.) ELEVATIONS NOTED ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

SURVEYOR'S CERTIFICATE

TO SOUTHSTAR DEVELOPMENT PARTNERS, INC., A FLORIDA CORPORATION; ATTORNEYS TITLE FUND SERVICES, LLC; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; LADDER CAPITAL FINANCE LLC; LADDER CAPITAL FINANCE II LLC; LADDER CAPITAL FINANCE III LLC; LADDER CAPITAL FINANCE IV LLC AND THEIR SUCCESSORS AND ASSIGNS, JOHNS FAMILY PARTNERS LLLP, LENMAR HOMES, LLC, AND LYONS LENMAR FARMS, LLC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY THE ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 7(a), 7(b)(1), 7(c), 8, 9, 11a, 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 10, 2018.

DATE OF LAST FIELD WORK APRIL 10, 2018.

RAYMOND YOUNG
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO. 5799
CRAVEN THOMPSON & ASSOCIATES, INC.
LICENSED BUSINESS NUMBER #271

THIS SURVEY MAP AND REPORT OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR A UNIQUE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER UNDER CHAPTER RULES 5J-17.061 & 5J-17.062 FLORIDA ADMINISTRATIVE CODE.

TITLE COMMITMENT NOTES:

THE LANDS SHOWN HEREON ARE SUBJECT TO THE FOLLOWING DOCUMENTS (UNLESS OTHERWISE NOTED BELOW) CONTAINED IN SCHEDULE B-II, OF THE AMERICAN LAND ASSOCIATION COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NUMBER: 18055510, WITH AN EFFECTIVE DATE OF MAY 9, 2018 AT 8:00 AM.

7. RESERVATION IN FAVOR OF THE EVERGLADES DRAINAGE DISTRICT OF RIGHTS TO CONSTRUCT CANALS, SLUICE-WAYS, DIKES AND OTHER WORKS, AND RESERVATION OF 130 FOOT STRIP ON EACH SIDE OF THE CENTERLINE OF ANY CANAL, CUT, SLUICE-WAY OR DIKE, AS SET FORTH IN THAT CERTAIN DEED NO. 779 FROM THE BOARD OF COMMISSIONERS OF EVERGLADES DRAINAGE DISTRICT RECORDED IN DEED BOOK 447, PAGE 171, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACT 51) (DOCUMENT PROVIDED IS ILLEGIBLE, UNABLE TO DETERMINE IF IT AFFECTS THE SUBJECT PROPERTY)

8. RESERVATION IN FAVOR OF THE EVERGLADES DRAINAGE DISTRICT 50% OF ALL OIL, GAS, AND OTHER MINERALS AND MINERAL RIGHTS, RIGHTS OF ENTRY AND/OR ACCESS, RIGHTS TO CONSTRUCT CANALS, SLUICE-WAYS, DIKES AND OTHER WORKS, AND RESERVATION OF 130 FOOT STRIP ON EACH SIDE OF THE CENTERLINE OF ANY CANAL, CUT, SLUICE-WAY OR DIKE, SET FORTH IN THAT CERTAIN DEED NO. 367 FROM THE BOARD OF COMMISSIONERS OF EVERGLADES DRAINAGE DISTRICT RECORDED IN DEED BOOK 493, PAGE 164, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACT 54) (DOCUMENT PROVIDED CITES TRACT 54 BUT THE PORTION NOTING RESERVATIONS IS ILLEGIBLE, UNABLE TO DETERMINE EXTENT OF THE RESERVATIONS)

9. RESERVATIONS IN FAVOR OF THE STATE OF FLORIDA 50% OF ALL PETROLEUM AND PETROLEUM PRODUCTS AND 75% OF ALL OTHER MINERALS, AS SET FORTH IN THE DEED NO. 2638 FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA, RECORDED IN DEED BOOK 500, PAGE 364, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. HOWEVER, THE RIGHT OF ENTRY AND EXPLORATION HAS BEEN RELEASED BY SEC. 270.11, F.S. (AS TO TRACT 54) (DOES AFFECT TRACT 54 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE AS IT IS BLANKET IN NATURE)

10. RESERVATION IN FAVOR OF THE EVERGLADES DRAINAGE DISTRICT 50% OF ALL OIL, GAS, AND OTHER MINERALS AND MINERAL RIGHTS, RIGHTS OF ENTRY AND/OR ACCESS, RIGHTS TO CONSTRUCT CANALS, SLUICE-WAYS, DIKES AND OTHER WORKS, AND RESERVATION OF 130 FOOT STRIP ON EACH SIDE OF THE CENTERLINE OF ANY CANAL, CUT, SLUICE-WAY OR DIKE, SET FORTH IN THAT CERTAIN DEED NO. 5719 FROM THE BOARD OF COMMISSIONERS OF EVERGLADES DRAINAGE DISTRICT RECORDED IN DEED BOOK 556, PAGE 542, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACT 55) (DOES AFFECT TRACT 55 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE AS IT IS BLANKET IN NATURE)

11. RIGHT-OF-WAY AGREEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 1004, PAGE 379, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACTS 48-55) (AS DEPICTED HEREON)

12. RIGHT-OF-WAY AGREEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 2026, PAGE 797, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACT 55) (AS DEPICTED HEREON)

13. EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 2067, PAGE 212, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACTS 33 AND 55) (AS DEPICTED HEREON)

14. EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 14786, PAGE 172, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACT 33 AND 55) (AS DEPICTED HEREON)

15. BROWARD COUNTY RESOLUTION NO. 89-4525, REGARDING NATURAL RESOURCE AREAS, RECORDED IN OFFICIAL RECORDS BOOK 17022, PAGE 838, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACTS 35, 36, 37, 38 AND 39) (DOES AFFECT TRACTS 35 THROUGH 39 OF THE SUBJECT PROPERTY, AS DEPICTED HEREON)

16. PERPETUAL EASEMENT PARCEL NO. 800 TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING DRAINAGE, STRUCTURES, UTILITIES AND OTHER ROAD WAY PURPOSES, RECORDED IN OFFICIAL RECORDS BOOK 21898, PAGES 729 THROUGH 743, INCLUSIVE, AND OFFICIAL RECORDS BOOK 22172, PAGE 408, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACT 42) (AS DEPICTED HEREON)

17. PERPETUAL EASEMENT PARCEL NO. 804 TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING DRAINAGE, STRUCTURES, UTILITIES AND OTHER ROAD WAY PURPOSES, RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 134 THROUGH 150, INCLUSIVE, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACT 24) (AS DEPICTED HEREON)

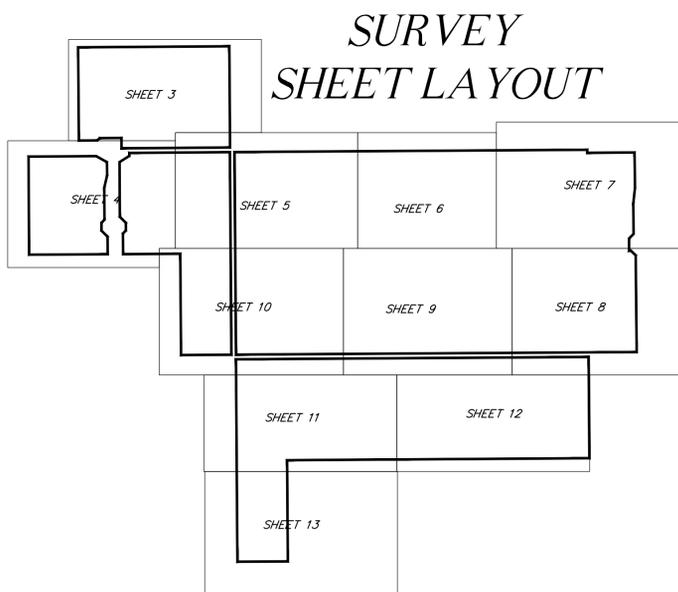
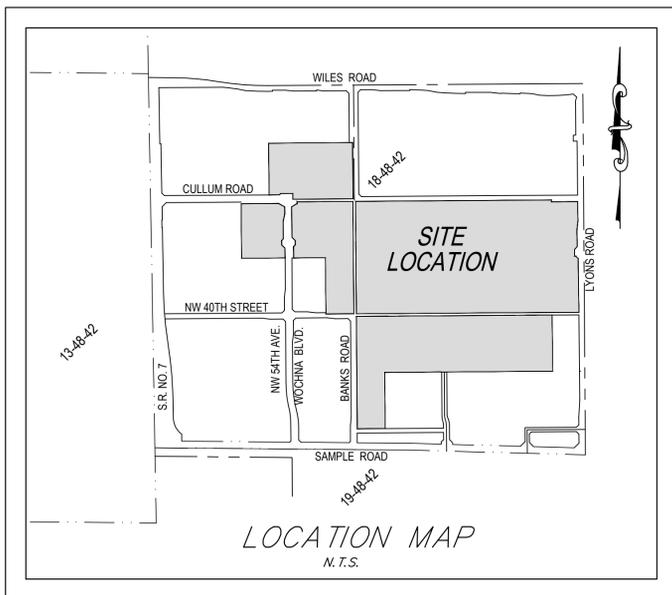
18. PERPETUAL EASEMENT PARCEL NO. 805 TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING DRAINAGE, STRUCTURES, UTILITIES AND OTHER ROAD WAY PURPOSES, RECORDED IN OFFICIAL RECORDS BOOK 21899, PAGES 153 THROUGH 169, INCLUSIVE, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO TRACTS 41 AND 42) (AS DEPICTED HEREON)

