



FINAL SUBMITTAL

7-ELEVEN #34941

4990 COCONUT CREEK PARKWAY, COCONUT CREEK, FLORIDA 33063

FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN A FLOOD ZONE X, AS SHOWN ON F.I.R.M. NUM. 12011C0355H, BEARING A MAP EFFECTIVE DATE OF 08/18/2014.

RELATIONSHIP BETWEEN NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.58 FEET	1.58'
NAVD 1988		0.00'

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NAVD 1988 DATUM

LAND DESCRIPTION:

A PORTION OF TRACT 3, BLOCK 94, "PALM BEACH FARMS COMPANY PLAT NO. 3", IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 31; THENCE NORTH 89°49'20" EAST ALONG THE CENTERLINE OF COCONUT CREEK PARKWAY 2320.49 FEET; THENCE SOUTH 00°40'20" WEST 50.01 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF SAID HAMMONDVILLE ROAD (COCONUT CREEK PARKWAY) AS SHOWN ON STATE OF FLORIDA STATE RIGHT OF WAY MAP SECTION 86130-2506, SHEET 3 OF 10; THENCE NORTH 89°49'20" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE BEING A LINE LYING 50.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 31, FOR 283.23 FEET TO THE INTERSECTION WITH THE WEST LINE OF "FARM STORE PARCEL", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 93, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 00°37'50" WEST ALONG SAID WEST LINE 125.00 FEET TO THE SOUTHWEST CORNER OF SAID PLAT; THENCE NORTH 89°49'20" EAST ALONG THE SOUTH LINE OF SAID "FARM STORE PARCEL" AND ITS EASTERLY EXTENSION 85.58 FEET TO THE INTERSECTION WITH A LINE LYING 900 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID TRACT 3; THENCE SOUTH 00°37'50" WEST ALONG SAID PARALLEL LINE 52.00 FEET TO THE INTERSECTION WITH A LINE LYING 350 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID TRACT 3; THENCE NORTH 89°19'47" WEST ALONG SAID PARALLEL LINE 400.70 FEET TO THE INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF BANKS ROAD AS RECORDED IN OFFICIAL RECORDS BOOK 45097, PAGE 101, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE, THE FOLLOWING FOUR (4) COURSES AND DISTANCES: 1) NORTH 00°40'20" EAST 19.13 FEET; 2) NORTH 10°30'05" EAST 76.12 FEET; 3) NORTH 00°40'20" EAST 49.57 FEET A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY; 4) NORTHEASTERLY ON THE ARC OF SAID CURVE, HAVING A RADIUS 30.00 FEET, A CENTRAL ANGLE OF 68°06'38", FOR AN ARC DISTANCE OF 35.66 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 57,368 SQUARE FEET (1.3170 ACRES), MORE OR LESS.

SITE LOCATION



LOCATION MAP

SECTION 31, TOWNSHIP 48 S, RANGE 42 E
FOLIO# 484231010055

INDEX OF SHEETS		
Sheet Sequence No.	Sheet Identification	Sheet Title
	--	COVER
1	--	SURVEY
2	--	SURVEY
3	--	PLAT (UNRECORDED)
4	--	PLAT (UNRECORDED)
5	SP-101	SITE PLAN
6	SP-102	VEHICLE CIRCULATION PLAN
7	R0.01	ELEVATIONS
8	R0.02	ELEVATIONS
9	R0.03	FLOOR PLAN
10	LD-101	TREE DISPOSITION PLAN
11	LP-101	LANDSCAPE PLAN
12	LP-501	LANDSCAPE DETAILS
13	LP-201	LANDSCAPE NOTES
14	LP-202	LANDSCAPE NOTES
15	PH-1.0	PHOTOMETRIC PLAN
16	GI-001	LEGEND
17	GI-002	CONSTRUCTION SPECIFICATIONS
18	GI-003	GENERAL NOTES
19	CT-101	CONSTRUCTION TRAILER PLAN
20	CG-101	EROSION AND SEDIMENTATION CONTROL PLAN
21	CD-101	DEMOLITION PLAN
22	CP-101	PAVING, GRADING, AND UTILITY PLAN
23	CP-501	PAVING, GRADING, AND UTILITY DETAILS
24	CP-502	PAVING, GRADING, AND UTILITY DETAILS
25	CU-101	WATER AND SEWER PLAN
26	CU-501	WATER AND SEWER DETAILS
27	CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
28	CM-501	PAVEMENT MARKING AND SIGNAGE DETAILS

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
Doral, Florida 33122

PH: (954) 788-3400

State of Florida Certificate of
Authorization Number - 7928

THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



PREPARED FOR:
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ROAD, SUITE 202
CAPE CORAL, FL 33991

PROJECT No. 09725.64 DATE: NOVEMBER 2019

LEGAL DESCRIPTION:

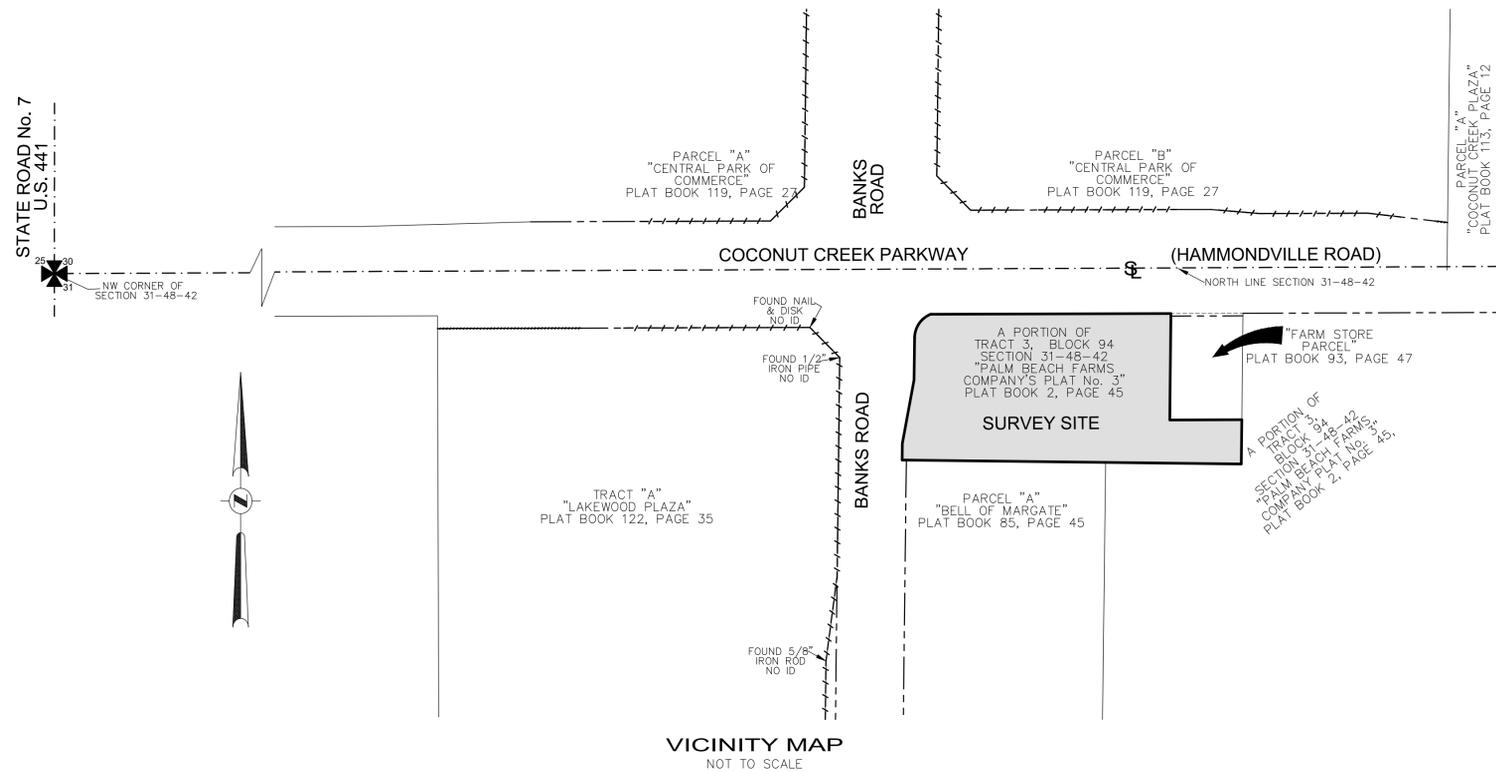
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SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 57,398 SQUARE FEET (1.3177 ACRES), MORE OR LESS

NOTES:

- 1) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #3008; ELEVATION: 11.743 FEET. TO CONVERT THE ELEVATIONS HEREON TO NATIONAL GEODETIC VERTICAL DATUM OF 1929, ADD 1.581 FEET.
- 2) FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #120031 0355H; MAP DATE: 08/18/14.
- 3) THIS SITE LIES IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- 4) BEARINGS ARE BASED ON THE WEST RIGHT-OF-WAY LINE OF BANKS ROAD BEING N00°40'20"E.
- 5) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 6) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- 7) THIS SITE CONTAINS 37 TOTAL PARKING SPACES (34 REGULAR & 3 HANDICAPPED).
- 8) THIS SURVEY WAS PREPARED WITH BENEFIT OF A TITLE CERTIFICATE PREPARED BY PARAMOUNT TITLE SERVICES, INC., SEARCH NO. 19-806-2, DATED FEBRUARY 2, 2019. THE FOLLOWING ITEMS ARE LISTED IN SAID CERTIFICATE.
 - EASEMENTS AND RIGHTS-OF-WAY:
 - ITEM 1: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 2, PAGE 45, P.B.C.R. APPLY TO THIS SITE. THERE ARE NO PLATTED EASEMENTS.
 - ITEM 2: RIGHT OF WAY MAP IN RIGHT-OF-WAY MAP BOOK 15, PAGE 13 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 3: RIGHT OF WAY MAP IN RIGHT-OF-WAY MAP BOOK 3, PAGE 28 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 4: RIGHT OF WAY MAP IN RIGHT-OF-WAY MAP BOOK 7, PAGE 21 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 5: RIGHT OF WAY DEED IN DEED BOOK 333, PAGE 327 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 6: RIGHT OF WAY DEED IN DEED BOOK 360, PAGE 526 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 7: COUNTY DEED IN DEED BOOK 4497, PAGE 497 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 8: FPL EASEMENT IN O.R.B. 4657, PAGE 630 DOES NOT APPLY TO THIS SITE AS DEPICTED HEREON.
 - ITEM 9: TELEPHONE RIGHT-OF-WAY EASEMENT IN O.R.B. 6269, PAGE 128 APPLIES TO BANKS ROAD RIGHT-OF-WAY AS DEPICTED HEREON.
 - ITEM 10: RESOLUTION REGARDING ROADWAY EASEMENT IN O.R.B. 9054, PAGE 648 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 11: RESOLUTION REGARDING ROADWAY EASEMENT IN O.R.B. 9108, PAGE 576 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 12: RESOLUTION REGARDING FIRE HYDRANT EASEMENT IN O.R.B. 9431, PAGE 507 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 13: RESOLUTION REGARDING 15" UTILITY EASEMENT IN O.R.B. 10456, PAGE 980 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 14: FPL EASEMENT IN O.R.B. 10700, PAGE 509 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 15: QUIT CLAIM DEED IN O.R.B. 45097, PAGE 101 APPLIES TO BANKS ROAD RIGHT-OF-WAY AS DEPICTED HEREON.
 - ITEM 16: AGREEMENT REGARDING LANDSCAPE AND HARDSCAPE IMPROVEMENT LIMITS IN O.R.B. 47173, PAGE 1849 APPLIES TO BANKS ROAD AND COCONUT CREEK PARKWAY RIGHT-OF-WAY AS DEPICTED HEREON.
 - TITLE DEEDS AND RELEASES:
 - ITEM 1: DEED IN DEED BOOK 54, PAGE 190 APPLIES TO THIS SITE BUT HAS BEEN RELEASED AND IS NOT DEPICTED.
 - ITEM 2: QUIT CLAIM DEED IN DEED BOOK 223, PAGE 384 APPLIES TO THIS SITE.
 - ITEM 3: RELEASE OF RESERVATIONS IN O.R.B. 1817, PAGE 82 DOES NOT APPLY TO THIS SITE.
 - ITEM 4: RELEASE OF RESERVATIONS IN O.R.B. 1817, PAGE 84 DOES NOT APPLY TO THIS SITE.
 - ITEM 5: RELEASE OF RESERVATIONS IN O.R.B. 3928, PAGE 681 APPLIES TO THIS SITE BUT IS NOT DEPICTED.
 - ITEM 6: RELEASE OF RESERVATIONS IN O.R.B. 3928, PAGE 683 APPLIES TO THIS SITE BUT IS NOT DEPICTED.
 - ITEM 7: RELEASE OF RESERVATIONS IN O.R.B. 6815, PAGE 762 DOES NOT APPLY TO THIS SITE.
 - ITEM 8: RELEASE OF RESERVATIONS IN O.R.B. 6815, PAGE 764 DOES NOT APPLY TO THIS SITE.
 - ITEM 9: RELEASE OF RESERVATIONS IN O.R.B. 10508, PAGE 574 DOES NOT APPLY TO THIS SITE.



TO CREIGHTON CONSTRUCTION & MANAGEMENT:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, & 11 OF TABLE A THEREOF.

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 - BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
 - VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- STATE OF FLORIDA

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SHEET 1 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

5		
4		
3		
2		
1		
NO.	REVISIONS	BY

PROPOSED
7-ELEVEN SITE #34941
 4960 AND 4990 COCONUT CREEK PARKWAY
 COCONUT CREEK, BROWARD COUNTY,
 FLORIDA 33063

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

PLS

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: surveys@pulicelandsurveyors.com
 WEBSITE: www.pulicelandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: M.D.	SCALE: 1" = 20'	FILE: CREIGHTON CONSTRUCTION & MANAGEMENT
CHECKED BY: J.F.P.	SURVEY DATE: 1/23/19	ORDER NO.: 65587

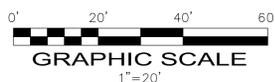
STATE ROAD NO. 7
U.S. HIGHWAY NO. 441

PARCEL "A"
"CENTRAL PARK OF COMMERCE"
PLAT BOOK 119, PAGE 27

PARCEL "B"
"CENTRAL PARK OF COMMERCE"
PLAT BOOK 119, PAGE 27

"FARM STORE
PARCEL"
PLAT BOOK 93, PAGE 47

- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - ADA MAT
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - UNDERGROUND ELECTRIC LINE
 - NON-VEHICULAR ACCESS
 - CENTERLINE
 - O.R.B. OFFICIAL RECORDS BOOK
 - B.C.R. BROWARD COUNTY RECORDS
 - P.B.C.R. PALM BEACH COUNTY RECORDS
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - R RADIUS
-
 - CA CENTRAL ANGLE
 - A ARC LENGTH
 - R/W RIGHT OF WAY
 - S SECTION LINE
 - C CABBAGE PALM TREE
 - G GUMBO LIMBO TREE
 - P PALM TREE
 - O OAK TREE
 - M MAHOGANY TREE
 - B BLACK OLIVE TREE
 - F TREE (FICUS)
 - U UNDETERMINED TREE



THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

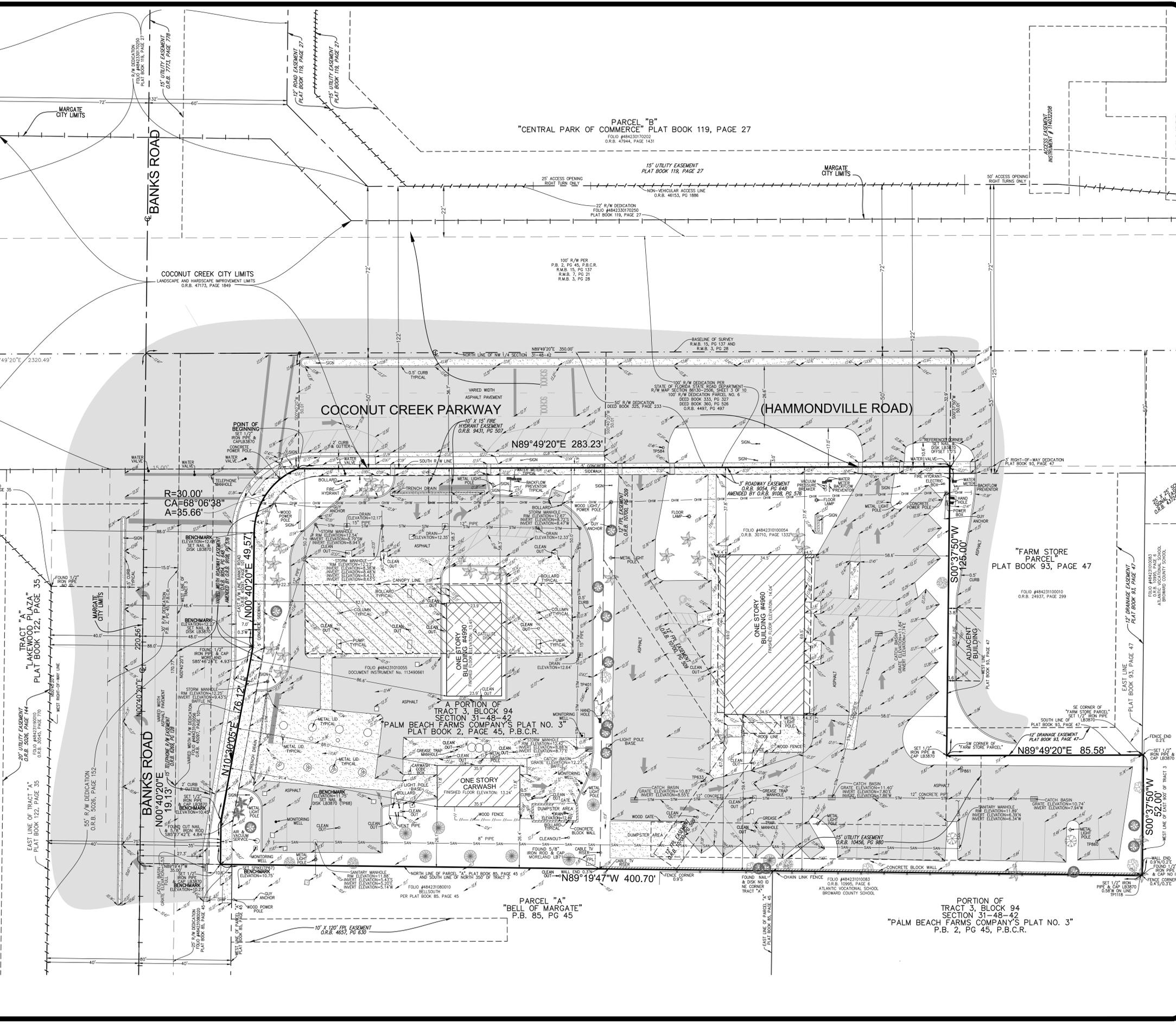
SHEET 2 OF 2

PROPOSED
7-ELEVEN
7-ELEVEN SITE #34941
4960 AND 4990 COCONUT CREEK PARKWAY
COCONUT CREEK, BROWARD COUNTY,
FLORIDA 33063

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

PLS
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: M.D. SCALE: 1"=20' FILE: CREIGHTON CONSTRUCTION & MANAGEMENT
CHECKED BY: J.F.P. SURVEY DATE: 1/23/19 ORDER NO.: 65587



PORTION OF
TRACT 3, BLOCK 94
SECTION 31-48-42
"PALM BEACH FARMS COMPANY'S PLAT NO. 3"
P.B. 2, PG 45, P.B.C.R.

PARCEL "A"
"BELL OF MARGATE"
P.B. 85, PG 45

A PORTION OF
TRACT 3, BLOCK 94
SECTION 31-48-42
"PALM BEACH FARMS COMPANY'S PLAT NO. 3"
P.B. 2, PG 45, P.B.C.R.

TRACT "A"
"LAKEWOOD PLAZA"
PLAT BOOK 122, PAGE 35

"7-ELEVEN #34941"

A REPLAT OF A PORTION OF TRACT 3, BLOCK 94, "PALM BEACH FARMS COMPANY PLAT NO. 3", IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

PREPARED BY
PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777
FAX NO. 954-572-1778
FEBRUARY, 2019

NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE CITY AND THIS COUNTY.

LEGAL DESCRIPTION:

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DEDICATION:

STATE OF _____ SS
COUNTY OF _____

KNOW ALL MEN BY THESE PRESENTS: THAT 7-ELEVEN, INC., A TEXAS CORPORATION, LICENSED TO DO BUSINESS IN THE STATE OF FLORIDA, AND THOMAS KIEL, A SINGLE MAN, THE OWNERS OF THE LANDS DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE SUBDIVIDED AND PLATTED AS SHOWN HEREON, SAID PLAT TO BE KNOWN AS "7-ELEVEN #34941", A REPLAT.

PARCELS "L-1", "L-2" AND "L-3" (LANDSCAPE PARCELS) AS SHOWN HEREON ARE HEREBY DEDICATED FOR ROADWAY LANDSCAPE BUFFERS. LANDSCAPE IMPROVEMENTS IN PARCELS "L-1" AND "L-2" ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE OWNERS OR PARCEL "A", THEIR SUCCESSORS AND/OR ASSIGNS.

THE ADDITIONAL RIGHT-OF-WAY PARCEL AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

THE INGRESS/EGRESS EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

THE ACCESS EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR INGRESS AND EGRESS ACCESS TO THE PROPERTY EAST OF THIS PLAT.

THE UTILITY EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE CITY OF MARGATE, FLORIDA, FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES.

IN WITNESS WHEREOF: THAT 7-ELEVEN, INC., A TEXAS CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED FOR AND ON ITS BEHALF BY _____, ITS _____, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED IN THE PRESENCE OF THESE TWO WITNESSES THIS _____ DAY OF _____, A.D. 20__.

WITNESSES: _____ 7-ELEVEN, INC., A TEXAS CORPORATION
BY: _____
PRINT NAME: _____ BY: _____
BY: _____ PRINT NAME: _____
PRINT NAME: _____ TITLE: _____

ACKNOWLEDGMENT:

STATE OF _____ SS
COUNTY OF _____

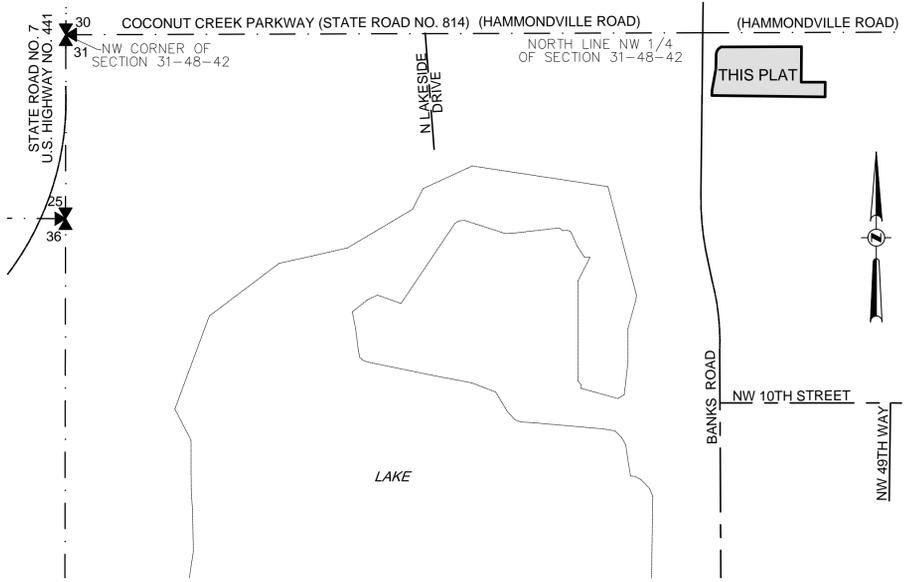
I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME _____ OF 7-ELEVEN, INC., A TEXAS CORPORATION, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE/SHE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 20__.

MY COMMISSION NUMBER: _____ NOTARY PUBLIC - STATE OF _____
MY COMMISSION EXPIRES: _____ PRINT NAME: _____

IN WITNESS THEREOF: THAT THOMAS KIEL, A SINGLE MAN, HAS CAUSED THESE PRESENTS TO BE SIGNED IN THE PRESENCE OF THESE TWO WITNESSES THIS _____ DAY OF _____, A.D. 20__.

WITNESSES:
BY: _____
PRINT NAME: _____ BY: _____
BY: _____ PRINT NAME: THOMAS KIEL
PRINT NAME: _____ TITLE: OWNER



LOCATION MAP
PORTION OF THE NW 1/4 OF SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST
NOT TO SCALE

ACKNOWLEDGMENT:

STATE OF _____ SS
COUNTY OF _____

I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME THOMAS KIEL, A SINGLE MAN, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 20__.

MY COMMISSION NUMBER: _____ NOTARY PUBLIC - STATE OF _____
MY COMMISSION EXPIRES: _____ PRINT NAME: _____

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY DIRECTION AND SUPERVISION; THAT THE SURVEY DATA COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS OF FLORIDA STATUTES CHAPTER 177, AND WITH THE APPLICABLE SECTION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AND FURTHER THAT THE PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS WERE SET THIS _____ DAY OF _____, A.D. 20__, IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177.

BETH BURNS
PROFESSIONAL SURVEYOR AND MAPPER NO. LS6136
STATE OF FLORIDA
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
CERTIFICATE OF AUTHORIZATION NUMBER LB3870

7-ELEVEN, INC., A TEXAS CORPORATION	PLATTING SURVEYOR	CITY CLERK	CITY ENGINEER	COUNTY SURVEYOR	COUNTY ENGINEER
-------------------------------------	-------------------	------------	---------------	-----------------	-----------------

CITY COMMISSION OF COCONUT CREEK:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED FOR RECORD BY THE CITY COMMISSION OF THE CITY OF COCONUT CREEK BY ORDINANCE NO. _____, ADOPTED THIS _____ DAY OF _____, A.D. 20__, PURSUANT TO SECTION 13-166, COCONUT CREEK CODE OF ORDINANCES.

EASEMENTS SHALL NOT CONTAIN PERMANENT IMPROVEMENTS INCLUDING BUT NOT LIMITED TO PATIOS, DECKS, POOLS, AIR CONDITIONERS, STRUCTURES, UTILITY SHEDS, POLES, FENCES, TREES, SHRUBS, HEDGES, PLANTS AND LANDSCAPING, EXCEPT THAT UTILITIES, PUBLIC IMPROVEMENTS AND SOD ARE ALLOWED.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

BY: _____
CITY CLERK
LESLIE WALLACE MAY

CITY PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF COCONUT CREEK, THIS _____ DAY OF _____, A.D. 20__.

BY: _____
CHAIRPERSON

CITY ENGINEER:

THIS PLAT IS HEREBY APPROVED FOR RECORD, THIS _____ DAY OF _____, A.D. 20__.

BY: _____
CITY ENGINEER
PRINT NAME: OSAMA ELSHAMI
FLORIDA P.E. # _____

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, A.D. 20__.

BY: _____
DIRECTOR / DESIGNEE

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY: THAT THE BROWARD COUNTY PLANNING COUNCIL HAS APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS _____ DAY OF _____, A.D. 20__.

BY: _____
CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, A.D. 20__.

BY: _____
EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - MINUTES SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS _____ DAY OF _____, A.D. 20__.

BY: _____
MAYOR, COUNTY COMMISSION

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES AND APPROVED AND ACCEPTED FOR RECORD.

BY: _____
ROBERT P. LEGG, JR.
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. LS4030

BY: _____
RICHARD TORNESE
DIRECTOR
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 40263

PREPARED BY
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777
FAX NO. 954-572-1778
FEBRUARY, 2019

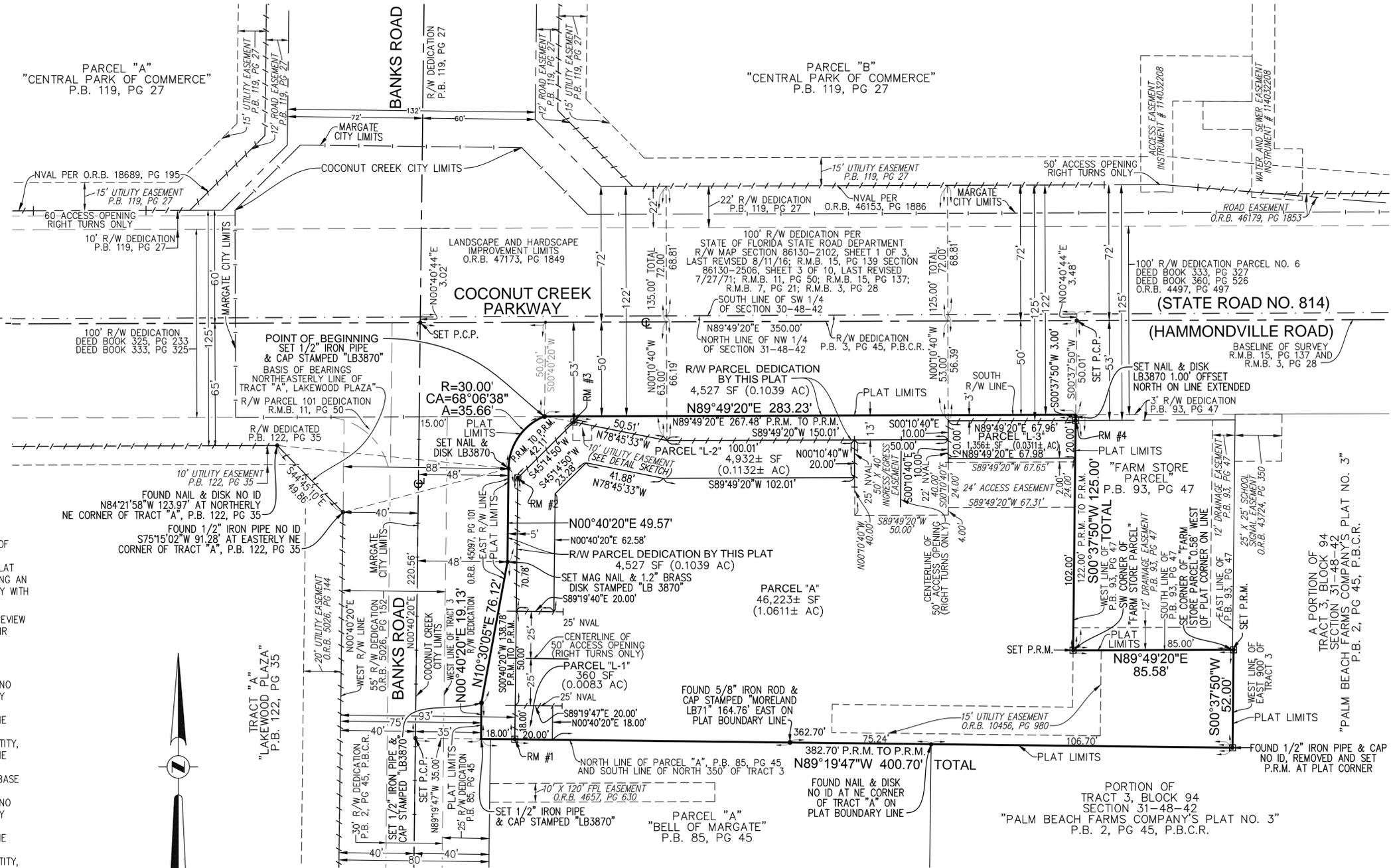
"7-ELEVEN #34941"

A REPLAT OF A PORTION OF TRACT 3, BLOCK 94, "PALM BEACH FARMS COMPANY PLAT NO. 3", IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA
CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

- LEGEND:**
- P.R.M. □ DENOTES: PERMANENT REFERENCE MONUMENT (4" X 4" X 24" CONCRETE MONUMENT WITH 2" ALUMINUM DISC STAMPED "PRM LB 3870" UNLESS OTHERWISE NOTED)
 - P.C.P. ● DENOTES: PERMANENT CONTROL POINT (MAG NAIL & 1.2" BRASS WASHER STAMPED "P.C.P. 3870" UNLESS OTHERWISE NOTED)
 - DENOTES: NAIL & 1.2" BRASS DISK
 - DENOTES: 1/2" IRON PIPE WITH PLASTIC CAP
 - LB DENOTES: LICENSED BUSINESS
 - P.B.C.R. DENOTES: PALM BEACH COUNTY RECORDS
 - P.B. DENOTES: PLAT BOOK
 - O.R.B. DENOTES: OFFICIAL RECORD BOOK
 - PG DENOTES: PAGE
 - NVAL - - - DENOTES: NON-VEHICULAR ACCESS LINE
 - ⊗ DENOTES: SECTION CORNER
 - ⊕ DENOTES: CENTERLINE
 - R DENOTES: RADIUS
 - CA DENOTES: CENTRAL ANGLE
 - A DENOTES: ARC LENGTH
 - R/W DENOTES: RIGHT-OF-WAY
 - NO. OR # DENOTES: NUMBER
 - RM DENOTES: REFERENCE MONUMENT
 - SF DENOTES: SQUARE FEET
 - AC DENOTES: ACRES
 - R.M.B. DENOTES: RIGHT OF WAY MAP BOOK

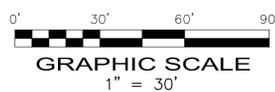
NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE CITY AND THIS COUNTY.

