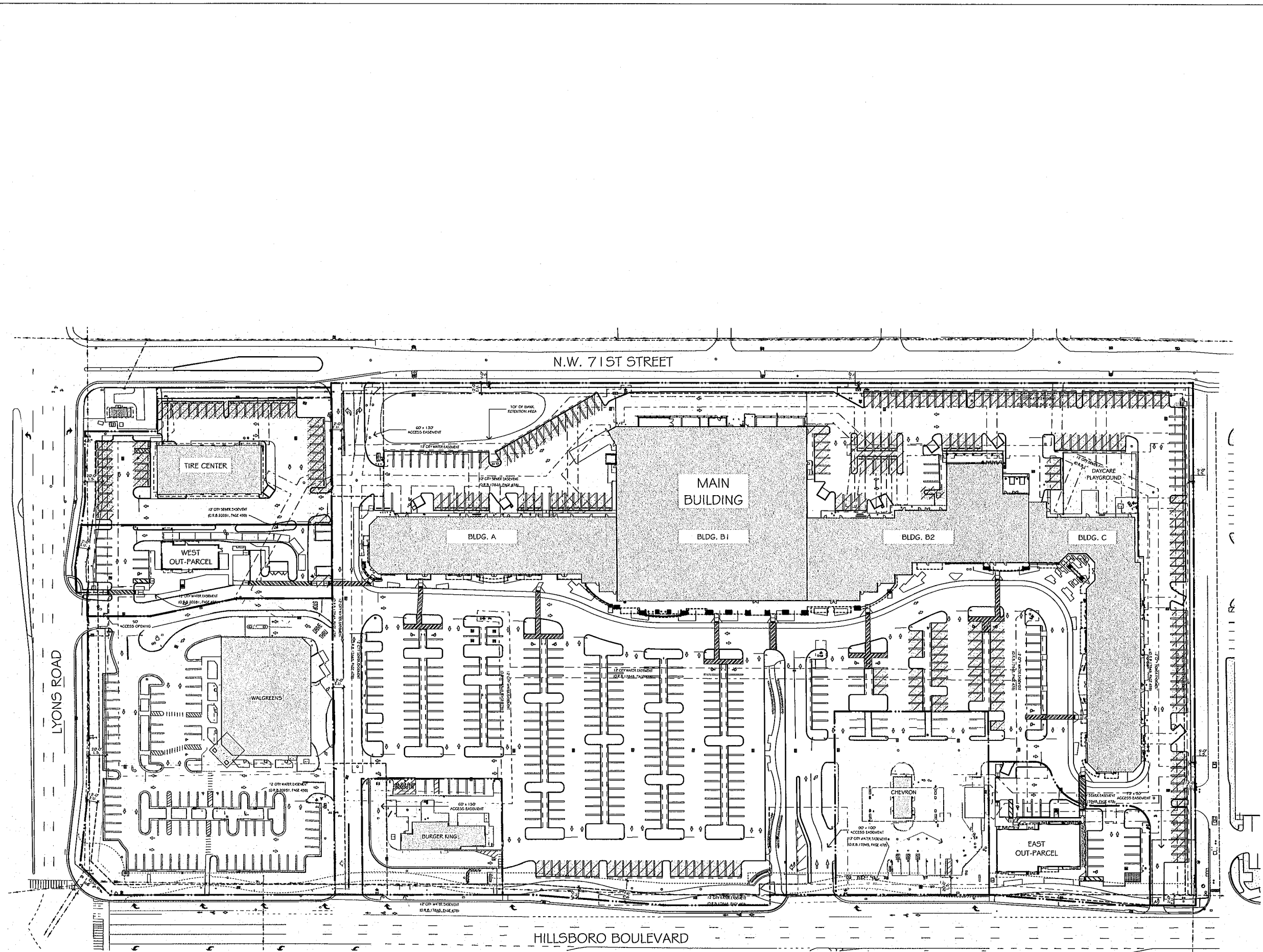






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B:\M\cloud\B\W\serve\FPC - BIM\cloud\B\W\Hillsboro Market\Theater\marketplaces at Hillsboro - SPA



PROPOSED MASTER PLAN

1" = 50'

DESIGN MATTERS

**MUMMAW + ASSOCIATES, INC.**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 CONSTRUCTION MANAGEMENT  
 4730 NW BOCA RATON BLVD.  
 BOCA RATON, FL 33431  
 561.381.0375  
 AIA# 13002184  
 IBC# 26001004  
 CGC# 55122  
 DOUGLAS A. MUMMAW  
 AIA, NCARB  
 FLORIDA AR 92310  
 PENNSYLVANIA RA 405601  
 www.mumma.com

Digitally signed by Douglas A. Mummaw AR 92310 DN: cn=Douglas A. Mummaw AR 92310, o=Mummaw + Associates, Inc., email=dam@mumma.com, c=US Date: 2021.07.23 13:43:47 -0400

ARCHITECTURAL SEAL

MARKETPLACE AT HILLSBORO - WEST OUT-PARCEL  
 4201-4589 W. HILLSBORO BLVD.  
 COCONUT CREEK, FLORIDA 33432

PROPOSED MASTER SITE PLAN

SHEET TITLE	PROPOSED MASTER SITE PLAN
PROJECT NUMBER	1104-C
PARTIAL RELEASE	
FULL RELEASE	02/14/2020
P.M. : RENEE JOHNNALLY	
REVISIONS	
▲ SECOND SUBMITTAL	09/29/2020
▲ THIRD SUBMITTAL	12/17/2020
▲ FOURTH SUBMITTAL	03/12/2021
▲ FIFTH SUBMITTAL	04/14/2021
▲ SIXTH SUBMITTAL	07/23/2021

031-SP-2

LAST SAVED AT: 7/29/21

**BUILDING DATA PROPOSED USES**

ZONING INFORMATION	
CURRENT USE ZONING DESIGNATION :	PCD
PROPOSED USE ZONING DESIGNATION :	PCD
FUTURE LAND USE :	COMMERCIAL
INTENDED USE :	PCD / RETAIL CENTER
PROJECT DATA	
SITE DATA (FROM PROPERTY APPRAISERS)	: .6211 ACRES
TOTAL SITE AREA :	27,055 SF
F.A.R. CALCULATIONS	
MAXIMUM ALLOWED :	0.40
PROPOSED :	0.70
OPEN SPACE	
REQUIRED :	5,411 SF 20%
PROPOSED :	6,909 25.5%

BUILDING DATA	
GROSS AREAS	
FAST FOOD RESTAURANT :	1,900 SF
USES	
FAST FOOD RESTAURANT :	1,900 SF
BUILDING HEIGHT (MAX)	
WEST OUT PARCEL :	36' 22'-9"
SETBACKS	
REQUIRED :	PER PCD DEVELOPMENT STANDARDS
PROVIDED :	FROM LANDSCAPE BUFFER

WEST OUTPARCEL PROPOSED USES (CITY CODE RATES)						
LAND USE	TOTAL INTENSITY	(A) INTENSITY	UNIT	REQUIRED PARKING RATE	(B) BASE (# OF SPACES)	BICYCLE PARKING
HIGH TURNOVER SEATING AREA	300	300	GFA	10.00	3	5
RESTAURANT NON-SEATING	1,900	1,900	GFA	3.33	7	
<b>TOTAL</b>	<b>2,200</b>				<b>10</b>	<b>5</b>

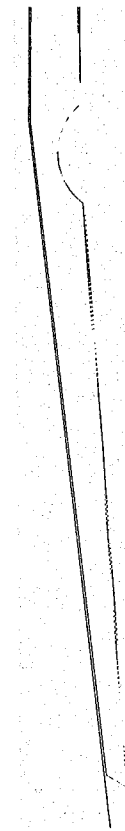
WEST OUTPARCEL PARKING ANALYSIS	
REQUIRED PARKING	10
AVAILABLE REGULAR PARKING	10
AVAILABLE HANDICAP PARKING	1
AVAILABLE EV PARKING	1
TOTAL AVAILABLE PARKING	12
EXCESS PARKING	2
ADEQUATE PARKING?	YES
AVAILABLE BICYCLE PARKING	5

\* ENTIRE SITE CONTAINS AN EXCESS OF 3 PARKING SPACES INCLUDING THE SURPLUS ON THIS PARCEL.  
 \*\* ONE (5 UNIT) BIKE RACK PROVIDED FOR THIS PARCEL.