19. CITY OF COCONUT CREEK ORDINANCE NO. 110-97 REGARDING WILES ROAD SPECIAL IMPROVEMENT DISTRICT RECORDED IN OFFICIAL RECORDS BOOK 26295, PAGE 242, TOGETHER WITH AND AS AFFECTED BY RESOLUTION NO. 2001-145 RECORDED IN OFFICIAL RECORDS BOOK 32498, PAGE 315, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, WHICH CONTAIN PROVISIONS RELATING TO ASSESSMENTS AND IMPACT FEES. SPECIAL ASSESSMENT IMPOSED BY THESE INSTRUMENTS ARE NOT PAID AS NON-AD VALOREM ASSESSMENTS WITH THE PROPERTY TAXES. (AS TO TRACT 24) (DOES AFFECT TRACT 24 OF THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE AS IT IS BLANKET IN NATURE)

20. EDUCATION MITIGATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 42279, PAGE 1596, TOGETHER WITH AND AS AMENDED BY FIRST AMENDMENT THERETO RECORDED IN INSTRUMENT NUMBER 113103598, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, WHICH CONTAINS PROVISIONS IMPOSING IMPACT FEES AND COSTS. (DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE AS IT IS BLANKET IN NATURE)

21. DECLARATION OF RESTRICTIVE COVENANTS FOR THE BENEFIT OF BROWARD COUNTY RECORDED IN OFFICIAL RECORDS BOOK 47783, PAGE 372, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, WHICH CONTAINS PROVISIONS RELATING TO DENSITY AND MITIGATION PAYMENTS. (DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT PLOTTABLE AS IT IS BLANKET IN NATURE)

22. CITY OF COCONUT CREEK RESOLUTION NO. 2013-31, AS AMENDED BY RESOLUTION NO. 2013-80 (WITH RESOLUTION NO. 2013-31 ATTACHED THERETO) RECORDED IN OFFICIAL RECORDS BOOK 50322, PAGE 565 AND INSTRUMENT NUMBER 114648473, TOGETHER WITH AND AS AFFECTED BY RESOLUTION NO. 2013-79 (WITH RESOLUTION NO. 2013-31 ATTACHED THERETO) RECORDED IN OFFICIAL RECORDS BOOK 50322, PAGE 551, AND RESOLUTION NO. 2015-23 RECORDED IN INSTRUMENT NUMBER 112876967 AND INSTRUMENT NUMBER 114648474, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, WHICH CONTAIN PROVISIONS RELATING TO THE CREATION OF A SPECIAL ASSESSMENT DISTRICT, PUBLIC IMPROVEMENTS AND THE IMPOSITION OF ASSESSMENTS. SPECIAL ASSESSMENT IMPOSED BY THESE INSTRUMENTS ARE NOT PAID AS NON-AD VALOREM ASSESSMENTS WITH THE PROPERTY TAXES. (DOES AFFECT TRACTS 24, 33 THROUGH 41, 48, 50 THROUGH 55, AND 58 THROUGH 60 ALL OF BLOCK 89 OF THE SUBJECT PROPERTY, BUT IS NOT PLOTTABLE AS IT IS BLANKET IN NATURE)



NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth any such matters. Such information should be obtained and further confirmed by others through appropriate title verification. NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

RY	02-19-21	RY	09-10-18	RY	09-29-08
8. REVISE MATCHLINES	DMD	05-30-18	9. REVISE CERTIFICATION SIGNER	DMD	05-30-18
9. REVISE LEGAL AND TITLE NOTES	DMD	04-16-18	7. REVISE LEGAL AND TITLE NOTES	DMD	04-16-18
6. UPDATE TOPO AND CHANGE TO 1988 DATUM	DMD	03-08-18	5. REVISE TITLE NOTES	DMD	03-08-18
5. REVISED BOUNDARY SURVEY (NO TOPO)	DMD	03-02-09	4. REVISED BOUNDARY SURVEY (NO TOPO)	DMD	03-02-09
3. REVISED-ADDT. ELEV. - FB 246-62-69	DMD	11-11-08	2. REVISED-ADDT. ELEV. - FB 246-62-69	DMD	11-11-08
2. REVISED TO ADD ADDITIONAL INFORMATION	RDP	11-05-08	1. REVISED TO ADD DETAILS	RDP	11-05-08
1. REVISED TO ADD DETAILS	RDP	11-05-08	FIELD BOOK:	2339	
DATE:	02-19-21	DATE:	09-29-08	SCALE:	200'
DATE:	02-19-21	DATE:	09-29-08	DRAWN BY:	DM
DATE:	02-19-21	DATE:	09-29-08	CHECKED BY:	RDP
DATE:	02-19-21	DATE:	09-29-08	FIELD BOOK:	2339
DATE:	02-19-21	DATE:	09-29-08	PAGE(S):	1-75

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL.: (954) 739-6400
FAX: (954) 739-6409
FLORIDA LICENSED SURVEYING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. CO0014
MATERIAL SHOWN HEREON IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
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PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.
08-0049
S-1
SHEET **1** OF **14**

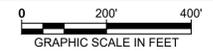
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SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
DIFFERENCES FOUND ON THE SITE

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

DATE:	9-29-08
RY:	02-19-21
DMD:	05-30-18
DMD:	04-18-18
DMD:	01-31-18
DMD:	03-02-09
RDP:	11-11-08
RDP:	11-15-08
RDP:	2339
FIELD BOOK:	1-75
BY:	
DESCRIPTION:	



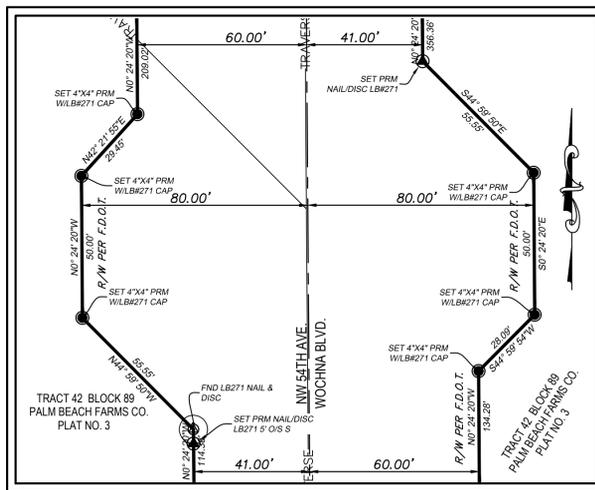
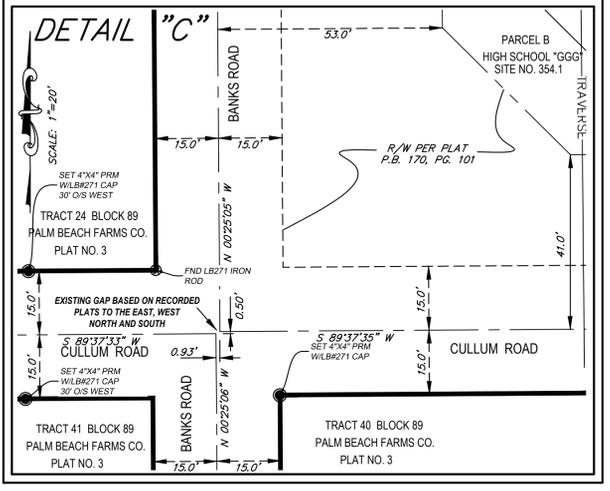
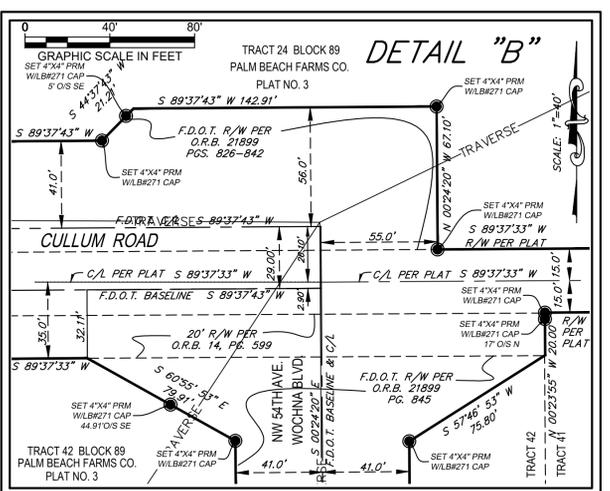
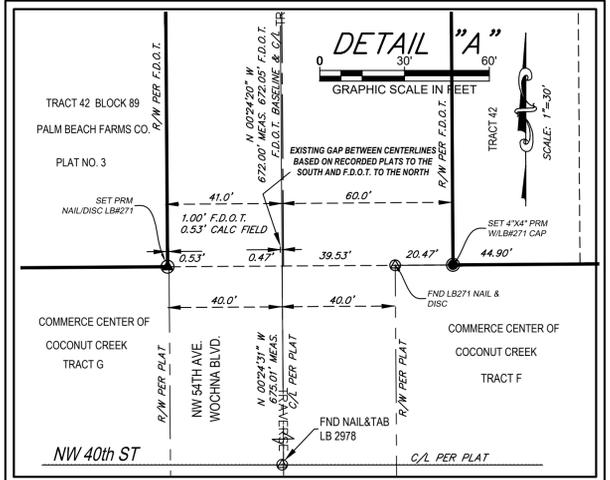
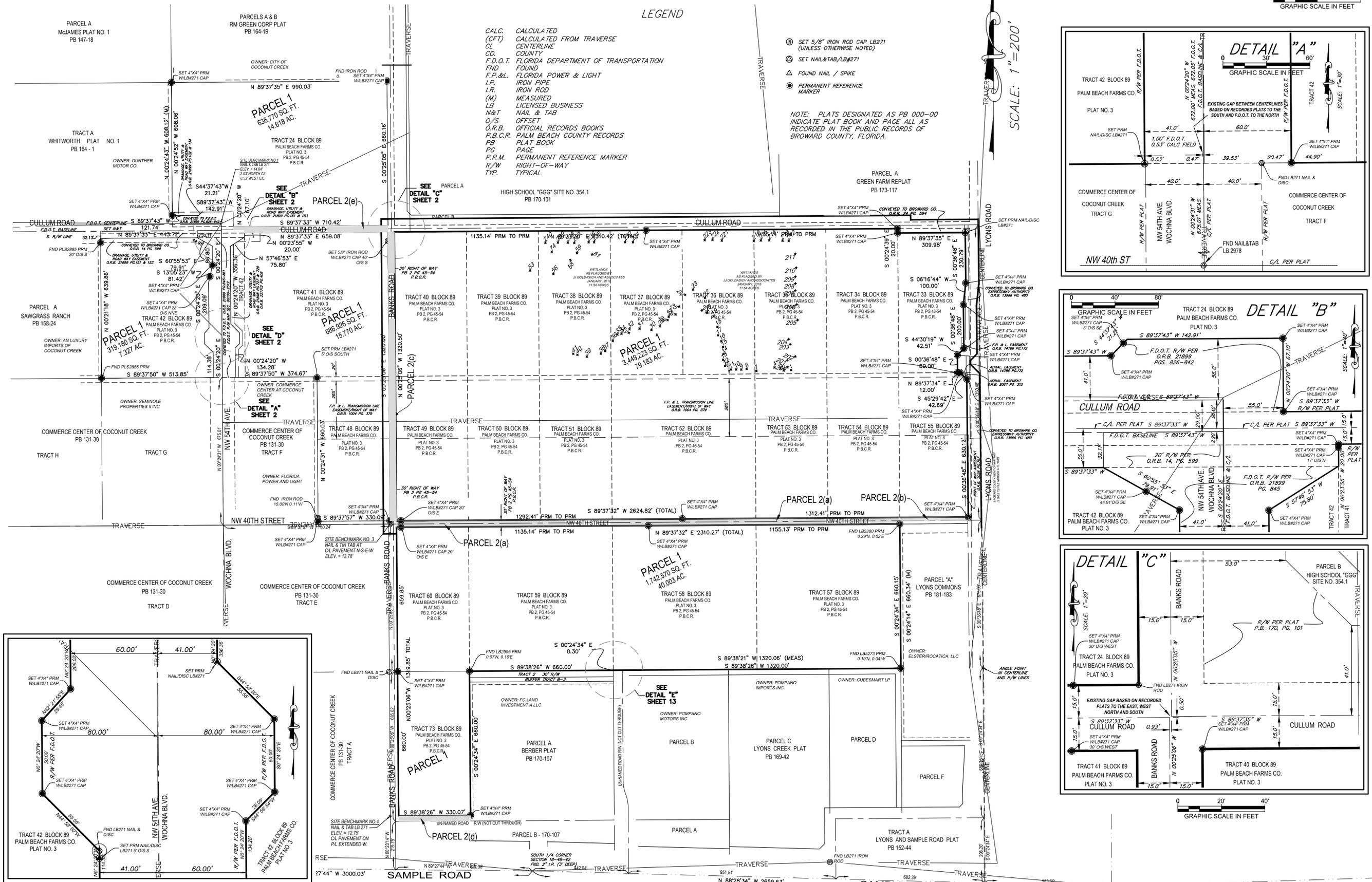
LEGEND