STATE ROAD NO. 7
U.S. HIGHWAY NO. 441



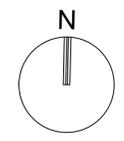
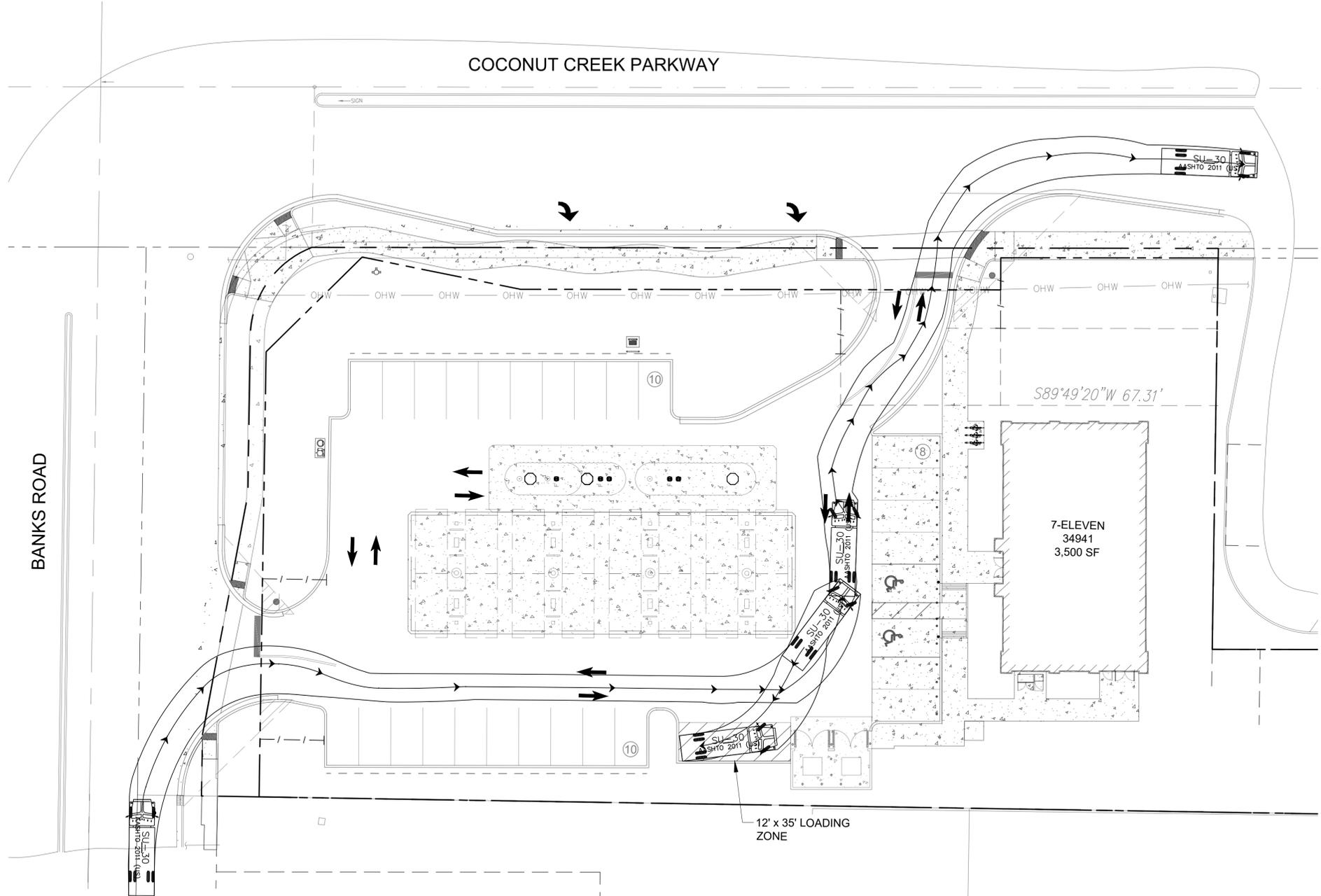
SURVEYOR'S NOTES:

- 1) THIS PLAT IS RESTRICTED TO CONVENIENCE STORE WITH 16 FUELING POSITIONS.
THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERETO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION 2B.1.f, DEVELOPMENT REVIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.
- 2A) IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY _____, 2024, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME: AND/OR
- 2B) IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY _____, 2024, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
- 3) BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN OF S44°45'10"E AS SHOWN ON THE NORTHEASTERLY LINE OF TRACT "A", "LAKEWOOD PLAZA", PLAT BOOK 122, PAGE 35, BROWARD COUNTY RECORDS.
- 4) THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091, SUBSECTION (28), FLORIDA STATUTES. PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- 5) ALL RECORDED DOCUMENTS ARE PER THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA UNLESS OTHERWISE NOTED.



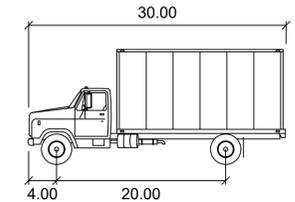
REFERENCE MONUMENT INFORMATION			
RM #1 SET RM P.R.M. STAMPED "PRM OFFSET 18.7' E LB 3870" 18.00' OFFSET EAST ON LINE	RM #4 SET RM P.R.M. STAMPED "PRM OFFSET 15.7' E LB 3870" 15.70' OFFSET EAST ON LINE	RM #2 SET RM P.R.M. STAMPED "PRM OFFSET 7.02' SE LB 3870" S44°47'56"E 7.02'	RM #5 SET RM P.R.M. STAMPED "PRM OFFSET 3' S LB 3870" 3.00' OFFSET SOUTH ON LINE
RM #3 SET RM P.R.M. STAMPED "PRM OFFSET 15.99' SE LB 3870" S79°21'47"E 15.99'			

PLAT FILE NO. 007-MP-19



GRAPHIC SCALE
 0 30 60

SCALE: 1"=30'
 NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



SU-30
 feet
 Width : 8.00
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.8

- NOTES:**
1. THE DESIGN VEHICLE SHOWN DEPICTS A DELIVERY TRUCK (SU-30) PER TRANSOFT SOLUTIONS AUTOTURN VERSION 10.2 VEHICLE LIBRARY SPECIFICATIONS



KEITH
 301 East Atlantic Boulevard
 Pompano Beach, Florida 33060-6643
 2312 S. Andrews Ave.
 Fort Lauderdale, Florida 33316
 PH: (954) 788-3400
 Florida Certificate of
 Authorization # - 7928

BID / CONTRACT NO.:

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
 NOT FOR CONSTRUCTION**
 THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



7-ELEVEN #34941
 4990 COCONUT CREEK PKWY.
 COCONUT CREEK, FL 33063

SCALE:	AS NOTED
1ST SUBMITTAL DATE:	FEB. 2019
DRAWN BY:	MA
DESIGNED BY:	SL
CHECKED BY:	TD

THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
**VEHICLE
 CIRCULATION
 PLAN**

SHEET NUMBER
SP-102

PROJECT NO. **09725.64**

D
 C
 B
 A

9/18/2019 3:10:38 PM

6

5

4

3

2

1

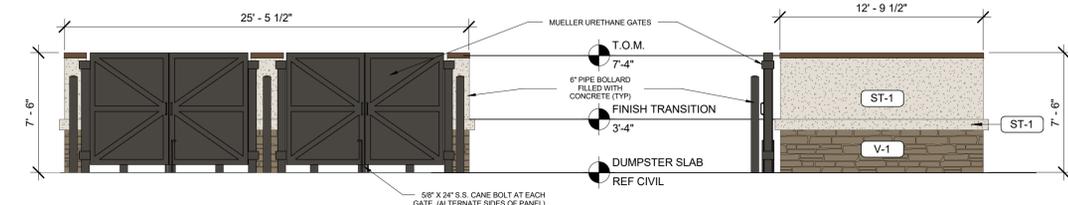
E

D

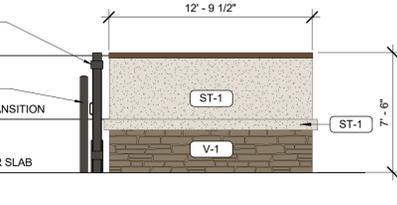
C

B

A



5 FRONT DUMPSTER ENCLOSURE ELEVATION
3/16" = 1'-0"



6 SIDE DUMPSTER ENCLOSURE ELEVATION
3/16" = 1'-0"

- GREEN NOTES:**
1. ALL CMU AND CONCRETE SHALL BE SOURCED REGIONALLY.
 2. HVAC SYSTEM SHALL BE HIGH-EFFICIENT RTU'S WITH ENCONOMIZER AND ENTHALPY CONTROL.
 3. WATER CLOSETS SHALL BE HIGH-EFFICIENCY AND LAVATORIES SHALL HAVE AERATORS TO CONTROL WATER USAGE.
 4. ROOF SHALL BE A WHITE TPO ROOF.
 5. ALL APPLICABLE MATERIALS SHALL BE WITHIN TOLERABLE VOC LIMITS FOR INTERIOR AIR QUALITY.

EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR - 1	MEMBRANE ROOFING	DUROLAST - WHITE
ST-1	PAINTED STUCCO	BALANCED BEIGE - SW 7037
ST-2	PAINTED STUCCO	AESTHETIC WHITE - SW 7035
V-1	VENEER STONE	EQUAL TO COBBLEFIELD STONE BY BORALSTONE COMPANY, F.V. COLOR
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE
N-1	PAINT	BALANCED BEIGE - SW 7037
F-1	FUEL CANOPY FASCIA	EASTMAN WHITE PY-25

bates

502 SW A STREET, SUITE 2
BENTONVILLE, AR 72712
WWW.BATESFORUM.COM
TEL: 479.633.8165

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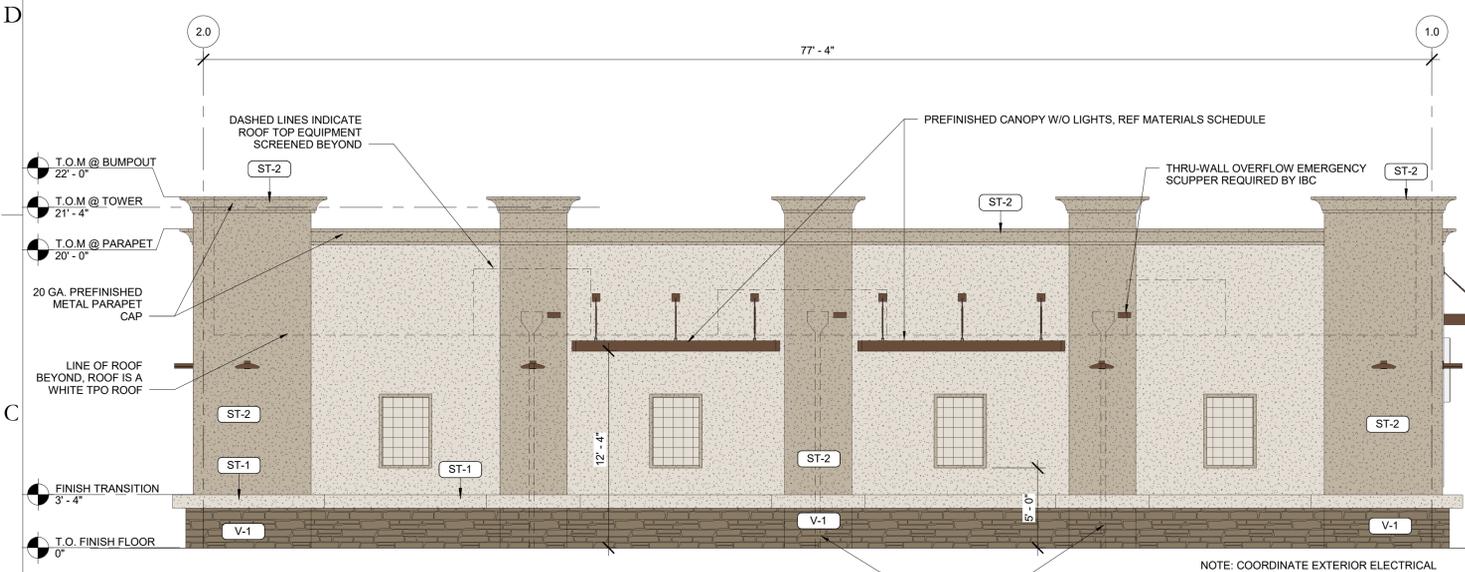
STORE #:
34941

CONSTRUCTION MANAGER
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991

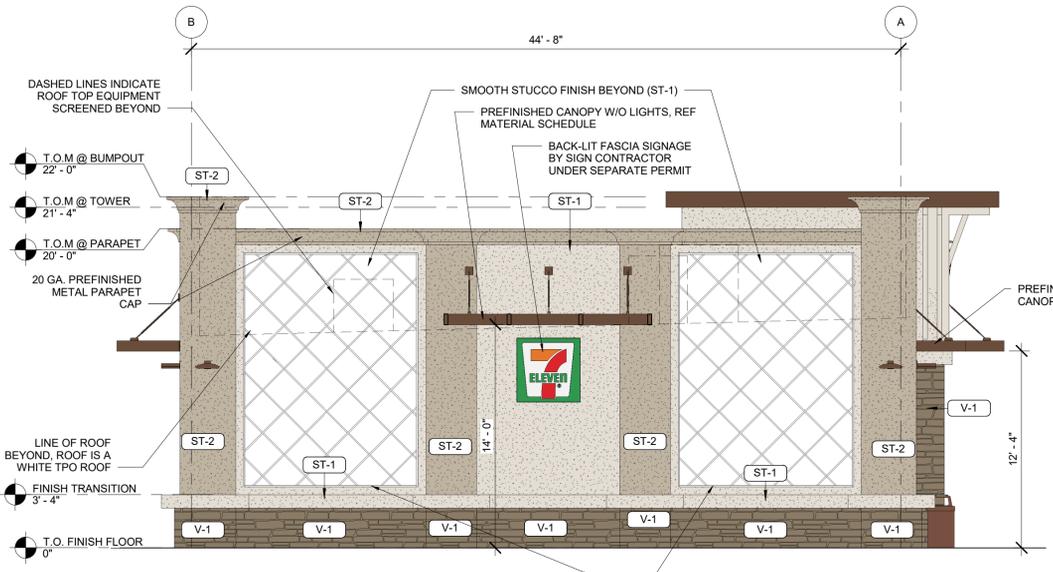
TENANT
7-ELEVEN INC.
3200 HACKBERRY ROAD, IRVING, TX 75063

STRUCTURAL CONSULTANT

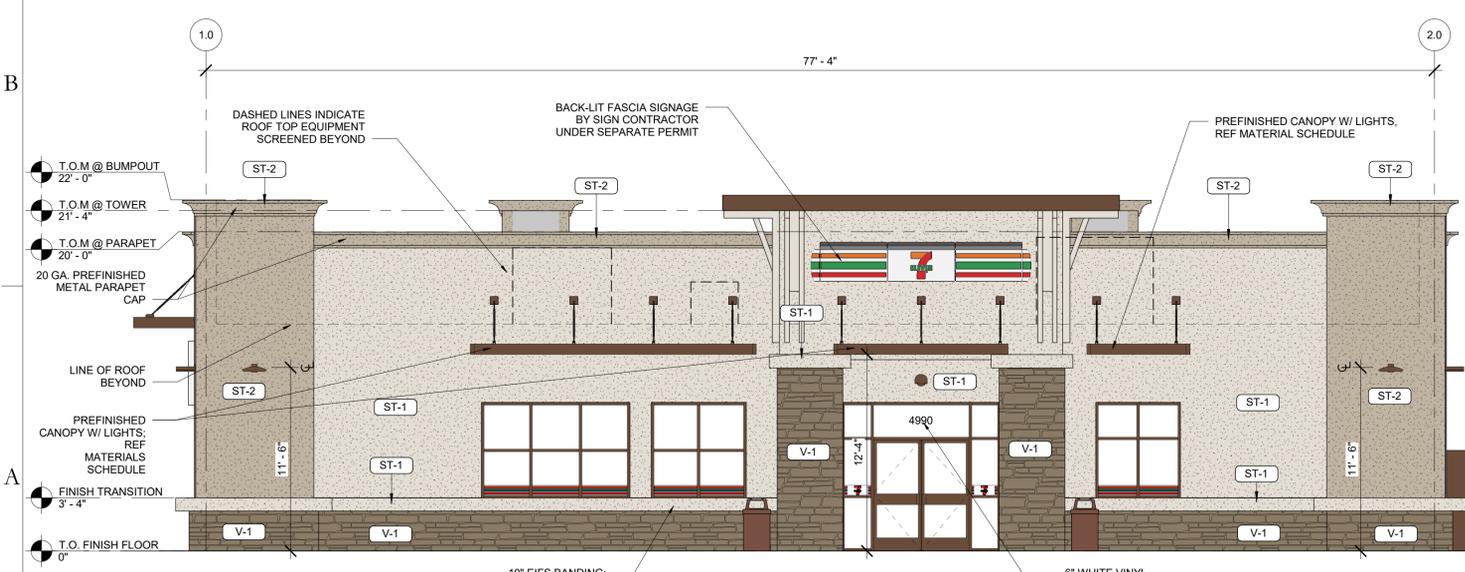
7-ELEVEN STORE
4990 COCONUT CREEK PARKWAY
COCONUT CREEK FL 33063
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
 900 SW PINE ISLAND ROAD, SUITE 202
 CAPE CORAL, FL 33991



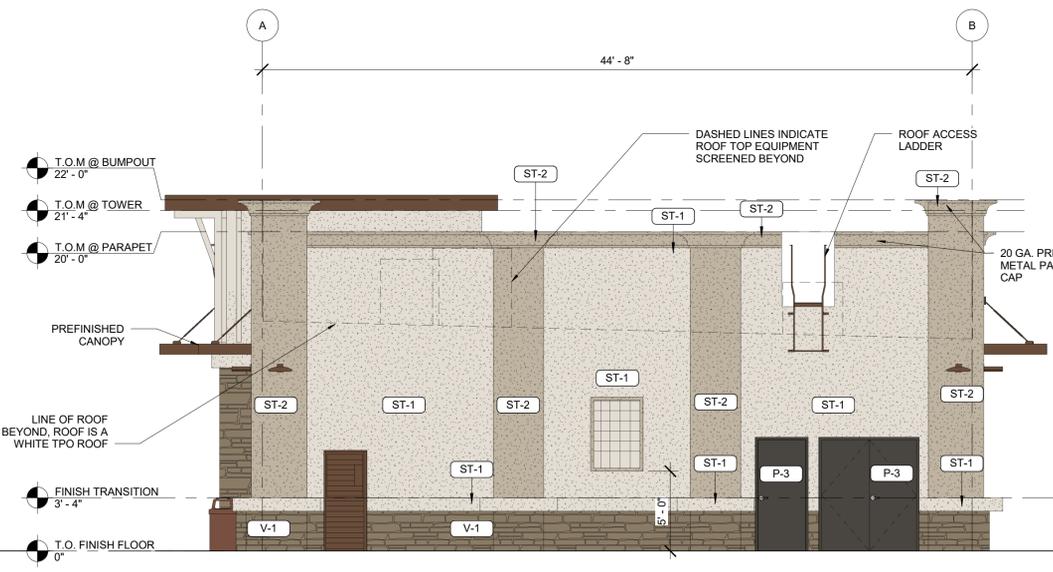
4 ELEVATION FACING - EAST
3/16" = 1'-0"



3 ELEVATION FACING - COCONUT CREEK PARKWAY
3/16" = 1'-0"



2 ELEVATION - FRONT
3/16" = 1'-0"



1 ELEVATION FACING - SOUTH
3/16" = 1'-0"

Ryan Faust

STATE OF FLORIDA
REGISTERED ARCHITECT
RYAN FAUST
AR97905

02/19/2019

Architect Name - RYAN M. FAUST
Architect Number - AR97905

THE SEAL AND SIGNATURE ARE APPLIED TO THIS DOCUMENT TO WHICH THEY ARE AFFIXED AND WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

PROJECT NUMBER: 18209
RELEASE DATE: 02/19/2019

REVIEW BOARD BUILDING & DUMPSTER ENCLOSURE

R0.01

C:\Users\FaustR\Documents\182009 COCONUT CREEK FL_A_R15_cboouteil106.rvt

9/18/2019 3:10:41 PM

EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR - 1	MEMBRANE ROOFING	DUROLAST - WHITE
ST-1	PAINTED STUCCO	BALANCED BEIGE - SW 7037
ST-2	PAINTED STUCCO	AESTHETIC WHITE - SW 7035
V-1	VENEER STONE	EQUAL TO COBBLEFIELD STONE BY BORALSTONE COMPANY, F.V. COLOR
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE
N-1	PAINT	BALANCED BEIGE - SW 7037
F-1	FUEL CANOPY FASCIA	EASTMAN WHITE PY-25

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 BENTONVILLE, AR 72712
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 Contractor is responsible for confirming and correlating dimensions at job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

STORE #:
 34941
CONSTRUCTION MANAGER
 CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
 900 SW PINE ISLAND ROAD, SUITE 202
 CAPE CORAL, FL 33991

TENANT
 7-ELEVEN INC.
 3200 HACKBERRY ROAD, IRVING, TX 75063

STRUCTURAL CONSULTANT

7-ELEVEN STORE
 4990 COCONUT CREEK PARKWAY
 COCONUT CREEK FL 33063
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
 900 SW PINE ISLAND ROAD, SUITE 202
 CAPE CORAL, FL 33991



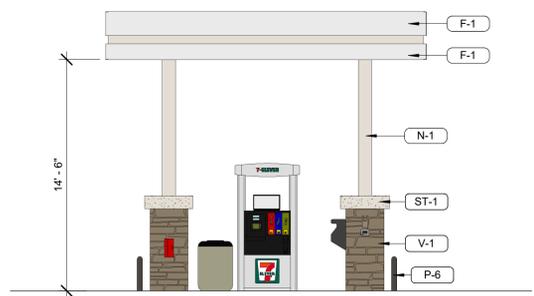
02/19/2019
Architect Name - RYAN M. FAUST
Architect Number - AR97905
 THE SEAL AND SIGNATURE ARE APPLIED TO THIS DOCUMENT TO SHOW THEY ARE AFFIXED AND WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

PROJECT NUMBER: 18209
RELEASE DATE: 02/19/2019

REVIEW BOARD CANOPY ELEVATION

R0.02



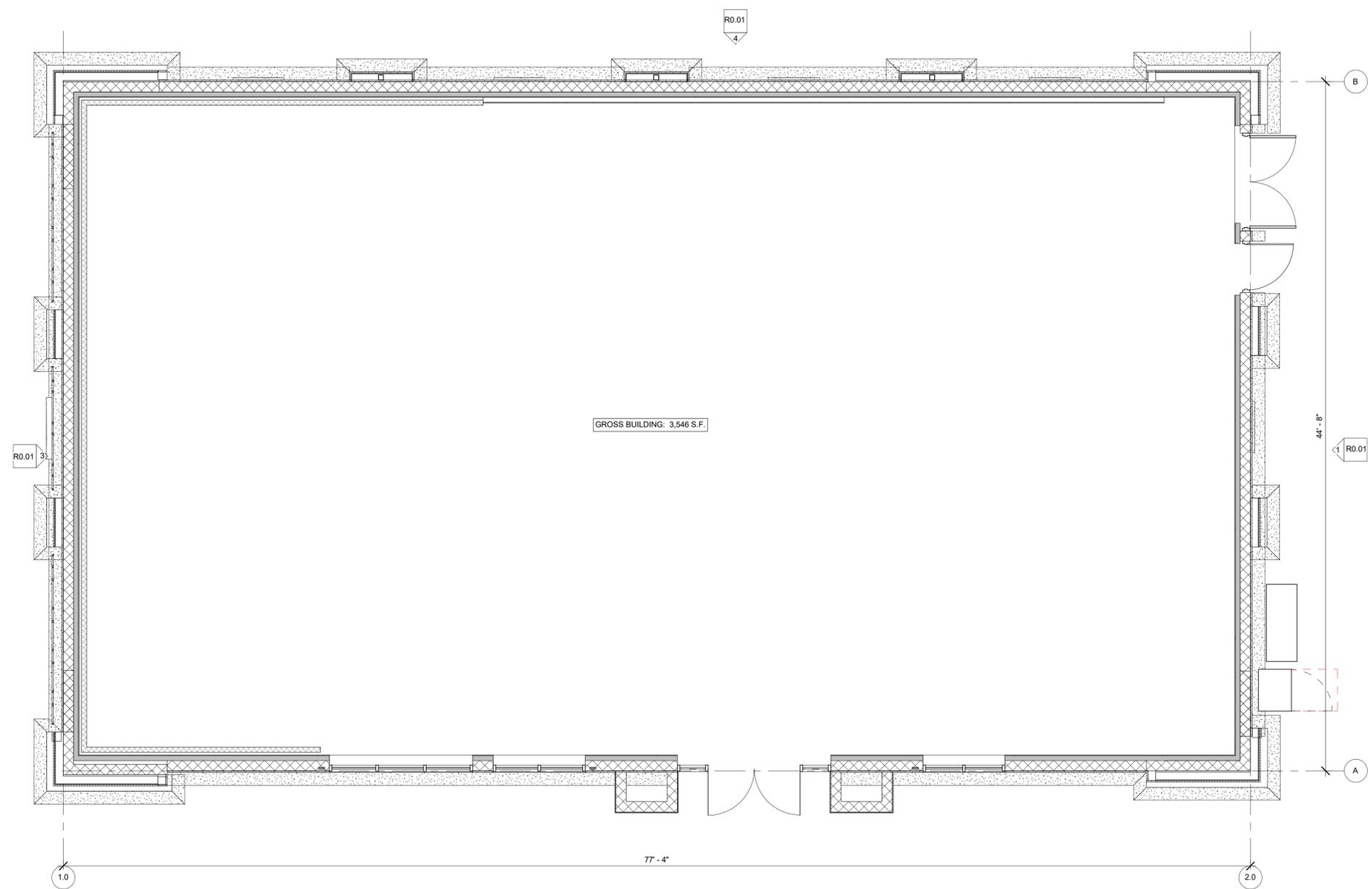
2
 R0.02 **FUEL CANOPY ELEVATION - SHORT**
 3/16" = 1'-0"



1
 R0.02 **FUEL CANOPY ELEVATION - LONG**
 3/16" = 1'-0"

C:\Users\FaustR\Documents\18209 COCONUT CREEK FL_A_R15_cboutelle106.rvt

9/18/2019 3:10:41 PM



1
R0.03 REVIEW BOARD - FLOOR PLAN
1/4" = 1'-0"

bates
502 SW A STREET, SUITE 2
BENTONVILLE, AR 72712
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STORE #:
34941
CONSTRUCTION MANAGER:
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991

TENANT:
7-ELEVEN INC.
3200 HACKBERRY ROAD, IRVING, TX 75063

STRUCTURAL CONSULTANT:

7-ELEVEN STORE
4990 COCONUT CREEK PARKWAY
COCONUT CREEK FL 33063
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991



02/19/2019
Architect Name - RYAN M. FAUST
Architect Number - AR97905
THE SEAL AND SIGNATURE ARE APPLIED TO THIS DOCUMENT TO INDICATE THEY ARE AFFIXED AND WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

PROJECT NUMBER: 18209
RELEASE DATE: 02/19/2019

REVIEW BOARD FLOOR PLAN

R0.03

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

Customer Notes:

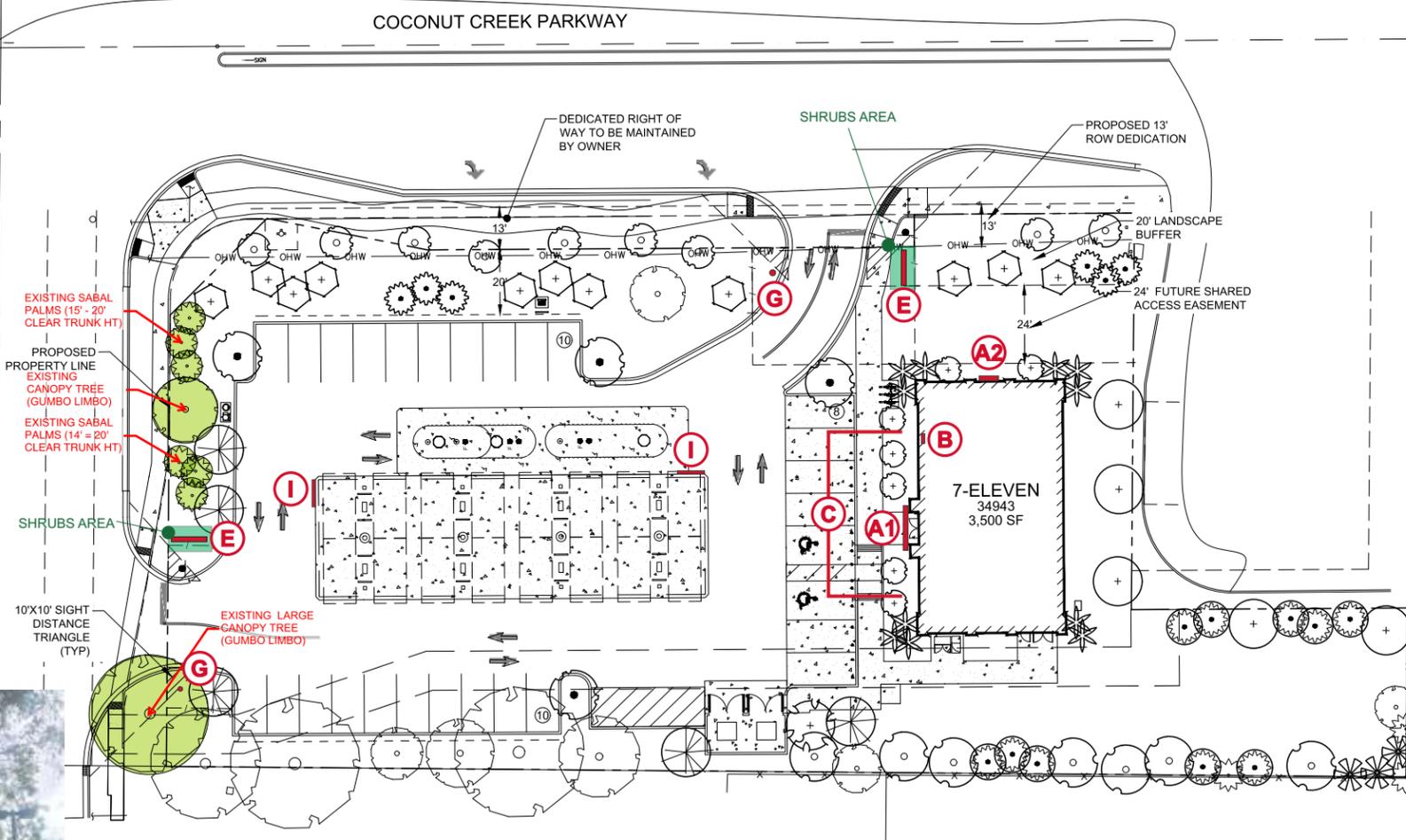
Customer Approval: _____ DATE: _____

Page: 1



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION/MANUAL OF STEEL CONSTRUCTION, 9TH EDITION, THE AMERICAN WELDING SOCIETY/AWS D1.1-15, THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).