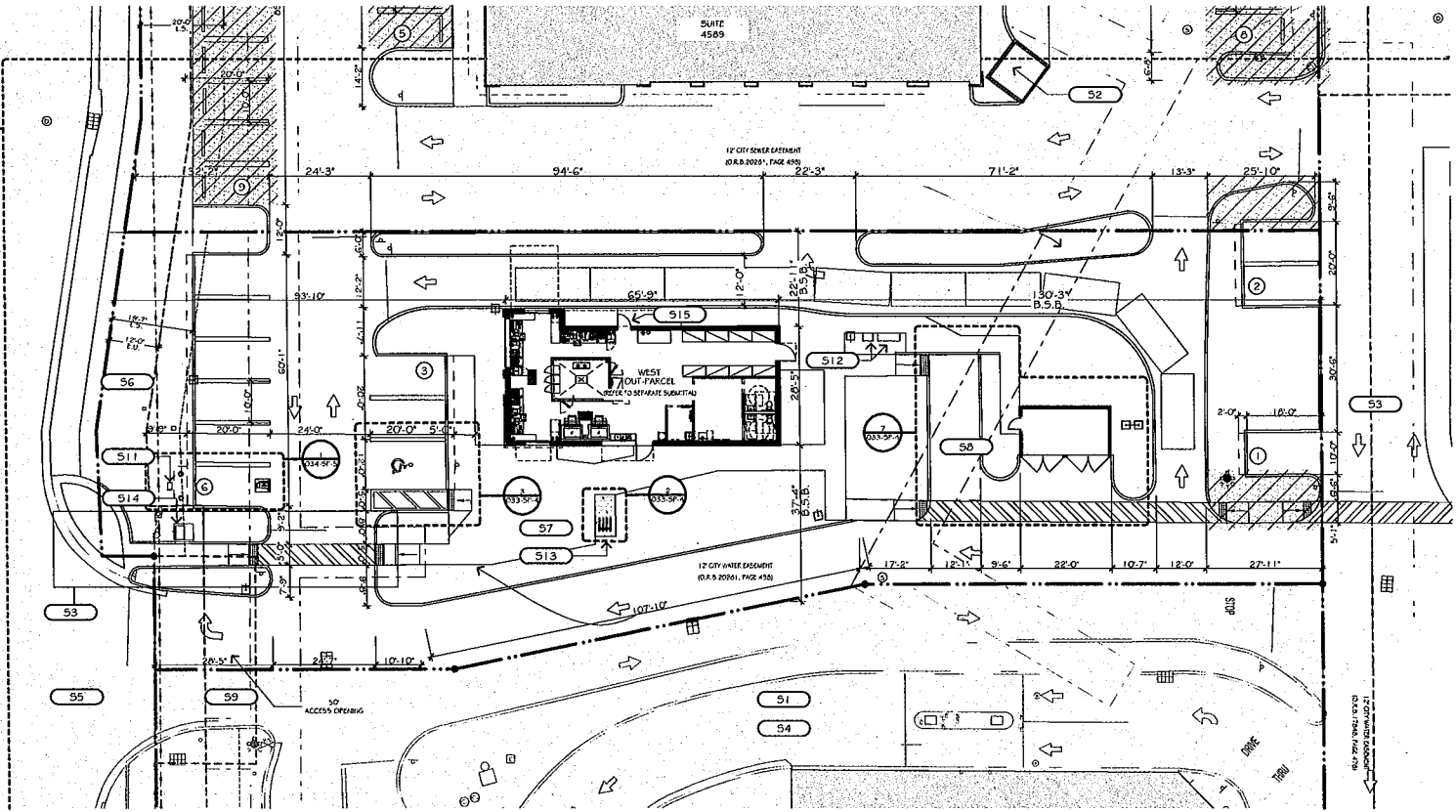
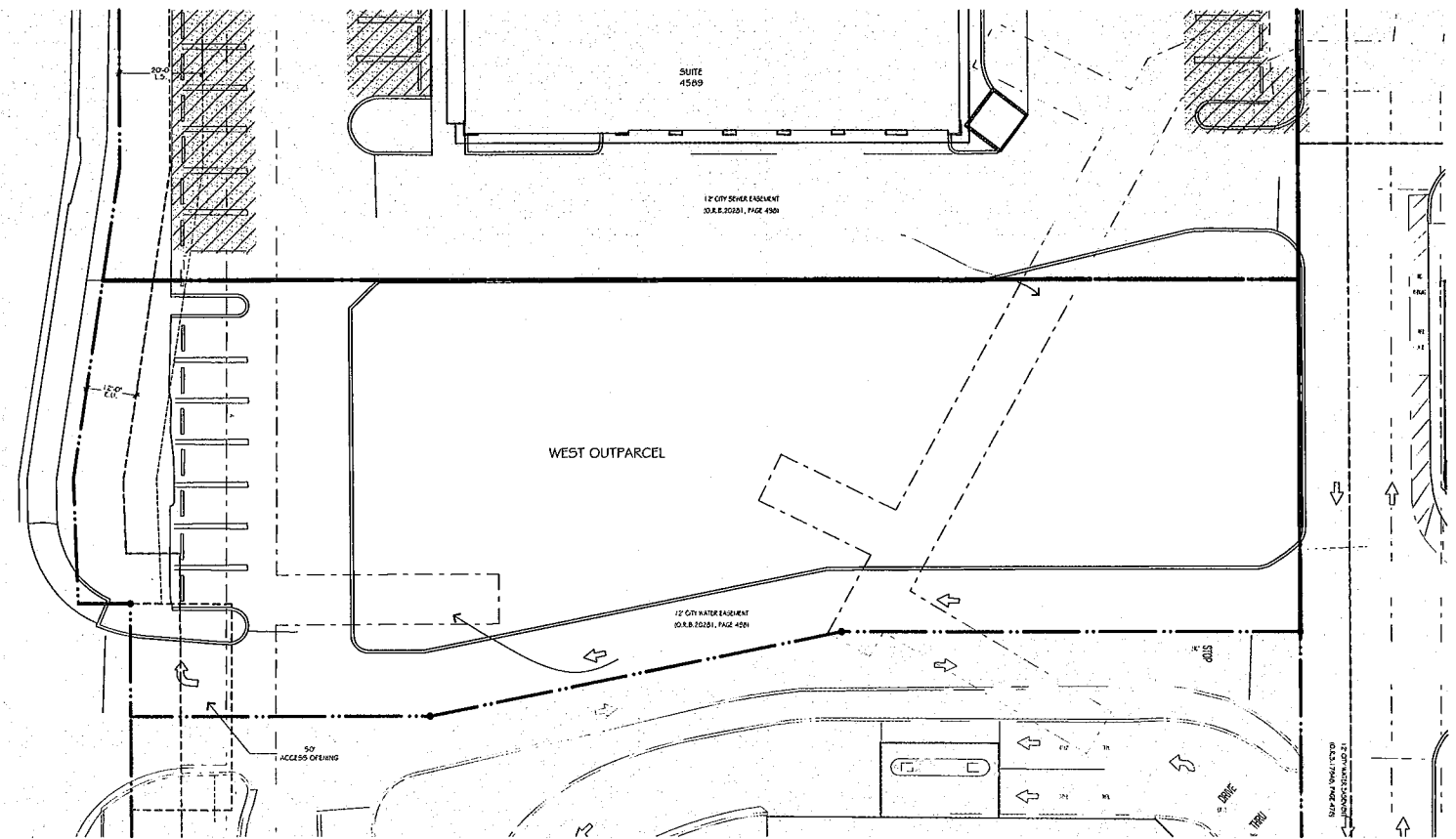
**DESCRIPTION**  
 A PORTION OF PARCEL "A", HILLSBORO CENTER NO. 2, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 142, AT PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHEAST CORNER OF SAID PARCEL "A"; THENCE NORTH 00 DEGREES 22 MINUTES 35 SECONDS WEST ALONG THE EAST LINE THEREOF FOR A DISTANCE OF 338.96 FEET TO THE POINT OF BEGINNING;  
 THENCE SOUTH 89 DEGREES 37 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 110.08 FEET;  
 THENCE SOUTH 78 DEGREES 8 MINUTES 39 SECONDS WEST FOR A DISTANCE OF 71.82 FEET;  
 THENCE SOUTH 89 DEGREES 37 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 101.15 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF SAID PARCEL "A";  
 THENCE NORTH 00 DEGREES 22 MINUTES 32 SECONDS WEST FOR A DISTANCE OF 217.00 FEET;  
 THENCE SOUTH 89 DEGREES 37 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 12.50 FEET;  
 THENCE NORTH 02 DEGREES 23 MINUTES 19 SECONDS WEST FOR A DISTANCE OF 30.01 FEET;  
 THENCE NORTH 08 DEGREES 22 MINUTES 50 SECONDS EAST FOR A DISTANCE OF 48.08 FEET (SAID LAST FOUR MENTIONED COURSES BEING COINCIDENT WITH THE SOUTHERLY AND WESTERLY BOUNDARY LINES OF SAID PARCEL "A" ALSO BEING THE NORTHERLY AND EASTERLY RIGHT-OF-WAY LINES OF HILLSBORO BOULEVARD AND LYONS ROAD); THENCE NORTH 89 DEGREES 37 MINUTES 25 SECONDS EAST FOR A DISTANCE OF 287.23 FEET TO A POINT ON THE EAST BOUNDARY OF SAID PARCEL "A"; THENCE SOUTH 00 DEGREES 22 MINUTES 35 SECONDS EAST ALONG THE EASTERLY BOUNDARY OF SAID PARCEL "A" FOR A DISTANCE OF 84.52 FEET TO THE POINT OF BEGINNING.  
 CONTAINING 27,055 SQUARE FEET/0.6211 ACRES, MORE OR LESS SAID LANDS SITUATE IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

**CERTIFICATE**  
 I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREOIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON FEBRUARY 6, 2018. I FURTHER CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.  
**David Lindley**  
 REG. LAND SURVEYOR #5005  
 STATE OF FLORIDA - LB #3591

EXISTING SITE PLAN



PROPOSED SITE PLAN



- SITE PLAN NOTES :**
- 51. [Symbol] INDICATES EXISTING CONDITIONS TO REMAIN AS IS.
  - 52. EXISTING DUMPSITE TO REMAIN.
  - 53. ACCESSIBLE ROUTE FROM RIGHT OF WAY.
  - 54. CHEVRON / BURGER KING / WALGREENS OUT PARCELS TO REMAIN AS IS (NO WORK).
  - 55. EXISTING ENTRANCE TO REMAIN.
  - 56. ENTRANCE LANDSCAPE BUFFER @ R.O.W.
  - 57. PATIO AREA WITH SEATING.
  - 58. PROPOSED LOADING AREA.
  - 59. EXISTING CROSS ACCESS EASEMENT TO REMAIN.
  - 510. PROPOSED PARKING AREA MODIFICATIONS TO ADD PARKING SPACE & LANDSCAPE AMENITIES.
  - 511. INDICATES ELECTRICAL VEHICLE CHARGER.
  - 512. MENU BOARDS AND CALL BOXES.
  - 513. BICYCLE RACKS.
  - 514. PFL PAD
  - 515. DRIVE THROUGH EMPLOYEE ACCESS AREA