- CALC. CALCULATED
- (C/F) CALCULATED FROM TRAVERSE
- CL CENTERLINE
- CO. COUNTY
- F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
- FND FOUND
- F.P.&L. FLORIDA POWER & LIGHT
- I.P. IRON PIPE
- I.R. IRON ROD
- (M) MEASURED
- LB LICENSED BUSINESS
- N&T NAIL & TAB
- O/S OFFSET
- O.R.B. OFFICIAL RECORDS BOOKS
- P.B.C.R. PALM BEACH COUNTY RECORDS
- PB PLAT BOOK
- PG PAGE
- P.R.M. PERMANENT REFERENCE MARKER
- R/W RIGHT-OF-WAY
- TYP. TYPICAL

- ⊙ SET 5/8" IRON ROD CAP LB271 (UNLESS OTHERWISE NOTED)
- ⊙ SET NAIL & TAB/LB#271
- △ FOUND NAIL / SPIKE
- PERMANENT REFERENCE MARKER

NOTE: PLATS DESIGNATED AS PB 000-00 INDICATE PLAT BOOK AND PAGE ALL AS RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SCALE: 1"=200'



ELEVATIONS IN NAVD 1988 DATUM

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6409 FAX: (954) 739-6400
FLORIDA LICENSED ENGINEERING SURVEYING & PLANNING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114
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MAIN STREET COCONUT CREEK
SOUTHSTAR DEVELOPMENT PARTNERS, INC.
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.
08-0049

S-2
SHEET 2 OF 14

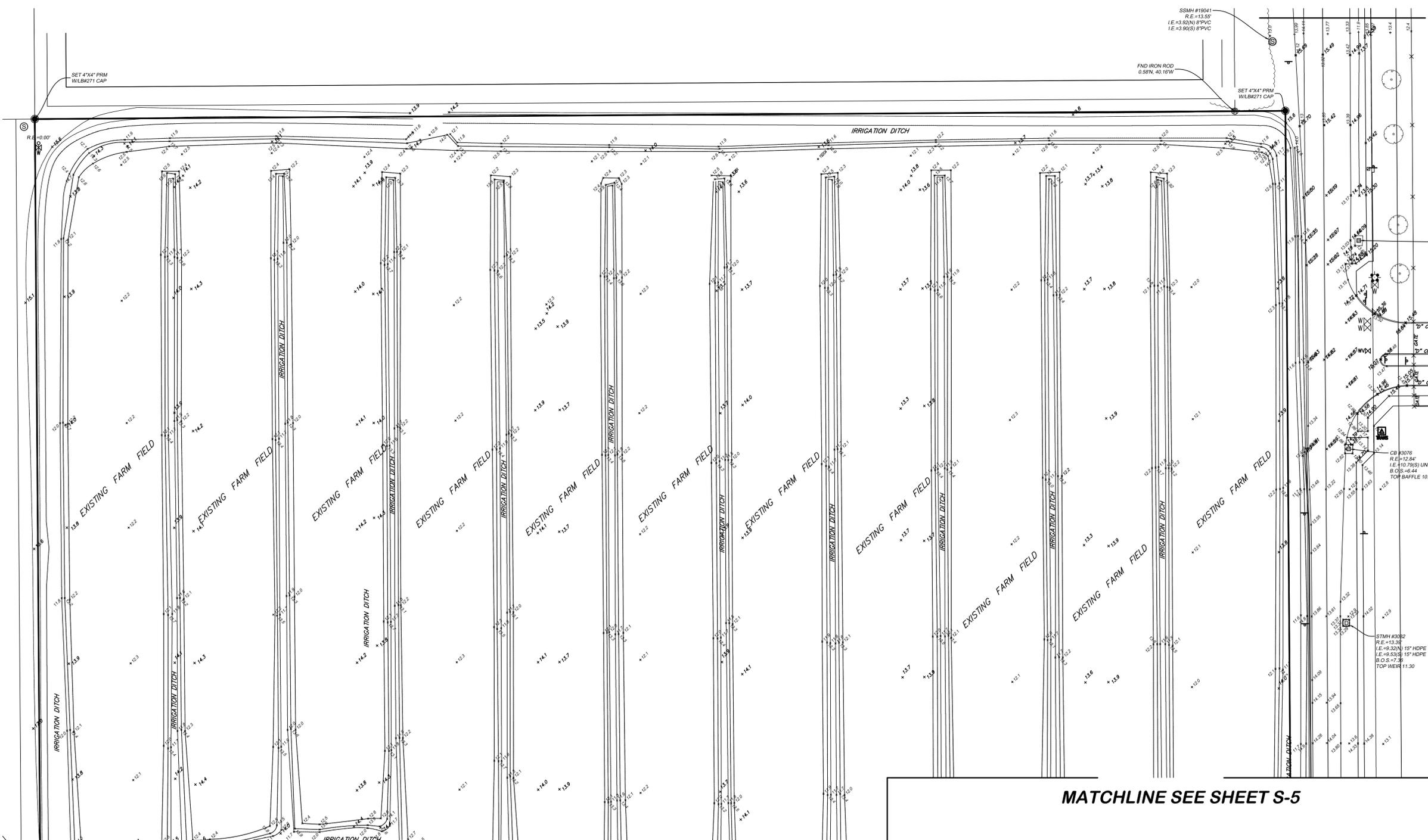
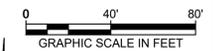
R:\Survey\2008\08-0049-002-01 MAIN STREET - COCONUT CREEK Drawings\08-0049 SDS NAVD86_REV.dwg [ENDY_S-2] Feb 19, 2011 9:41am RYOUNG

ELEVATIONS IN NAVD 1988 DATUM

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
DIFFERENCES FOUND ON THE SITE