A1	3-Pack SEJ W/S (24")
A2	W36 Keystone Wall Sign
B	ATM Interior Sign
C	Window Graphics
E	Monument Sign
G	Directional
I	Mobil Canopy Signs



Landscape Plan
1" = 50'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

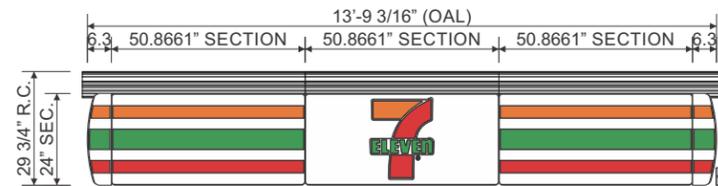
Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



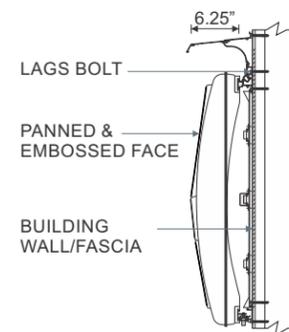
ONE (1) SET OF 24" S/F INTERNALLY ILLUMINATED WALL SIGNS (SEJ 1300 SERIES).

ELECTRICAL NOTE: EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V
ALL SIGNAGE WILL BE (MET) LISTED, (U.L.) 48STD COMPLIANT AND CARRY (MET) LABELS.

Front Elevation - SEJ Wall Sign Cabinets - Sign A1

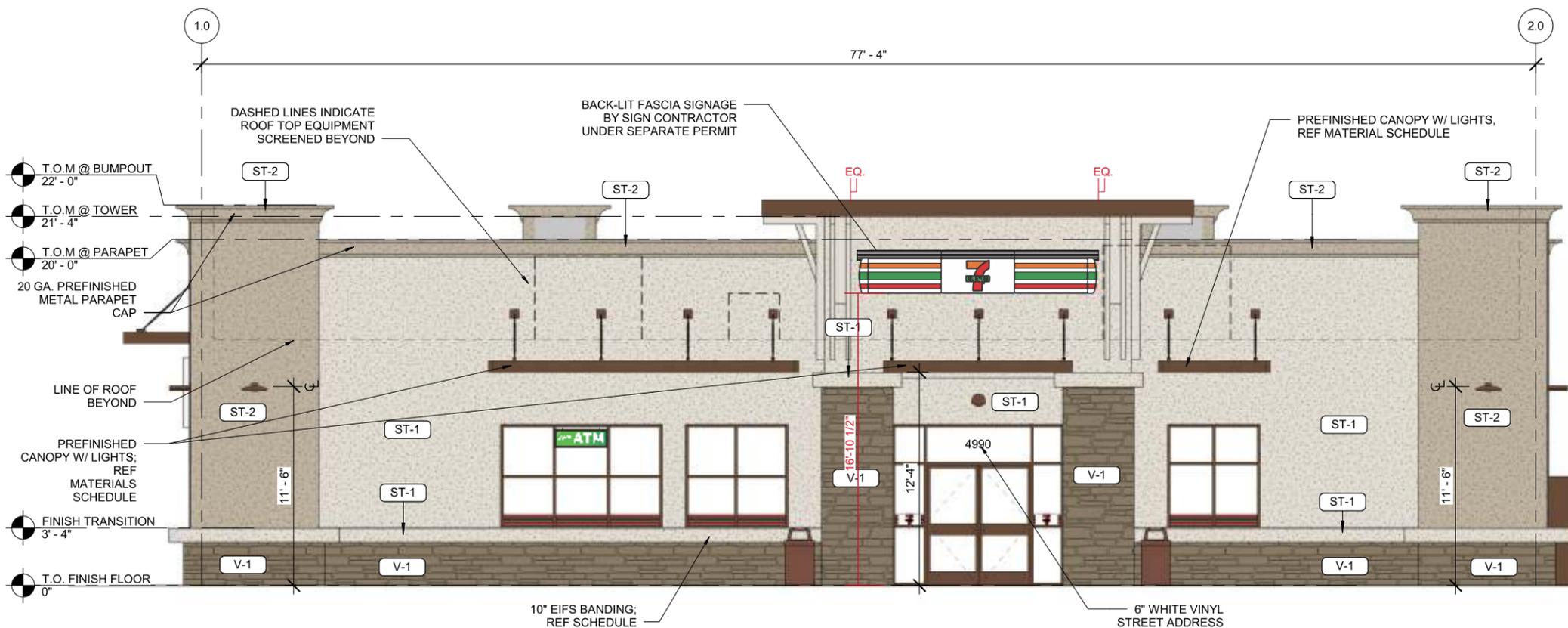
1/4" = 1'-0"

Display Square Footage(Cabinets): 27.5



Side Mounting Detail - Sign A1

NTS



Proposed West Elevation - Signs A1, B & C

1/8" = 1'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

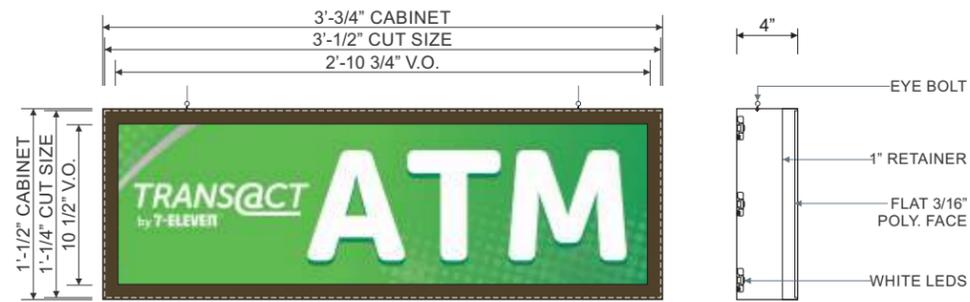
Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION/MANUAL OF STEEL CONSTRUCTION, 9TH EDITION, THE AMERICAN WELDING SOCIETY/AWS D1.1-15, THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



ONE (1) **INTERIOR ATM** INTERNALLY ILLUMINATED S/F WINDOW SIGN. 3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS. 4 DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED **313E DURANODIC BRONZE**. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: DIGITALLY PRINTED IMAGE VINYL
PAINT SPECS: 313E DURANODIC BRONZE

NOTE: ATM SIGN TO BE FABRICATED & INSTALLED BY OTHERS

Front Elevation & Side Mounting Detail - ATM S/F Window Sign - **Sign B**

1" = 1'-0"

Display Square Footage (Cabinet): **3.2**



WINDOW VINYL GRAPHICS.

VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK.

NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

Front Elevation - Typical Window Vinyl Graphics - **Sign C**

3/8" = 1'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

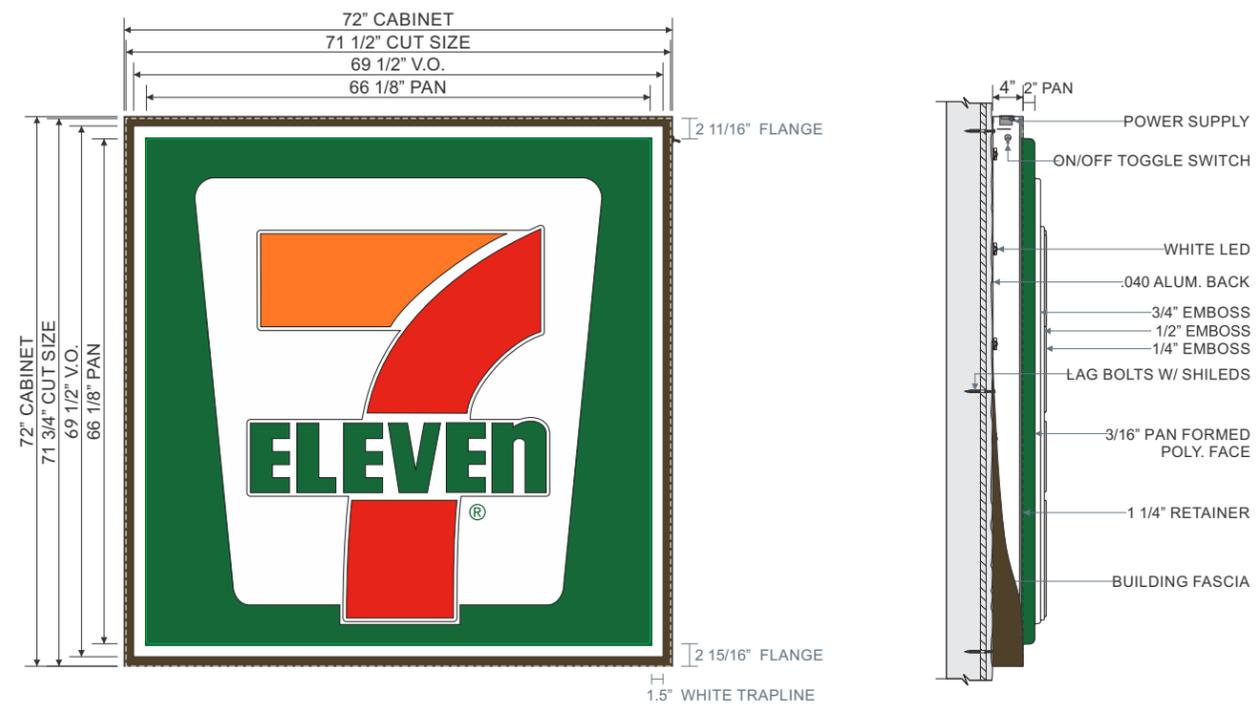
Customer Notes:

Customer Approval: _____ DATE: _____

Page: 4



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
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ONE (1) **W37** INTERNALLY ILLUMINATED S/F WALL SIGN CABINET.
 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 4" DEEP ALUM. CABINET W/ 1 1/4" RETAINERS TO BE PAINTED **DURANODIC BRONZE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN
PAINT SPECS: DURANODIC BRONZE

7-ELEVEN LOGO DIMENSIONS:
OAH: 58 1/2"
OAL: 53 7/16"

Face & Side Detail - **W37** Wall Sign Cabinet - **Sign A2**

1/2" = 1'-0"

Display Square Footage(Cabinet): **36.0**

www.harbingersign.com

CLIENT: 7-Eleven #34941 (1043570)

ADDRESS: COCONUT CREEK AND BANKS
COCONUT CREEK, FL 36529

CONTACT: DPM: Charley Carpenter RCC:

SALES ASSOC.: Rick Guarino

PROJECT MGR: Nicole Streeter

DESIGNER: Brandon Winebarger

SVE_34941_Q98414_R7

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Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

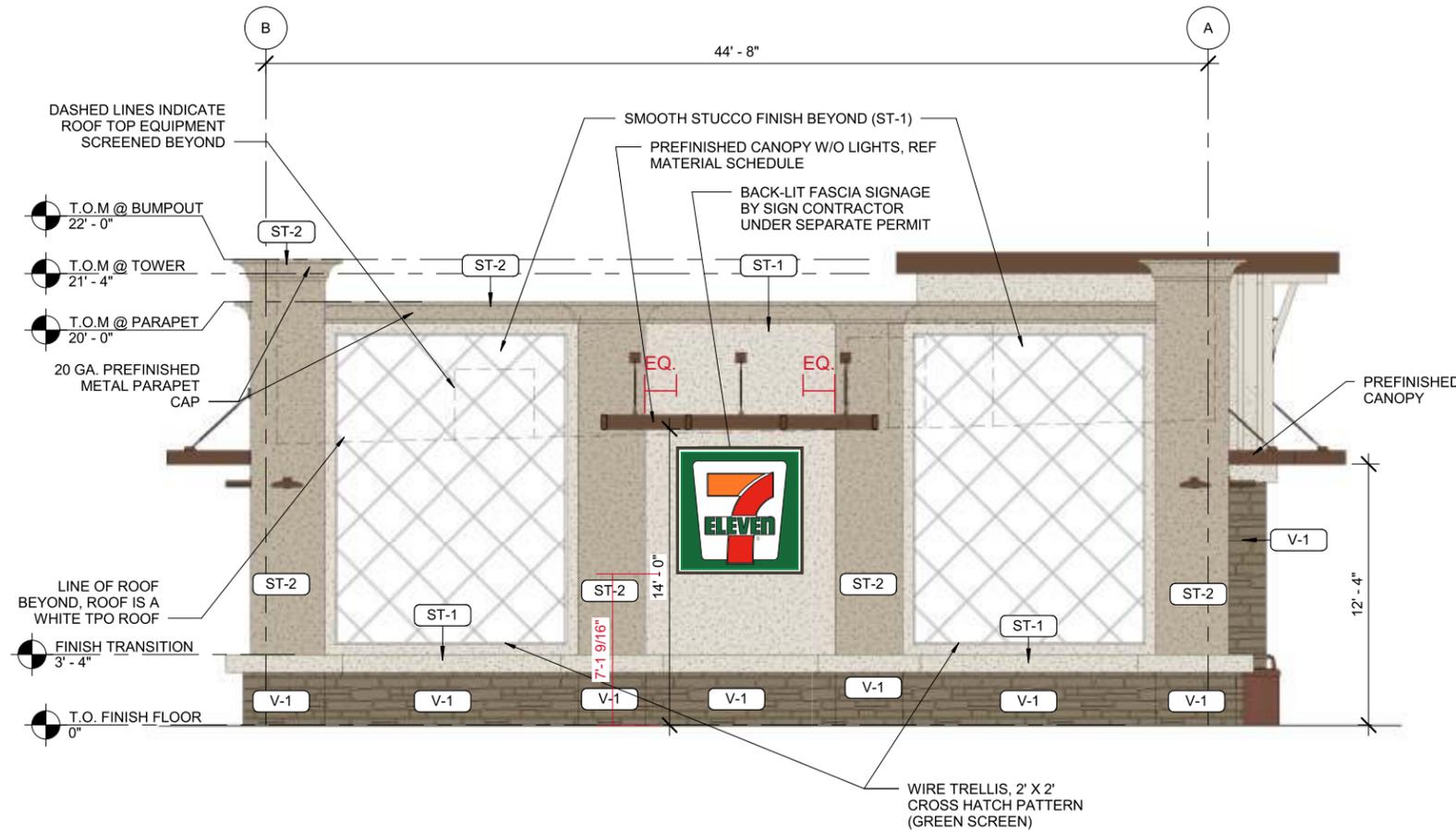
Customer Notes:

Customer Approval: _____ DATE: _____

Page: 5



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
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Code Information:	
Formula:	Linear sign area is three (3) feet in height by seventy-five (75) percent of the width of the façade to which the sign is attached.
Allowed:	99.0 sqft
Proposed:	36.0 sqft

Proposed North Elevation - Sign A2

1/8" = 1'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____

Page: 6



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION/MANUAL OF STEEL CONSTRUCTION, 9TH EDITION, THE AMERICAN WELDING SOCIETY/AWS D1.1-15, THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).

TWO (2) **CUSTOM D/F INTERNALLY ILLUMINATED DUAL BRAND (7-ELEVEN & MOBIL) SIGN CABINETS WITH RED & GREEN LEDS.**

8" DEEP EXTRUDED ALUM. CABINET WITH 2" INSET HINGED RETAINERS & 1 1/2" DIVIDER BARS TO BE PAINTED
MOBIL P8 EGGSHELL WHITE.
CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.
2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

STANDARD 7-ELEVEN M16 FACES: 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACES WITH TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.

MOBIL FACES: 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACES WITH TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.

MOBIL SYNERGY FACE SPECS: 3/16" THICK PAN FORMED CLEAR POLYCARBONATE BACK SPRAYED **PMS 485 RED THEN PMS WHITE.**
MOBIL BRAND GAS PRICE FACES: 3/16" THICK PAN FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED **PMS 293 BLUE THEN PMS WHITE W/ 3M 7725-12 BLACK VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE.**

PROPOSED WITH 12" SEP PRICE-VISION RED & GREEN LED UNITS.

7-ELEVEN VINYL SPECS:

3M 3630-44 ORANGE,

3M 3630-33 RED,

3M 3630-26 GREEN

MOBIL VINYL SPECS:

3M 3630-2590 RED,

3M 3630-8248 BLUE,

3M 7725-12 BLACK

MOBIL PAINT SPECS:

MOBIL P8 EGGSHELL WHITE,

PMS 485 C MOBIL RED,

PMS 293 C MOBIL BLUE,

PMS WHITE

PROVIDE 2 1/8" PERFORATED PANEL STRUCTURE FINISHED **P8 EGGSHELL WHITE** TO FILL/PROVIDE VENTILATION SPACE UNDERNEATH CABINET FOR AIR FLOW VENTS.

PROVIDE ALUM SHROUD BASE PAINTED W/ STUCCO

SW 7037 BALANCED BEIGE,

PROVIDE ALUM. BASE CAP PAINTED W/ STUCCO

SW 7035 AESTHETIC WHITE

PROVIDE ALUM MONUMENT CAP PAINTED W/ STUCCO

SW 7037 BALANCED BEIGE,

PROVIDE ALUM. TOPPER CAP PAINTED W/ STUCCO

SW 7035 AESTHETIC WHITE

PROVIDE 6" TALL ALUM. FCO ADDRESS NUMBERS, PAINTED

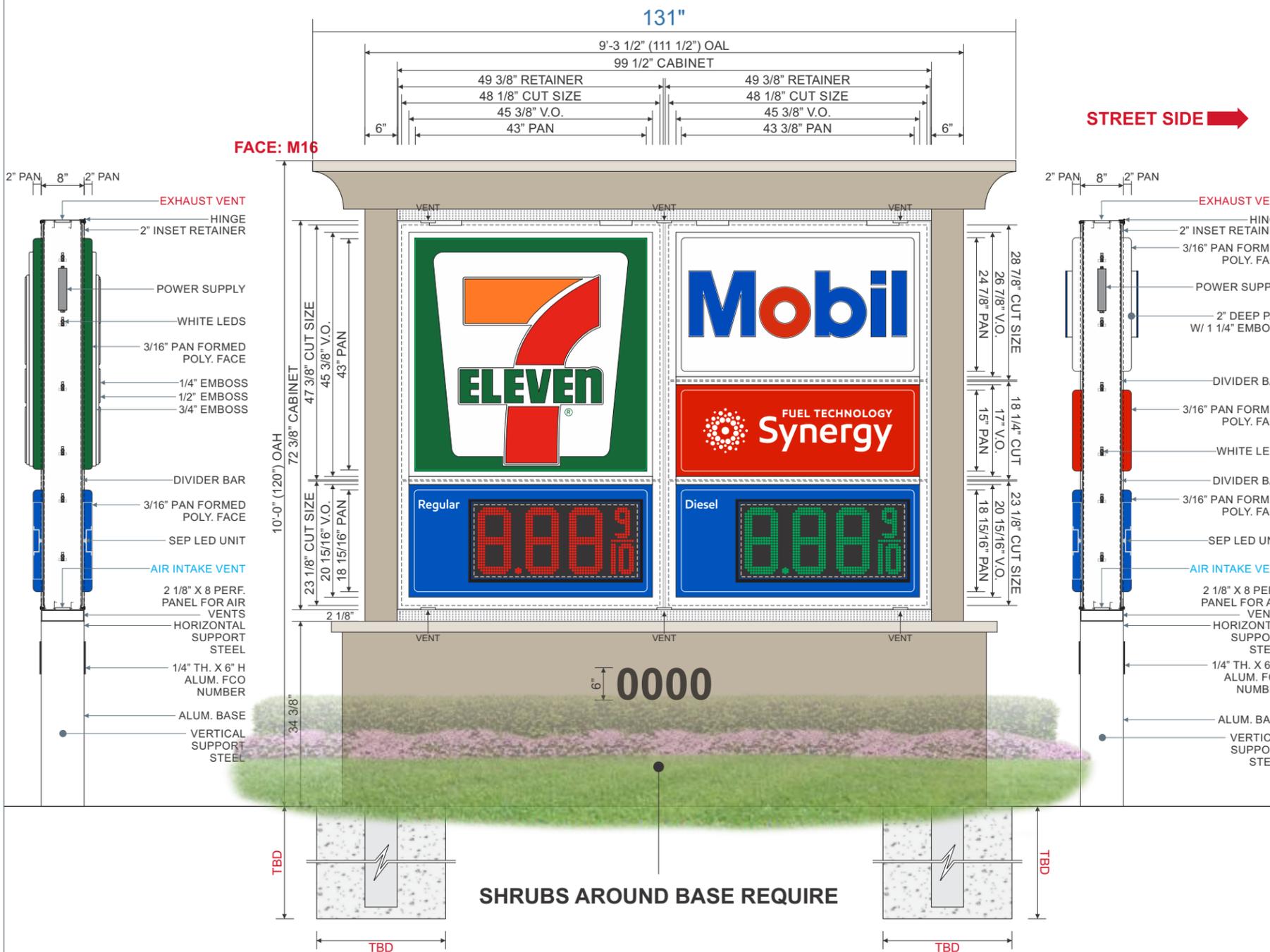
SW 7675 SEAL SKIN

NOTE: STEEL SUPPORT PIPE & ALUMINUM SKIRT TO BE PAINTED P8 EGGSHELL WHITE.

NOTE: VERTICAL STEEL SUPPORT PIPE & FOOTING TO BE SPECIFIED BY ENGINEERING & PROVIDED BY INSTALLER.

NOTE: DEDICATED 20 AMP CIRCUIT REQUIRED FOR LED GAS PRICE CABINET, MUST BE PROVIDED BY CUSTOMER.

NOTE: GROUND SIGNS EXCEED 3 FEET IN HEIGHT REQUIRED LANDSCAPING TO BE PROVIDED BY LANDSCAPE CONTRACTOR.



SHRUBS AROUND BASE REQUIRE

Code Information:

Formula: 50 sf per street frontage. The sign face area shall not exceed sixty (60) percent of the sign structure area.

Allowed:	50.0 sqft
Proposed:	50.0 sqft

Height Information:

Allowed:	10'- 0"
Proposed:	10'- 0"

Set Back Information:

Allowed:	5'- 0"
Proposed:	5'- 0"

7-ELEVEN LOGO DIMENSIONS:

OAH:	39 3/4"
OAL:	36 1/4"

SEP PRICE VISION LED UNITS:

LED UNIT SIZE:	14.284" X 31.3"
LED CHARACTER SIZE:	12.340"

Front Elevation & Side Detail - Custom Dual Brand - Monument Sign Structures - Sign E

1/2" = 1'-0"

Display Square Footage (Cabinet): **50.0**

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

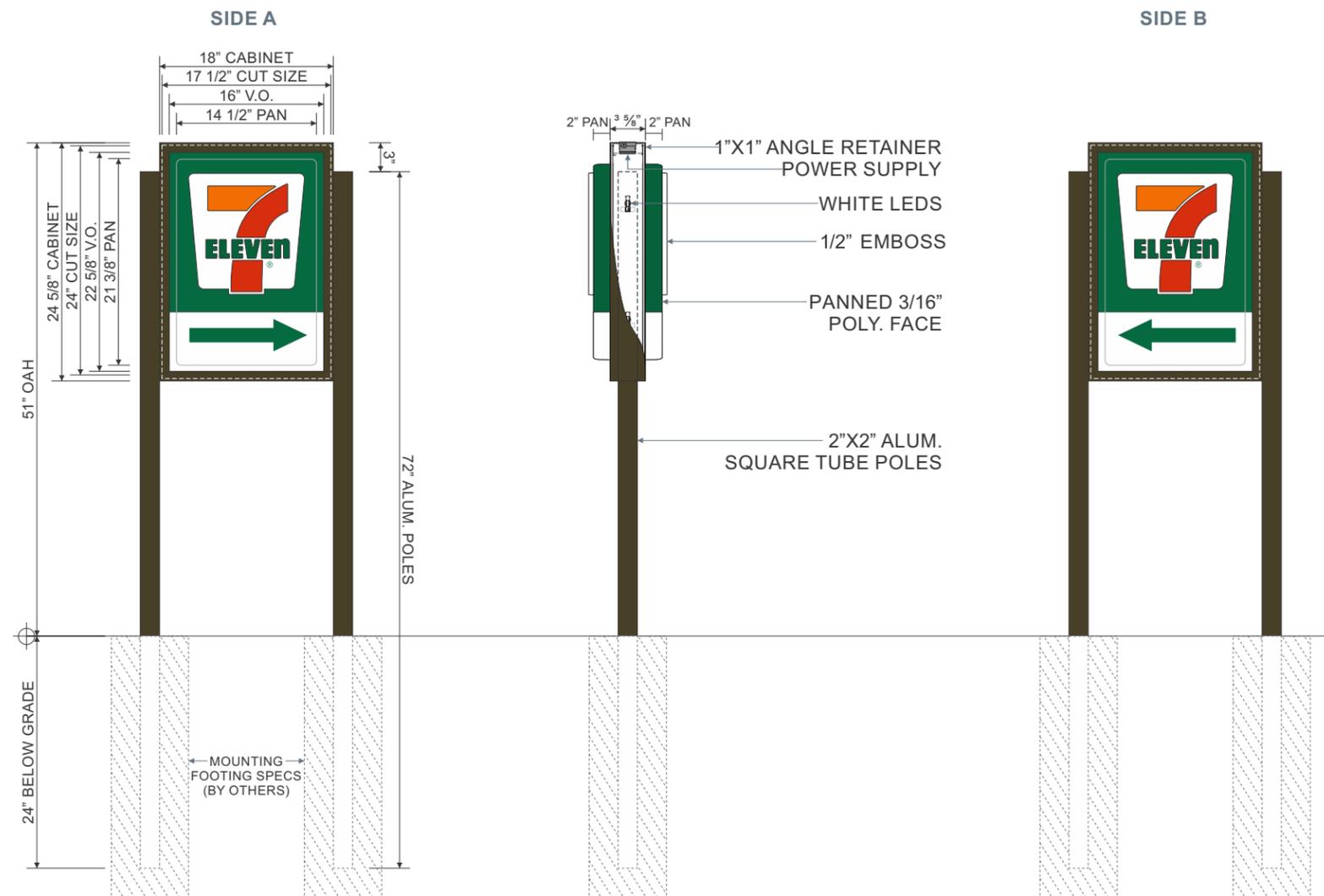
Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____



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THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



TWO (2) **STANDARD** D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN CABINETS.
3/16" THICK PAN & EMBOSSED WHITE POLYCARBONATE FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.
3 5/8" DEEP EXTRUDED ALUM. CABINET W/ 1" RETAINERS TO BE PAINTED **DURANODIC BRONZE**.
CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

NOTE: ARROWS TO ALWAYS BE FACING TOWARDS STORE.

Front Elevation & Side Detail - **Standard D/F Directional Sign Cabinet - Sign G**

3/4" = 1'-0"

Display Square Footage: **3.0 Each**

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

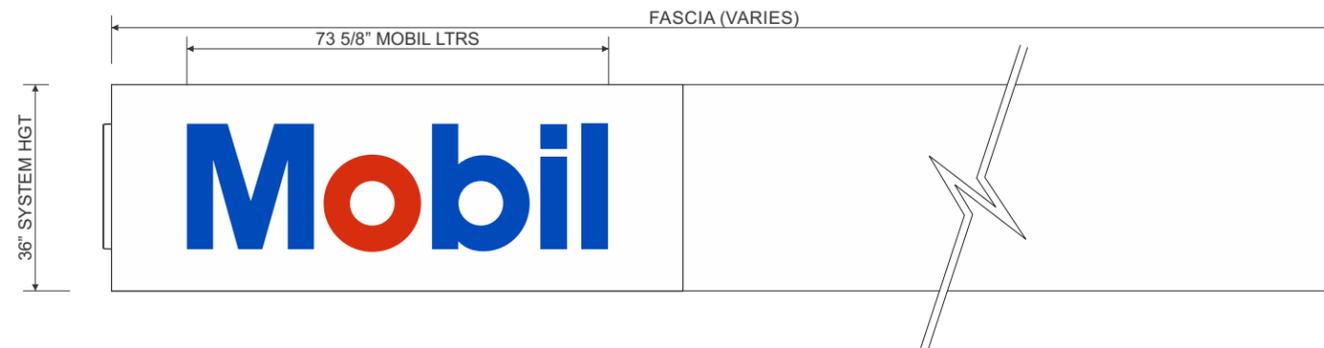
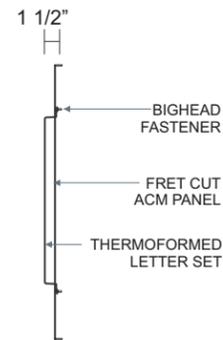
Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____



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TWO (2) 2D MOBIL ACM LOGO BOX CANOPY SIGNS.
THERMOFORMED LETTERSET MOUNTED TO ACM BOX. BOXES TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL.

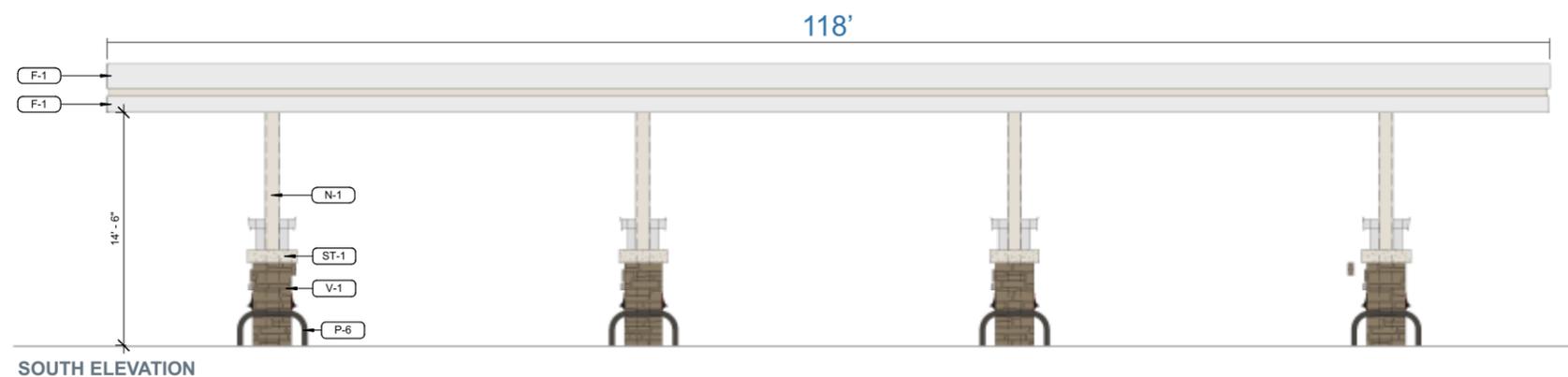
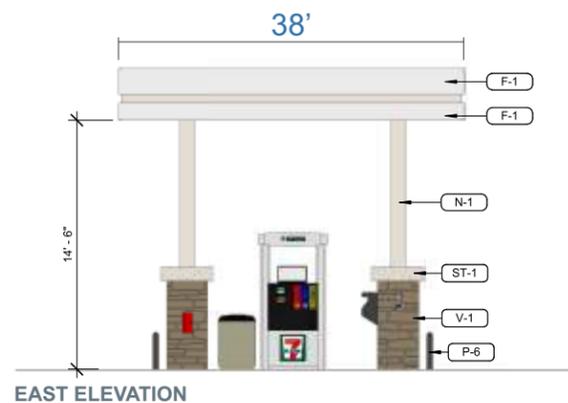
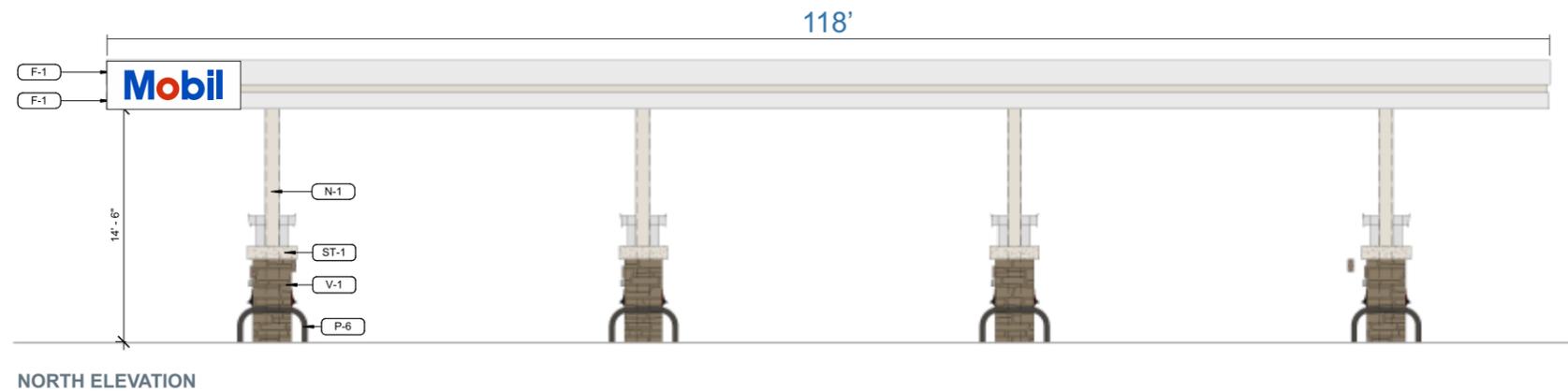
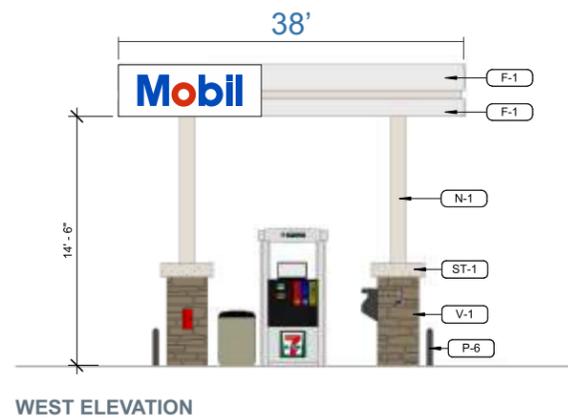
Front Elevation & Side Mounting Detail - Mobil ACM Logo Box - 2D Canopy Fascia - **Sign I1**
1/2" = 1'-0" Display Square Footage: **(Mobil Letters) 11.4**

Typical Canopy Sign - **Sign I1**
3/8" = 1'-0"

PER CODE CHECK, CAPITAL LETTER HEIGHT SHALL NOT EXCEED TWENTY-FOUR (24) INCHES.