**DESIGN MATTERS**  
  
**MUMMAW ASSOCIATES, INC.**  
 ARCHITECTURE  
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 DOUGLAS A. MUMMAW  
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 FLORIDA AB 52310  
 PENNSYLVANIA RA 405801  
 www.mumma.com



ARCHITECTURAL SEAL

**MARKETPLACE AT HILLSBORO - WEST OUT-PARCEL**  
 4201-4589 W. HILLSBORO BLVD.  
 COCONUT CREEK, FLORIDA 33432

**SHEET TITLE**  
 EXISTING & PROPOSED SITE PLAN

**PROJECT NUMBER**  
 1104-C  
 PARTIAL RELEASE

**FULL RELEASE**  
 02/14/2020  
 P.M.: RENEE JOHNNALLY

**REVISIONS**

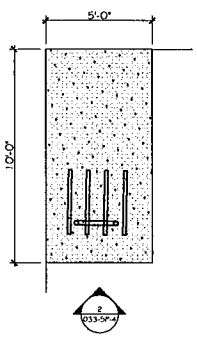
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▲ THIRD SUBMITTAL	12/17/2020
▲ FOURTH SUBMITTAL	03/12/2021
▲ FIFTH SUBMITTAL	04/14/2021
▲ SIXTH SUBMITTAL	07/23/2021

032-SP-3

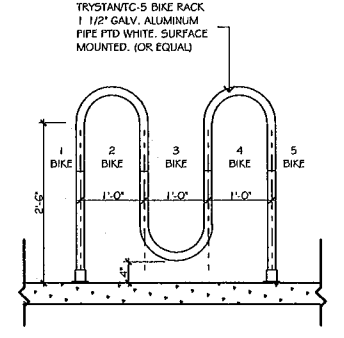
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 David Lindley  
 02/14/2020 10:00:00 AM  
 1104-C  
 PARTIAL RELEASE



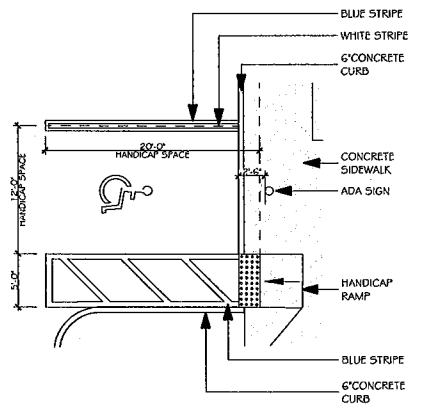
LAST SAVED AT: 7/22/21



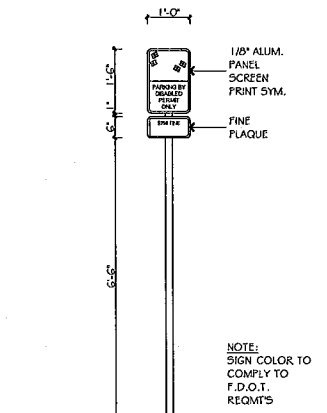
1 BIKE RACK PAD 1/4\"/>



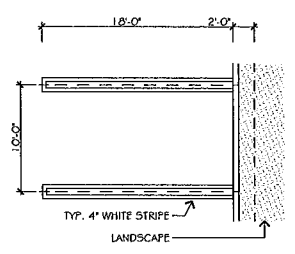
2 BICYCLE PARKING 3/4\"/>



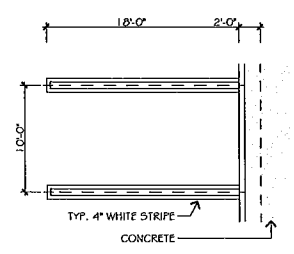
3 HANDICAP PARKING 1/8\"/>



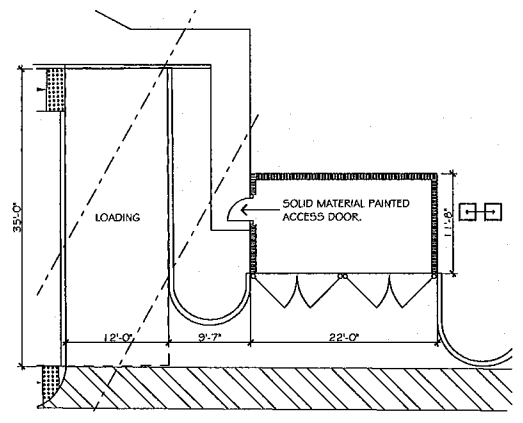
4 ADA SIGN 1/2\"/>



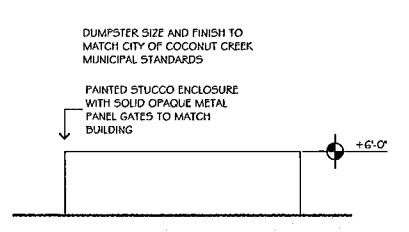
5 PROPOSED PARKING A 1/8\"/>



6 PROPOSED PARKING B 1/8\"/>



7 LOADING ZONE AND DUMPSTER 1\"/>



8 DOUBLE DUMPSTER ELEVATION 1/8\"/>

**Section 13-320: Green Building Construction.**

The following Green Building components are addressed in the Site Plan Approval (SPA) submission, and shall be carried forth in the Construction Documents, implemented during construction:

**Subsection (b)(1): Retain LEED accredited professional, (LEED AP) on the design team:**

Margaret Fitzsimons, LEED AP # 0011065674. Refer to attached certificate.

**Subsection (b)(2): Address the green building components at time of development application as indicated in subsection (c). See below.**

**Subsection (c): Submittal Requirements:**

(1) Letter of Sustainable Components required in section (b)(2): This redevelopment application submittal addresses the following green building components as required in subsection (c):

**a. Sustainable Site Development:**

1. **Construction Pollution Prevention:**
  - a) The Civil engineer shall develop an Erosion and Sedimentation Control plan (ESC) for construction activities.
  - b) The ESC plan shall conform to erosion and sedimentation requirements of the 2012 US EPA Construction General Permit (CGP) or local equivalent.
  - c) The General contractor shall implement the ESC plan throughout construction, including:
    - Silt fences: Installation and maintenance around the perimeter of the construction site to prevent loss of soil, stormwater runoff, wind erosion.
    - Storm drain protection installed at all storm drains within the construction site, or immediately outside, to prevent sedimentation of storm sewers or receiving streams.
    - Gravel at all construction entrances to prevent pollution of air quality by minimizing dust particles and tracking into public right of way.
2. **Construction Site Materials Recycling:**
  - a) The General contractor shall attempt to recycle and/or salvage 75% of all nonhazardous construction and demolition debris, by weight or volume.
3. **Stormwater Management:**
  - a) The Civil engineer shall explore designing the site to reduce run off volume and improve water quality, based on the 95<sup>th</sup> percentile of regional or local rainfall events using Low Impact Development (LID) and green infrastructure.
  - b) Integrated pest Management methods for pest control shall be employed in landscaping maintenance in order to eliminate harsh chemicals from the site, and from entering storm sewers, receiving streams and public water supply.
4. **Alternative Transportation:**
  - a) Low emitting and Fuel Efficient Vehicles (LEFEV): The project provides preferential parking for LEFEV Vehicles by designating 1 parking space closest to building entrances for low emitting and fuel efficient vehicles (LEFEV). Parking spaces are labeled with LEFEV reserved parking signage.
  - b) Electric Vehicle Charging equipment (EVSE): (1) EVSE shall be installed closest to the main entrance of the primary central building to incentivize alternative fuel vehicle use in the community. Parking spaces to be labeled with Electric Vehicle Charging reserved parking signage.
  - c) Bicycle storage and Changing facilities: Bike racks are located near entrances of all buildings on site for employees and visitors, accommodating a total of 20 bikes. Employees shall be informed that the on-site fitness center has shower and changing facilities, and the Fitness center shall be encouraged to offer discounts to employees of the Marketplace at Hillsboro businesses, encouraging bike ridership to reduce carbon emissions, and promote a healthy lifestyle within the community.
  - d) Public Transportation Access: Bus stops are located adjacent to the site. Businesses in the Marketplace shall be encouraged to offer employee incentives to encourage employees to commute via public transportation or bicycle.
5. **Minimizing Heat Island effect:**
  - a) **Vegetation and Tree Canopy:** Strategies include:
    - Large alternating planter islands have been installed throughout the parking lot to increase shade, vegetation and pervious landscape area in large clustered areas.
    - A majority of existing displaced trees were relocated on the site to enhance the open green space around the existing pond on the North side of the property, and provide a natural outdoor respite for employees and visitors.
    - Significant vegetation and tree canopy is located around the perimeter of the site, providing shading for both the exterior of the site and the right of way.
  - b) **Non-roof paving materials:** The Hillsboro Healthline that extends along the North and West perimeter of the site, as well as all new sidewalks and promenade walking paths on the site are finished with high reflective materials.

**b. Materials and recycling:**

1. **Recycling of demolition waste**
  - a) See # 2 above, Construction Site Materials Recycling.
2. **Storage and collection of recyclables post-occupancy**
  - a) The site shall provide dedicated areas accessible to waste haulers and building occupants for the collection and storage of recyclable materials for the entire site. Collection and storage areas may be separate locations, and include indoor recycling receptacles and exterior containers/dumpsters designated for recycling materials. \* As prescribed by city recycling requirements\* due to ever changing recycling opportunities in the City.
  - b) Owner shall encourage tenants to engage in recycling materials including mixed paper, corrugated cardboard, glass, plastics, and metals.
  - c) Owner shall encourage safe collection, storage, and disposal of batteries, mercury-containing lamps, and electronic waste.
3. **Building reuse:**
  - a) Not Applicable.
4. **Regional Materials:**
  - a) Use building materials that have been extracted, harvested or recovered and manufactured within 500 miles of the project site shall be encouraged.