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- LEGEND**
- B.O.S. BOTTOM OF STRUCTURE
 - CATV CABLE TELEVISION
 - C.B. CATCH BASIN
 - C&C CURB & CUTTER
 - CMP CORRUGATED MANHOLE PIPE
 - CONC. CONCRETE
 - CLF CHAIN LINK FENCE
 - D.I.P. DUCTILE IRON PIPE
 - ELEC. ELECTRICAL
 - F.F. FINISHED FLOOR
 - FND FOUND
 - I.E. INVERT ELEVATION
 - OHW OVER HEAD WIRES
 - RCP REINFORCED CONCRETE PIPE
 - R.E. RIM ELEVATION
 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - B.C.R. BROWARD COUNTY RECORDS
 - P.B.C.R. PALM BEACH COUNTY RECORDS
 - T.O.P. TOP OF PIPE

- ANCHOR
- BOLLARD
- BACKFLOW PREVENTOR
- CATV PEDESTAL
- CATCH BASIN
- CENTERLINE
- CONCRETE POWER POLE
- CONCRETE LIGHT POLE
- CURB INLET
- DOUBLE DETECTOR CHECK VALVE
- DRAINAGE MANHOLE
- ELECTRICAL PANEL BOX
- ELECTRICAL METER
- ELECTRICAL PULL BOX
- FIBER OPTIC PEDESTAL
- FIRE HYDRANT
- FORCE MAIN VALVE
- GAS VALVE
- IRRIGATION VALVE
- METAL STREET LIGHT POLE
- PEDESTRIAN SIGNAL
- SANITARY SEWER AIR RELEASE MANHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SIGN
- SPOT ELEVATION
- TELEPHONE PEDESTAL
- TRANSFORMER
- WATER AIR RELEASE MANHOLE
- WATER BLOW-OFF VALVE
- WATER GATE VALVE
- WOOD POWER POLE
- SHADE TREE
- PALM TREE
- CHAIN LINK FENCE
- GUARDRAIL
- METAL FENCE
- OHW OVER HEAD WIRES
- TOB TOP OF BANK
- TOE TOE OF SLOPE
- WOOD FENCELINE
- SET 5/8" IRON ROD CAP LB271
- SET NAIL&TAB/LB#271
- FOUND NAIL / SPIKE
- IRON ROD
- PERMANENT REFERENCE MARKER

MATCHLINE SEE SHEET S-5

MATCHLINE SEE SHEET S-4

R:\Survey\2008\08-0049-02-01 MAIN STREET - COCONUT CREEK\Drawings\08-0049-02-01 MAIN STREET - COCONUT CREEK\Drawings [S-3] Feb 19, 2021 9:41am RYDJUNG

DATE:	9-29-08
SCALE:	1"=40'
DRAWN BY:	DM
CHECKED BY:	RDP
FIELD BOOK:	2339
PAGE(S):	1-75

5. REVISE MATCHLINES	RY	02-19-21
4. UPDATE TOPO AND CHANGE TO 1988 DATUM	DM	04-18-18
3. REVISED-ADDT. ELEV. - FB 24662-69	DM	03-02-09
2. REVISED TO ADD ADDITIONAL INFORMATION	RDP	11-11-08
1. REVISED TO ADD DETAILS	RDP	11-5-08

DESCRIPTION:	DATE:
CRAVEN • THOMPSON AND ASSOCIATES, INC. ENGINEERS • PLANNERS • SURVEYORS 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 FAX: (954) 739-6409 TEL: (954) 739-6400	
FLORIDA LICENSED ENGINEERING SURVEYING & PLANNING BUSINESS NO. 271 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000014	
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PREPARED FOR:	PROJECT NO.
SOUTHSTAR DEVELOPMENT PARTNERS, INC.	08-0049
ALTA/NSPS LAND TITLE SURVEY	S-3
	SHEET 3 OF 14

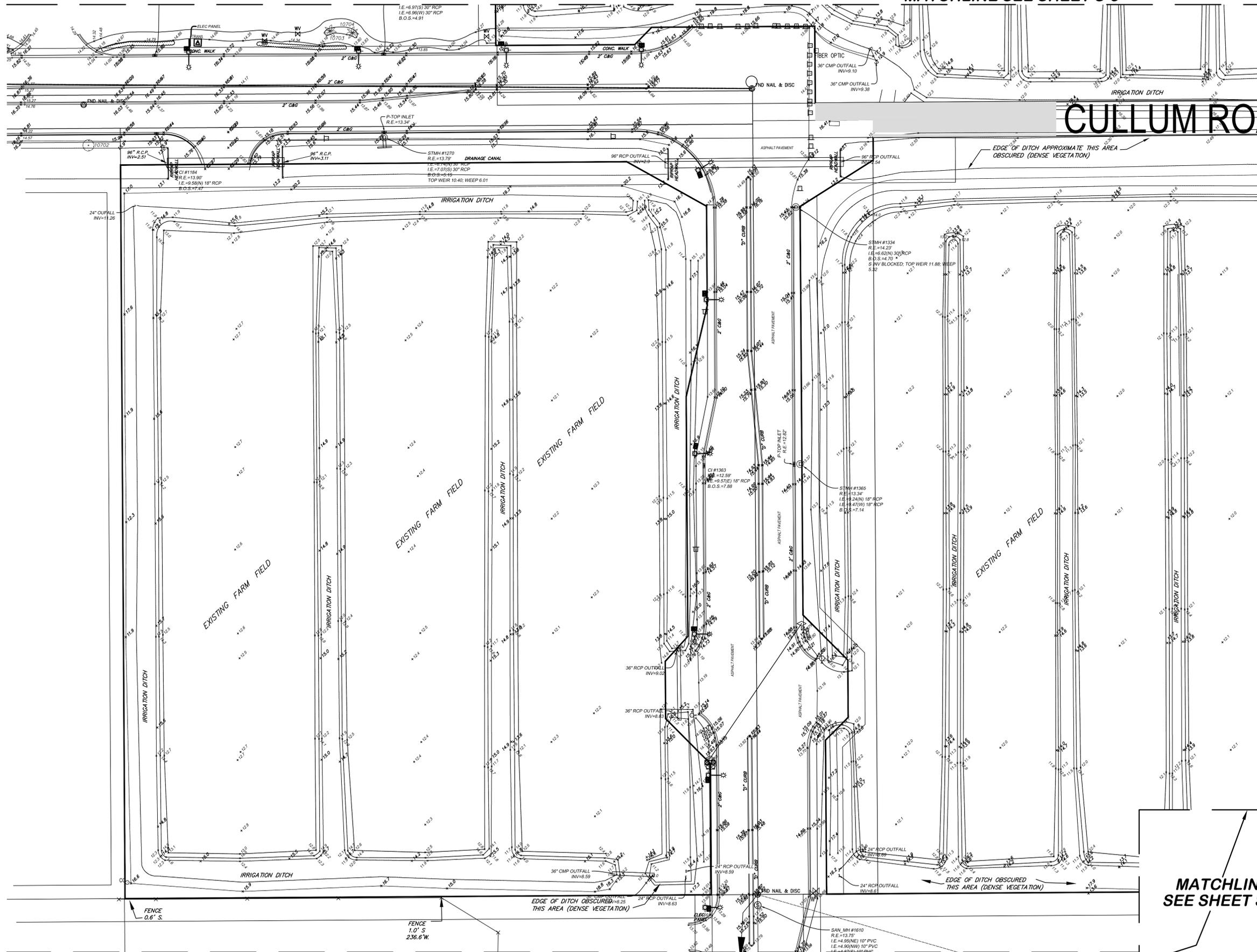
ELEVATIONS IN NAVD 1988 DATUM

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

MATCHLINE SEE SHEET S-3

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
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 - C&O CURB & GUTTER
 - CMP CORRUGATED MANHOLE PIPE
 - CONC CONCRETE
 - CLF CHAIN LINK FENCE
 - D.I.P. DUCTILE IRON PIPE
 - ELEC ELECTRICAL
 - F.F. FINISHED FLOOR
 - FIN FOUND
 - IE INVERT ELEVATION
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 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - B.C.R. BROWARD COUNTY RECORDS
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 - T.O.P. TOP OF PIPE

- ANCHOR
- BOLLARD
- BFP BACKFLOW PREVENTOR
- CATV PED
- CATCH BASIN
- CENTERLINE
- CONCRETE POWER POLE
- CONCRETE LIGHT POLE
- CURB INLET
- DDCV DOUBLE DETECTOR CHECK VALVE
- DRAINAGE MANHOLE
- ELECTRICAL PANEL BOX
- ELECTRICAL METER
- ELECTRICAL PULL BOX
- FIBER OPTIC PED
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- METAL STREET LIGHT POLE
- PEDESTRIAN SIGNAL
- SANITARY SEWER AIR RELEASE MANHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SIGN
- SPOT ELEVATION
- TELEPHONE PED
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- WOOD POWER POLE
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- METAL FENCE
- OHW OVER HEAD WIRES
- TOP TOP OF BANK
- TOE TOE OF SLOPE
- WOOD FENCELINE
- SET 5/8" IRON ROD CAP LB271
- SET NAIL & TAB/LB#271
- FOUND NAIL / SPIKE
- IRON ROD
- PERMANENT REFERENCE MARKER