Code Information:	
Allowed:	16.0 sqft
Proposed:	11.4 sqft

NOTE: CANOPY ELEVATIONS DO NOT MATCH WITH SITE PLAN



Front and Side Elevation (Canopy Configuration) - **Sign I**
3/32" = 1'-0"

NOTES

SOD TO BE ST. AUGUSTINE 'FLORATAM', CONTRACTOR TO DETERMINE QUANTITY.

ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 50% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.

BUBBLERS TO BE PROVIDED FOR LARGE TREES AND PALMS.

CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.

PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.

ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.

NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

CITY OF COCONUT CREEK STANDARD LANDSCAPE NOTES:
(REF. LP-202)

PLANT LIST

SHRUBS & GROUNDCOVERS				
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS
375	**	AGL	<i>Arachis glabrata</i> PERENNIAL PEANUT	4" HT; 12" SPRD; 12" O.C.
50	**	BUL	<i>Bulbine frutescens</i> BULBINE	12" HT; 12" SPRD; 12" O.C.
76	**N	CHR	<i>Chrysobalanus icaco</i> COCOPLUM	24" HT; 20" SPRD; 24" O.C.
165	**N	CON	<i>Conocarpus erectus</i> GREEN BUTTWOOD HEDGE	24" HT; 24" SPRD; 30" O.C.
640	**N	ERN	<i>Erodia littoralis</i> GOLDEN CREEPER	12" HT; 12" SPRD; 12" O.C.
368	**B	EUR	<i>Euryops pectinatus</i> BUSH DAISY	18" HT; 18" SPRD; 18" O.C.
30	**N	FOR	<i>Foresteria segregata</i> FLORIDA PRIVET	24" HT; 24" SPRD; 24" O.C.
139	**NB	HAP	<i>Hamelia patens</i> FIREBUSH	30" HT; 30" SPRD; 30" O.C.
432	*	JAS	<i>Jasminum volubile</i> WAX JASMINE	10" HT; 16" SPRD; 24" O.C.
190	**B	LMO	<i>Lantana montevidensis</i> PURPLE TRAILING LANTANA	10" HT; 18" SPRD; 12" O.C.
210	*N	MUH	<i>Muhlenbergia capillaris</i> GULF MUHLY GRASS	24" HT; 24" SPRD; 30" O.C.
165	**N	NEP	<i>Nephrolepis bisserata</i> SWORD FERN	12" HT; 12" SPRD; 24" O.C.; CERTIFIED NATIVE ONLY
102	*N	PSY	<i>Psychotria nervosa</i> WILD COFFEE	24" HT; 24" SPRD; 24" O.C.
24	**B	SLU	<i>Salvia leucantha</i> MEXICAN BUSH SAGE	24" HT; 24" SPRD; 36" O.C.
135	**NB	STJ	<i>Stachytarpheta jamaicensis</i> BLUE PORTERWEED	18" HT; 18" SPRD; 24" O.C.
15	**	TRJ	<i>Trachelospermum jasminoides</i> CONFEDERATE JASMINE VINE	6-8" HT; FULL VINE, ATTACH TO GREEN SCREEN
408	**NB	ZAM	<i>Zamia floridana</i> COONTIE	18" HT; 24" SPRD; 24" O.C.
		SOD	ST. AUGUSTINE 'FLORATAM'	SOLID SOD

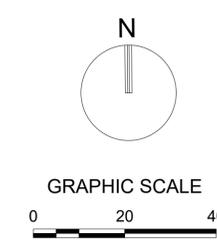
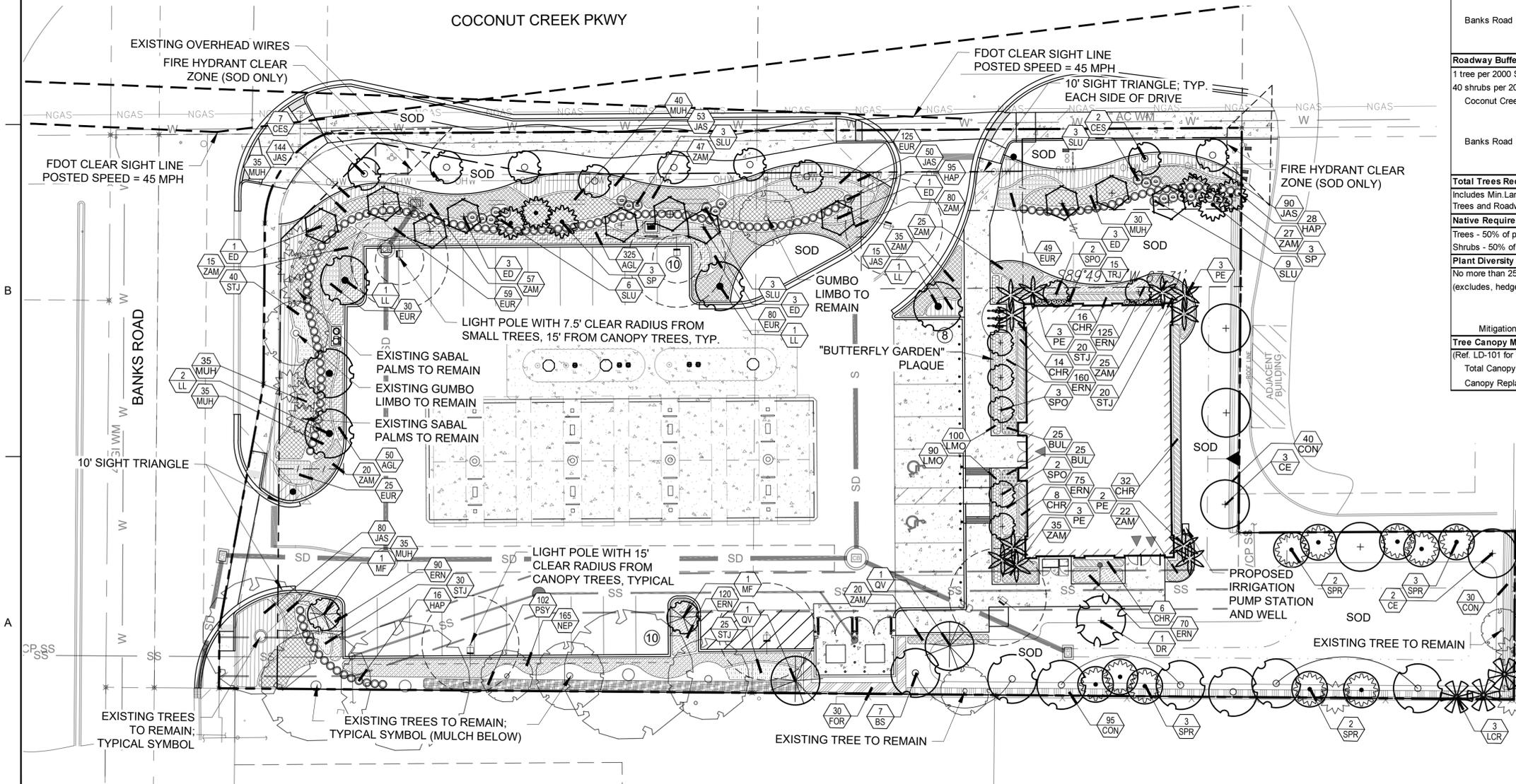
PLANT LIST

TREES					
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	REPL CATEGORY
7	**	BS	<i>Busera simaruba</i> GUMBO LIMBO	12' HT; 6' SPRD; FULL CANOPY	1
5	**	CE	<i>Conocarpus erectus</i> GREEN BUTTWOOD	12' HT; 6' SPRD; FULL CANOPY	1
9	**	CES	<i>Conocarpus erectus</i> 'Sericeus' SILVER BUTTWOOD	10' HT; 5' SPRD; FULL CANOPY	2
1	*B	DR	<i>Delonix regia</i> ROYAL POINCIANA	14' HT; 7' SPRD; FULL CANOPY	1
11	**	ED	<i>Eleocharis decipiens</i> JAPANESE BLUEBERRY	10' HT; 5' SPRD; FULL CANOPY; NATURAL FORM	
5	**	LL	<i>Lysiloma latisiliquum</i> WILD TAMARIND	14' HT; 7' SPRD; FULL CANOPY	2
2	**	MF	<i>Myrcianthes fragrans</i> SIMPSON STOPPER	10' HT; 5' SPRD; MULTI-STEM, FULL CANOPY	3
7	**B	SPO	<i>Senna polyphylla</i> DESERT CASSIA	8' HT; 4' SPRD; FULL CANOPY	2
2	**	QV	<i>Quercus virginiana</i> LIVE OAK	14' HT; 7' SPRD; FULL CANOPY	1
PALMS					
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	
3	**	LCR	<i>Livistona chinensis</i> (RELOCATED) CHINESE FAN PALM	RELOCATED FROM ON-SITE; REF. LD-101	
11	**	PE	<i>Ptychosperma elegans</i> SOLITAIRE PALM	8' & 14' CT; STAGGERED HEIGHTS	
6	**	SP	<i>Sabal palmetto</i> CABBAGE PALM	22'-26" OA; STAGGERED HTS	
10	**	SPR	<i>Sabal palmetto</i> (RELOCATED) CABBAGE PALM	RELOCATED FROM ON-SITE; REF. LD-101	

N DENOTES NATIVE SPECIES
 ** DENOTES HIGH DROUGHT TOLERANT SPECIES
 * DENOTES MODERATE DROUGHT TOLERANT SPECIES
 B BUTTERFLY PLANT

CITY OF COCONUT CREEK - LANDSCAPE REQUIREMENTS			
Zoning	B-3		
Net Site Area	57,369 SF		
Total PerVIOUS Area	26,532 SF		
Minimum Landscape Requirements Sec. 13-443 (4)	REQUIRED	PROVIDED	
1 Tree per 1000 SF (not structures & parking)	26,532 SF	27 TREES	27 TREES
Existing Trees	3	Shade Trees	
Proposed Trees	24	Trees + Palms @ 3:1	
5 shrubs per 1000 SF		133 SHRUBS	1,045 SHRUBS
Building Foundation Sec. 13-443 (7) d	REQUIRED	PROVIDED	
Foundation Planting - Tiered landscaping required between the Building and VUA area			
West Façade	78 LF		
1 tree per 40 lf		2 TREES	2 TREES
20 shrubs per 40 lf		39 SHRUBS	97 SHRUBS
30 groundcovers per 40 lf		59 GDCVRS	690 GDCVRS
North Façade	46 LF		
1 tree per 40 lf		2 TREES	2 TREES
20 shrubs per 40 lf		23 SHRUBS	97 SHRUBS
30 groundcovers per 40 lf		35 GDCVRS	690 GDCVRS
Perimeter Trees Sec. 13-443 (10)	REQUIRED	PROVIDED	
1 tree per 40 LF (+ continuous hedge)			
South Boundary:	400 LF	10 TREES	10 TREES
Existing Trees:	5	Shade Trees	
Proposed Trees:	5	Shade Trees	
East Boundary:	177 LF	5 TREES	5 TREES
Existing Trees:	1	Shade Trees	
Proposed Trees:	4	Shade Trees	
Interior VUA Landscape Requirement Sec. 13-443 (12)	REQUIRED	PROVIDED	
Total VUA Impervious Area	22,565 SF		
less parking space area of 300sf/space	36 SPACES		
Paved Area:	11,765 SF		
1 sf Landscape per 100 sf Paved Area		118 SF	26,532 SF
Parking Islands - 1 tree per island		6 TREES	6 TREES
Street Trees Sec. 13-443 (13)	REQUIRED	PROVIDED	
1 tree per 40 LF (30 LF if overhead wires present)			
Coconut Creek Parkway (overhead wires)	254 LF	9 TREES	9 TREES
Existing Trees:	0		
Proposed Trees:	9		
Banks Road	138 LF	4 TREES	4 TREES
Existing Trees:	3	(1 canopy, 3 Palms@3:1)	
Proposed Trees:	1		
Roadway Buffer Requirement Sec. 13-443 (15)	REQUIRED	PROVIDED	
1 tree per 2000 SF of total land area			
40 shrubs per 2000 SF plus continuous hedge (min. 3 tiers)			
Coconut Creek Parkway (overhead wires)	6,403 SF	4 TREES	4 TREES
Existing Trees:	0	Shade Tree	129 SHRUBS
Proposed Trees:	4	Small / Medium Trees	207 SHRUBS
Banks Road	2,266 SF	2 TREES	2 TREES
Existing Trees:	1	3 Palms @ 3:1	46 SHRUBS
Proposed Trees:	1	Shade Trees	152 SHRUBS
Total Trees Required	REQUIRED	PROVIDED	
Includes Min.Landscape, Bldg Foundation, Perimeter, Interior VUA, Street Trees and Roadway Buffer Trees	71 TREES	72 TREES	
Native Requirement Sec. 13-444 (c)	REQUIRED	PROVIDED	
Trees - 50% of proposed trees	40 TREES	46 TREES	
Shrubs - 50% of proposed shrubs	1,771 SHRUBS	2,070 SHRUBS	
Plant Diversity Sec. 13-444 (c)	REQUIRED	PROVIDED	
No more than 25% of proposed plant material can be the same species (excludes, hedges, sod & native palms)			
79 Total Trees & Palms =	19 Max of any one species		
3542 Total Shrubs & Gdcvr =	869 Max of any one species		
Mitigation Species Required: (21-50 Repl Trees Required)	4 SPECIES	8 SPECIES	
Tree Canopy Mitigation Sec. 13-448	REQUIRED	PROVIDED	
(Ref. LD-101 for Tree Disposition List and Canopy Coverage)			
Total Canopy Loss	4,562 SF		
Canopy Replacement Provided		8,450 SF	

COCONUT CREEK PKWY



301 East Florida Boulevard
Pompano Beach, Florida 33060-6643

2312 S. Andrews Ave.
Fort Lauderdale, Florida 33316

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED
 1ST SUBMITTAL DATE: FEB. 2019
 DRAWN BY: KS
 DESIGNED BY: MP
 CHECKED BY: MP

MICHAEL J. PHILLIPS, RLA
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

SHEET TITLE
LANDSCAPE PLAN

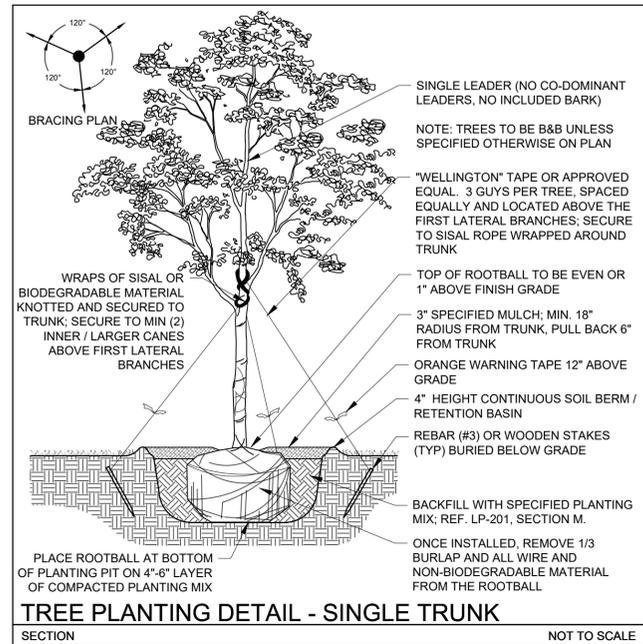
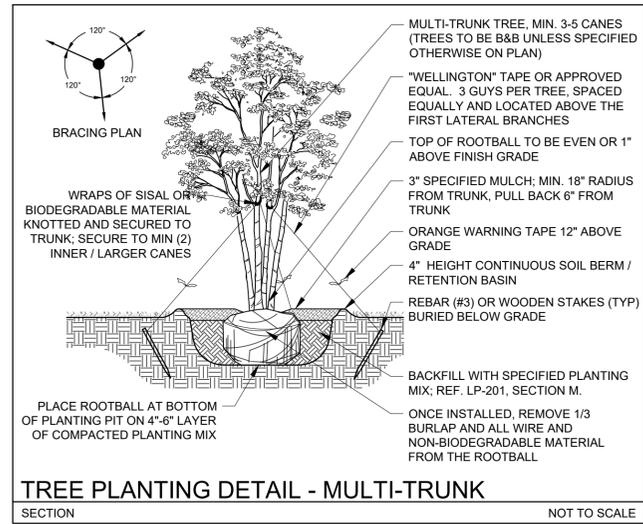
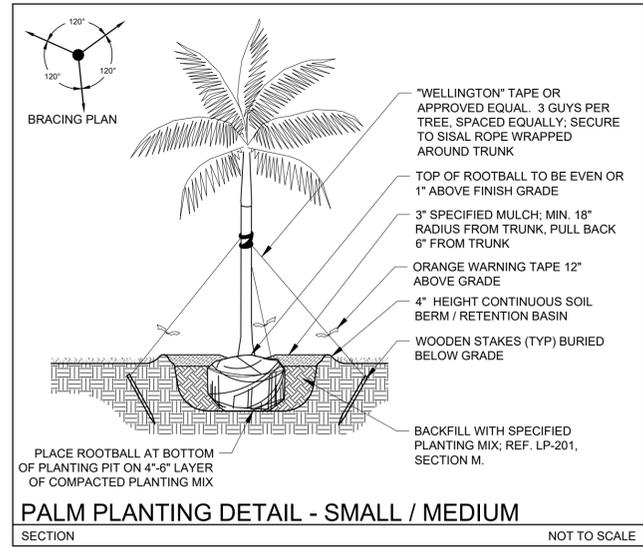
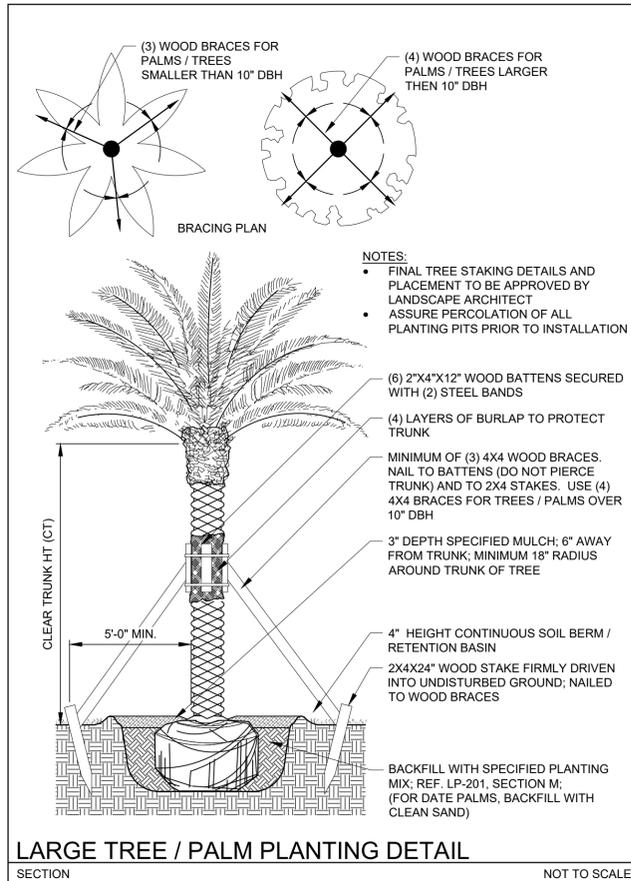
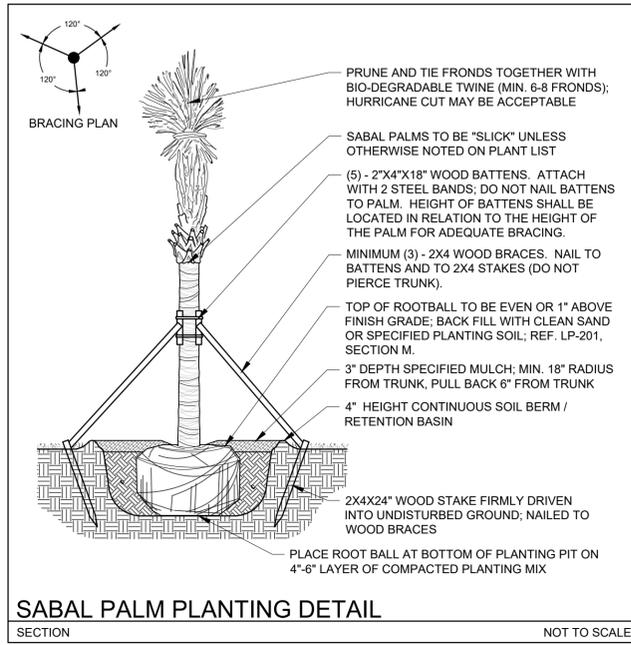
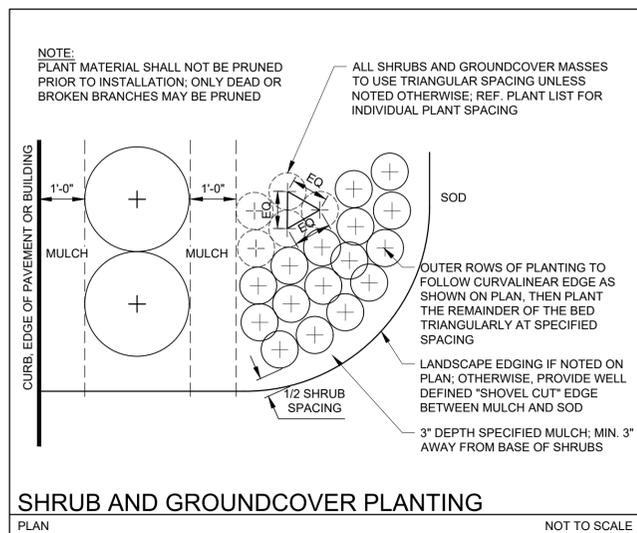
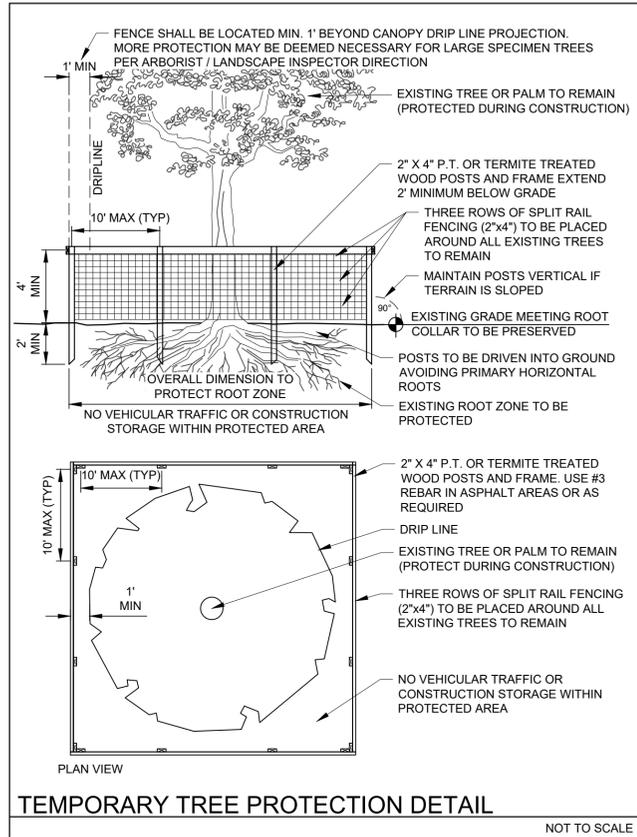
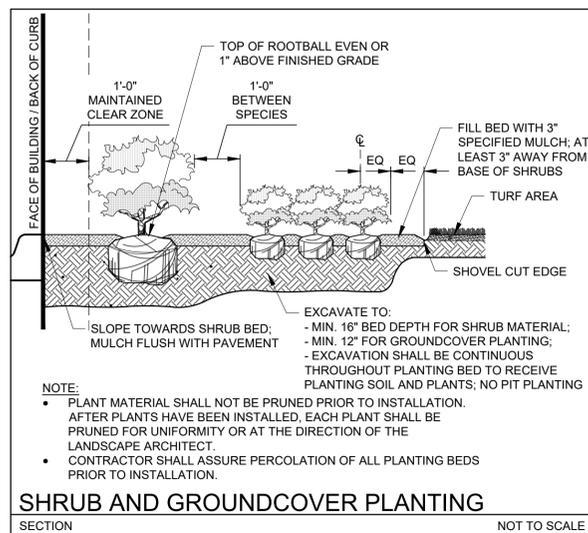
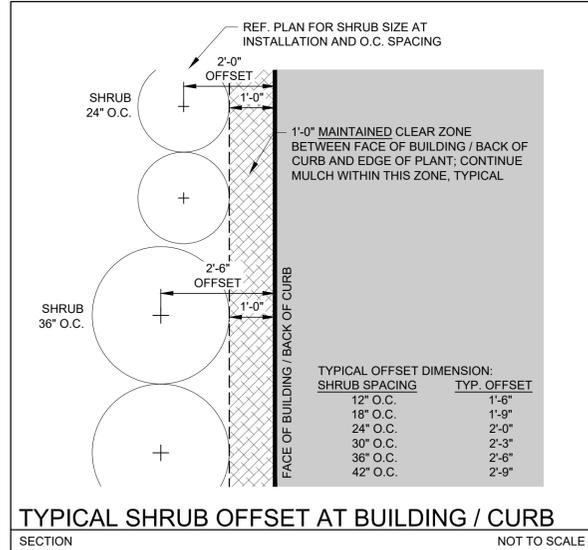
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LP-101

SHEET of

PROJECT NO. **09725.64**

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- NOTE:**
- REF. LP-201-LP-202, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
 - ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.





301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

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Fort Lauderdale, Florida 33316

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BID / CONTRACT NO.:

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
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7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE:	AS NOTED
1ST SUBMITTAL DATE:	FEB. 2019
DRAWN BY:	KS
DESIGNED BY:	MP
CHECKED BY:	MP

**LANDSCAPE
DETAILS**

SHEET NUMBER
LP-501

SHEET of

PROJECT NO. **09725.64**

Drawing name: H:\09725.64 - 7-11\043370\Coconut Creek, FL - C:\ghb\l\landscape\architecture\CAD\09725.64-LP-501.dwg Layout Name: LP-501 Plotted by: KSchuler Plotted on: Sep 25, 2019 4:03pm

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B

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KEITH

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2312 S. Andrews Ave.
Fort Lauderdale, Florida 33316

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
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4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED

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DESIGNED BY: MP

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MICHAEL J. PHILLIPS, RLA
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

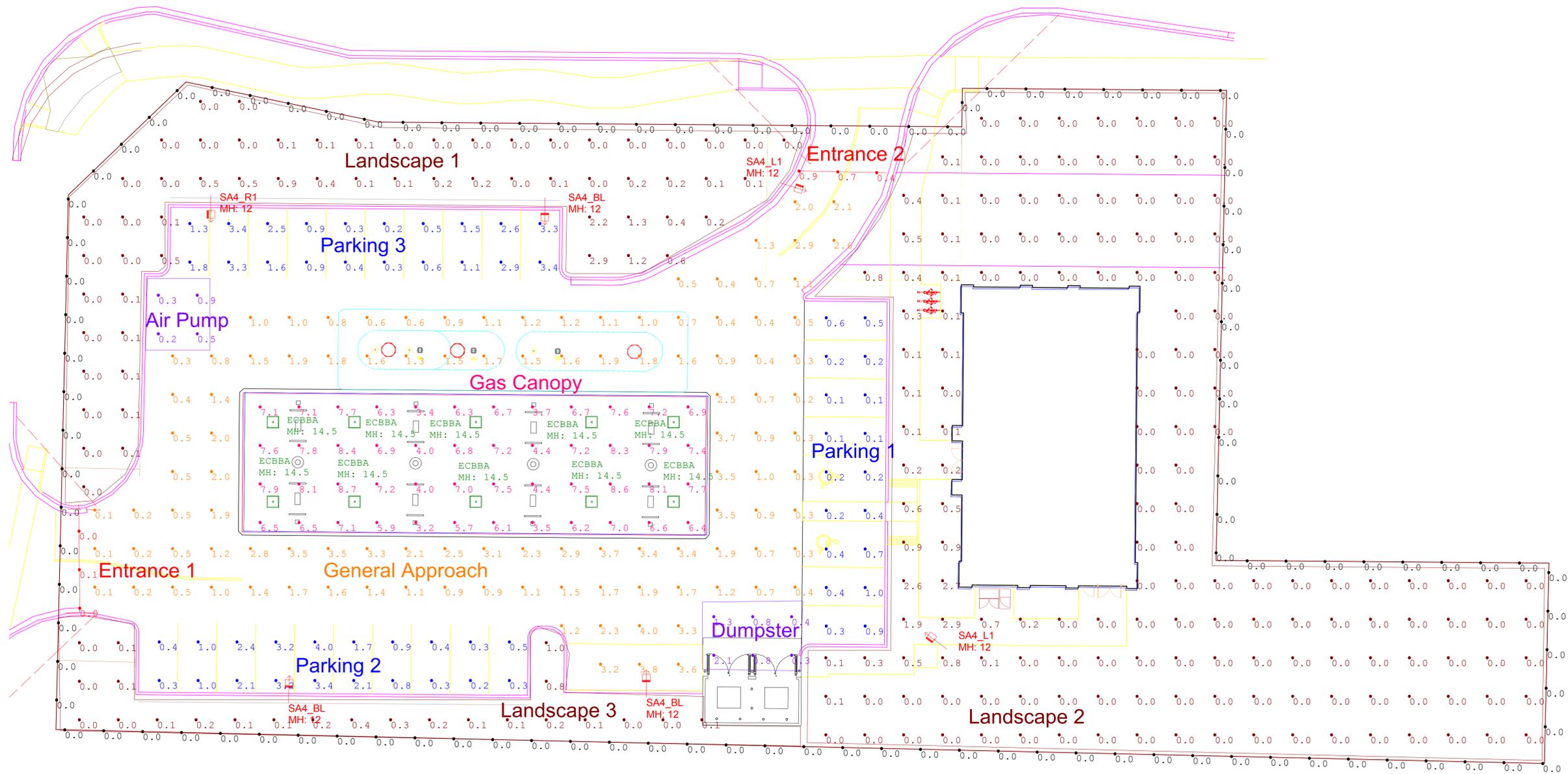
LP-202

SHEET of

PROJECT NO. 09725.64

CITY OF COCONUT CREEK STANDARD LANDSCAPE NOTES:

- ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED IN THE CITY OF COCONUT CREEK LAND DEVELOPMENT CODE. PLANS ARE INCOMPLETE WITHOUT WRITTEN NOTES AND SPECIFICATIONS.
- ALL PLANTING MATERIAL SHALL MEET OR EXCEED FLORIDA GRADE #1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. TREES SHALL NOT BE TIPPED, TOPPED, OR SHAPED PRIOR TO INSTALLATION.
- LANDSCAPE SHALL BE PLACED TO EDGE OF ABUTTING STREETS, CANALS, LAKES OR OTHER LANDS.
- ALL MECHANICAL EQUIPMENT, AIR CONDITIONING, IRRIGATION PUMP STATIONS AND EQUIPMENT, FPL TRANSFORMERS, POOL PUMPS, ETC., MUST BE SCREENED ON THREE (3) SIDES BY LANDSCAPE SHRUBS.
NOTE: THE QUANTITY OF SCREENING SHRUBS IS IN ADDITION TO THE REQUIRED NUMBER OF SHRUBS AS PROVIDED IN THE CODE CALCULATION TABLE. ALL SCREENING SHRUBS SHALL BE PLANTED FOR PROPER OPERATION OF EQUIPMENT BEING SCREENED AND/OR PER THE REQUIREMENTS OF THE UTILITY AS NECESSARY. ALL HEDGE MATERIAL REQUIRED FOR SCREENING PURPOSES SHALL BE PLANTED WITH BRANCHES TOUCHING. ADJUST ON-CENTER SPACING AS NECESSARY AND/OR PROVIDE ADDITIONAL PLANTS TO PROVIDE AN ADEQUATE SCREEN.
- SIGHT DISTANCE CONCERNS MUST BE MAINTAINED FOR CLEAR SIGHT VISIBILITY FROM THIRTY (30) INCHES TO SEVENTY-TWO INCHES. TREE TRUNKS EXCLUDED. MEASUREMENT SHALL BE MADE FROM TOP OF ROOT BALL PLANTED AT PROPER ELEVATION.
- GUYING/STAKING PRACTICES SHALL NOT PERMIT NAILS, SCREWS, WIRES, ETC., TO PENETRATE OUTER SURFACES OF TREES, PALMS OR OTHER PLANT MATERIAL. TREES, PALMS AND PLANT MATERIAL REJECTED DUE TO THIS PRACTICE SHALL BE REPLACED WITH THE INSPECTOR ON SITE.
- BURLAP MATERIAL, WIRE CAGES, PLASTIC/CANVAS STRAPS, ETC., MUST BE CUT AND REMOVED FOR THE TOP ONE-HALF (1/2) DEPTH OF THE ROOT BALL. TREES AND SHRUBS GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE SUCH MATERIAL REMOVED ENTIRELY PRIOR TO PLANTING THE TREE OR SHRUB.
- ALL PLANT MATERIAL SHALL BE FREE OF PESTS, INSECTS, DISEASE, WEEDS, ETC.
- ALL REQUIRED LANDSCAPE MATERIAL SHALL BE INSTALLED USING A PLANTING SOIL MIX COMPRISED OF A TYPE APPROPRIATE TO THE INDIVIDUAL PROPOSED PLANT MATERIAL AND THE NATIVE SOIL FOUND ON THE SITE.
- ALL PLANT MATERIAL SHALL BE PLANTED AT THE PROPER DEPTH, AS ORIGINALLY GROWN AND/OR SO THE TOP OF THE ROOT BALL IS FLUSH OR SLIGHTLY ABOVE FINISHED GRADE IMMEDIATELY AFTER PLANTING. ALL TREES SHOULD PROVIDE TRUNK TAPER WHEN PROPERLY PLANTED AT THE CORRECT PLANTING DEPTH.
- ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING TO ELIMINATE AIR POCKETS IN THE ROOT ZONE AREA.
- UPON COMPLETION OF WORK, THE SITE SHALL BE CLEARED OF ALL DEBRIS, SUPERFLUOUS MATERIALS, AND EQUIPMENT CAUSED BY THIS PERMIT TO THE SATISFACTION OF THE INSPECTOR.
- REFER TO COCONUT CREEK FIRE EQUIPMENT CLEAR ZONE DIAGRAM TO MAINTAIN A SAFE ZONE FRONTING FIRE HYDRANTS.
- DO NOT PLANT TREES, SHRUBS OR GROUNDCOVER WITHIN ELECTRIC METER CLEAR ZONE. PROVIDE A SAFE ZONE AS DESCRIBED BY THE ELECTRICAL INSPECTOR.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH 50% OVERLAP (MINIMUM) USING RUST FREE WATER. EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER AN IMPERVIOUS SURFACE SUCH AS A SIDEWALK, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 P.M. TO 8:00 A.M. ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
- IRRIGATION PERMITS AND PLANS SHALL BE SUBMITTED FOR APPROVAL AT TIME OF BUILDING PERMITS.
- ALL NON-SINGLE FAMILY OR DUPLEX IRRIGATION SYSTEMS OTHER THAN CITY WATER SYSTEMS SHALL REQUIRE A SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE PERMIT PRIOR TO ISSUANCE OF AN IRRIGATION PERMIT AND INSTALLATION OF THE IRRIGATION SYSTEM AS REQUIRED.
- ALL SITE AMENITIES TO INCLUDE SITE STREET LIGHTS, LANDSCAPE COMMON OPEN SPACE, IRRIGATION COMMON OPEN SPACE, BUFFERS, BERMS, LANDSCAPE ENTRY FEATURES, ETC. LEADING UP TO AND INCLUDING THE MODEL CENTER AND/OR FIRST CERTIFICATE OF OCCUPANCY MUST BE COMPLETED AND FUNCTIONAL PRIOR TO ISSUANCE OF THE FIRST REQUESTED CERTIFICATE OF OCCUPANCY.
- THE HEIGHT OF ALL REQUIRED, DESIGNED AND INSTALLED BERMS SHALL BE FROM THE HIGHEST ADJACENT POINT WHETHER IT IS THE SIDEWALK, PARKING AREA, VEHICULAR USE AREA, SURROUNDING GROUND, ETC. WHERE A BERM ABUTS A SIDEWALK, THERE SHALL BE A ONE (1) FOOT LEVEL SOD AREA ADJACENT TO THE SIDEWALK PRIOR TO THE START OF INCLINE FOR THE BERM.
- AN INSPECTION IS REQUIRED PRIOR TO THE BACKFILLING OF TREES/PALMS IN ALL PARKING MEDIANS AND ISLANDS.



Scale: 1 inch= 15 Ft.



THIS IS A D SIZE SHEET. THE NOTED SCALE IS NOT VALID IF PRINTED AS ANY OTHER SIZE.

Calculated light levels are based on specific information that has been supplied to GE. Any differences in luminaire installation, lighted area geometry and construction in the lighted area may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacturers will affect results.
Ref: IES LM-41-06

Provided for:
John Downing
CURRENT, POWERED BY GE

Provided By:
Application Solution Center
Current, Powered by GE
NELA Park, East Cleveland OH
P: 1-216-266-4660

Designer: Joshua Watkins
Date: 1/17/2019
GE Drawing #: A190217-7-Eleven#34941 Coconut Creek, FL V4.AGI

7-ELEVEN STORE #34941
4990 & 4960 Coconut Creek Pkwy, Coconut Creek, FL
MOUNTING HEIGHT AS NOTED
MAINTAINED LIGHTING LEVELS INDICATED

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Arr. Lum. Lumens
	10	ECBBA	SINGLE	1.000	ECBB0A5F5501AWHTE	35	4230
	2	SA4_L1	SINGLE	1.000	1-EASC0A4F550DC___D with ELSEASXRS1BLCK (Left)	44	2400
	1	SA4_R1	SINGLE	1.000	1-EASC0A4F550DC___D with ELSEASXRS1BLCK (Right)	44	2400
	3	SA4_BL	SINGLE	1.000	1-EASC0A4F550DC___D with ELSEASXRBLBLCK	44	4000

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Air Pump	Illuminance	Fc	0.48	0.9	0.2	2.40	4.50
Dumpster	Illuminance	Fc	0.95	2.1	0.3	3.17	7.00
Entrance 1	Illuminance	Fc	0.03	0.1	0.0	N.A.	N.A.
Entrance 2	Illuminance	Fc	0.67	0.9	0.4	1.68	2.25
Gas Canopy	Illuminance	Fc	6.63	8.7	3.2	2.07	2.72
General Approach	Illuminance	Fc	1.48	4.0	0.1	14.80	40.00
Landscape 1	Illuminance	Fc	0.23	2.9	0.0	N.A.	N.A.
Landscape 2	Illuminance	Fc	0.12	2.9	0.0	N.A.	N.A.
Landscape 3	Illuminance	Fc	0.18	1.0	0.0	N.A.	N.A.
Parking 1	Illuminance	Fc	0.37	1.0	0.1	3.70	10.00
Parking 2	Illuminance	Fc	1.43	4.0	0.2	7.15	20.00
Parking 3	Illuminance	Fc	1.64	3.4	0.2	8.20	17.00
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

City ordinances:
Property line cannot exceed 0FC

Due to these ordinances, this design does not meet 7-Eleven spec.

C1 mount to be used for all pole fixtures, which will prevent them from being tilted.

There are no after hours for this store as it is open 24/7

Lighting Compliance Chart			
Lamp Descriptions	QTY	Luminaire Lumens	Total
44w LED	3	2400	7200
35w LED	10	4230	42300
44w LED	3	4000	12000
TOTAL LUMINAIRE LUMENS			61500
Site allowed Total Lumes (lumens per SF x hardscape)			171173
PROJECT IS COMPLIANT			YES

Standard 7-Eleven Lighting Specification	
Entrances	10FC AVG
Air Pump	10FC
Gasoline Canopy	30FC
Dumpster	10FC
Parking	10FC
General Approach	3FC
Sidewalk	NO SPEC
Property Line	NO SPEC
* Levels designed to be at initial output or 1.0LLF	



current
powered by GE

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Ref: ES LM-01-06

Provided for:
John Downing
CURRENT, POWERED BY GE

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7-ELEVEN STORE #34941
4990 & 4960 Coconut Creek Pkwy, Coconut Creek, FL
MOUNTING HEIGHT AS NOTED
MAINTAINED LIGHTING LEVELS INDICATED

General Symbols

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Centerline & Baseline of Survey or Construction, Building Access (ADA), Building Access (NON-ADA), Driveway Turnout Identification, Sidewalk Curb Ramp, Proposed Section Marker, Flag Pole, GPS Point, Hay Bales, Mail Box, Major Contour Elevation, Minor Contour Elevation, Parking Meter, Property Line, Grade Elevation, Top Of Curb Elevation/Pavement Elevation, Soil Test Boring Hole, Survey Bench Mark.

Line Types

Table with 3 columns: Existing, Proposed, Description. Includes symbols for County Bound, Demolition Line, Easement Line, Property Line, Limited Access Line/Non-Vehicular Access, Railroad, Right Of Way, Canal Or Drainage Ditch, Shore Line, Tree Line, Aerial Communication Line, Underground Communication Line, Underground Storm Drain Line, Underground Sanitary Line, Aerial Electric Line, Underground Electric, Underground Water Line, Underground Non Potable Water Line, Underground Force Main, Gate, Chain Link Fence, Wood Fence, Metal Rail Fence, Silt Fence, Staked Turbidity Barrier, Turbidity Barrier, Guard Rail, Roadway Centerline, 2 - 4 Skip, 3 - 9 Skip, 6 - 10 Skip, 10 - 30 Skip, 10 - 10 - 20 Skip, Curb, Curb And Gutter.

Landscaping

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Bush, Tree, Palm Tree.

Paving and Grading

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Flow Directional Arrow, Pavement Marking Arrows, Stop Bar, Concrete Sidewalk, Jogging Path, Pavement Area, Existing Pavement/Concrete/ Landscape Removal Area, Milling And Resurfacing, Detectable Warning (Truncated Domes) Per Florida Accessibility Code, Soil Tracking Prevention Device.

Drainage / Utilities

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Catch Basin, Yard Drain, Exfiltration Trench, Catch Basin With Filter Fabric Insert, Curb Type 5, Curb Type 6, Pipe Culvert - Mitered End Section, Pipe Culvert - Straight Endwall, Pipe Culvert - U - Type Endwall, Manhole - Communication, Electric, Gas, Dm, San Sew, Valve Box - Gas, San, Sew, Water, Non-Potable Water, 22.5 degree Bend, 45 degree Bend, 90 degree Bend, Utility Crossing, Fire Hydrant, Proposed Bacteriological Sampling Point, Pump Station, Grease Trap, Septic Tank, Drainage Well, Monitoring Well, Water Well, Sanitary Sewer Cleanout, Back Flow Preventor, Junction Box, Electric Handhole, Electric Meter, Water Meter, Gate Valve, Guy wire, Light Pole, Relocated Or Adjusted Light Pole, Wood Power Pole, Concrete Utility Pole, Traffic Signal Pole (Concrete, Wood, Metal), Pedestrian Signal Head (Pole Or Pedestal Mounted), Post Mounted Sign, Street Sign, High Mast Lighting Tower, Controller Cabinet (Base Mounted), Controller Cabinet (Pole Mounted), Traffic Signal Head (Span Wire Mounted), Traffic Signal Head (Pedestal Mounted), Traffic Signal Head (Mast Arm Mounted).

N: 623025.4322
E: 850262.1786
Coordinate values shown on proposed improvements are relative to the coordinate values indicated on the Right-of-Way, property corners or reference monument

Table with 2 columns: General, Abbreviations. Lists various engineering abbreviations such as AADT, ABAN, ADJ, APPROX., ACCM PIPE, BIT., BC, BD., BL, BLDG, BM, BO, BOS, BR., CAP, CB, CBCI, CC, CCM, CEM, CI, CIP, CLF, CL, CMP, CO., CONC, CONT, CONST, CR GR, DHV, DI, DIA, DIP, DWY, ELEV (OR EL.), EMB, EOP, EXIST (OR EX), EXC, F&C, F&G, FDN., FLDSTN, GAR, GD, GI, GIP, GRAN, GRAV, GRD, GV, HDW, HMA, HOR, HYD, INV, JCT, L, LB, LP, LT, MAX, MB, MEG, MH, MIN, NIC, NO., PC, PCC.

Abbreviations Continued

Table with 2 columns: Abbreviations Continued. Lists abbreviations such as P.G.L., PI, POC, POT, PRC, PROJ, PROP, PT, PVC, PVI, PVT, PVMT, PWW, R, R&D, RCP, RD, RDWY, REM, RET, RET WALL, ROW, RR, R&R, RT, SHLD, SMH, ST, STA, SSD, SW, T, TAN, TEMP, TC, TOS, TSV, TYP, UP, VAR, VERT, VC, WCR, WIP, WM, X-SECT.



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Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

Table with 3 columns: NO., DESCRIPTION, DATE. Empty table for revisions.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED
DATE ISSUED: FEBRUARY 2019
DRAWN BY: AM
DESIGNED BY: MG
CHECKED BY: TD



THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE

LEGEND

SHEET NUMBER
GI-001

PROJECT NO. 09725.64

CONSTRUCTION SPECIFICATIONS

Section 20 - General Specifications Paving Grading Drainage and Earthwork

20. General

20.1. It is the intent of these specifications to describe the minimum acceptable technical requirements for the materials and workmanship for construction of site improvements for this project. Such improvements may generally include, but not to be limited to, clearing, grading, paving, removal of existing pavement storm drainage, water lines and sanitary sewers.

20.2. It is the intent that the Florida Department of Transportation (FDOT) "Standard Specifications for Road and Bridge Construction: (current edition) together with "Supplemental Specifications to the Standard Specifications for Road and Bridge Construction" (current edition), and the FDOT Roadway and Traffic Design Standards (current edition) be used where applicable for the various work, and that where such wording therein refers to the State of Florida and its Department of Transportation and personnel, such wording is intended to be replaced with the wording which would provide proper terminology; thereby making such "Standard Specifications for Road and Bridge Construction" together with the "FDOT Roadway and Traffic Design Standards" as the "Standard Specifications" for this project. If within a particular section, another section, article or paragraph is referred to, it shall be part of the Standard Specifications also. The Contractor shall abide by all local and State laws, regulations and building codes which have jurisdiction in the area.

20.3. The Contractor shall furnish all labor, materials and equipment and perform all operations required to complete the construction of a paving and drainage system as shown on the plans, specified herein, or both. It is the intent to provide a complete and operating facility in accordance with these specifications and the construction drawings. The material and equipment shown or specified shall not be taken to exclude any other incidentals necessary to complete the work.

20.4. All labor, materials, and methods of construction shall be in strict accordance with the plans and construction specifications and the minimum engineering and construction standards adopted by the unit of government which has jurisdiction and responsibility for the construction. Where conflicts or omissions exist, the jurisdictional government Engineering Department's standards shall govern. Substitutions and deviations from plans and specifications shall be permitted only when written approval has been issued by the Engineer.

20.5. Guarantee - all materials and equipment to be furnished and/or installed by the Contractor under this contract, shall be guaranteed for a period of (1) one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials, during the guarantee period, the affected part or materials shall be replaced promptly with new parts or materials by the contractor, at no expense to the owner. In the event the Contractor fails to make necessary replacement or repairs within (7) seven days after notification by the owner, the owner may accomplish the work at the expense of the contractor.

21. Earthwork

21.1. All areas within the project limits shall be cleared and grubbed prior to construction. This shall consist of the complete removal and disposal of all trees, brush, stumps, roots, grass, weeds, rubbish and all other obstructions resting on or protruding through the surface of the existing ground to a depth of '1'. All work shall be in accordance with section 110 of the Standard Specifications.

21.2. None of the existing limerock material from demolished pavement is to be incorporated in the new limerock base, unless noted in plans. The existing limerock material from demolished pavement may be incorporated into the stabilized subgrade / subbase, or stabilized shoulder.

21.3. Fill material shall be classified as A-1, A-3, or A-2-4 in accordance with AASHTO N-145 and shall be free from vegetation and organic material. Not more than 12% by weight of fill material shall pass the no. 200 sieve.

21.4. All fill material in areas not to be paved shall be compacted to 95% of the maximum density as determined by AASHTO T-99.

21.5. All material of construction shall be subject to inspection and testing to establish conformance with the specifications and suitably for the uses intended. The Contractor shall notify the Engineer at least 24 hours prior to the time he will be ready for an inspection or test. The Contractor shall follow City and County inspection procedures. The Contractor shall not proceed with any phase of work dependent on an inspection or test of an earlier phase of work, prior to that test or inspection passing. The Contractor shall be responsible for providing certified material test results to the Engineer of record prior to the release of final certification by the Engineer. Test results must include, but may not be limited to, densities for subgrade and limerock, utilities, excavation, asphalt gradation reports, concrete cylinders, etc.

21.6. When encountered, muck shall be completely removed from the center line (10) ten feet beyond the edge of pavement each side. All such material shall be replaced by approved granular fill.

21.7. When encountered within drainage swales, hardpan shall be removed to full depth for a width of (5) five feet at the invert and replaced with granular materials.

21.8. All underground utilities and drainage installations shall be in place prior to subgrade compaction and pavement construction.

21.9. Ground adjacent to roadway/pavement having runoff shall be graded (2) two inches lower than the edge of pavement to allow for the placement of sod.

21.10. Site grading elevations shall be within 0.1' of the required elevation for non paved areas and all areas shall be graded to drain without ponding.

21.11. The Contractor shall perform all excavation, fill, embankment and grading to achieve the proposed plan grades including typical road sections, side slopes and canal sections. All work shall be in accordance with section 120 of the Standard Specifications. If fill material is required in excess of that generated by the excavation, the Contractor shall supply this material as required from off-site.

21.12. A 2" blanket of top soil shall be placed over all areas to be sodded or seeded and mulched within the project limits unless otherwise indicated

on the plans.

21.13. Sod shall be St. Augustine unless otherwise indicated on the plans, and shall be placed on the graded top soil and watered to insure satisfactory condition upon final acceptance of the project.

22. Drainage

22.1. Inlets - all inlets shall be the type designated on the plans, and shall be constructed in accordance with section 425 of the Standard Specifications. All inlets and pipe shall be protected during construction to prevent siltation in the drainage systems by way of temporary plugs and plywood or plastic covers over the inlets. The entire drainage system shall be cleaned of all debris prior to final acceptance.

22.2. Pipe specifications: the material type is shown on the drawings by one of the following designations:

- RCP = reinforced concrete pipe, ASTM designation C--76, section 941 of the Standard Specifications.
- CMP = corrugated metal (aluminum) pipe, ASTM designation M-196.
- CMP (smooth lined) = corrugated metal aluminum pipe, (smooth lined) ASTM designation M-196.
- SCP = slotted concrete pipe, sections 941 and 942, of the Standard Specifications.
- PVC = polyvinyl chloride pipe.
- PCMP = perforated cmp, section 945, of the Standard Specifications
- Corrugated High Density Polyethylene Pipe (HDPE) (12 Inches to 60 Inches), shall meet the requirements of FDOT Specification section 948-2.3.

22.3. Pipe backfill - requirements for pipe backfill crossing roads or parking areas shall be as defined in the section 125-8, of the Standard Specifications. Pipeline backfill shall be placed in 6 inch lifts and compacted to 100% of the standard proctor (AASHTO T-99 specifications)

22.4. Location of drainage structures shall govern, and pipe length may have to be adjusted to accomplish construction as shown on these plans.

22.5. Distance and lengths shown on plans and profile drawings are referenced to the inner walls of structures.

22.6. Filter fabric shall be Mirafi, Typar or equal conforming to section 985 of the Standard Specifications.

23. Asphalt Paving

23.1. Where new asphalt meets existing asphalt, the existing asphalt shall be saw cut to provide a straight even line. Prior to removing curb or gutter, the adjacent asphalt shall be saw cut to provide a straight even line.

23.2. Internal asphalt paving constructed on existing sandy soils shall be constructed with a 12" subgrade, compacted to a minimum density of 100% maximum density as determined by AASHTO T-99. The compacted subgrade shall be constructed in the limits shown on the plans. All subgrade shall have an LBR of 40 unless otherwise noted.

23.3. Asphaltic concrete surface course shall be constructed to the limits shown on the plans. The surface course shall consist of the thickness and type asphaltic concrete as specified in the plans. All asphaltic concrete shall be in accordance with sections 320, 327, 330, 334, 336, 337, 337, 338, 339 and 341 of the Standard Specifications.

23.4. Limerock base shall be prepared, compacted and graded and shall be in accordance with section 200 of the Standard Specifications. All limerock shall be compacted to 98% per AASHTO T-180 and have not less than 70% of carbonates of calcium and magnesium unless otherwise designated. The Engineer shall inspect the completed base course and the Contractor shall correct any deficiencies and clean the base course prior to the placement of the prime coat. A tack coat will also be required if the Engineer finds that the primed base has become excessively dirty or the prime coat has cured to the extent of losing bonding effect prior to placement of the asphaltic concrete surface course. The prime and tack coats shall be in accordance with section 300 of the Standard Specifications.

23.5. Limerock base material shall be placed in maximum 6" lifts. Bases greater than 6" shall be placed in two equal lifts. If, through field tests, the Contractor can demonstrate that the compaction equipment can achieve density for the full depth of a thicker lift, and if approved by the engineer, the base may be constructed in successive courses of not more than 8 inches (200 mm) compacted thickness.

23.6. Asphalt edges that are not curbed shall be saw cut to provide a straight even line to the dimensions shown on plans.

24. Concrete Construction

24.1. Concrete sidewalk shall be in accordance with section 522 of the Standard Specifications and in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 310. Concrete sidewalk shall be 4" thick, unless otherwise noted and constructed on compacted subgrade, with 1/2" expansion joints placed at a maximum of 75', unless otherwise noted on plans. Crack control joints shall be 5' on center. All concrete sidewalks that cross driveways shall be 6" thick, unless otherwise noted on plans.

24.2. Sidewalk Curb ramps shall be in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 304.

24.3. Concrete curb shall be constructed to the limits shown on the plans. The concrete shall have a minimum compressive strength of 2500 PSI at 28 days and shall be in accordance with section 520 of the Standard Specifications. Concrete curbing shall be in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 300.

24.4.

Section 30 - Water distribution and sanitary sewer force mains.

30. Materials:

Note: If materials list here on are in conflict with utility owner, material owner requirements shall govern.

30.1. All water main pipe, including fittings, shall be color coded or marked using blue as a predominant color to differentiate drinking water from reclaimed or other water. Underground plastic pipe shall be solid-wall blue pipe, shall have a co-extruded blue external skin, or shall be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall; and underground metal or concrete pipe shall have blue stripes applied to the pipe wall. Pipe striped during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90-degree intervals around the pipe,

and that will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top of the pipe.

30.2. Ductile iron pipe for water distribution mains shall conform to ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe centrifugally cast in metal molds or sand-lined molds" with a minimum wall thickness of class 51 (pressure class 350) unless otherwise noted in the plans. Ductile iron pipe shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21.4 latest revision. The pipe shall be adapted for use with class 250 fittings for all sizes. Water main shall be colored blue in accordance with Florida State Statutes.

30.3. Ductile iron pipe for sewage force mains shall conform to ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe centrifugally cast in metal molds or sand-lined molds" with a minimum wall thickness of class 51 (pressure class 350) unless otherwise noted in the plans. Ductile iron pipe shall be interior ceramic epoxy lined and exterior coated with the manufacturer's coating system (Protecto 401 ceramic epoxy with a minimum dry film thickness of 40 mils and an outside coating of either coal tar epoxy or asphalt). Cement mortared linings are not appropriate for this application.

30.4. All pipe & fittings on the lift station sites shall be ductile iron conforming to the same specifications as above for sewage force mains except that flanged ductile iron pipe & fittings shall be used inside valve pits and wet wells. Flanged pipe and fittings shall conform to ANSI/AWWA C115/a21.15 latest revision and ANSI/AWWA C110/A21.10 latest revision. The following thickness classes shall be adhered to: 4" - 12" - class 52, 14" & larger - class 51.

30.5. PVC pressure pipe for sizes 4" through 12" and shall conform to ANSI/AWWA standard C900 latest revision. PVC pressure pipe shall be made from class 12454-a or class 12454-b virgin material and conform with the outside diameter of cast iron pipe with a minimum wall thickness of dr series 18. Ultra violet degradation or sun bleached pipe will be cause for rejection. Water main shall be colored blue in accordance with Florida State Statutes. Force main shall be impregnated with green pigment. Reuse main shall be impregnated with purple pigment.

30.6. Ductile iron fittings for water distribution mains shall conform to ANSI/AWWA standard C110/A21.10 latest revision. Fittings 4" and larger shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21.4 latest revision. Water Main fitting shall be colored blue in accordance with Florida state statutes.

30.7. Cast iron and ductile iron fittings for sewage force mains shall conform to ANSI/AWWA standard C110/A21.10 latest revision. Fittings 4" and larger shall be coated in accordance with the requirements of ductile iron pipe for sewage force mains.

30.8. Joints for bell and spigot ductile iron pipe and fittings shall conform to ANSI/AWWA standard C111/A21.11 latest revision. Mechanical joint or push-on joint to be rubber gasket compression-type. Special fittings and joints shall be considered for specific installation subject to the approval of the engineer.

30.9. Joints for PVC pressure pipe shall be bell and spigot push-on rubber gasket type only. No solvent weld or threaded joints will be permitted.

30.10. Water distribution system restraint: all fittings and specific pipe joints shall be restrained as outlined below:

- Joint restraint
- Push-on P.V.C. EBAA iron series 1600
- Push-on DIP EBAA iron series 1700
- tr-flex by U.S. Pipe or
- flex ring by American
- Fittings w/ DIP EBAA iron series 1100 megalug
- Fittings w/ P.V.C. EBAA iron series 2000 megalug
- Length of restrained pipe shall be as indicated on restrained joint pipe detail. (see water & sewer detail sheet)

30.11. Sewage force main system restraint: all fittings and specific pipe joints shall be restrained as outlined below

- Joint restraint
- Push-on P.V.C. EBAA iron series 1600
- Push-on DIP EBAA iron series 1700
- tr-flex by U.S. Pipe or
- flex ring by American
- Fittings w/ DIP EBAA iron series 1100 megalug
- Fittings w/ P.V.C. EBAA iron series 2000 megalug
- Length of restrained pipe shall be as indicated on restrained joint pipe detail. (see water & sewer detail sheet)

30.12. Water distribution valves shall be gate valves, iron body, fully resilient seat bronzed mounted non-rising stem, rated at 200 PSI and conforming to ANSI/AWWA C509 latest revision, and shall have mechanical joints.

30.12.1. Gate valves 4" and larger shall be Mueller A-2360, American 250 line or Clow F-6100, conforming to ANSI/AWWA C500 latest revision or approved equal.

30.12.2. Tapping valves shall be Mueller T-2360 or approved equal.

30.12.3. Gate valves 3" or less shall be Nilco T-133 or T-136 with malleable hand wheels or approved equal.

30.13. Tapping sleeves shall be Mueller H615, Clow F- 2505 or approved equal.

30.14. Valve boxes shall be U.S. foundry 7500 or approved equal painted blue with the designation "water".

30.15. Retainer glands for DIP shall conform to ANSI/AWWA C111/A21.11 latest revision. All glands shall be manufactured from ductile iron as listed by underwriters laboratories for 250 psi minimum water pressure rating. Clow corporation model f-1058, standard fire protection equipment company or approved equal.

30.16. Dresser couplings shall be regular black couplings with plain gaskets for galvanized steel pipe. They shall be dresser style 90. No substitutions allowed.

30.17. Fire hydrants shall be Mueller centurion traffic type A-423 with 5 1/4" internal valve opening or approved equal. Pumper nozzle to be 18" from

finished grade. All hydrants to be installed with control valve. Retainer glands are preferred for restraining. Fire hydrant shall comply with ANSI/AWWA C650 latest revision. Fire hydrants shall be painted in accordance with NFPA #291 or per agency standards having jurisdiction. Blue raised reflective pavement marker (rpm) shall be used to identify fire hydrant location. The placement of the rpm to be at the centerline of the outside roadway lane.

30.18. Sewage force main valves shall be plug valves which shall be of the non-lubricated, eccentric type with resilient faced plugs, port areas for valves 20 inches and smaller shall be at least 80% of full pipe area. Port area of valves 24 inches and larger shall be at least 70% of full pipe area. The body shall be of semi-steel (ASTM A-126 C1.b) and shall have bolted bonnet which gives access to the internals of the valve. Seats shall be welded overlay of high nickel content or a stainless steel plate locked in the body cavity. If a plate is used, it shall be replaceable through the bonnet access. Bearings shall be permanently lubricated with stainless steel, bronze or Teflon lined, fiber glass backed Duralon. Bearing areas shall be isolated from the flow with grit seals. Valves shall have packing bonnets where the shaft protrudes from the valve and the packing shall be self-adjusting chevron type which can be replaced without removing the bonnet. All nuts, bolts, springs and washers shall be stainless steel.

30.19. Plug valves shall be designed for a working pressure of 150 PSI the valve and actuator shall be capable of satisfactory operation in either direction of flow against pressure drops up to and including 100 PSI (for plug valves over 12" in diameter). Valves shall be bubble tight in both directions at 100 psi differential. Plug valves over 12" in diameter shall have worm gear operators. The operating mechanism shall be for buried service with a 2 inch square operating nut.

30.20. Plug valves are to be installed with the seat pointed towards the upstream flow, when specified.

30.21. Swing check valves for water, sewage, sludge, and general service shall be of the outside lever and spring or weight type, in accordance with ANSI/AWWA C 508 latest revision swing-check valves for waterworks service, 2" through 24" NPS, unless otherwise indicated, with full-opening passages, designed for a water-working pressure of 150 PSI they shall have a flanged cover piece to provide access to the disc.

30.22. High density polyethylene pipe (HDPE) for water distribution mains shall conform to AWWA C906 standard, latest revision. Pipes shall be color-coded blue, minimum 40 feet standard lengths.

31. Service connection:

31.1. Service saddles shall be fusion bonded plastic coated ductile iron (ASTM A536) with stainless steel straps, saddles shall be double strap type.

31.2. Service lines shall be polyethylene (PE 3408), 200 p.s.i rated, DR9. Pipe joints shall be of the compression type totally conformed grip seal and coupling nut.

31.3. Corporation stops shall be manufactured of brass alloy in accordance with ASTM B-62 with threaded ends, as manufactured by Ford ballcorp, catalog # 1100 or approved equal.

31.4. Curb stops shall be Ford v63-44w-x" latest revision or approved equal.

31.5. Meter stops shall be 90 degree locking type and shall be of bronze construction in accordance FV63-777W" latest revision with ASTM B-62. Meter stops shall be closed bottom design and resilient "O" ring sealed against external leakage at the top. Stops shall be equipped with a meter coupling nut on the outlet sides, as manufactured by Ford or approved equal.