**f. Additional Sustainable Features:**

1. **Light Pollution Reduction:**
  - a) Exterior lighting fixtures in the parking lot shall include shielding to prevent light trespass into the night sky which minimizes disruption to wildlife.
2. **Recycled Materials:** Materials and finishes shall be selected with an emphasis on recycled content where possible.
3. Per building code, property owner must maintain green building components for the life of the building.

- b) All primary exterior lighting fixtures are L.E.D. lamp source to reduce energy consumption, including:
  - Astronomical Timer clocks
  - Parking lot lighting
  - Entrance drive and walkway lighting
  - Promenade at face of buildings
  - Perimeter walk paths
- c) The project shall explore the use of daylight sensors or timers to automatically shut off site lighting, except for code required emergency lighting, between the hours of Midnight and 7:00am, to further reduce energy consumption and light trespass to the night sky and surrounding neighbors.

**2. On-site renewable energy:**

- a) The new entrance walkway lighting and pedestrian accessible charging stations will be powered by renewable solar energy systems.

**d. Indoor Environmental Quality:**

1. **Indoor Air Quality**
  - a) A Construction Indoor Air Quality (IAQ) plan shall be implemented by the General Contractor to maintain indoor air quality during construction of any tenant space concurrent with the project, for the protection of workers on site, and to protect occupants after construction. Measures minimize construction dust, debris and harmful chemicals from entering finished spaces. The following measures shall be employed:
    - HVAC Protection:**
      - Follow SMACNA's IAQ Guidelines for Occupied Buildings Under Construction.
      - Seal open ends of ductwork during construction.
      - Utilize MERV 13 filters in any air handling units running during construction, and replace filters prior to occupancy.
    - Source Control:**
      - All building absorptive or porous materials vulnerable to weather intrusion shall be protected during delivery to the jobsite, and remain sealed and stored in clean, dry location through installation.
      - Smoking and eating shall not be permitted inside or near the buildings.
      - Floor mats shall be installed outside of building and construction entrances to reduce the tracking of outside contaminants inside the buildings.
    - Site Protection:**
      - Temporary enclosures and dust curtains shall be used to prevent dust from transferring into other areas or onto installed materials. Drywall installation and finishing work shall be tented and HVAC operation shall be temporarily discontinued during such work to prevent dust transfer.
    - Cleaning:**
      - Wetting agents and wax-sweeping compounds shall be used to control airborne dust during general cleaning and dust control measures.
      - The buildings shall be cleaned on an ongoing basis throughout construction, including mechanical rooms and equipment.
      - All mechanical equipment shall be kept clean throughout construction and shall be cleaned prior to systems testing and balancing, and startup.
      - Cleaning agents shall minimize use of harmful chemicals and those with high VOC content to protect workers and tenants.
    - Scheduling and sequencing:**
      - All dust generating construction activities, including sanding of wall surfaces, concrete floors, floor preparation, drywall sanding and painting, etc. shall be scheduled prior to the HVAC systems startup.
  - b) Low-Emitting Materials with low V.O.C. content (volatile organic compounds) shall be encouraged for all new materials that will be installed inside the building envelope, including:
    - Interior Paints and Coatings applied on site
    - Interior Adhesives, Sealants, Caulking applied on site
    - Flooring
    - Composite Wood
    - Ceilings, walls, thermal, and acoustic insulation

**M-Fitzsimons, inc.**  
**DESIGN FOR THE BUILT ENVIRONMENT**  
 150 E Palmetto Park Rd  
 Suite 800  
 Boca Raton, FL 33432  
 Tel 202.257.1311

**MARGARET FITZSIMONS**  
 ARCH. ASSOC. AIA . LEED  
 AP . WELL AP . USGBC  
 FACULTY

**LEED GBCI # 0011065674**

**DESIGN MATTERS**

**MUMMAW ASSOCIATES, INC.**  
 ARCHITECTURE  
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 4730 NW BOCA RATON BLVD.  
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 561.361.0375  
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 CBC# 55122  
 DOUGLAS A. MUMMAW  
 AIA, NCARB  
 FLORIDA # 82310  
 PENNSYLVANIA # A05601  
 www.mumma.com

Digitally signed by Douglas A. Mumma AB 82310  
 DN: cn=Douglas A. Mumma AB 82310, o=Mumma and Associates, Inc., ou=Architecture, email=douglas@mumma.com, c=US  
 Date: 2021.07.23 14:24:04 -0400

ARCHITECTURAL SEAL

**MARKETPLACE AT HILLSBORO - WEST OUT-PARCEL**  
 4201-4569 W. HILLSBORO BLVD.  
 COCONUT CREEK, FLORIDA 33432

SHEET TITLE  
 SITE DETAILS

---

PROJECT NUMBER  
 T104-C  
 PARTIAL RELEASE

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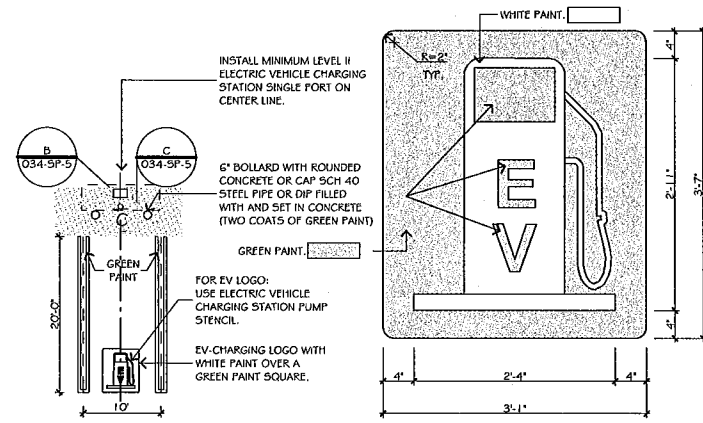
FULL RELEASE  
 03/14/2020  
 P.M. - REUSE JOURNALLY

REVISIONS

△	SECOND SUBMITTAL	03/23/2020
△	THIRD SUBMITTAL	12/17/2020
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△	FIFTH SUBMITTAL	04/14/2021
△	SIXTH SUBMITTAL	07/23/2021

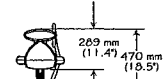
**SITE DETAILS**

**O33-SP-4**

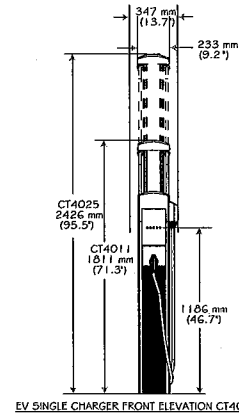


A PLAN

NOTE: • INSTALL PER MANUFACTURE INSTRUCTIONS



B SINGLE CHARGER



EV SINGLE CHARGER FRONT ELEVATION CT4011

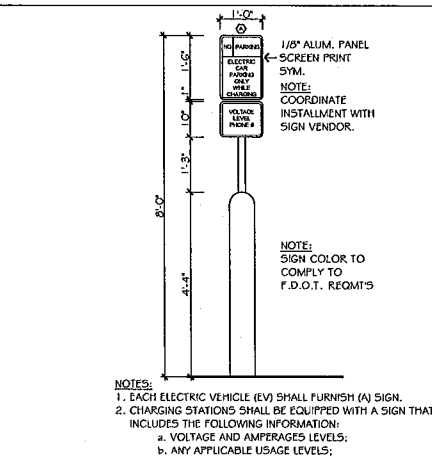
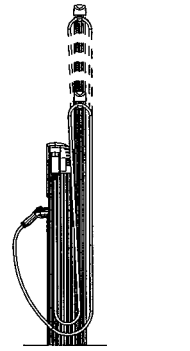
MANUFACTURE: • CHARGEPOINT

PRODUCT TYPE: • CT4000 LEVEL 2 COMMERCIAL CHARGING STATION

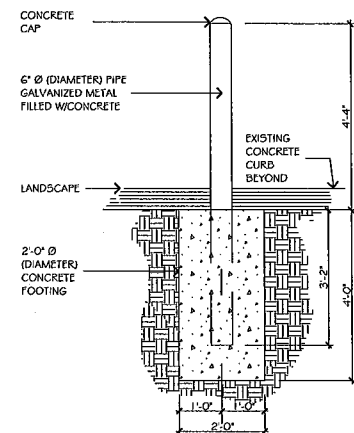
MODEL: • CT4011 SINGLE-PORT BOLLARD CHARGING STATION 6' TALL AND WITH 1.0' CHARGING CABLES.

• DELIVERS 25 MILES OF RANGE PER HOUR AND CAN CHARGE MOST ELECTRIC VEHICLES IN UNDER FOUR HOURS.

• ONE STATION ALLOWS TO SERVICE ONE PARKING SPACE, REGARDLESS OF PARKING STYLE OR CAR SIZE.



C SIGN



BOLLARD

DESIGN MATTERS

MUMMAW ASSOCIATES, INC.