MATCHLINE SEE SHEET S-5

MATCHLINE
SEE SHEET S-10

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DATE:	9-29-08
SCALE:	1"=40'
DRAWN BY:	DM
CHECKED BY:	RDP
FIELD BOOK:	2339
BY:	DATE:
DESCRIPTION:	
5. REVISE MATCHLINES	RY 02-19-21
4. UPDATE TOP AND CHANGE TO 1988 DATUM	DM 04-18-18
3. REVISED-ADDT. ELEV. - FB 246.62-69	DM 03-02-09
2. REVISED TO ADD ADDITIONAL INFORMATION	RDP 11-11-08
1. REVISED TO ADD DETAILS	RDP 11-5-08
FILE NO. 2346/71-42 2347/13-78	

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ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEERING SURVEYING & PLANNING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. CO00114
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MAIN STREET COCONUT CREEK
SOUTHSTAR DEVELOPMENT PARTNERS, INC.
ALTA/NSPS LAND TITLE SURVEY

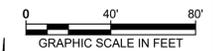
PROJECT NO.
08-0049
S-4
SHEET 4 OF 14

ELEVATIONS IN NAVD 1988 DATUM

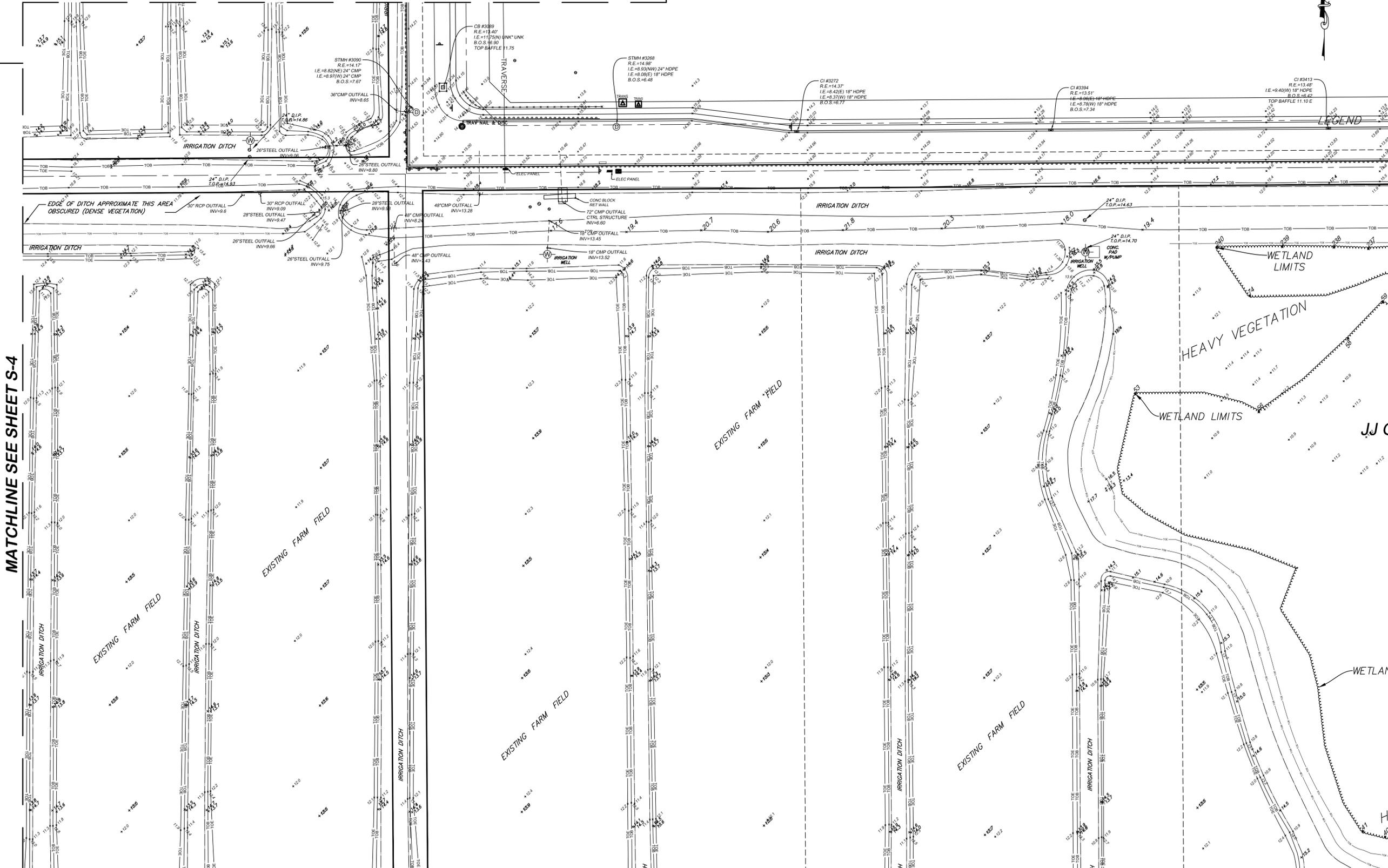
SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
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MATCHLINE SEE SHEET S-3



MATCHLINE SEE SHEET S-4

MATCHLINE SEE SHEET S-6

MATCHLINE SEE SHEET S-10

MATCHLINE
SEE SHEET S-9

DATE:	9-29-08
SCALE:	1"=40'
DRAWN BY:	DM
CHECKED BY:	RDP
FIELD BOOK:	2339
PAGE(S):	1-75

6. REVISE MATCHLINES	RY	02-19-21
5. UPDATE TOPO AND CHANGE TO 1988 DATUM	DMD	04-18-18
4. ADD WETLAND LIMITS FB 2894 PG 11-13	DMD	02-08-18
3. REVISED-ADDT. ELEV. FB 2462-69	DM	03-02-09
2. REVISED TO ADD ADDITIONAL INFORMATION	RDP	11-11-08
1. REVISED TO ADD DETAILS	RDP	11-5-08

DESCRIPTION:	FLD BKG 2346/11-42 2347/13-78
DATE:	BY:

PROJECT NO.	08-0049
SHEET	5 OF 14

MAIN STREET COCONUT CREEK
ALTA/NSPS LAND TITLE SURVEY

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. CO00114
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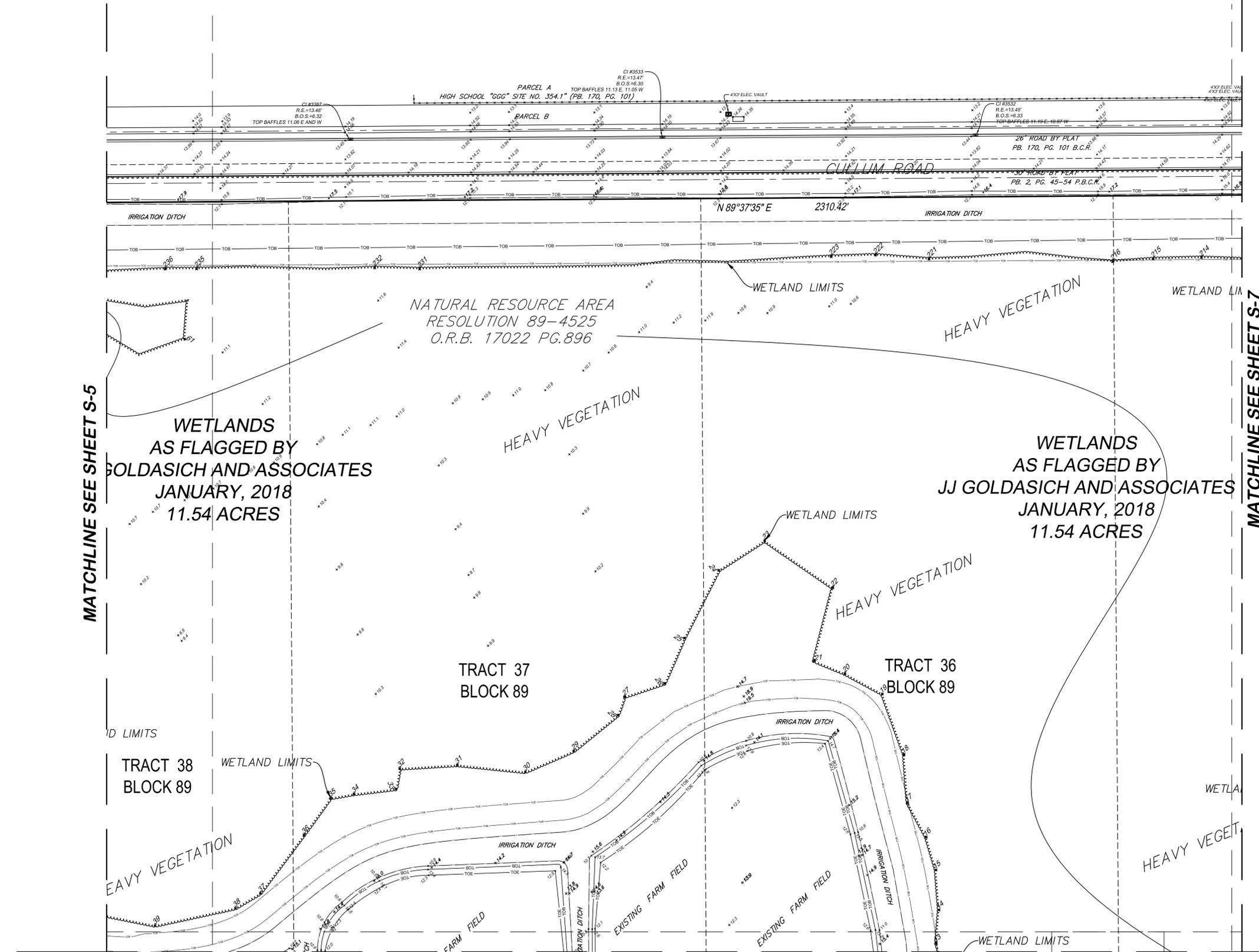
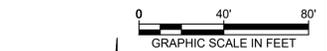
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ELEVATIONS IN NAVD 1988 DATUM