32. Installation:

32.1. Where restrained pipe joints are required due to fittings, appurtenances, etc., pipe material shall be DIP

32.2. All PVC pipe shall be installed in accordance with the uni-bell plastic pipe association "guide for installation of PVC pressure pipe for municipal water distribution system," and ANSI/AWWA C605-xx latest revision standard.

32.3. All DIP shall be installed in accordance with ANSI/ C600-xx latest revision.

32.4. All water mains shall typically be laid with a minimum 36" cover for PVC and 30" cover for DIP.

32.5. Detector tape shall be laid 18 inches above all water and sewer lines. A 14 gauge multi-strand wire shall be attached to all nonconductive water mains to facilitate location. An extra 4 feet of wire shall be provided at all valves, blow-offs, hydrants, etc. The wire shall be tested for continuity at the pressure test.

32.6. Pipe deflection shall not exceed 50% of the maximum deflection recommended by the manufacturer.

32.7. A continuous and uniform bedding shall be provided. Backfill material shall be placed in accordance with the plans and specifications.

32.8. All valves shall be installed with adjustable cast iron valve boxes with the word "water" or "sewer", as applicable, cast in the cover. U.S. foundry or approved equal.

33. Testing:

33.1. Before any physical connections and acceptance for operation to the existing water mains are made, the complete water system shall be flushed, pressure tested and disinfected. Copies of passing bacteriological results and pressure test results must be submitted to, and approved by, the engineer, utility owner, and health department. Hydrostatic testing of new mains shall be performed at a minimum starting pressure of 150 PSI for two hours in accordance with ANSI/AWWA C600-05 (hydrostatic test). The pressure test shall not vary more than 5 PSI during the test. The allowable leakage during the pressure test shall be less than the number of gallons per hour as determined by the formula:

$$L = (sd(p1/2))^{1/4} \times 148,000.$$

In which L equals the allowable leakage in gallons per hour. S equals length of pipe (linear feet), d equals nominal diameter of pipe (inches) and p equals the average test pressure (pounds per square inch gauge). Maximum length of test pipe section should be 2000 feet. The water system shall be disinfected in accordance with the ANSI/AWWA C651-05 (water main bacteriological tests).

33.2. The pressure test shall be witnessed by a representative of the utility owner and the engineer of record.

33.3. For water distribution pipes, sampling points shall be provided by the contractor at the locations shown on the plans.

33.4. For water distribution pipes, disinfection and bacteriological testing shall be in accordance with ANSI/AWWA C651-14 (water main bacteriological tests). Maximum distance between sampling points shall be as follows:

- Transmission mains: every 1200 feet
- Branch mains: every 1000 feet
- Isolated mains < 1000 feet: 2 sample points
- Isolated mains > 1000 feet: 3 sample points

Section 40 - Gravity Sanitary Sewer Collection System

40. General:

40.1. Manhole, valve box, meter box and other structure rim elevations within the limits of construction are to be adjusted to conform to plan grades proposed in these plans. If no other individual cost item is included in the contract schedule for a particular structure adjustment.

40.2. Distance and lengths shown on plans and profile drawings are referenced to the center of structures.

41. Materials:

Note: If materials list here on are in conflict with utility owner, material owner requirements shall govern.

41.1. All PVC sewer pipe and fittings shall be non-pressure polyvinyl chloride (PVC) pipe conforming to ASTM D 3034, SDR 26, with push-on rubber gasket joints.

41.2. Ductile iron pipe shall conform to ANSI/AWWA C151/A21.51-xx latest revision, "ductile iron pipe centrifugally cast in metal molds or sand-lined molds" with wall thickness class 51 for 8" and above, class 52 for 4" and 6", unless otherwise directed by the engineer. Ductile iron pipe shall be epoxy lined or coated with the manufacturer's coating system as approved by the engineer of record and the local municipality or utility owner. In either case, the engineer's review and approval is required for either alternative prior to construction. Cement mortared linings are not appropriate for this application.

41.3. All ductile iron fittings shall conform to ANSI/AWWA standard C110/A21.10-xx latest revision. All fittings and accessories shall be epoxy lined and as manufactured or supplied by the pipe manufacturer or approved equal.

41.4. Manholes shall be precast per ASTM C 478 and in accordance with the plans and specifications.

41.5. Manholes are to be sealed with type II sulphate resistant cement or approved equal - no molding plaster.

41.6. Joints for bell and spigot ductile iron pipe and fittings shall conform to ANSI/AWWA standard C111/A21.11-xx latest revision. Mechanical joint or push-on joint to be rubber gasket compression-type.

41.7. PVC clean-outs to have screw type access plug. Long radius wye connections and fittings shall be used in order to access clean-out operations.

41.8. Cleanouts shall be installed at all sewer services exceeding 75' in length (every 75') with a clean out at the property line, easement line, or 5' from a building. The contractor shall coordinate the location of the building cleanout (5' from the building) and elevation of the end of the sewer service with the building plumbing contractor. Cleanouts shall be the same size as the service lateral in which they are installed.

42. Installation:

42.1. PVC sewer pipe shall be laid in accordance with ASTM D 2321 and the Uni-Bell plastic pipe association's "recommended practice for the installation of PVC sewer pipe."

42.2. DIP shall be installed in accordance with ANSI/AWWA C-600-xx latest revision.

42.3. Pipe to manhole connection to be Fernco neoprene boot couplings with stainless steel accessories or approved equal.

42.4. Manholes shall be set plumb to line and grade on firm subgrade providing uniform bearing under the base.

42.5. All openings and joints shall be sealed watertight.

42.6. Two coats of Koppers 300-m, first red, second one black, shall be applied to the inside of all manholes and shall be applied in accordance with the manufacturer's specifications (16 mils per coat). Coating as required by utility owner or engineer shall be applied to the outside of the manhole. The interior coats shall be applied after sewer lamping of lines. After the application of each coat, the utility owner and engineer shall inspect the manholes. The inspection shall be scheduled a minimum of 48 hours prior to inspection.

43. Testing: Testing of gravity sewer mains and laterals shall be in accordance with the utility owner's minimum design and construction standards latest revision.

43.1. After construction of the sewer system, the engineer may require a visual infiltration and/or exfiltration test to be performed on the entire system or any part thereof.

43.2. An air test may be substituted for the water exfiltration test, upon approval of the engineer.

43.3. The allowable limits of sewer pipe leakage for gravity sewer mains shall not exceed 100 gallons per inch of inside pipe diameter per mile per day for any section tested. No visible leakage shall be allowed.

43.4. The installed sewers may require video inspections.



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Florida Certificate of
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THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED

DATE ISSUED: FEBRUARY 2019

DRAWN BY: AM

DESIGNED BY: MG

CHECKED BY: TD

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE

**CONSTRUCTION
SPECIFICATIONS**

SHEET NUMBER

GI-002

PROJECT NO. **09725.64**

General Notes

This construction project may or may not include all items covered by these notes and specifications, i.e. paving, grading, drainage lines, water lines, or sanitary sewer lines. See plans for detailed project scope. Notes and specifications on this sheet refer to paving, grading, drainage, water, and sanitary sewer, and are intended for this projects scope of work and for reference purposes for other work items that may be required due to unforeseen existing conditions or required remedial work.

1. Specific Site Notes

- 1.1. County and "City" in these notes refers to County and City in which project resides.
- 1.2. State in these notes refers to the State of Florida.
- 1.3. Existing topographic information in the plans is based on survey data and best available information. See project survey and notes on plan sheets regarding the source of the topographic information.

2. Applicable Codes

- 2.1. All construction and materials shall conform to the standards and specifications of the city, county, and all other jurisdictional, State and national codes where applicable.
- 2.2. In the event of a conflict between the general notes and construction specifications in these plans, and the contract documents and specifications in the specification booklet, the contractor shall submit written request for clarification.
- 2.3. All construction shall be done in a safe manner and in strict compliance with all the requirements of the Federal occupational safety and health act of 1970, and all State and jurisdictional safety and health regulations.
- 2.4. The contractor shall be required to comply with Federal, State, County, and City laws, codes, and regulations.
- 2.5. All handicap accessible areas to conform to the requirements of the Americans with Disabilities Act (ADA), State ADA codes, and Florida Building Code ADA codes latest edition.
- 2.6. Trench safety act
 - 2.6.1. All trench excavation shall be performed in accordance with chapter 90-96 of the laws of Florida (the trench safety act).
 - 2.6.2. All trench excavation in excess of 5 feet in depth shall be undertaken in accordance with O.S.H.A. standard 29 cfr. Section 1926.650 subpart p.
 - 2.6.3. The contractor shall submit with his contract a completed, signed, and notarized copy of the trench safety act compliance statement. The contractor shall also submit a separate cost item identifying the cost of compliance with the applicable trench safety codes.
 - 2.6.4. A trench safety system, if required, shall be designed by the excavation contractor utilizing a specialty engineer as required.

3. Construction Notes:

- 3.1. Contractor shall tie to existing grade by evenly sloping from closest proposed grade provided to existing grade at limits of construction, unless otherwise noted on the plans. If no limit of work line is indicated, slope to adjacent property line or right-of-way line, as applicable.
- 3.2. Unless otherwise indicated on the plans, all existing manholes, catch basins, meters and other structures, whether indicated on the plans or not shall be adjusted to match the new grade, by the contractor.
- 3.3. The curb shall be sloped to accommodate the new pavement, catch basin and grate, and the surface flow pattern.
- 3.4. The contractor shall use care when cutting the existing asphalt pavement and during excavations, so that the existing catch basins and grates that are to remain will not be damaged.
- 3.5. The contractor shall maintain the roadway slope when resurfacing the roadway. The edge of pavement shall match the new gutter lip per FDOT index 300.
- 3.6. The new sidewalk shall be constructed in accordance with the given elevations and at the proper slopes depicted in the specifications, details and standards. Existing driveways and other features shall be matched when possible as directed by the engineer.
- 3.7. Radii shown are to the edge of pavement.
- 3.8. All bench mark monuments within the limits of construction shall be protected and referenced by the contractor in the same way as public land corners.
- 3.9. All excess material is to be disposed by the contractor within 72 hours.
- 3.10. In areas where the base is exposed by the milling operation, the contractor shall restore the base to its original thickness and structural capacity before paving over such areas. This includes but is not limited

to restoring original degree of compaction, moisture content, composition, stability, and intended slope. If paving will not take place the same day the base is exposed and reworked, the base shall be sealed according to the governing standards and specifications. Any additional work resulting from the contractor's failure to protect the exposed base as stated above in order to restore the original structural capacity shall be the contractor's cost.

- 3.11. The contractor is to maintain existing signage during construction operations, in order to facilitate emergency vehicle traffic.
 - 3.12. The topographic survey included with this set of plans reflects pre-demolition conditions and does not reflect the site conditions after demolition. The contractor is fully and solely responsible in determining the required earthwork for the proposed development of the site. This includes, but is not limited to, any excavation/dredge and fill activities required at any phase of the project. The contractor shall use the final approved (released for construction) plans, surveys, geotechnical reports, and any other available information for determining the amount of excavation/dredging and filling required. Any quantities included in the approved permits were estimated by the engineer for purposes of obtaining the permit and under no circumstances shall be used by the contractor in lieu of performing their own earthwork calculations required for cost estimating and bidding the project.
 - 3.13. The contractor shall be responsible for reading and familiarizing themselves with any and all available geotechnical reports prepared by others and/or any recommendations written or implied by the geotechnical engineer for this project. The geotechnical conditions and recommendations outlined in these reports are in force and in full effect as part of the proposed improvements. The contractor is responsible for ensuring that all the work associated with this project is in compliance with the geotechnical engineer's recommendations. Keith and Associates, Inc. is not responsible for the suitability or unsuitability of the soils encountered. It is the contractor's responsibility to ensure that the means and methods of construction used can and will allow for the successful completion of the required site improvements.
 - 3.14. The contractor shall ensure that the available geotechnical information is sufficient for his complete understanding of the soil conditions for the site. If additional geotechnical investigation is required by the contractor, this additional work shall be considered incidental to the contract and no additional compensation shall be allowed.
 - 3.15. The contractor shall be responsible for the repair and restoration of existing pavement, pipes, conduits, sprinkler heads, cables, etc., and landscaped areas damaged as a result of the contractor's operations and/or those of his subcontractors and shall restore at no additional cost.
 - 3.16. The contractor shall not bring any hazardous materials onto the project. Should the contractor require such for performing the contracted work, the contractor shall request, in writing, permission from the owner, city and engineer. The contractor shall provide the owner, city and engineer with a copy of the material safety data sheet (MSDS) for each hazardous material proposed for use. The project engineer shall coordinate with the owner and city prior to issuing written approval to the contractor.
 - 3.17. Any known or suspected hazardous material found on the project by the contractor shall be immediately reported to the city and/or engineer, who shall direct the contractor to protect the area of known or suspected contamination from further access. The city and/or engineer are to notify the owner/engineer of the discovery. The owner/engineer will arrange for investigation, identification, and remediation of the hazardous material. The contractor shall not return to the area of contamination until approval is provided by the engineer.
 - 3.18. The contractor shall contact the appropriate city engineering inspector and engineer 48 hours in advance of the event to notify the city of construction start up, or to schedule all required tests and inspections including final walk-throughs.
- ### 4. Preconstruction Responsibilities
- 4.1. All utility / access easements to be secured prior to construction.
 - 4.2. No construction may commence until the appropriate permits have been obtained from all municipal, State, County, and Federal agencies and a pre-construction meeting has been conducted.
 - 4.3. All required governmental agency building permits to be obtained by the contractor prior to any construction activity.
- ### 5. Inspections / Testing:
- 5.1. The contractor shall notify in writing the owner, City, County, engineer of record, and any other governmental agencies having jurisdiction at least 48 hours prior to beginning construction and prior to required inspections of the following items, where applicable:
 - Clearing and earthwork
 - Storm drainage systems
 - Sanitary sewer systems
 - Water distribution systems
 - Subgrade
 - Limerock base
 - Asphalt or concrete pavement
 - Sidewalks, concrete flatwork/curbing
 - Landscaping
 - Pavement marking and signage
 - Signalization
 - Site lighting
 - Electrical and communication lines
 - Utility conduits
 - Irrigation
 - Final
 - 5.1. The owner, engineer, and jurisdictional permitting agencies may make inspections of the work at any time. The contractor shall cooperate fully with all inspections.
 - 5.2. Testing - all testing required by the plans and specifications shall be performed by a licensed / FDOT qualified testing company. Required test for asphalt and limerock shall be taken at the direction of the engineer or the jurisdictional governmental agency in accordance with the plans and specifications.
 - 5.3. Contractor to obtain a secure staging area and obtain

Contractor to coordinate construction scheduling for connection to the existing water and sewer lines with the utility department that owns and/or maintains the water and sewer lines.

- 4.4. Contractor shall construct and maintain temporary lighting as required to light the construction project limits at all times, to at least the same lighting intensity levels as the existing conditions.
 - 4.5. The contractor shall maintain access to adjacent properties at all times.
 - 4.6. Prior to the start of construction, the owner shall submit an NPDES construction general permit (CGP) "notice of intent (N.O.I.) to use Generic Permit for storm water discharge from construction activities form (DEP form 62-621.300(4)(b)) to FDEP notices center. The contractor will be responsible for (1) implementation of the storm water pollution prevention plan (SWPPP) that was required to be developed prior to NOI submittal, and (2) retention of records required by the permit, including retention of a copy of the SWPPP at the construction site from the date of project initiation to the date of final site stabilization. A "notice of termination (N.O.T.) of generic permit coverage" form (DEP form 62-621.300(6)) must be submitted to FDEP to discontinue permit coverage, subsequent to completion of construction. For additional information see FDEP website: <http://www.dep.state.fl.us/water/storm>
 - 4.6. Prior to construction or installation, 5 sets of shop drawings shall be submitted for review as required for the following items listed below, but not limited to:
 - Drainage: Catch basins, manholes, headwalls, grates/tops, yard drains.
 - Water: Fire hydrants, valves, backflow preventer, DDCV, meter box.
 - Sewer: Manholes, lift stations (wetwell, hatches, valves, pump data, electrical panel)
 - 4.0.1. Catalogue literature shall be submitted for drainage, water and sewer pipes, fittings, and appurtenances.
 - 4.0.2. Prior to submitting shop drawings to the engineer, the contractor shall review and approve the drawings, and shall note in red any deviations from the engineer's plans or specifications.
 - 4.0.3. Individual shop drawings for all precast structures are required. Catalogue literature will not be accepted for precast structures.
 - 4.1. Contractor to submit maintenance of traffic plan(s) in accordance with FDOT and Broward county requirements, and submit for approval prior to beginning construction.
- ### 6. Temporary Facilities
- 6.1. It shall be the contractor's responsibility to arrange for or supply temporary water service, sanitary facilities, communications, and electricity, for his operations and works, cost included under mobilization.
 - 6.2. Contractor shall construct temporary fencing to secure construction areas at all times, cost included in mobilization.
 - 6.3. Contractor to obtain a secure staging area and obtain

all necessary approvals from the owner.

- 7.1. During construction, the project site and all adjacent areas shall be maintained in a neat and clean manner, and upon final clean-up, the project site shall be left clear of all surplus material or trash. The paved areas shall be broom swept clean.
 - 7.2. The contractor shall restore or replace any public or private property (such as highway, driveway, walkway, and landscaping), damaged by his work, equipment, or employees, to a condition at least equal to that existing immediately prior to the beginning of construction. Suitable materials and methods shall be used for such restoration.
 - 7.3. Material or debris shall be hauled in accordance with NPDES permit and jurisdictional laws.
 - 7.4. All land survey property monuments or permanent reference markers, removed or destroyed by the contractor during construction shall be restored by a State of Florida registered land surveyor at the contractor's expense.
 - 7.5. All unpaved surfaces disturbed as a result of construction activities shall be graded, sodded, & restored to a condition equal to or better than that which existed before the construction.
- ### 8. Project record documents:
- 8.1. During the daily progress of the job, the contractor shall record on his set of construction drawings the location, length, material and elevation of any facility not built according to plans. This copy of the "as-built" shall be submitted to engineer for project record.
 - 8.2. Upon completion of drainage improvements and limerock base construction (at least 48 hours before placing asphalt pavement) the contractor shall furnish the engineer of record "as-built" plans for these improvements, showing the locations and pertinent grades of all drainage installations and the finished rock grades of the road crown and edges of pavement at 50 foot intervals, including locations and elevations of all high and low points.
 - 8.3. Upon completion of construction, and prior to final acceptance, the contractor shall submit to the engineer of record one complete set of all "as-built" contract drawings. These drawings shall be marked to show "as-built" construction changes, dimensions, locations, and elevations of all improvements.
 - 8.4. "As-built" drawings of water lines and force mains shall include the following information:
 - 8.4.1. Top of pipe elevations every 100 LF.
 - 8.4.2. Locations and elevations of all fittings including bends, tees, gate valves, double detector check valves, fire hydrants, and appurtenances.
 - 8.4.3. All connections to existing lines.
 - 8.4.4. Ends of all water services at the buildings where the water service terminates.
 - 8.5. "As-built" drawings of gravity sanitary sewer lines shall include the following information:
 - 8.5.1. Rim elevations, invert elevations, length of piping between structures, and slopes.
 - 8.5.2. The stub ends and cleanouts of all sewer laterals shall be located horizontally and vertically.
 - 8.6. "As-built" drawings of all drainage lines shall include the following information:
 - 8.6.1. Rim elevation, invert elevation, length of piping between structures, and control structure elevations if applicable.
 - 8.6.2. The size of the lines.
 - 8.6.3. Drainage well structure shall include, but not be limited to, top of casing elevation, top and bottom elevations of the structure and baffle walls, rim elevations and pipe inverts.
 - 8.7. "As-built" drawings of construction areas shall include the following:
 - 8.7.1. Rock elevations at all high, and low points, and at enough intermediate points to confirm slope consistency.
 - 8.7.2. Rock elevations and concrete base elevations shall be taken at all locations where there is a finish grade elevation shown on the design plans.
 - 8.7.3. All catch basin and manhole rim elevations.
 - 8.7.4. Finish grade elevations in island areas.
 - 8.7.5. "As-built" elevations shall be taken on all paved and unpaved swales, at enough intermediate points to confirm slope consistency and conformance to the plan details.
 - 8.7.6. Lake and canal bank "as-built" drawings shall

7. Project Progress and Closeout

- 7.1. During construction, the project site and all adjacent areas shall be maintained in a neat and clean manner, and upon final clean-up, the project site shall be left clear of all surplus material or trash. The paved areas shall be broom swept clean.
- 7.2. The contractor shall restore or replace any public or private property (such as highway, driveway, walkway, and landscaping), damaged by his work, equipment, or employees, to a condition at least equal to that existing immediately prior to the beginning of construction. Suitable materials and methods shall be used for such restoration.
- 7.3. Material or debris shall be hauled in accordance with NPDES permit and jurisdictional laws.
- 7.4. All land survey property monuments or permanent reference markers, removed or destroyed by the contractor during construction shall be restored by a State of Florida registered land surveyor at the contractor's expense.
- 7.5. All unpaved surfaces disturbed as a result of construction activities shall be graded, sodded, & restored to a condition equal to or better than that which existed before the construction.

8. Project record documents:

- 8.1. During the daily progress of the job, the contractor shall record on his set of construction drawings the location, length, material and elevation of any facility not built according to plans. This copy of the "as-built" shall be submitted to engineer for project record.
- 8.2. Upon completion of drainage improvements and limerock base construction (at least 48 hours before placing asphalt pavement) the contractor shall furnish the engineer of record "as-built" plans for these improvements, showing the locations and pertinent grades of all drainage installations and the finished rock grades of the road crown and edges of pavement at 50 foot intervals, including locations and elevations of all high and low points.
- 8.3. Upon completion of construction, and prior to final acceptance, the contractor shall submit to the engineer of record one complete set of all "as-built" contract drawings. These drawings shall be marked to show "as-built" construction changes, dimensions, locations, and elevations of all improvements.
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 - 8.4.1. Top of pipe elevations every 100 LF.
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 - 8.6.1. Rim elevation, invert elevation, length of piping between structures, and control structure elevations if applicable.
 - 8.6.2. The size of the lines.
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 - 8.7.1. Rock elevations at all high, and low points, and at enough intermediate points to confirm slope consistency.
 - 8.7.2. Rock elevations and concrete base elevations shall be taken at all locations where there is a finish grade elevation shown on the design plans.
 - 8.7.3. All catch basin and manhole rim elevations.
 - 8.7.4. Finish grade elevations in island areas.
 - 8.7.5. "As-built" elevations shall be taken on all paved and unpaved swales, at enough intermediate points to confirm slope consistency and conformance to the plan details.
 - 8.7.6. Lake and canal bank "as-built" drawings shall

9. Utility Notes

- 9.1. Contractor is responsible for utility verification prior to fabrication.
- 9.2. The contractor is advised that properties adjacent to the project have electric, telephone, gas, water and/or sewer service laterals which may not be shown in plans. The contractor must request the location of these lateral services from the utility companies.
- 9.3. The contractor shall use hand digging when excavating near existing utilities. Extreme caution shall be exercised by the contractor while excavating, installing, backfilling or compacting around the utilities.
- 9.4. The contractor shall notify and obtain an underground clearance from all utility companies and governmental agencies at least 48 hours prior to beginning any construction. The contractor shall obtain a Sunshine11.com Certification clearance number and field markings at least 48 hours prior to beginning any excavation.
 - Prior to commencement of any excavation, the contractor shall comply with Florida statute 553.851 for the protection of underground gas pipelines.
- 9.1. For street excavation or closing or for alteration of access to public or private property, the contractor shall notify:
 - Roadway jurisdictional engineering / public works authority.
 - County transit authority
 - School board transportation authority
 - Jurisdictional fire department dispatch
 - Jurisdictional police department(s)
- 9.1. The contractor shall use extreme caution working under, over, and around existing electric lines. The contractor shall contact the electric provider company to verify locations, voltage, and required clearances, onsite, in right-of-ways, and in easements, prior to any construction in the vicinity of existing lines.
- 9.2. Location and size of all existing utilities and topography (facilities) as shown on construction drawings are drawn from available records. The engineer assumes no responsibility for the accuracy of the facilities shown or for any facility not shown. It is the contractor's responsibility to determine the exact location (vertical & horizontal) of any existing utilities and topography prior to construction. The contractor shall verify the elevations and locations of all existing facilities, in coordination with all utility companies, prior to beginning any construction operations. If an existing facility is found to conflict with the proposed construction, the contractor shall immediately notify the engineer so that appropriate measures can be taken to resolve the conflict.
- 9.3. The contractor shall coordinate the work with other contractors in the area and any other underground utility companies required. The contractor shall coordinate relocation of all existing utilities with applicable utility companies.

10. Signing and Pavement Markings

- 10.1. All signing and pavement markings installed as part of these plans shall conform to the Federal highway administration (FHWA) "manual on uniform traffic control devices" (MUTCD), County Traffic Design Standards and FDOT design standards as a minimum criteria.
- 10.2. Match existing pavement markings at the limits of construction.
- 10.3. Removal of the existing pavement markings shall be accomplished by water blasting or other approved

include a key sheet of the lake for the location of cross sections. Lake and canal bank cross sections shall be plotted at a minimum of every 100 lf, unless otherwise specified. "as-built" drawings shall consist of the location and elevation of the top of bank, edge of water, and the deep cut line, with the distance between each shown on the drawing.

- 8.7.7. Retention area "as-built" elevations shall be taken at the bottom of the retention area and at the top of bank. If there are contours indicated on the design plans, then they shall be included in "as-built" drawings as well.
- 8.8. Upon completion of the work, the contractor shall prepare "as-built" drawings on full size, 24" x 36" sheets. All "as-built" information shall be put on the latest engineering drawings. Eight (8) sets of blue or black line drawings shall be submitted. These drawings shall be signed and sealed by a Florida registered professional engineer or land surveyor.
- 8.9. An electronic copy of these "as-built" drawings shall be submitted to the engineer of record in AutoCAD, version 2008 or later.

methods determined by the engineer.

- 10.4. Incorrectly placed paint or thermoplastic pavement markings over friction course will be removed by milling and replacing the friction course a minimum width of 18 in at the contractor's expense. The engineer may approve an alternative method if it can be demonstrated to completely remove the markings without damaging the asphalt.
- 10.5. Place all retro-reflective pavement markers in accordance with standard index 17352 and / or as shown in the plans.
- 10.6. Caution should be exercised while relocating existing signs to prevent unnecessary damage to signs. If the sign is damaged beyond use, as determined by the engineer, signs shall be replaced by the contractor at his expense.
- 10.7. All existing signs that conflict with construction operations shall be removed, stockpiled, and relocated by the contractor. Sign removal shall be directed by the engineer.
- 10.8. Relocated sign support system must meet the current design standard.
- 10.9. The contractor shall provide an inventory of existing signs to remain or to be relocated prior to starting the job and forward this list to the engineer. Contractor shall notify if there are any missing or damage signs that the plans show to remain or to be relocated.
- 10.10. All roadway pavement markings shall be thermoplastic in accordance with FDOT specifications section 711.
- 10.11. Hand dig the first four feet of sign foundation.
- 10.12. All signs shall meet all of the following:
 - Meet the criteria outlined in Section 2A.08 of the 2009 MUTCD
 - Meet the specifications outlined in Section 700 and 994 of the latest FDOT Standard Specifications.
 - Consist of materials certified to meet the retroreflective sheeting requirements outlined in the current version of ASTM D4956 for type-XI retroreflective sheeting materials made with prisms, except for school zone and pedestrian signs which shall be comprised of retroreflective fluorescent yellow-green sheeting certified to meet ASTM D4956 Type IV retroreflective sheeting materials.
 - Consist of retroreflective sheeting materials that have a valid FDOT Approved Product List (APL) certification for specification 700 Highway Signing for FDOT sheeting Type XI (or type IV for school and pedestrian signs).
- 10.13. Patch attachment hardware, such as countersunk screws or rivet heads, with retro reflective buttons that match the color and sheeting material of the finished sign panel including the background, legend or border.
- 10.14. Ensure the outside corner of sign is concentric with border. Ensure white borders are mounted parallel to the edge of the sign. Ensure black borders are recessed from the edge of the sign.
- 10.15. Layout permanent final striping that leaves no visible marks at time of final acceptance.



KEITH

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

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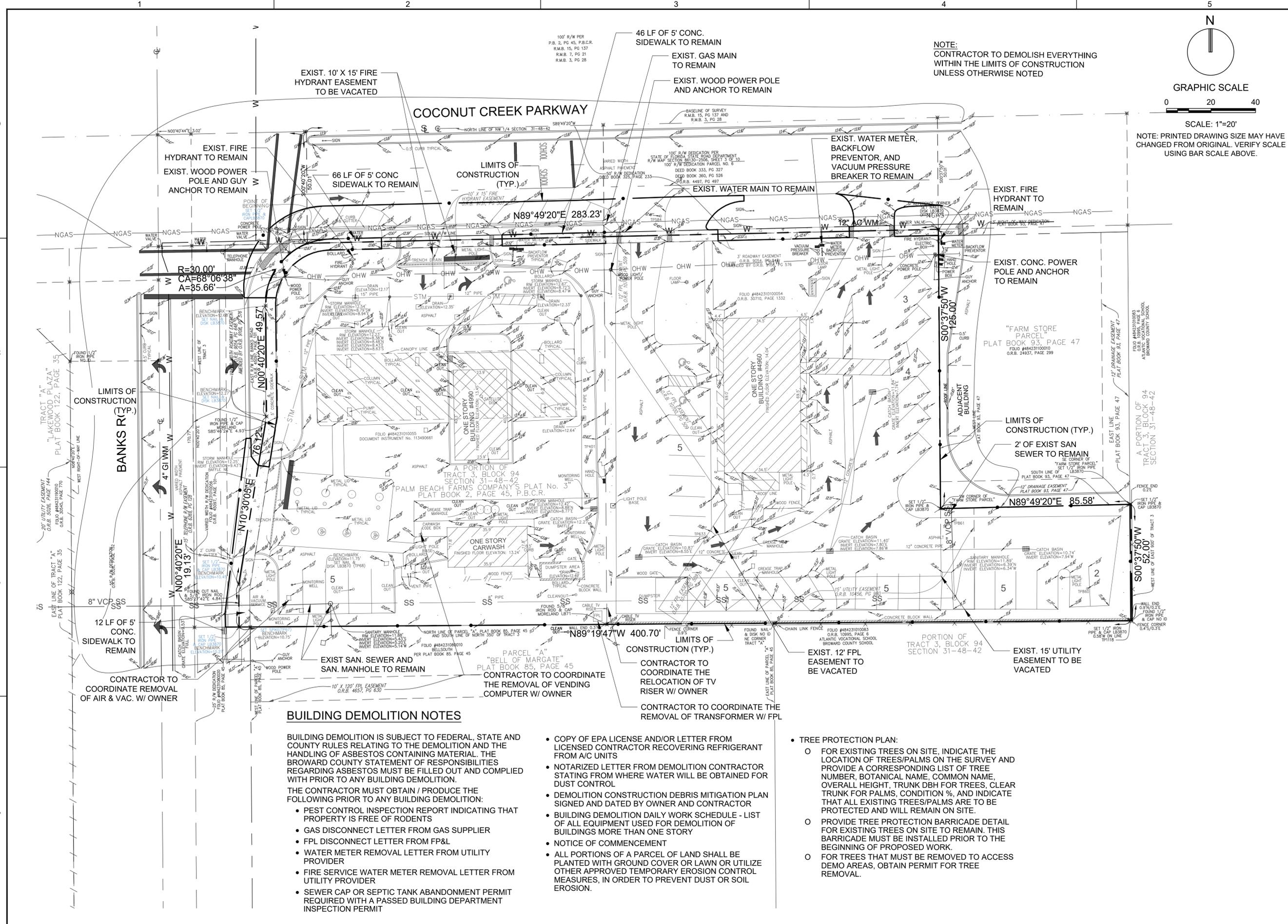
SHEET TITLE

GENERAL NOTES

SHEET NUMBER

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SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
CD-101

PROJECT NO. **09725.64**

BUILDING DEMOLITION NOTES

BUILDING DEMOLITION IS SUBJECT TO FEDERAL, STATE AND COUNTY RULES RELATING TO THE DEMOLITION AND THE HANDLING OF ASBESTOS CONTAINING MATERIAL. THE BROWARD COUNTY STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS MUST BE FILLED OUT AND COMPLIED WITH PRIOR TO ANY BUILDING DEMOLITION.