ARCHITECTURE INTERIOR DESIGN CONSTRUCTION MANAGEMENT

4730 NW BOCA RATON BLVD. BOCA RATON, FL 33431 561.381.0375

AAA 13002184 IBF 26001004 CCB# 55122

DOUGLAS A. MUMMAW AIA, NCARB FLORIDA AB 92310 PENNSYLVANIA RA 405901 www.mumma.com

Digitally signed by Douglas A. Mummaw, AR 92310 DN: cn=Douglas A. Mummaw, o=Mummaw and Associates, Inc., email=doug@mumma.com, c=US Date: 2021.07.23 13:42:10 -0400

ARCHITECTURAL SEAL

MARKETPLACE AT HILLSBORO - WEST OUT-PARCEL

4201-4589 W. HILLSBORO BLVD. COCONUT CREEK, FLORIDA 33432

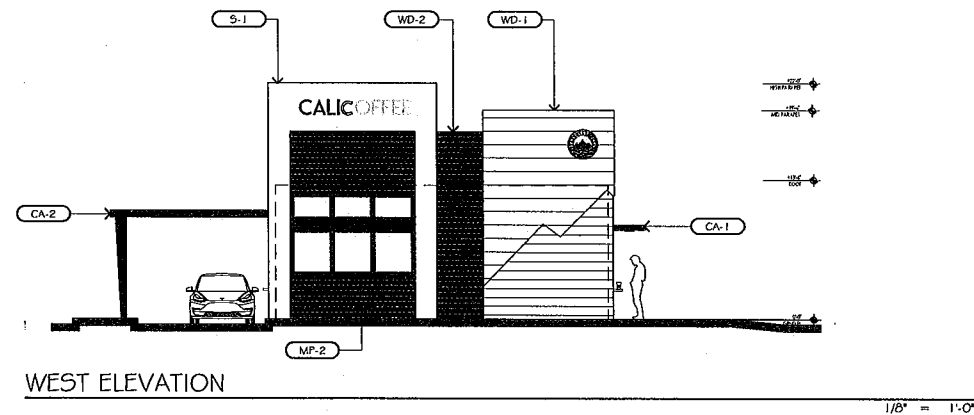
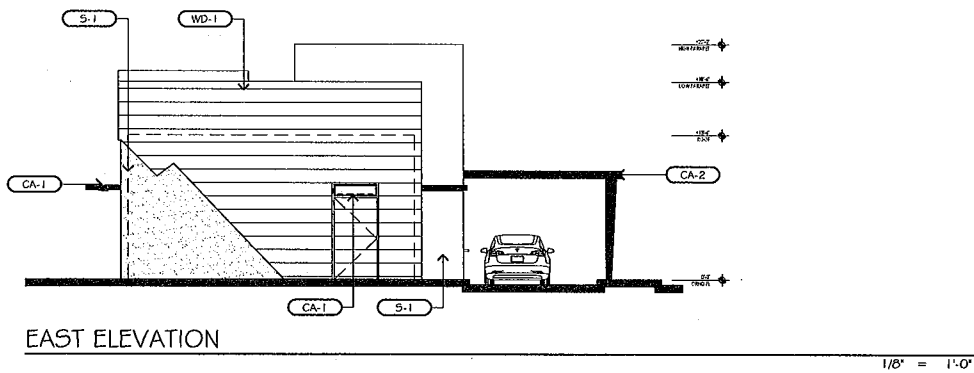
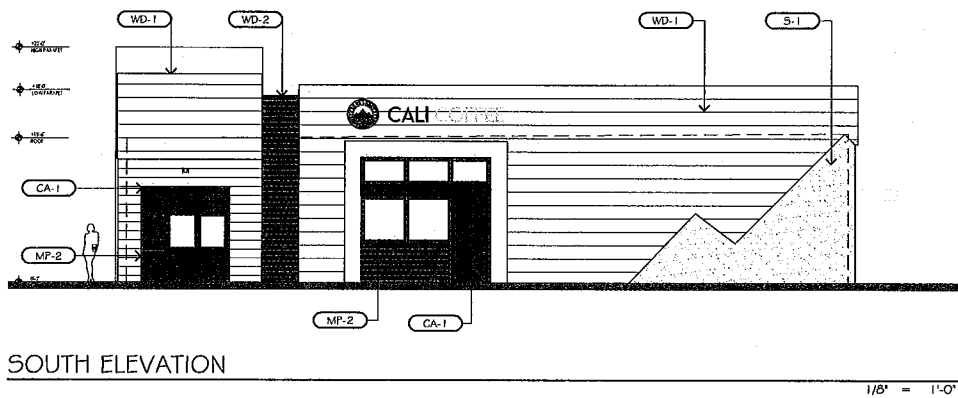
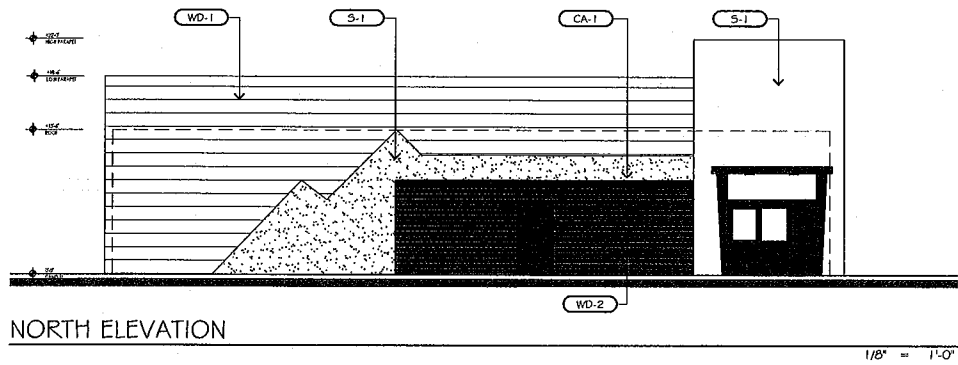
SHEET TITLE SITE DETAILS

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FULL RELEASE	02/14/2020
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SIXTH SUBMITTAL	07/23/2021

034-SP-5

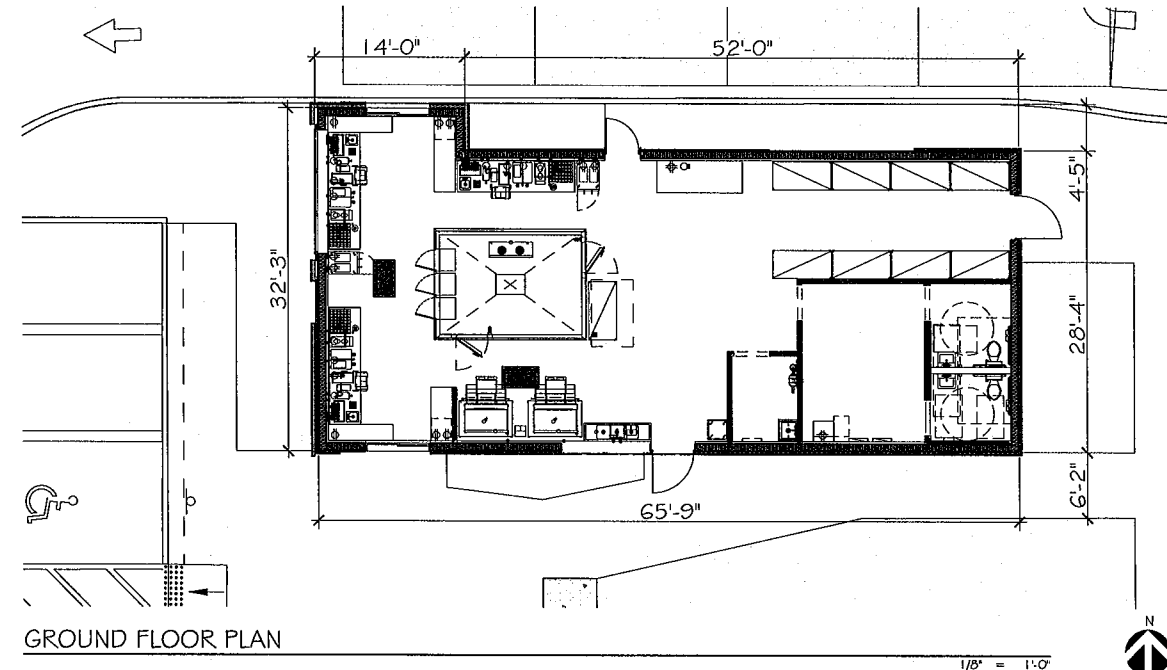
SITE DETAILS

LAST SAVED AT: 7/2/2021



CONCEPTUAL RENDERING

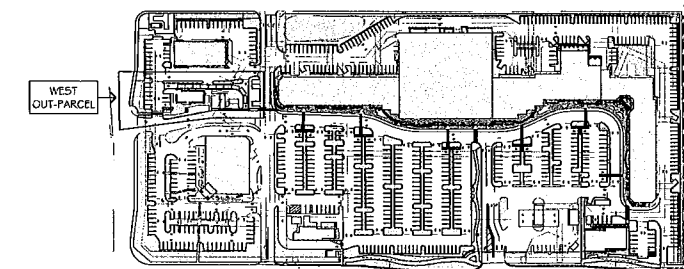
NOT TO SCALE



GROUND FLOOR PLAN

1/8\"/>

FINISH LEGEND		
MARK	DESCRIPTION	SPECIFICATION
S-1	PAINTED STUCCO (CREAM)	T.B.D (TYP.) COLOR TO MATCH MAIN BUILDING
MP-2	METAL PANEL (DARK BLUE)	T.B.D (TYP.) COLOR TO MATCH CALI COFFEE CORPORATE BRAND IDENTITY
WD-1	PRODEMA WOOD PANELS	T.B.D (TYP.) COLOR TO MATCH MAIN BUILDING
WD-2	PRODEMA WOOD PANELS (BLUE)	T.B.D (TYP.) COLOR TO MATCH CALI COFFEE CORPORATE BRAND IDENTITY
CA-1	METAL CANOPY	T.B.D (TYP.) COLOR TO MATCH CALI COFFEE CORPORATE BRAND IDENTITY
CA-2	METAL CANOPY	T.B.D (TYP.) COLOR TO MATCH CALI COFFEE CORPORATE BRAND IDENTITY



KEY PLAN

NOT TO SCALE

DESIGN MATTERS



**MUMMAW**  
+  
ASSOCIATES, INC.

ARCHITECTURE  
INTERIOR DESIGN  
CONSTRUCTION MANAGEMENT  
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BOCA RATON, FL 33431  
561.361.0375  
AIA 13002184  
IBF 2600104  
CBC# 55122  
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FLORIDA AR 52310  
PENNSYLVANIA RA 405601  
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ARCHITECTURAL SEAL