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
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 - CMP CORRUGATED MANHOLE PIPE
 - CONC. CONCRETE
 - CLF CHAIN LINK FENCE
 - D.I.P. DUCTILE IRON PIPE
 - ELEC. ELECTRICAL
 - F.F. FINISHED FLOOR
 - FD FOUND
 - I.E. INVERT ELEVATION
 - OHW OVER HEAD WIRES
 - RCP REINFORCED CONCRETE PIPE
 - R.E. RIM ELEVATION
 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - B.C.R. BROWARD COUNTY RECORDS
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 - T.O.P. TOP OF PIPE

- ANCHOR
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- BFP BACKFLOW PREVENTOR
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- METAL STREET LIGHT POLE
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- TOB TOP OF BANK
- TOE TOE OF SLOPE
- WOOD FENCELINE
- SET 5/8" IRON ROD CAP LB271
- SET NAIL&TAB/LB#271
- FOUND NAIL / SPIKE
- IRON ROD
- PERMANENT REFERENCE MARKER

DATE:	9-29-08
SCALE:	1"=40'
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CHECKED BY:	RDP
FIELD BOOK:	2339
PAGE(S):	1-75

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FLORIDA LICENSED ENGINEERING SURVEYING & PLANNING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
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MAIN STREET COCONUT CREEK

PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.

ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.
08-0049

S-6
SHEET 6 OF 14

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ELEVATIONS IN NAVD 1988 DATUM

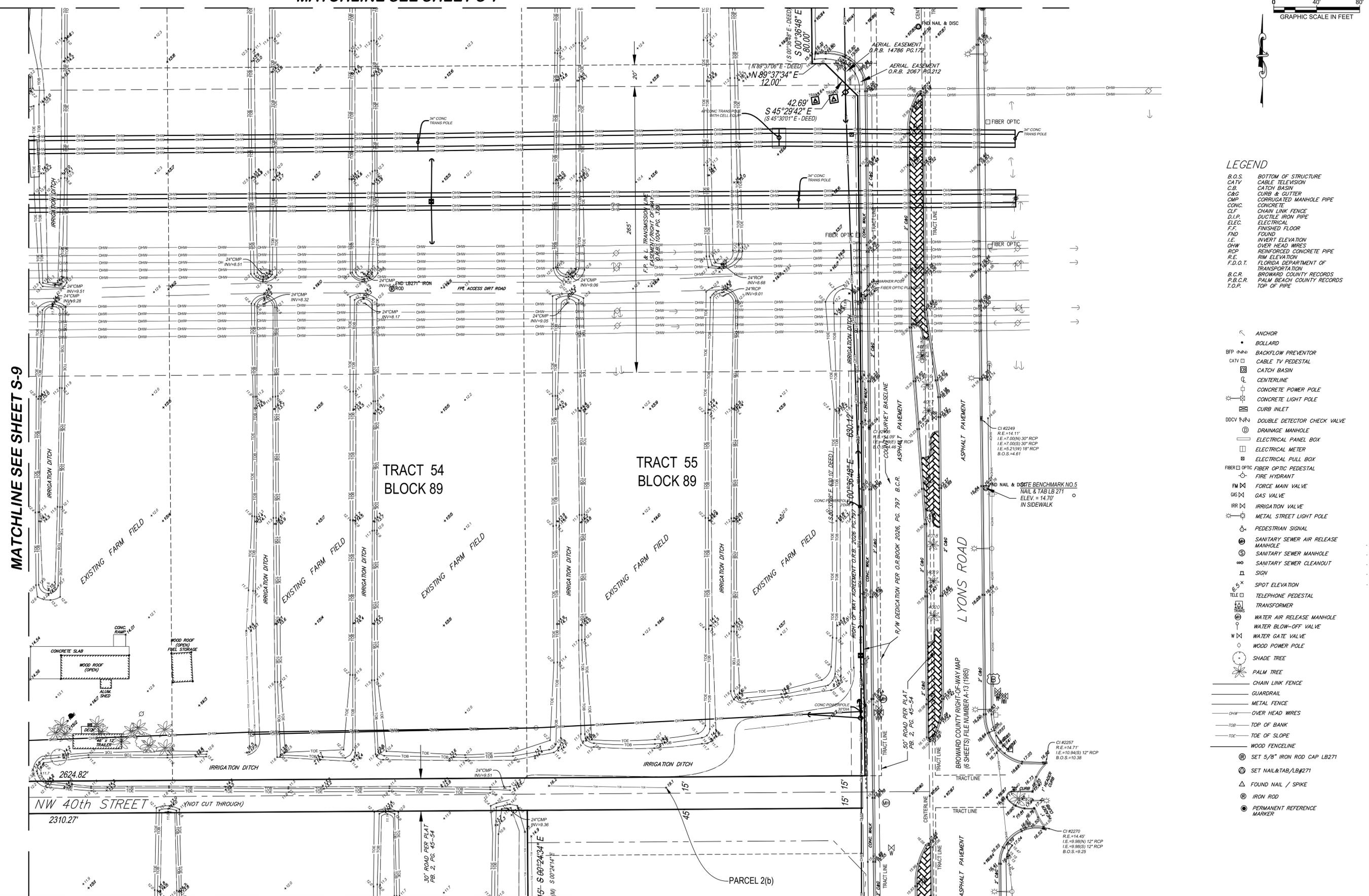
MATCHLINE SEE SHEET S-7

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S NOTE:
ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
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DATE:	9-29-08
SCALE:	1"=40'
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FIELD BOOK:	2339
DESCRIPTION:	FLD BK 2346/11-42 2347/13-78



LEGEND

B.O.S.	BOTTOM OF STRUCTURE
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
C&G	CURB & GUTTER
CMP	CORRUGATED MANHOLE PIPE
CONC.	CONCRETE
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R.E.	RIM ELEVATION
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
B.C.R.	BROWARD COUNTY RECORDS
P.B.C.R.	PALM BEACH COUNTY RECORDS
T.O.P.	TOP OF PIPE

ANCHOR	ANCHOR
BOLLARD	BOLLARD
BFP	BACKFLOW PREVENTOR
CATV	CABLE TV PEDESTAL
CATCH BASIN	CATCH BASIN
CENTERLINE	CENTERLINE
CONCRETE POWER POLE	CONCRETE POWER POLE
CONCRETE LIGHT POLE	CONCRETE LIGHT POLE
CURB INLET	CURB INLET
DDCV	DOUBLE DETECTOR CHECK VALVE
DRAINAGE MANHOLE	DRAINAGE MANHOLE
ELECTRICAL PANEL BOX	ELECTRICAL PANEL BOX
ELECTRICAL METER	ELECTRICAL METER
ELECTRICAL PULL BOX	ELECTRICAL PULL BOX
FIBER OPTIC	FIBER OPTIC PEDESTAL
FIRE HYDRANT	FIRE HYDRANT
FM	FORCE MAIN VALVE
GS	GAS VALVE
IRR	IRRIGATION VALVE
METAL STREET LIGHT POLE	METAL STREET LIGHT POLE
PEDESTRIAN SIGNAL	PEDESTRIAN SIGNAL
SANITARY SEWER AIR RELEASE MANHOLE	SANITARY SEWER AIR RELEASE MANHOLE
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT	SANITARY SEWER CLEANOUT
SIGN	SIGN
SPOT ELEVATION	SPOT ELEVATION
TELE	TELEPHONE PEDESTAL
TRANSFORMER	TRANSFORMER
WATER AIR RELEASE MANHOLE	WATER AIR RELEASE MANHOLE
WATER BLOW-OFF VALVE	WATER BLOW-OFF VALVE
WATER GATE VALVE	WATER GATE VALVE
WOOD POWER POLE	WOOD POWER POLE
SHADE TREE	SHADE TREE
PALM TREE	PALM TREE
CHAIN LINK FENCE	CHAIN LINK FENCE
GUARDRAIL	GUARDRAIL
METAL FENCE	METAL FENCE
OHW	OVER HEAD WIRES
TOB	TOP OF BANK
TOE	TOE OF SLOPE
WOOD FENCELINE	WOOD FENCELINE
SET 5/8" IRON ROD CAP LB271	SET 5/8" IRON ROD CAP LB271
SET NAIL/TAB/LB#271	SET NAIL/TAB/LB#271
FOUND NAIL / SPIKE	FOUND NAIL / SPIKE
IRON ROD	IRON ROD
PERMANENT REFERENCE MARKER	PERMANENT REFERENCE MARKER

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ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6400
FAX: (954) 739-6409
FLORIDA LICENSED PROFESSIONAL SURVEYORS & PLANNERS BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014
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MAIN STREET COCONUT CREEK
PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.
08-0049