THE CONTRACTOR MUST OBTAIN / PRODUCE THE FOLLOWING PRIOR TO ANY BUILDING DEMOLITION:

- PEST CONTROL INSPECTION REPORT INDICATING THAT PROPERTY IS FREE OF RODENTS
- GAS DISCONNECT LETTER FROM GAS SUPPLIER
- FPL DISCONNECT LETTER FROM FPL
- WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
- FIRE SERVICE WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
- SEWER CAP OR SEPTIC TANK ABANDONMENT PERMIT REQUIRED WITH A PASSED BUILDING DEPARTMENT INSPECTION PERMIT

- COPY OF EPA LICENSE AND/OR LETTER FROM LICENSED CONTRACTOR RECOVERING REFRIGERANT FROM A/C UNITS
- NOTARIZED LETTER FROM DEMOLITION CONTRACTOR STATING FROM WHERE WATER WILL BE OBTAINED FOR DUST CONTROL
- DEMOLITION CONSTRUCTION DEBRIS MITIGATION PLAN SIGNED AND DATED BY OWNER AND CONTRACTOR
- BUILDING DEMOLITION DAILY WORK SCHEDULE - LIST OF ALL EQUIPMENT USED FOR DEMOLITION OF BUILDINGS MORE THAN ONE STORY
- NOTICE OF COMMENCEMENT
- ALL PORTIONS OF A PARCEL OF LAND SHALL BE PLANTED WITH GROUND COVER OR LAWN OR UTILIZE OTHER APPROVED TEMPORARY EROSION CONTROL MEASURES, IN ORDER TO PREVENT DUST OR SOIL EROSION.

- TREE PROTECTION PLAN:
 - FOR EXISTING TREES ON SITE, INDICATE THE LOCATION OF TREES/PALMS ON THE SURVEY AND PROVIDE A CORRESPONDING LIST OF TREE NUMBER, BOTANICAL NAME, COMMON NAME, OVERALL HEIGHT, TRUNK DBH FOR TREES, CLEAR TRUNK FOR PALMS, CONDITION %, AND INDICATE THAT ALL EXISTING TREES/PALMS ARE TO BE PROTECTED AND WILL REMAIN ON SITE.
 - PROVIDE TREE PROTECTION BARRICADE DETAIL FOR EXISTING TREES ON SITE TO REMAIN. THIS BARRICADE MUST BE INSTALLED PRIOR TO THE BEGINNING OF PROPOSED WORK.
 - FOR TREES THAT MUST BE REMOVED TO ACCESS DEMO AREAS, OBTAIN PERMIT FOR TREE REMOVAL.

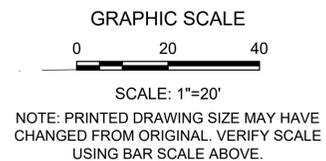
EXIST SAN. SEWER AND SAN. MANHOLE TO REMAIN

CONTRACTOR TO COORDINATE THE REMOVAL OF VENDING COMPUTER W/ OWNER

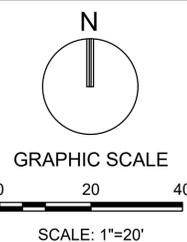
CONTRACTOR TO COORDINATE THE RELOCATION OF TV RISER W/ OWNER

CONTRACTOR TO COORDINATE THE REMOVAL OF TRANSFORMER W/ FPL

NOTE:
CONTRACTOR TO DEMOLISH EVERYTHING WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED



- | | | | | | | | |
|---|---|---|---|---|---|---|---|
| 1 | CONST. TYPE 'C' GRATE EL. = 11.85 INV. EL. = 7.00 (S) | 3 | CONST. DITCH BOTTOM INLET GRATE EL. = 10.00 INV. EL. = 7.00 (NW) | 5 | CONST. 4' Ø CURB INLET W/ PRB (NE) GRATE EL. = 10.71 INV. EL. = 7.00 (NE,S) | 7 | CONST. TYPE 'C' GRATE EL. = 10.37 INV. EL. = 5.00 (S,E) |
| 2 | CONST. 5' Ø CB W/ PRB (W,SE) GRATE EL. = 12.40 INV. EL. = 7.00 (N,SE,W) | 4 | CONST. 5' Ø CB W/ PRB (E) GRATE EL. = 10.94 INV. EL. = 7.00 (E,N,W) | 6 | CONST. DITCH BOTTOM INLET GRATE EL. = 10.00 INV. EL. = 7.00 (SW) | 8 | CORE DRILL AND CONNECT TO EXIST. CB EXIST. GRATE EL. = 9.53 EXIST. INV. EL. = 8.23 (SW) PROP. INV. EL. = 5.00 (N) |



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



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 Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER DRC	11/8/19

**PRELIMINARY PLAN
 NOT FOR CONSTRUCTION**
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7-ELEVEN #34941
 4990 COCONUT CREEK PKWY.
 COCONUT CREEK, FL 33063

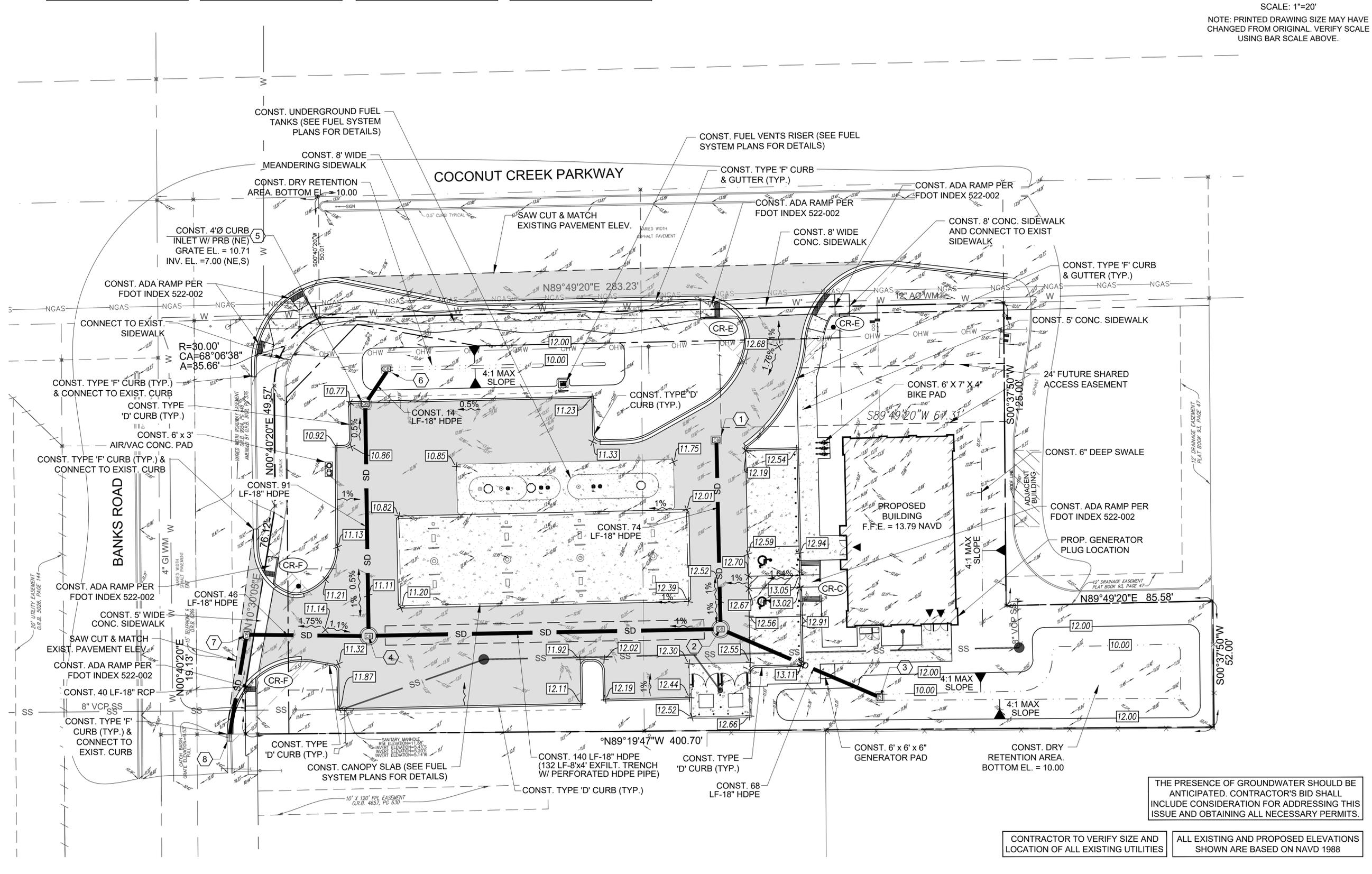
SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2019
DRAWN BY:	AM
DESIGNED BY:	MG
CHECKED BY:	TD

THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
**PAVING, GRADING,
 AND DRAINAGE PLAN**

SHEET NUMBER
CP-101

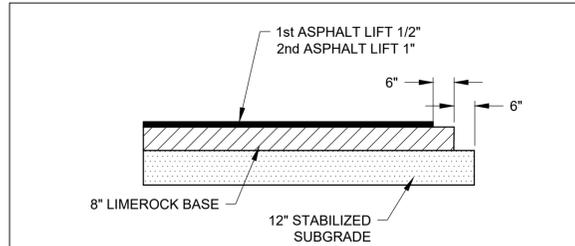
PROJECT NO. **09725.64**



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EXISTING UTILITIES

ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ARE BASED ON NAVD 1988



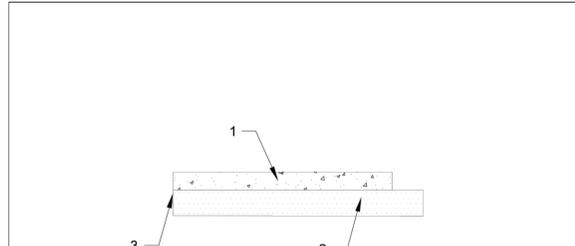
ASPHALTIC CONCRETE VEHICULAR:
 FIRST LIFT - 1/2" FDOT - SP 9.5 (FINE MIX).
 SECOND (FINAL) LIFT - 1" FDOT - SP 9.5 (FINE MIX).
 ASPHALT SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF FDOT STANDARDS SPECIFICATIONS SECTIONS 330 AND 334. SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL FINAL LANDSCAPE/HARDSCAPE HAS BEEN INSTALLED.

PRIME AND TACK COAT:
 LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF FDOT STANDARDS SPECIFICATIONS SECTION 300.
 APPLICATION RATES:
 PRIME COAT - 0.10 GALLONS PER SQ. YD.
 TACK COAT - 0.08 GALLONS PER SQ. YD.

BASE:
 8" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). LIMEROCK BASE TO CONFORM WITH THE REQUIREMENTS OF FDOT SPECIFICATIONS SECTIONS 200 AND 911. MINIMUM LBR = 100.

SUBGRADE:
 12" STABILIZED SUBGRADE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180); MINIMUM LBR = 40.

1 ASPHALT PAVEMENT DETAIL
 SCALE: NOT TO SCALE

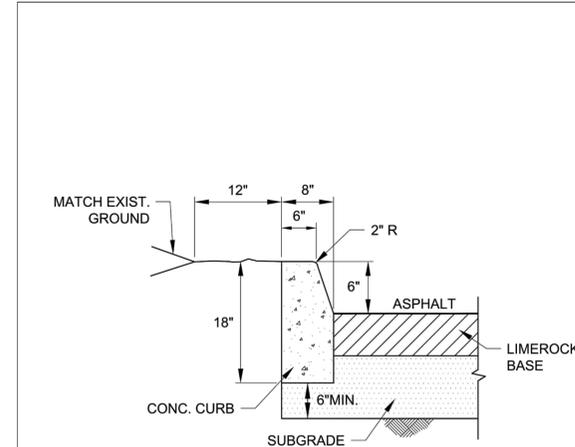


1. CONCRETE VEHICULAR COURSE:
 8" - 3,000 PSI CONCRETE PER FDOT SECTION 346 AND 350.

2. STABILIZED SUBGRADE:
 12" SUBGRADE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180).
 MINIMUM LBR = 40. GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD.

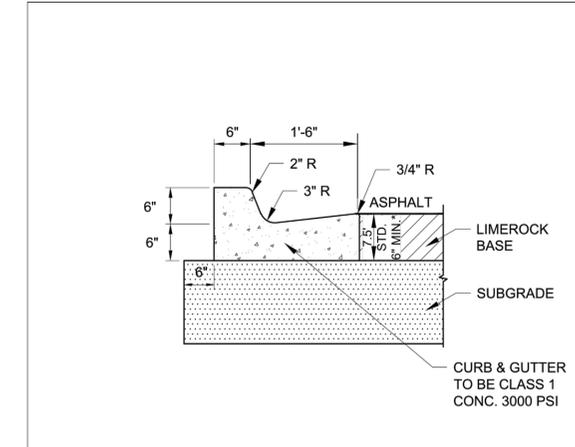
3. SAWED JOINTS:
 3/16" SAW CUT, 1 1/2" DEEP (WITHIN 12 HOURS), MAX. 15' O.C., AND MIN. 3' PARALLEL TO THE EDGE OF PAVEMENT.

3 CONCRETE PAVEMENT DETAIL
 SCALE: NOT TO SCALE



NOTE:
 ALL TYPE "D" CURB SHALL BE IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF FDOT INDEX 300.

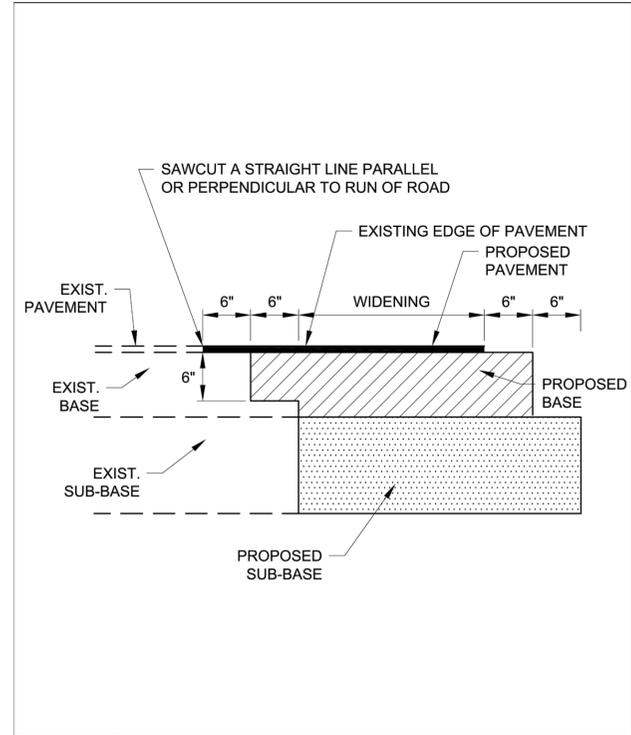
4 TYPE 'D' CURB DETAIL PER FDOT INDEX No. 300
 SCALE: NOT TO SCALE



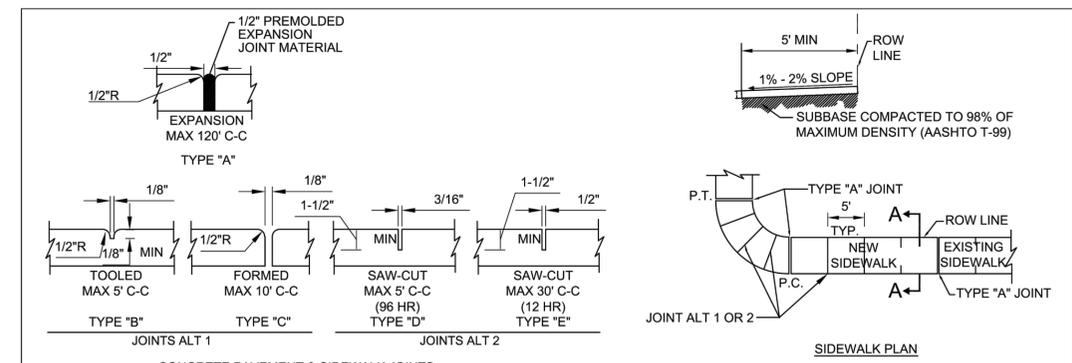
NOTE:
 ALL TYPE "F" CURB & GUTTER SHALL BE IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF FDOT INDEX 300.

***WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.**

5 TYPE 'F' CURB & GUTTER DETAIL PER FDOT INDEX No. 300
 SCALE: NOT TO SCALE



6 SAWCUT / WIDENING DETAIL
 SCALE: NOT TO SCALE

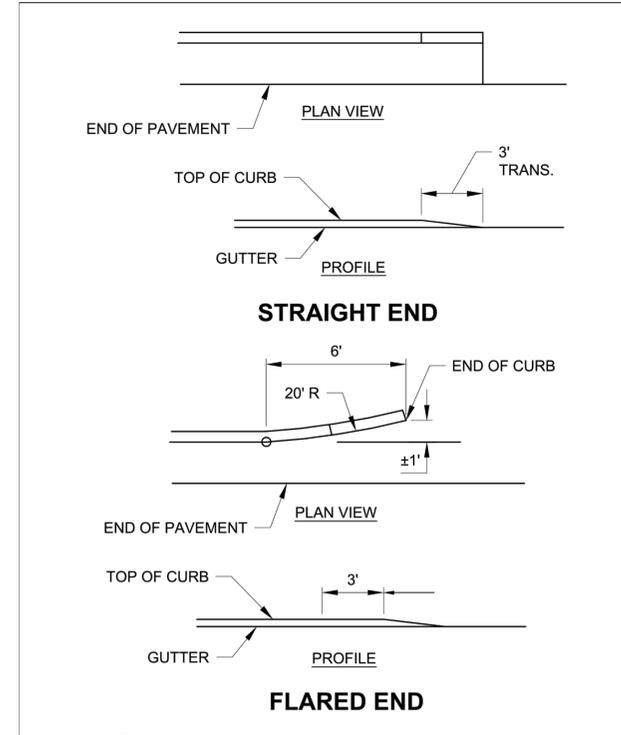


CONCRETE PAVEMENT & SIDEWALK JOINTS

NOTES:

- Sidewalk construction is to comply with the latest FDOT standards for sidewalks and ADA curb ramps, per FDOT index 522.001 and 522.002.
- Provide either joint alternate 1 or 2. If using joint alternate 2: construct type "E" joints at not more than 30' intervals - within 12 hours after finishing; construct 1/2" expansion, provide joint type "A", with non-rising performed joint filler at not more than 120' intervals, construct remaining joints within 96 hours after finishing.
- Provide 1/2" expansion joint type "A", with non-rising performed joint filler where concrete pavement abuts concrete curbs, driveways and other fixed objects.
- Sidewalk thickness shall be 4" thick unless otherwise noted. Thickness shall be 6" through driveways and on all commercial sidewalk applications.
- The use of steel reinforcement is not permitted.
- Concrete to be 3,000 psi in 28 days.
- Cure all concrete with approved method.
- Sidewalk foundation shall be compacted to a firm, even surface, true to grade and cross section, and shall be moist at the time concrete is placed.
- All construction shall conform to local construction codes and standards.
- Sidewalk slopes shall meet the requirements of the Americans with Disabilities Act. Minimum transverse slope 0.01 ft./ft. And maximum transverse slope 0.02 ft./ft. toward swale or gutter. Longitudinal slope shall conform to ADA requirements.
- The vertical deviation for a new sidewalk shall not be more than 1/2".
- The vertical deviation for a new maintenance access structure cover shall not be more than 1/4".
- Where truncated domes are used, stamped concrete is not permitted. Truncated domes to be cast with the concrete.
- Sidewalk shall have a transverse hair broom finish.

7 SIDEWALK DETAIL
 SCALE: NOT TO SCALE



8 CURB & GUTTER FLARED AND STRAIGHT ENDS
 SCALE: NOT TO SCALE

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 4990 COCONUT CREEK PKWY.
 COCONUT CREEK, FL 33063

SCALE: AS NOTED
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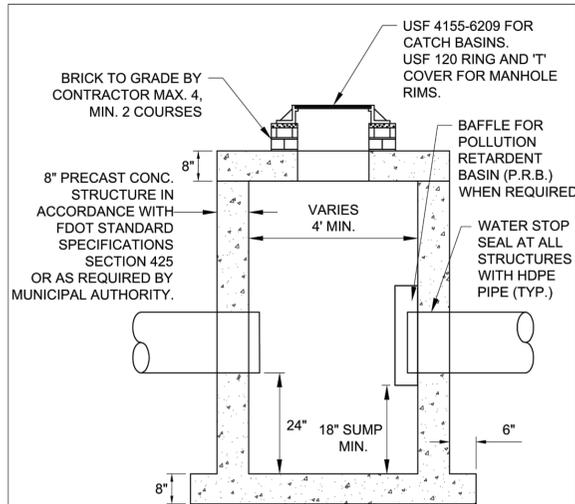
THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
 PAVING, GRADING,
 AND DRAINAGE
 DETAILS

SHEET NUMBER
 CP-501

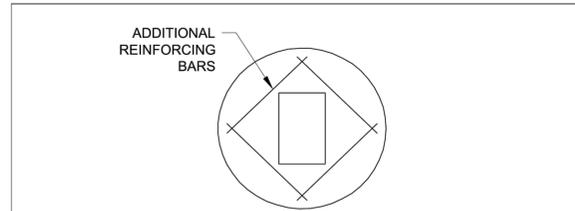
PROJECT NO. 09725.64

Drawing name: N:\09725.64 - 11\043570\Coconut Creek, FL - C:\ghorfor\Engineering\Cal\09725.64\CP-501.dwg Layout Name: CP-501 Plotted on: Nov 07, 2019 3:12pm

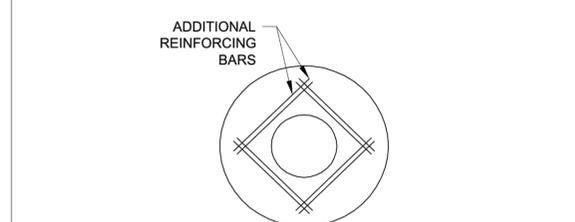


NOTE:
 1. STRUCTURE MANUFACTURER AND/OR CONTRACTOR SHALL CONFIRM ALL STEEL REINFORCEMENT MEETS FDOT STANDARDS PER INDEX 200, SECTION 415 AND 425 PRIOR TO SUBMITTING ANY SHOP DRAWINGS FOR APPROVAL.
 2. LOCKING GRATES TO BE PROVIDED.

9 CATCH BASIN / DRAINAGE MANHOLE DETAIL
 SCALE: NOT TO SCALE

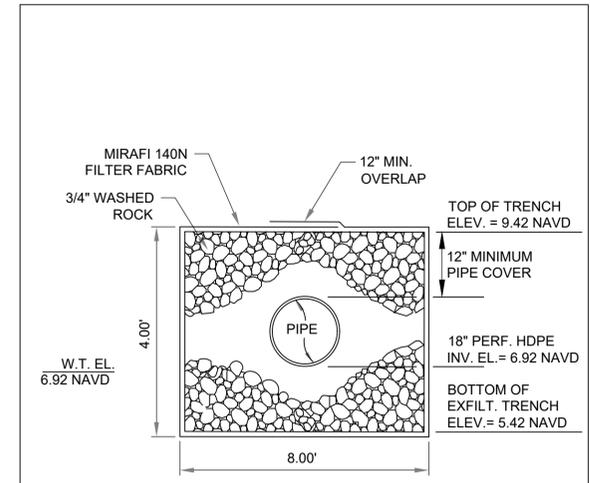


PLAN VIEW TOP SLAB FOR CATCH BASINS

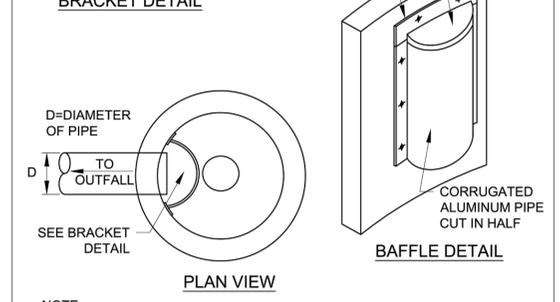
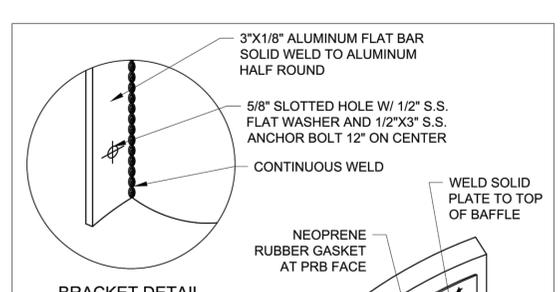


PLAN VIEW TOP SLAB FOR MANHOLES

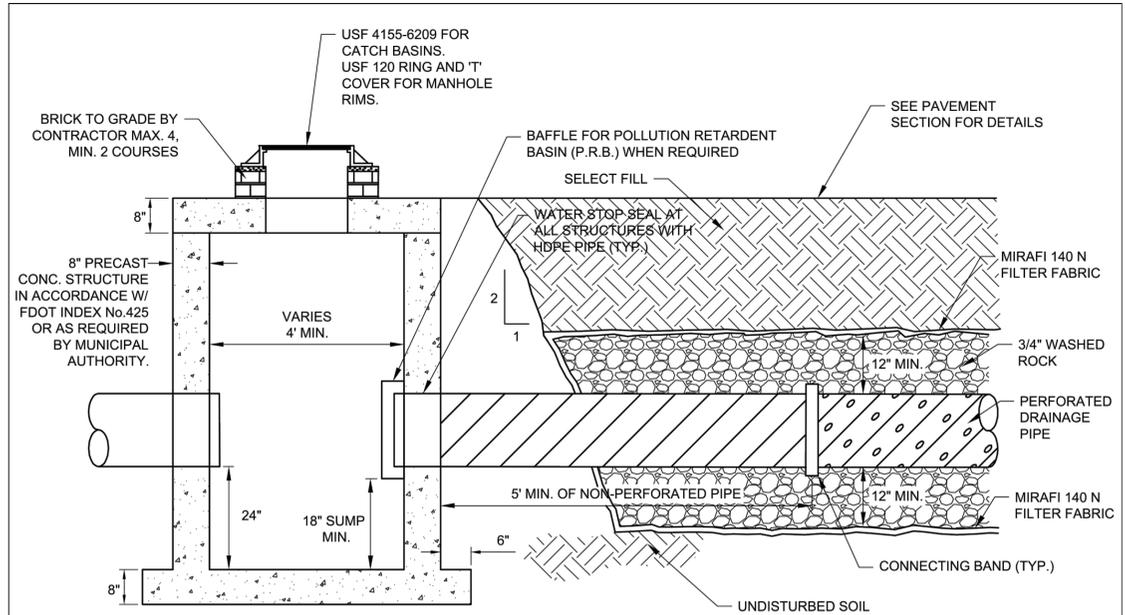
10 CATCH BASIN / MANHOLE FRAME DETAIL
 SCALE: NOT TO SCALE



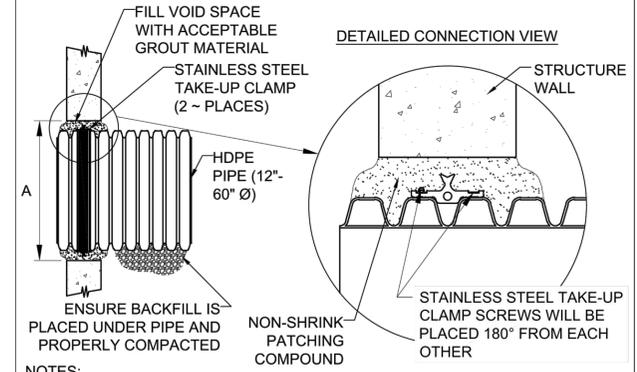
11 EXFILTRATION TRENCH DETAIL
 SCALE: NOT TO SCALE



12 POLLUTION RETARDANT BAFFLE DETAIL
 SCALE: NOT TO SCALE



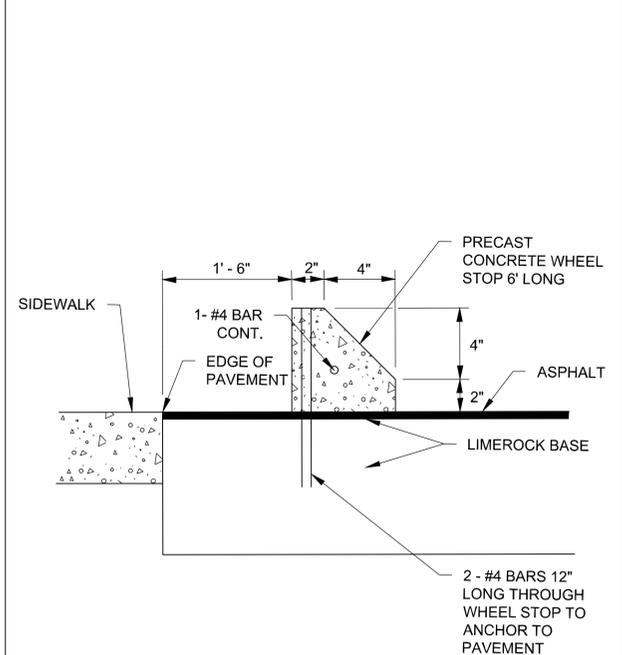
13 CATCH BASIN W/ P.R.B. AND EXFILTRATION TRENCH
 SCALE: NOT TO SCALE



NOTES:
 PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST ENSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.
 SEE ADS STANDARD DETAIL STD-201 AND ADS INSTALLATION GUIDE 1.05: WATERSTOP INSTALLATION FOR INSTALLATION RECOMMENDATIONS.