MARKETPLACE AT HILLSBORO - WEST OUT-PARCEL  
4201-4589 W. HILLSBORO BLVD.  
COCONUT CREEK, FLORIDA 33432

SHEET TITLE  
PROPOSED ELEVATIONS &  
PLANS

PROJECT NUMBER  
1104-C  
PARTIAL RELEASE

FULL RELEASE  
02/14/2020  
P.M.: RENEE JOHNSON  
REVISIONS  
▲ SECOND SUBMITTAL  
09/29/2020  
▲ THIRD SUBMITTAL  
12/17/2020  
▲ FOURTH SUBMITTAL  
03/12/2021  
▲ FIFTH SUBMITTAL  
04/14/2021  
▲ SIXTH SUBMITTAL  
07/23/2021

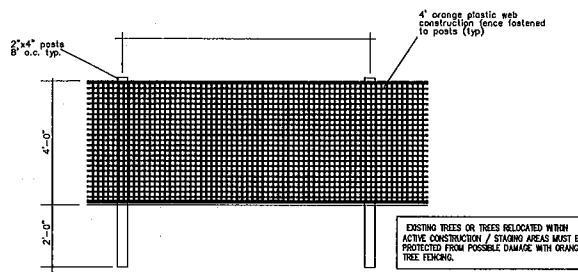
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PROPOSED ELEVATIONS & PLANS

BIMcloud | BIMserverC - BIMcloud Base for ARCHICAD 22/Hillsboro Market Place/Marketplace at Hillsboro - SPA



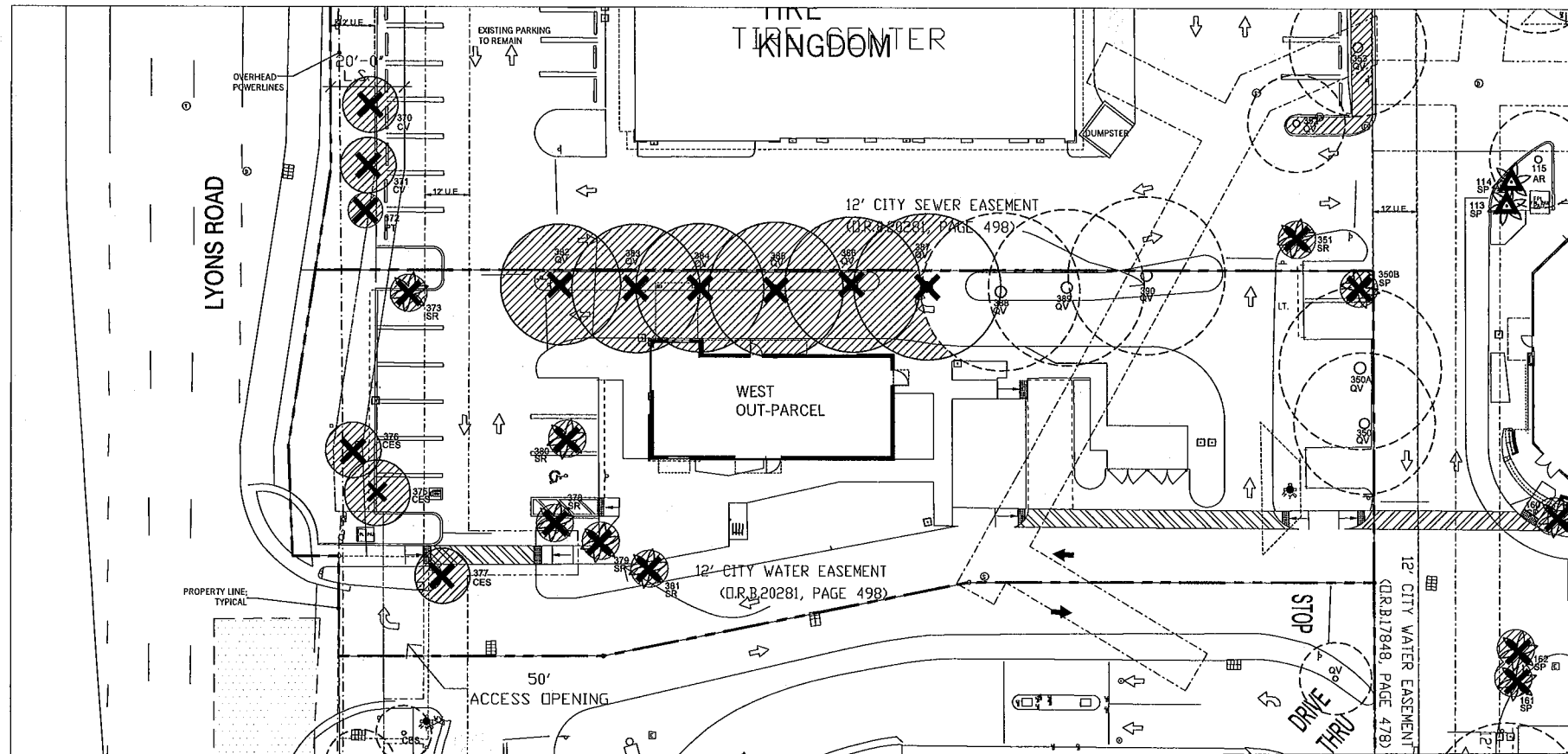
SCALE: 1" = 20'



TREE PROTECTION DETAIL CONSTRUCTION FENCE

**TREE PROTECTION NOTES:**

- Protection from construction work. During any construction, land development or lot clearing, the contractor and the owner of the property subject to this section shall adhere to the requirements which follow:
- (1) Place and maintain protective barriers around the drip line of all trees to be retained on the site to prevent their destruction or damage. The protective barriers shall be at least four (4) feet in height and conspicuously colored to be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy material (not flagging or ribbons) and shall be installed prior to and during construction and/or land development;
  - (2) Not store or use materials or equipment within the drip line of any tree to be retained on site unless the activity is being done to protect trees;
  - (3) Not discharge or contaminate the soil within the drip line of any tree to be retained on site with any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts;
  - (4) Clearing of vegetation within the dripline of trees designated for preservation shall only be by hand or light rubber wheeled equipment that will not damage tree roots; soil equipment shall be a maximum of forty-eight (48) inches wide, tire to tire, with a maximum weight of three thousand five hundred (3,500) pounds;
  - (5) Utilize retaining walls and drywells where needed to protect trees to be preserved from severe grade changes;
  - (6) Pruning of trees to be preserved shall be in accordance with the standards for pruning established by ANSI A-300.
  - (7) Make no attachments, other than those of a protective and non-damaging nature, to any tree to be retained on the site;
  - (8) Not change the natural grade above the root system within the drip line of any tree to be retained on site unless it can be demonstrated to the city that it will not damage any tree;
  - (9) Avoid any encroachments, excavations or severe grade changes within the drip line of preserved trees unless it can be demonstrated to the city that it will not impact any tree;
  - (10) Not cause soil compaction within the dripline of any tree to be retained on site;
  - (11) Any trees designated to be preserved which are damaged during construction shall promptly be repaired.



**EXISTING TREE INVENTORY**

\* Note: In instances where tree canopies merge together, the canopy area (SF) has been proportionately divided between trees. For this reason, the canopy area provided may not equal n<sup>2</sup>. Per agreement with the City of Coconut Creek, existing Callistemon Viminalis canopy will count as a 1:1 basis for a Category 3 Tree, or 300 SF per tree.

TREE NO.	SCIENTIFIC NAME	COMMON NAME	DBH (IN.)	HEIGHT (FT)	PALMS (GW)	SPREAD (FT)	CANOPY (SF)	CONDITION	DISPOSITION
350	QUERCUS VIRGINIANA	LIVE OAK	17	24		37	1075	GOOD	REMAIN
350A	QUERCUS VIRGINIANA	LIVE OAK	21	28		44	1520	GOOD	REMAIN
	SABAL PALMETTO	SABAL PALM	11	7		10	79	GOOD	REMOVE
351	SYAGRUS ROMANZOFFIANA	QUEEN PALM	10	9		10	79	FAIR	REMOVE
373	SYAGRUS ROMANZOFFIANA	QUEEN PALM	8	11		10	79	FAIR	REMOVE
374	PSIDILUM CATTLEYANUM	CATTLEY GUAVA					Invasive		
375	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	4	17		14	120	GOOD	REMOVE
376	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	8	14		14	120	GOOD	REMOVE
377	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	9	14		14	120	GOOD	REMOVE
378	SYAGRUS ROMANZOFFIANA	QUEEN PALM	11	16		10	79	POOR	REMOVE
379	SYAGRUS ROMANZOFFIANA	QUEEN PALM	7	12		10	79	POOR	REMOVE
380	SYAGRUS ROMANZOFFIANA	QUEEN PALM	8	11		10	79	POOR	REMOVE
381	SYAGRUS ROMANZOFFIANA	QUEEN PALM	8	10		10	79	POOR	REMOVE
382	QUERCUS VIRGINIANA	LIVE OAK	15	24		30	695	GOOD	REMOVE
383	QUERCUS VIRGINIANA	LIVE OAK	12	24		32	475	GOOD	REMOVE
384	QUERCUS VIRGINIANA	LIVE OAK	14	24		34	846	GOOD	REMOVE
385	QUERCUS VIRGINIANA	LIVE OAK	17	24		36	846	GOOD	REMOVE
386	QUERCUS VIRGINIANA	LIVE OAK	15	24		32	497	GOOD	REMOVE
387	QUERCUS VIRGINIANA	LIVE OAK	15	24		34	495	GOOD	REMOVE
388	QUERCUS VIRGINIANA	LIVE OAK	25	30		40	1256	GOOD	REMAIN
389	QUERCUS VIRGINIANA	LIVE OAK	21	25		40	1256	GOOD	REMAIN
390	QUERCUS VIRGINIANA	LIVE OAK	18	24		36	1017	GOOD	REMAIN

CANOPY TO REMOVE: 4,767

16	REMOVE
0	RELOCATE
5	REMAIN
NO LONGER EXIST / NOT ON PROPERTY	

**MITIGATION DATA**

CANOPY TO BE REMOVED IN DEVELOPED AREA: 4,767 S.F.