S-8

SHEET 8 OF 14

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MATCHLINE SEE SHEET S-9

MATCHLINE SEE SHEET S-12

ELEVATIONS IN NAVD 1988 DATUM

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

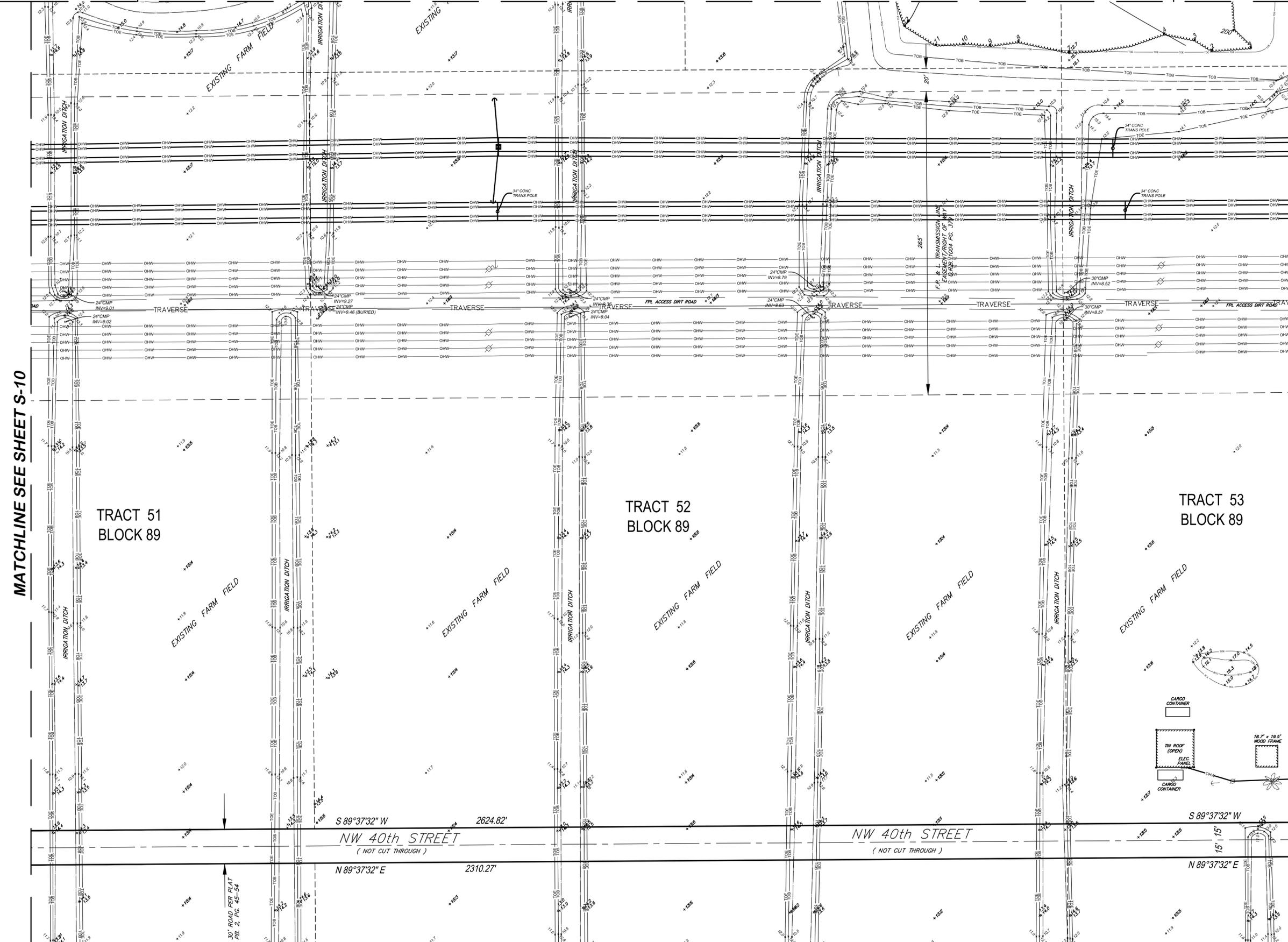
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MATCHLINE
SEE SHEET S-5

MATCHLINE SEE SHEET S-6

MATCHLINE SEE SHEET S-7



MATCHLINE SEE SHEET S-10

MATCHLINE SEE SHEET S-8

MATCHLINE SEE SHEET S-11

MATCHLINE SEE SHEET S-12

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DATE:	9-29-08
SCALE:	1"=40'
BY:	DM
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FIELD BOOK:	2339
DESCRIPTION:	FLD BK 2346/11-42 2347/13-78

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3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL.: (954) 739-6400
FAX: (954) 739-6409

FLORIDA LICENSED SURVEYOR & PLANNER BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. CO0014

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MAIN STREET COCONUT CREEK

PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.

ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.	08-0049
SHEET	9 OF 14

ELEVATIONS IN NAVD 1988 DATUM
MATCHLINE SEE SHEET S-4

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S NOTE:
 ALL BOUNDARY INFORMATION SHOWN ON SHEET 2 OF 13,
 SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
 DIFFERENCES FOUND ON THE SITE

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DATE:	9-29-08
SCALE:	1"=40'
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FIELD BOOK:	2339
DESCRIPTION:	FLD BK 2346/11-42 2347/13-78

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MAIN STREET COCONUT CREEK
 PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.
08-0049
S-10
 SHEET 10 OF 14

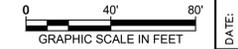
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ELEVATIONS IN NAVD 1988 DATUM

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S NOTE:
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SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
DIFFERENCES FOUND ON THE SITE

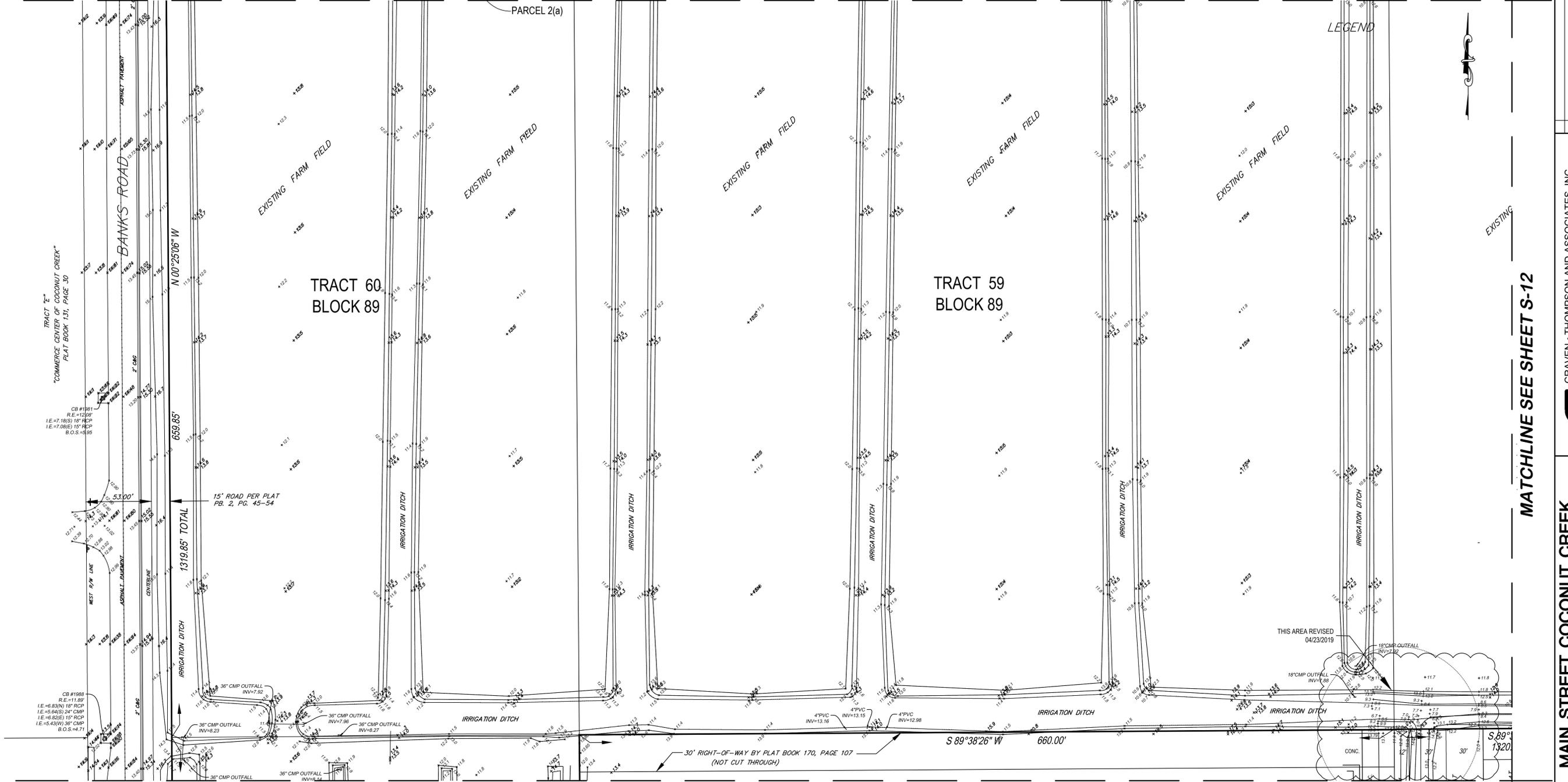
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DATE:	9-29-08
SCALE:	1"=40'
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CHECKED BY:	RDP
FIELD BOOK:	2339
PAGE(S):	1-75

MATCHLINE SEE SHEET S-10

MATCHLINE SEE SHEET S-9



MATCHLINE SEE SHEET S-13

MATCHLINE SEE SHEET S-12

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MAIN STREET COCONUT CREEK
PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.
ALTANSPS LAND TITLE SURVEY