PIPE SIZE	PIPE OD		"A" MIN. HOLE DIA.	MIN. DISTANCE PIPE INVERT TO STRUCTURE INVERT
	A-PROFILE	H-PROFILE		
12"	14.5"	N/A	19.5"	3.7"
15"	17.6"	N/A	23.00"	4.0"
18"	21.2"	N/A	26.50"	4.2"
24"	27.8"	N/A	33.25"	4.5"
30"	35.1"	N/A	40.50"	5.2"
36"	41.1"	41.1"	47.00"	5.5"
42"	47.7"	48.0"	53.00"	5.7"
48"	53.6"	54.0"	59.00"	5.7"
60"	66.3"	67.3"	72.00"	6.4"

15 GROUTED MANHOLE CONNECTION (HDPE PIPE) DETAIL
 SCALE: NOT TO SCALE



16 WHEEL STOP DETAIL
 SCALE: NOT TO SCALE



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 4990 COCONUT CREEK PKWY.
 COCONUT CREEK, FL 33063

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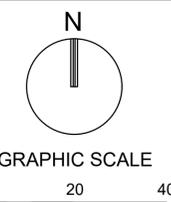
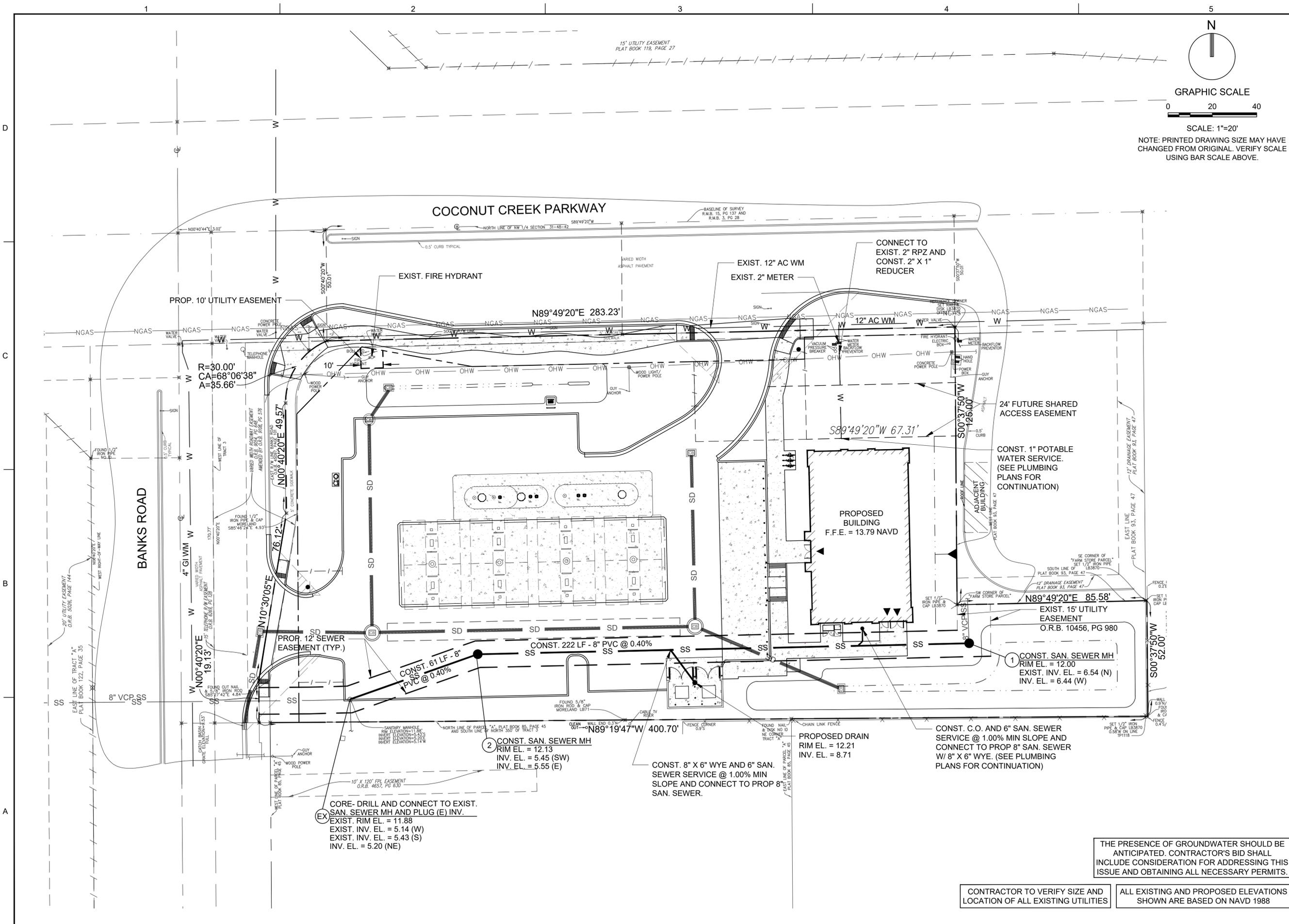
THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
**PAVING, GRADING,
 AND DRAINAGE
 DETAILS**

SHEET NUMBER
CP-502

PROJECT NO. 09725.64

Drawing name: N:\09725.64 - 11\1043570\Coconut Creek, FL - C:\ghorleng\Engineering\Cart09725.64-CP-502.dwg Layout Name: CP-502 Plotted on: Nov 07, 2019 3:12pm



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 COCONUT CREEK, FL 33063

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THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
WATER AND SEWER PLAN

SHEET NUMBER
CU-101

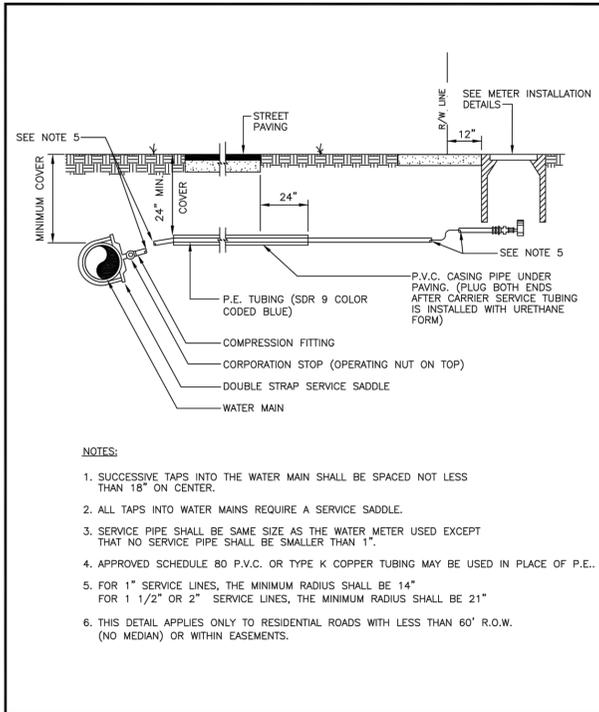
PROJECT NO. **09725.64**

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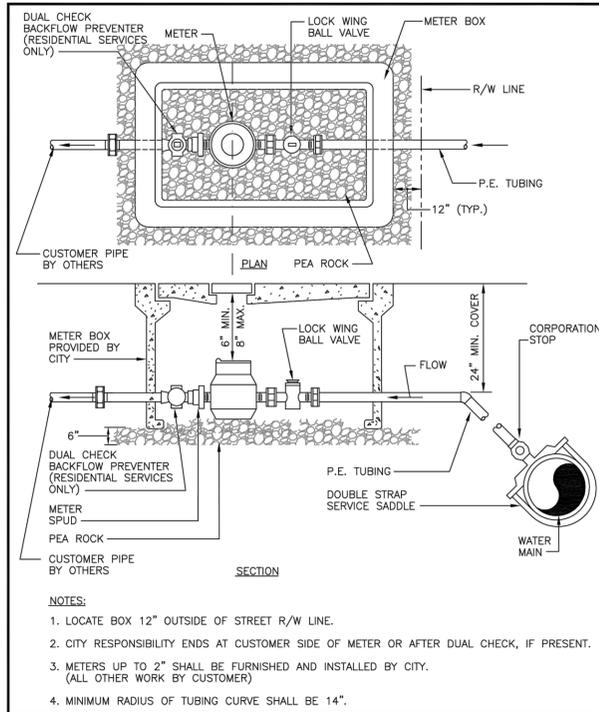
ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ARE BASED ON NAVD 1988

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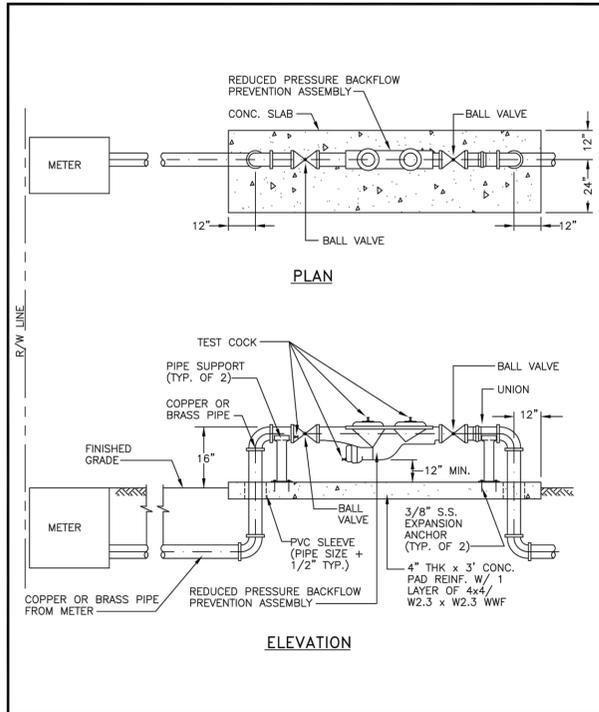
- NOTES:**
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
 - ALL TAPS INTO WATER MAINS REQUIRE A SERVICE SADDLE.
 - SERVICE PIPE SHALL BE SAME SIZE AS THE WATER METER USED EXCEPT THAT NO SERVICE PIPE SHALL BE SMALLER THAN 1".
 - APPROVED SCHEDULE 80 P.V.C. OR TYPE K COPPER TUBING MAY BE USED IN PLACE OF P.E..
 - FOR 1" SERVICE LINES, THE MINIMUM RADIUS SHALL BE 14" FOR 1 1/2" OR 2" SERVICE LINES, THE MINIMUM RADIUS SHALL BE 21"
 - THIS DETAIL APPLIES ONLY TO RESIDENTIAL ROADS WITH LESS THAN 60' R.O.W. (NO MEDIAN) OR WITHIN EASEMENTS.

DATE: 12-14-16 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
**WATER SERVICE CONNECTION
 FOR 1" TO 2" SERVICES** W-1

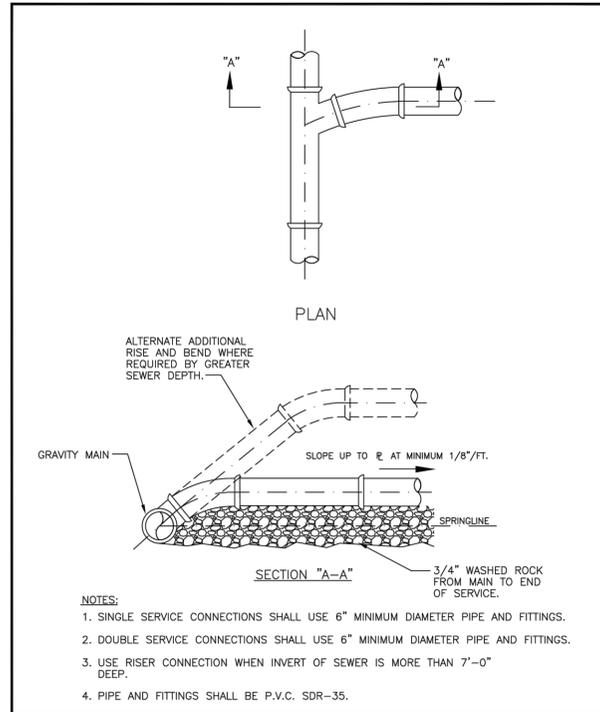


- NOTES:**
- LOCATE BOX 12" OUTSIDE OF STREET R/W LINE.
 - CITY RESPONSIBILITY ENDS AT CUSTOMER SIDE OF METER OR AFTER DUAL CHECK, IF PRESENT.
 - METERS UP TO 2" SHALL BE FURNISHED AND INSTALLED BY CITY. (ALL OTHER WORK BY CUSTOMER)
 - MINIMUM RADIUS OF TUBING CURVE SHALL BE 14".

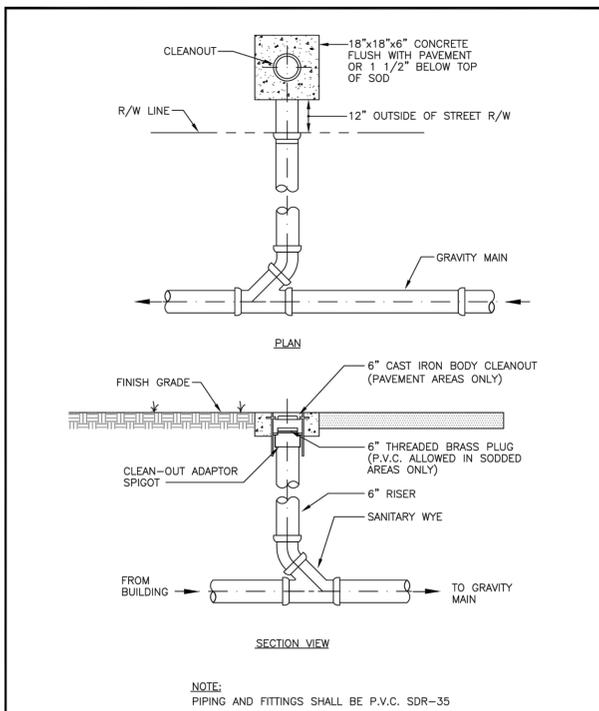
DATE: 12-14-16 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
**METER INSTALLATION FOR
 5/8" AND 1" METERS** W-2



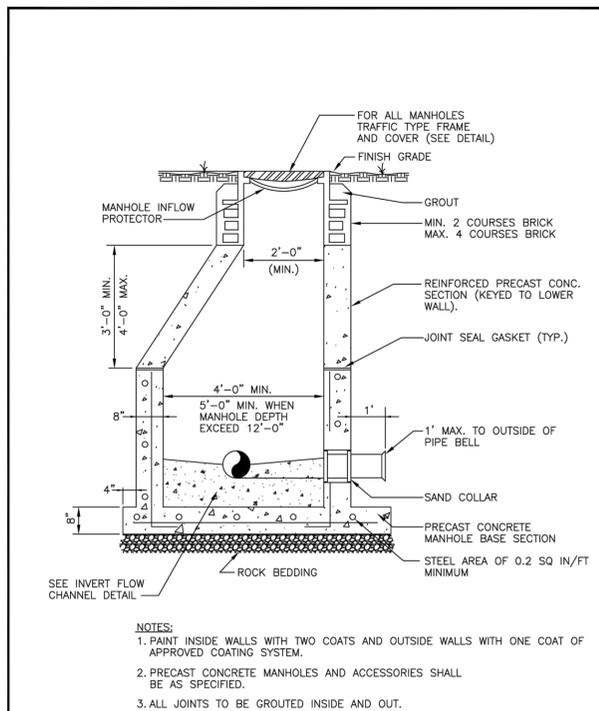
DATE: 12-14-16 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
**REDUCED PRESSURE
 BACKFLOW PREVENTION ASSEMBLY
 FOR SERVICE SIZE 1" TO 2"** W-7



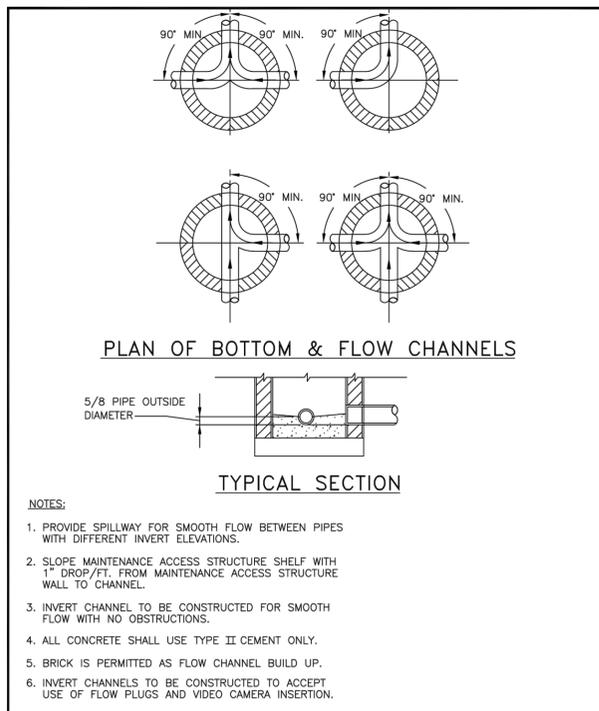
DATE: 12-14-16 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
**WYE SERVICE
 CONNECTION** WW-1



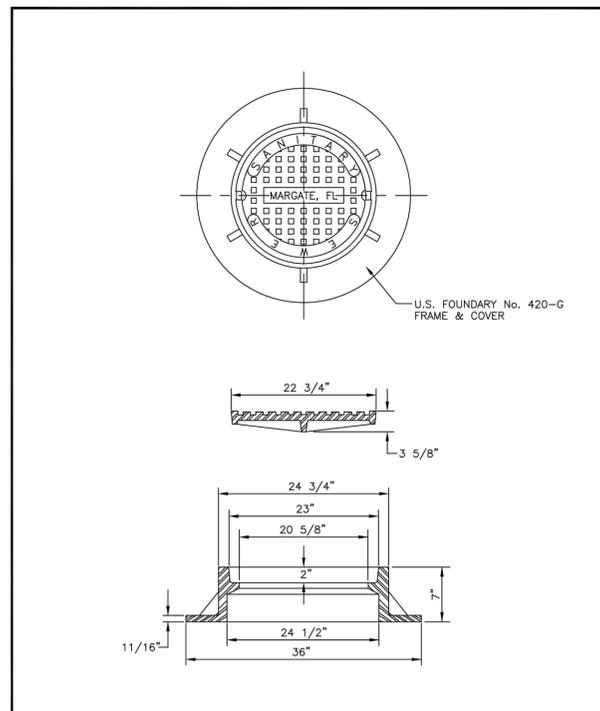
DATE: 12-14-16 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
CLEANOUT WW-3



DATE: 12-14-16 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
STANDARD MANHOLE WW-4



DATE: 12-14-14 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
INVERT FLOW CHANNEL WW-6



DATE: 12-14-16 DRAWN: JWEAVER
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL
 AND ENGINEERING SERVICES
**GRAVITY SEWER MANHOLE
 FRAME AND COVER** WW-7



301 East Atlantic Boulevard
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 COCONUT CREEK, FL 33063

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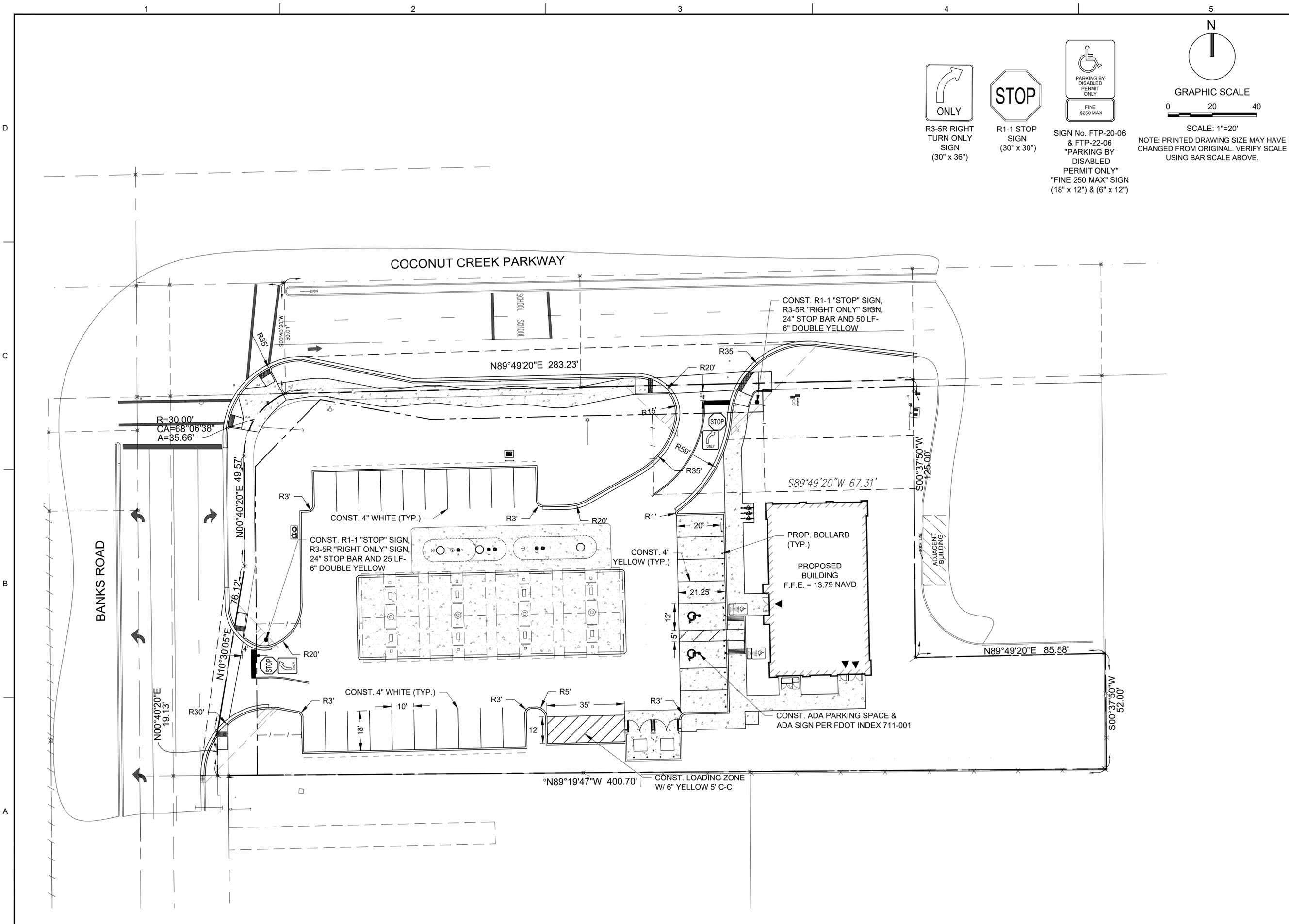
THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
**WATER AND SEWER
 DETAILS**

SHEET NUMBER
CU-501

PROJECT NO. **09725.64**

Drawing name: N:\09725.64 - 11\1043571\Coconut Creek, FL - Civil\BorEngineering\09725.64-CU-501.dwg Layout Name: CU-501 Plotted by: bbeakley Printed on: Nov 07, 2019 - 10:38am



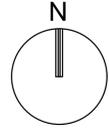
R3-5R RIGHT TURN ONLY SIGN (30" x 36")



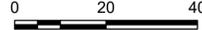
R1-1 STOP SIGN (30" x 30")



SIGN No. FTP-20-06 & FTP-22-06 "PARKING BY DISABLED PERMIT ONLY" "FINE 250 MAX" SIGN (18" x 12") & (6" x 12")



GRAPHIC SCALE



SCALE: 1"=20'
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



KEITH
301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643
120 North Federal Highway, Suite 208
Lake Worth, Florida 33460
PH: (954) 788-3400
Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER DRC	11/8/19

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2019
DRAWN BY:	AM
DESIGNED BY:	MG
CHECKED BY:	TD

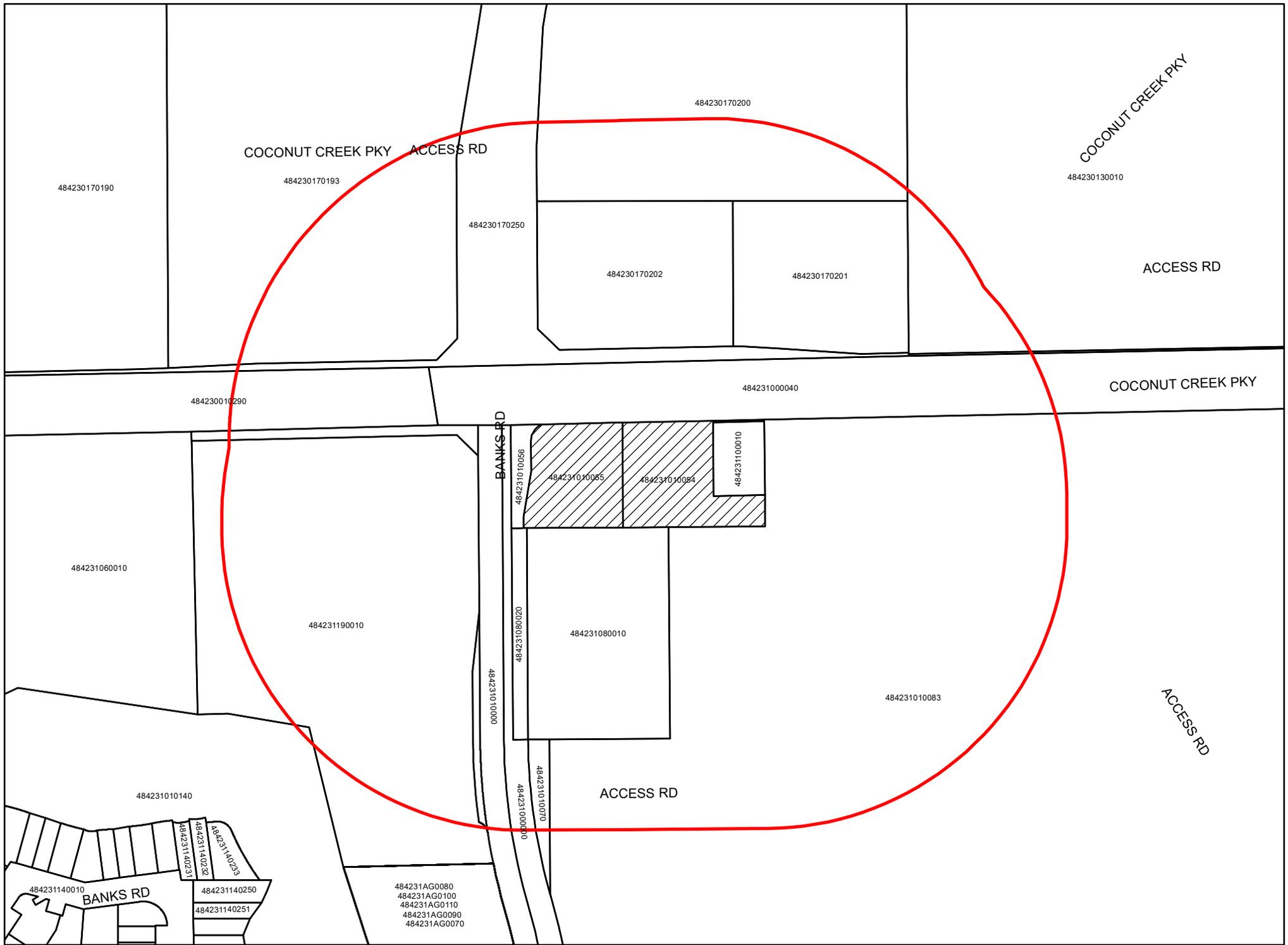
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE
**PAVEMENT MARKING
AND SIGNAGE PLAN**

SHEET NUMBER
CM-101

PROJECT NO. **09725.64**

Drawing name: N:\09725.64 - 7-11\043576 Coconut Creek, FL - Civil\BorEngineering\Carl\09725.64-DM-100.dwg Layout Name: CM-101 Printed on: Nov 07, 2019 - 3:11pm



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



4990 & 4960 Coconut Creek Parkway
500 foot notice buffer



7-ELEVEN INC
1722 ROUTH ST STE 1000
DALLAS, TX 75201

CENTREPOINT PLAZA LTD PRTNR
11911 US HIGHWAY 1 STE 206
N PALM BEACH, FL 33408

CITY OF COCONUT CREEK
4800 W COPANS RD
COCONUT CREEK, FL 33063

KIEL, THOMAS
4960 COCONUT CREEK PKWY
COCONUT CREEK, FL 33063

PUBLIC LAND
CITY OF COCONUT CREEK
4800 W COPANS RD
COCONUT CREEK, FL 33063

SCHOOL BOARD OF BROWARD COUNTY
ATTN:FACILITY MANAGEMENT
600 SE 3 AVE
FORT LAUDERDALE, FL 33301

VALUE STORE IT MARGATE LLC
3201 W COMMERCIAL BLVD #218
FORT LAUDERDALE, FL 33309

BROWARD COUNTY
BOARD OF COUNTY COMMISSIONERS
115 S ANDREWS AVE RM 501-RP
FORT LAUDERDALE, FL 33301

CENTRO NP COCONUT CREEK
OWNER LLC
420 LEXINGTON AVE 7 FL
NEW YORK, NY 10170

CITY OF MARGATE
5790 MARGATE BLVD
MARGATE, FL 33063

PUBLIC LAND
CITY OF COCONUT CREEK
4800 W COPANS RD
COCONUT CREEK, FL 33063

PUBLIC LAND
CITY OF COCONUT CREEK
4800 W COPANS RD
COCONUT CREEK, FL 33063

SOUTHERN BELL TEL & TEL CO
TAX ADMIN OFF BELL SOUTH CORP
1010 PINE, 9E-L-01
ST LOUIS, MO 63101

VILLENEUVE INVESTMENTS INC
9595 COLLINS AVE APT N7-J
MIAMI, FL 33154

BROWARD COUNTY
BOARD OF COUNTY COMMISSIONERS
115 S ANDREWS AVE RM 501-RP
FORT LAUDERDALE, FL 33301

CITY OF COCONUT CREEK
4800 W COPANS RD
COCONUT CREEK, FL 33063

FLORIDA LAND TR
NAVARRETE N, MIGUEL E TRSTEE
4920 COCONUT CREEK PKWY
COCONUT CREEK, FL 33063

PUBLIC LAND
CITY OF MARGATE
5790 MARGATE BLVD
MARGATE, FL 33063

REFLECTIONS HOUSING LTD PTNR
1300 BANKS RD
MARGATE, FL 33063

TC MC MARGATE APARTMENTS LLC
3850 BIRD RD 8TH FLOOR
CORAL GABLES, FL 33146



OFFICE OF PROPERTY APPRAISER, BROWARD COUNTY FLORIDA 154001

Received From: Keith & Associates Inc

Date: 9/23/2019

**Kaitlyn Riquelmy
2312 S Andrews Ave
Fort Lauderdale, FL 33316**

Product	Item Price	Quantity	Item Total
Custom Tax Roll -- variance	\$25.00	1	\$25.00

Cashier: Heather Hanson

Total: \$25.00

Payment: Check

Anne-Christine Carrie

From: Kaitlyn Riquelmy
Sent: Friday, November 1, 2019 10:01 AM
To: Anne-Christine Carrie
Subject: FW: 09725.64 7-Eleven #34941 Coconut Creek - Community Outreach 500' Radius
Attachments: 4990 & 4960 Coconut Creek Parkway.pdf; 4990 & 4960 Coconut Creek Parkway.xlsx; OrderID=154001.pdf



Kaitlyn Riquelmy
Associate Planner
2312 S. Andrews Ave, Ft. Lauderdale
Office: 954.788.3400
Email: kRiquelmy@keithteam.com
www.KEITHteam.com

From: Heather Hanson <hhanson@bcpa.net>
Sent: Tuesday, September 24, 2019 8:04 AM
To: Kaitlyn Riquelmy <kRiquelmy@keithteam.com>
Cc: Kenny Gibbs <kgibbs@bcpa.net>
Subject: RE: 09725.64 7-Eleven #34941 Coconut Creek - Community Outreach 500' Radius

Kaitlyn,
Your files are attached along with your receipt.
Thank you,

Heather A. Hanson, CFE
GIS Analyst / InfoBroward
Office of Marty Kiar, Broward County Property Appraiser
115 S Andrews Ave Rm 111
Ft Lauderdale, FL 33301
Phone: 954-357-6855
Fax: 954-357-6980
hhanson@bcpa.net

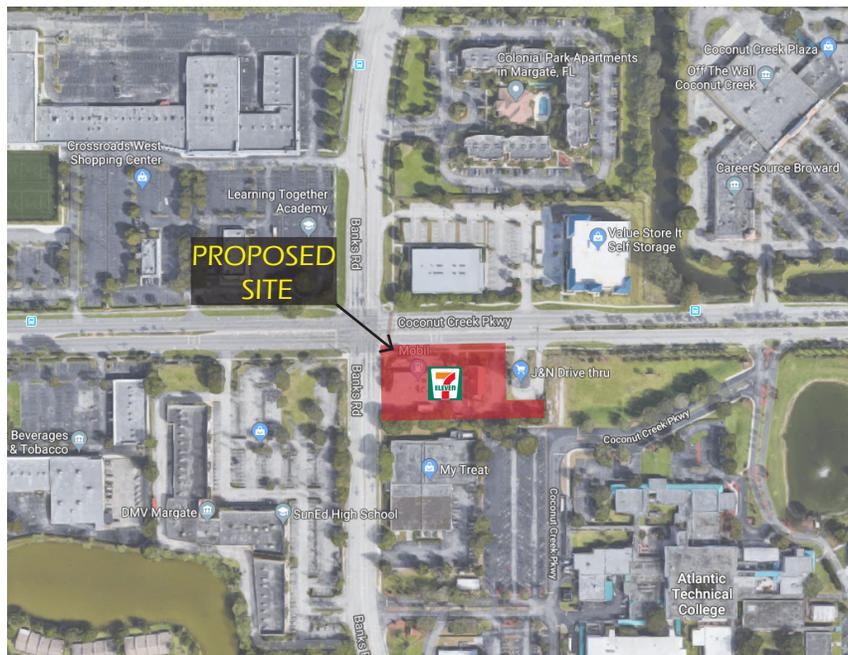
Follow our office at <http://www.facebook.com/MartyKiarBCPA>
and <http://www.twitter.com/MartyKiarBCPA>

From: Kenny Gibbs
Sent: Wednesday, September 18, 2019 12:26 PM
To: Kaitlyn Riquelmy <kRiquelmy@keithteam.com>
Subject: RE: 09725.64 7-Eleven #34941 Coconut Creek - Community Outreach 500' Radius

7-ELEVEN COMMUNITY OUTREACH MEETING

COME JOIN US TO DISCUSS
YOUR FUTURE
7-ELEVEN!

TO BE LOCATED AT 4990 COCONUT CREEK
PARKWAY



MEETING LOCATION:

CITY OF COCONUT CREEK
COMMUNITY CENTER
MEETING ROOM C-105
1100 LYONS ROAD
COCONUT CREEK, FL 33063

MEETING DATE & TIME:

WEDNESDAY
OCTOBER 16, 2019
AT 6:00PM