CANOPY REPLACEMENT VALUE: 4,767 S.F. X 1.0 = 4,767 S.F.

TOTAL S.F. REPLACEMENT CANOPY PROVIDED: 5,200 S.F.

Trees/palms to be removed from the site will be mitigated on site with Category 1 replacement trees (300 S.F. credit per tree) or equivalent.

THE APPLICANT WILL PAY INTO THE MITIGATION TREE FUND TO MAKE UP FOR THE REMAINING MITIGATION.

**PROPOSED TREE MITIGATION BREAKDOWN**

CAT. #	TREE CANOPY AREA S.F.	KEY TREES AND PALMS	QTY	PLANT AND SPECIFICATION
2 (150 sf)	450	N CD	3	Coccoloba diversifolia (Pigeon Plum) 12' ht., 5' spr., 4' c.t., 2" cal., matched
1 (300 sf)	1500	N CE	5	Conocarpus erectus (Grease Buttonwood) 12' ht., 5' spr., 4' c.t., 2" cal., matched
2 (150 sf)	600	N IA	4	Ilex attenuata 'Eagleston' (Eagleston Holly) 12' ht., 5' spr., 4' c.t., 2" cal.
3 (100 sf)	200	LI	2	Lopastromia 'Muskege' (Crape Myrtle) 10' ht., 5' spr., 4' c.t., 2" cal., matched
3 (100 sf)	300	LJ	3	Ligustrum japonicum (Japanese Privet) 8' ht., 4' spr., 4' c.t., multi-trunk, matched
3 (100 sf)	300	N MF	3	Myrcianthes fragrans (Simpson's Stopper) 10' ht., 5' spr., 4' c.t., 2" cal.
1 (300 sf)	1200	N QV	4	Quercus virginiana (Live Oak) 12' ht., 5' spr., 4' c.t., 2" cal., matched
3 (100 sf)	200	SC	2	Sanna polyphylla (Desert Cassia) 12' ht., 5' spr., 4' c.t., 2" cal.
4 (50 sf)	300	N TR	6	Thrinax radiata (Thatch Palm) 10'-12' ht., 8' c.t., matched, full
4 (50 sf)	150	VM	3	Veitchia montgomeryana (Montgomery Palm) 12'-14' ht., single, matched, full

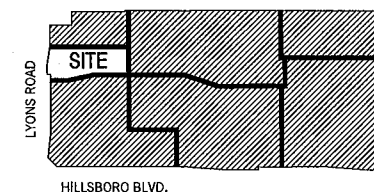
TOTAL REPLACEMENT CANOPY 5,200 S.F.

**EXISTING TREE KEY**

KEY	NAME
CES	SILVER BUTTWOOD
QV	LIVE OAK
SP	SABAL PALM
SR	QUEEN PALM

**EXISTING TREE KEY**

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RELOCATED
- AREA OF REMOVED CANOPY



KEY PLAN  
N.T.S.

Digitally signed by Carol B Perez  
DN: cn=US, o=Unaffiliated, ou=A01410C0000, 17769CEDC8F0000, 6DF8, cn=Carol B Perez  
Date: 2021.07.23 11:55:12 -0400

PROJECT

THE MARKETPLACE  
AT HILLSBORO  
WEST OUT-PARCEL  
CALI COFFEE  
COCONUT CREEK, FL

TITLE  
EXISTING TREE  
DISPOSITION PLAN  
WEST OUT-PARCEL

PROJ. NO.	FILE NAME
X	BB
12/17/20	DRAWN
03/12/21	DATE
04/14/21	REV.
07/23/21	

SHEET  
170 - TS-1.1  
OF  
1.1

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CREATED FOR SITE PLAN APPROVAL  
PROCESS ONLY.

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.





1. GENERAL CONDITIONS

A. SCOPE

- Contractor shall furnish labor, equipment, and materials required to perform all work necessary for the construction of the project as indicated in the drawings. Such work includes but is not limited to the following:
  - Finish grading of planting areas.
  - Planting.
  - Sodding (if required).
- Contractor shall have a competent representative at the site who shall be capable of reading and understanding plans, specifications, and other contract documents. The representative shall be knowledgeable in all areas of landscape construction in Florida.
- Contractor shall be responsible for knowledge of the contents of these specifications and the requirements of any accompanying drawings.

B. DRAWINGS

The drawings and plant lists together with these written specifications shall be considered as one contract document and shall be accordingly read together. The drawings and specifications remain the property of the Landscape Architect and, if required, shall be returned to him upon completion of the work. The contractor shall keep one copy of the drawings and the specifications at the construction site for the use of the Landscape Architect, Owner, and their representatives.

C. REQUIREMENTS OF REGULATORY AGENCIES

- Perform work in accordance with all applicable codes, laws, and regulations required by authorities having jurisdiction over such work or provide all inspections and permits required by Federal, State, or local authorities in furnishing, transporting and installing materials.
- Certificates of inspection required by law for transportation shall accompany invoice for each shipment of plants. File copies of certificates with Landscape Architect or Owner after acceptance of material. Inspection by Federal or State Governments at place of growth does not preclude rejection of plants at project site.

D. PROTECTION OF WORK AND PROPERTY

- Contractor is responsible for maintaining adequate protection of his work from injury and loss resulting from the execution of this contract. He must make good all repairs and replacements to the satisfaction of the Landscape Architect or the Owner except where caused by the Owner or his agents. He must provide all safety or protective measures required by public authorities or local conditions.
- Existing plant material to remain must be protected by barriers or fences of the drip line surrounding the material. No burning, storage, or parking shall be permitted within these protected areas. Contractor shall notify the Landscape Architect or Owner of any situation he feels may damage the existing plants in the normal execution of this contract. Do not proceed with such work until directed by the Landscape Architect or Owner. Contractor damaged plants shall be replaced with plants of the same species, size, and quality as those damaged at no cost to the Owner. The Landscape Architect shall determine the extent and value of the damaged plants.

E. CHANGES IN THE WORK

- The Owner reserves the right to make changes in the work and thereby changes in the cost of the work within the conditions of the original contract. All changes shall be in written form and once accepted, shall become a part of the contract documents.
- The Contractor shall not begin any work on extras or changes from the contract document before written approval has been given by the Owner or Owner's representative. Any work done prior to such written approval may or may not be paid for, at the discretion of the Owner.

F. OWNER'S RIGHT TO DO WORK

The Owner reserves the right, upon two (2) days written notice to the Contractor to remedy any neglected provisions of the contract and to deduct the cost of the work or deficiencies from the contract payments.

G. SURFACE AND SUBSURFACE OBSTRUCTIONS

It is the Contractor's responsibility to acquaint himself with the existence and location of all surface and subsurface structures and installations, existing or proposed, before commencing work. Any damage by the Contractor during the execution of this contract shall be made good at the Contractor's own time and expense. If subsurface construction or obstructions are encountered during planting, alternate locations may be selected by the Landscape Architect or Owner.

H. OWNER'S RIGHT TO TERMINATE

Should the Contractor at any time fail, refuse, or neglect to comply with the provisions of this contract, the Owner or his representative shall without prejudice to any other rights or remedy and after having given seven (7) days written notice to the Contractor, terminate the contract and take possession of the work. The cost of completion will be deducted from the amount of the contract.

I. COORDINATION OF WORK

Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.

J. INSPECTION OF SITE

- Contractor shall visit the site and inspect site conditions as they exist prior to submitting bid.
- No additional compensation nor relief from any obligation of the contract will be granted because of lack of knowledge of the site or of the conditions under which the work will be accomplished.

II. PLANTING SPECIFICATIONS

A. PLANT MATERIALS

- Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project, unless otherwise noted.
- Quantities, sizes and spacing will be determined by the drawings and specifications. Where discrepancies exist, the Landscape Architect or Owner is to be notified for clarification. Contractor shall be responsible for completing installation as called for in the plans, plant lists, and specifications.

B. ABBREVIATIONS ON PLANT LIST

- B&B - Balled and burlapped. Plants shall be dug with a firm natural ball of earth of sufficient size to encompass the fibrous root system necessary for recovery of the plant. Broken or loose balls will not be accepted.
- G. - One (1) gallon container.
- R.C. - Rooted cuttings. A cutting which has calloused and produced roots. Applies equally to cuttings rooted in a propagation bed or in individual containers.
- Cal. - Caliper of trunk measured four (4) feet above the ground.
- C.T. - Clear trunk. Measurement from top of root ball to first branching.
- G.W. - Grey wood area on palms between ground level and base of fronds.
- O.A. HT. - Overall height from ground level to midpoint of current season's growth.
- SPR. - Spread measured across the average diameter of plant.
- O.C. - On center. Horizontal spacing of plants center to center.
- P.P.P. - Plants per pot.
- Container sizes are only a guide. Contractor is responsible for size and quantity of plant material as specified. No container material shall be rootbound. Where B&B material is specified, container material will not be accepted without written consent of Landscape Architect or Owner.

C. QUALITY AND SIZE

Plants shall have a habit of growth which is normal for the species and shall be free from physical damage, insects or pests, and adverse conditions that would prevent thriving growth. Measurements specified in the plant list are the minimum acceptable sizes. All plant materials shall be true to name and size in conformance with the Grades and Standards for Nursery Plants, State Plant Board of Florida, and shall be graded Florida No. 1 or greater, except where noted in the contract documents. Plant shall be graded before pruning. Any necessary pruning shall be done after planting, and with the consent of the Landscape Architect or Owner. Plants which do not meet the requirements will not be accepted.