PROJECT NO.
08-0049

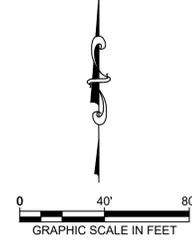
S-11
SHEET 11 OF 14

ELEVATIONS IN NAVD 1988 DATUM

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

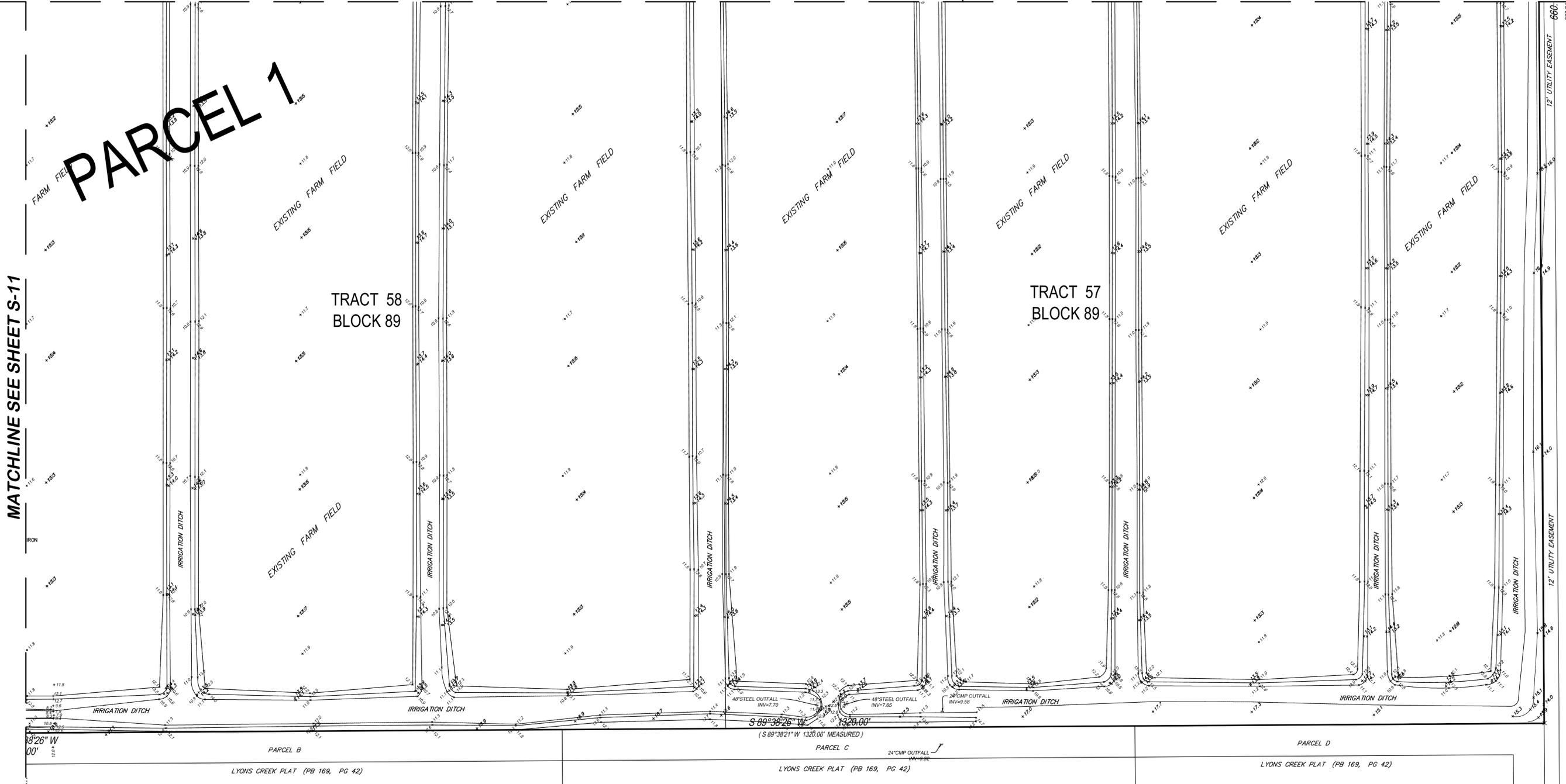
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SHEETS 3-13 DELINEATE TOPOGRAPHIC DETAILS AND
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MATCHLINE SEE SHEET S-9

MATCHLINE SEE SHEET S-8



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DATE:	9-29-08
SCALE:	1"=40'
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FIELD BOOK:	2339
PAGE(S):	1-75

DESCRIPTION:	BY:	DATE:
5. REVISE MATCHLINES	RY	02-19-21
4. UPDATE TOPD AND CHANGE TO 1988 DATUM	DM	04-18-18
3. REVISED-ADDTL ELEV. - FB 246 62-69	DM	03-02-09
2. REVISED TO ADD ADDITIONAL INFORMATION	RDP	11-11-08
1. REVISED TO ADD DETAILS	RDP	11-5-08
FLD BK: 2346 71-42 2347 13-78		

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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114

PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.

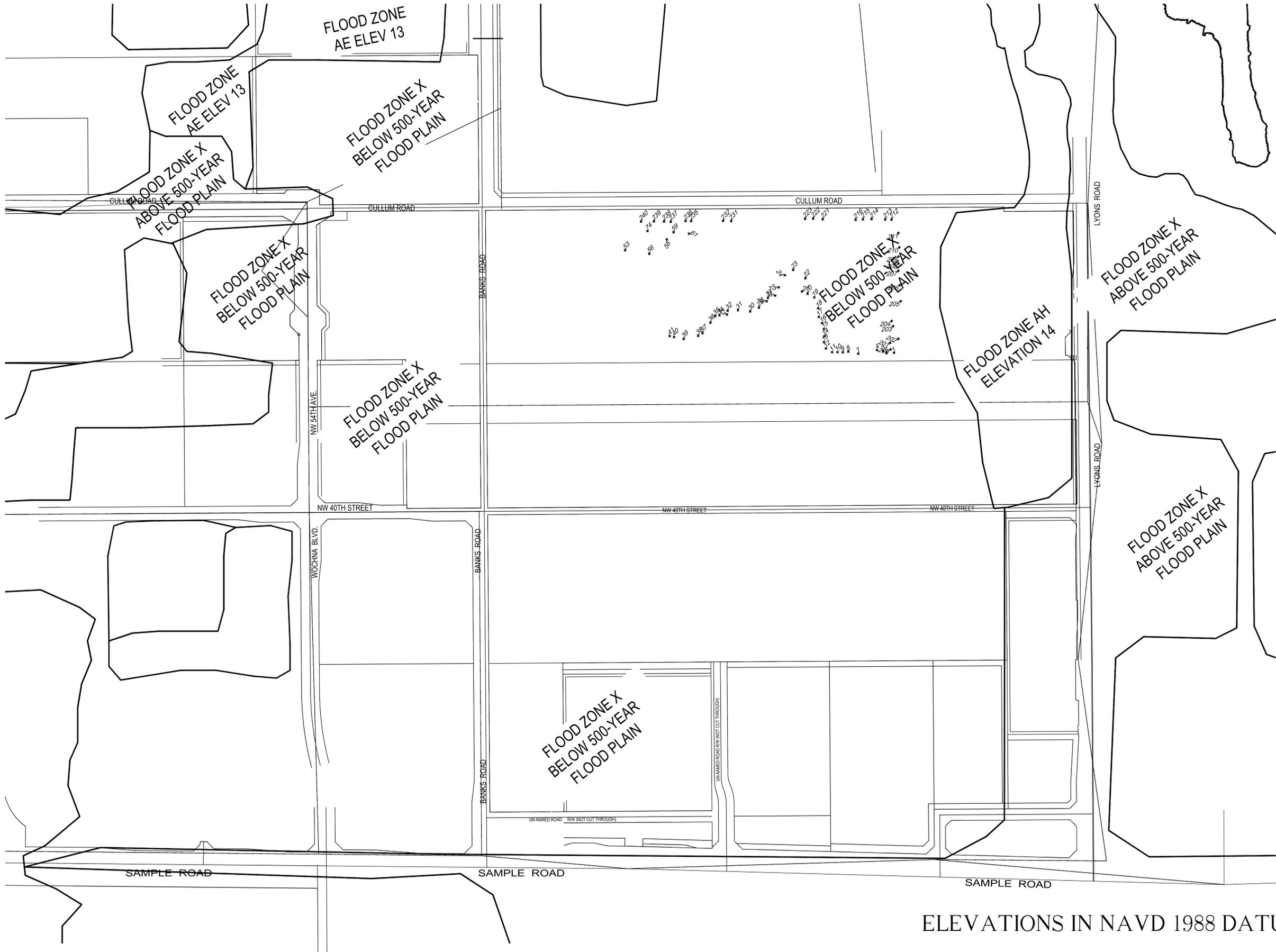
PROJECT NO. 08-0049

S-12

ALTA/NSPS LAND TITLE SURVEY

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

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DATE:	01/31/18
SCALE:	1"=200'
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CHECKED BY:	DND
FIELD BOOK:	N/A
PAGE(S):	N/A

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**MAIN STREET COCONUT CREEK
FLOOD ZONE DESIGNATIONS**
PREPARED FOR:
SOUTHSTAR DEVELOPMENT PARTNERS, INC.
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.
08-0049

S-14
SHEET 14 OF 14

ELEVATIONS IN NAVD 1988 DATUM

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