D. SUBSTITUTIONS

No substitutions shall be accepted without the written consent of the Landscape Architect, Owner or their representatives. Proof must be submitted that the plant in question is not available in the type or size specified. The Landscape Architect or Owner shall determine the nearest equivalent replacement.

E. TRANSPORTATION AND STORAGE

All plant material shall be protected from possible injury or breakage of branches. All plants shall be delivered adequately covered to prevent windburn, drying, or damage. Plants which cannot be planted immediately shall be adequately heeled in and protected from the drying sun and wind. All plants shall be watered as necessary until planting. Storage period shall not exceed 72 hours. All palms shall have their buds tied with butop strips to remain in place until the tree is well established in its new location (this is not required with the consent of the Landscape Architect or Owner). Trees moved by crane or winch shall be adequately protected from chain marks and girdling by approved methods.

F. INSPECTION

No plant material shall be planted until it is inspected and approved by the Landscape Architect, Owner, or their representatives. Contractor shall give the Landscape Architect or Owner two (2) days notice of inspection of plant material. Inspection may be waived at the discretion of the Landscape Architect or Owner, in which case, the Contractor will still be responsible for complying with all specifications. Contractor shall be responsible for all inspections of plant material that may be required by State or Federal authorities and inspection certificates shall be submitted to the Landscape Architect or Owner. Rejected material shall be replaced at no additional cost. Landscape Architect, at his discretion, may tag any or all plant material in the nursery.

G. PLANTING SOIL

Planting soil shall consist of fertile friable soil of a sandy loam nature and shall be derived from 50% minimum amount of decomposed organic matter (muck or peat) and 50% clean sand with no trace of salinity. There must be a slight acid reaction to the soil. Planting soil shall be free from stones, plants, roots, clods, sticks and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth. Planting soil shall be applied in accordance with the Methods of Installation and details.

H. MULCH

Mulch shall be approved (as per Municipality) non-cypress mulch, unless otherwise specified, and shall be free of weeds, weed seeds, sticks and other foreign materials. It shall be applied to a minimum three (3) inch depth, unless otherwise specified, and moistened at the time of application to prevent wind displacement.

I. COMMERCIAL FERTILIZER

Commercial fertilizer shall be an organic fertilizer containing equal percentages of nitrogen, phosphoric acid and potash as available plant food by weight. 50% of the nitrogen shall be derived from natural organic sources. The trace elements of iron and magnesium must also be present. The minimum analysis acceptable shall be 62N-52P-52K. Fertilizer shall be dry, free flowing, and delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. If Manganese with trace elements is to be used, application rates are as follows:

- Trees: 12 lbs./2"-3" caliper tree
- 7gal + : 4 lbs./container
- 3gal : 1 lb./container
- 1 Gal. Can: 1/2 lbs./container
- 4" Pot: 25 lbs./container
- Groundcover Beds 10 lbs./100 sq. ft.

Fertilizer shall be spread before laying mulch and at the above recommended rates, unless otherwise specified. If plant tablets are called for, they shall be Agriform 20-10-5 formula, 21 gram tablets. Tablets shall be placed mid-way to the plant ball in the back fill material and at manufacturer's rates, unless otherwise specified.

J. WATER

Water is to be furnished by the Owner. The Contractor shall transport as required.

K. SOD (WHEN APPLICABLE)

Sod shall be one year old and of the variety indicated in the plant list. Sod shall be dense, vigorous, and green, with the grass having been mowed at least three times at a 2"-2 1/2" height before lifting from the field. Sod shall have a good root development and compact growth and contain no weeds, vermin, fungus, or other diseases. No sod shall be used which is not certified as being free of the imported fire ant. All sticks, stones, and other foreign material over one inch in diameter shall be removed from the top 2" of soil. Grade areas to be sodded so that the top of sod will be the finished grade. Solid sod shall be laid with closely abutting joints with a tamped or rolled even surface. Avoid a continuous seam along the line of water flow in swales. Place sod at right angles to slope. All sod edges shall be neat and even and conform to the shape of the planting plans. Rolling may be required at the discretion of the Landscape Architect or Owner. If the Landscape Architect or Owner determines that top-dressing is required after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in. Rolling and top-dressing shall be done at no extra cost to the Owner.

L. SEED (WHERE APPLICABLE)

Grass seed shall be of the mixture called for in the plant list. It shall be a standard grade seed of the current or last year's crop. Seed which has become wet, moldy, or otherwise damaged will not be accepted. Seed must come in unopened packages with the producer's guarantee attached. Mixed seed content shall not exceed 0.25%. Before any planting, the ground shall be plowed or scarified to a depth of at least 4" and shall be raked and smoothed evenly to establish a final grade. All sticks, and other foreign material over one inch in diameter shall be removed. Contractor shall use the Hydraulic seeding method and supply all material and equipment necessary to perform the specified work. Seed shall be applied at a rate of 2-3 pounds per 1000 sq. ft. (90-100 lbs./acre). Mulch shall be "Silva" Fiber processed wood fiber of approved equal and applied at the rate of 50 lbs./acre. All materials shall be uniformly blended in an agitator system using clean water and applied uniformly at the rates specified. Contractor shall be responsible for proper watering of the seeded areas in order to avoid runoff, and for keeping the ground moist until the grass is re-established, and watering for proper growth until the work is accepted. Contractor shall repair erosion caused by excessive rainfall or watering at no extra cost to the Owner. Any areas which are damaged or do not germinate within the first thirty (30) days shall be re-seeded and maintained until grass is established. Grass shall be vigorous and healthy and coverage shall be at least 95% prior to final acceptance.

III. METHODS OF INSTALLATION

A. LAYOUT

Location of plants and layout of all beds are indicated on the plans. Plant locations are to be staked in the field by the Contractor. Landscape Architect or Owner will check staking of plants in the field and void for his satisfaction before planting begins. Where surface or subsurface obstructions are encountered or where changes have been made in construction, necessary adjustments will be approved by the Landscape Architect or Owner.

B. EXCAVATION FOR PLANTING

Shrub beds are to be excavated a minimum of 18" and backfilled with planting soil as defined in Section II, G and as shown on details.

Tree and palm planting holes shall be excavated to a minimum depth of four (4) inches deeper than the depth of the root ball except for trees over 10 feet in height (see section III, C).

Holes shall be a minimum of six (6) inches greater in diameter than the root ball for shrubs and eighteen (18) inches greater in diameter for trees. All existing vegetation, including sod, shall be completely removed from all planting beds before planting. Four (4) inches of planting soil shall be incorporated into all planting beds for rooted cuttings. Where applicable, planting holes for all trees, shrubs, and groundcovers shall be excavated through any compacted building subgrade or road rock to undisturbed subsoil or clean sand fill. All excess excavation material shall be removed from the site by the Contractor. Holes shall be back-filled with planting soil as defined in Section II, G and as shown in details. The following is a guide for planting soil quantities:

- Trees - 10' or greater 9 cu. ft.
- Trees - 8' ht. 6 cu. ft.

Quantities of planting soil needed may be greater if excavation of building subgrade or roadrock is necessary.

C. SETTING TREES AND SHRUBS

All trees and shrubs are to be planted plumb on four (4) inches of planting soil and centered in the planting hole as to give the best appearance in relation to adjacent plants and structures. Trees over ten (10) feet in height shall be planted directly on the undisturbed subgrade. The finished grade level of the plant after settlement shall be the same as that at which the plant was grown. Rootballs on container grown material shall be scarified to prevent a root-bound condition. When the plant holes have been backfilled approximately 2/3 full with planting soil, water thoroughly, saturating the soil, before installing remainder of planting soil to top of hole, eliminating all air pockets. After settlement, add planting soil to the level of the finished grade, allowing three (3) inches for mulch. Form a shallow saucer around each plant by forming a ridge of soil along the edge of the planting hole. All Sabal palmetto are to be planted in sand. Water all plants immediately after planting.

D. PRUNING

Remove dead and broken branches from all plant material. Prune with sharp instrument flush with trunk or branch so as to leave no stubs. Prune to retain typical growth habit of the particular species. Point cuts over 1 1/2" in diameter with a waterproof antiseptic tree point.

E. STAKING AND GUYING

Staking and guying of trees, where specified, is an option to be used by the Contractor, who will be responsible for material remaining plumb and straight for all given conditions through the guarantee period. The Landscape Architect, Owner or Owner's representative may require that a tree or trees be staked or guyed if the tree(s) are obviously unstable or pose a threat to person or property if they should fall. Tree support, if required by Landscape Architect or Owner, shall be done according to staking details provided. Staking and guying shall be done at no extra cost to the Owner. No method of support shall be permitted which causes physical damage to the plant. Any method of staking or guying not shown must be approved by the Landscape Architect.

F. MULCHING

All tree and shrub beds shall be mulched immediately after planting to a three (3) inch depth and thoroughly wetted down. Unless otherwise specified, the following configurations will apply:

- Trees and Palms: 3" diameter ring
  - Shrub masses: 3" wide beds continuous bed extending 2' outside of plants, in configurations shown on plans
- Ground cover beds: entire surface (mulching of certain ground cover plants may be waived by Landscape Architect)

G. FINISH GRADES

- Finish grades for all sod areas after settlement shall be 1/2" below top of adjacent curbs, walks, walls, and abutments.
- Finish grade of all ground cover beds after mulching and settling shall be 1/2" below finish grade of sod, adjacent curbs, walks and walls.
- Finish grading shall include the removal of all surface rock and other debris that prevents a smooth level surface.

H. CLEANUP

All areas shall be kept clean and orderly as the work progresses. Upon completion of planting, all excess deleterious materials and debris shall be removed from the site or disposed of as directed by the Landscape Architect or Owner. All tags and ribbons shall be removed from trees and shrubs.

I. MAINTENANCE

A maintenance period shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance. Maintenance of new planting shall consist of watering, cultivating, weeding, mulching, restaking, repairing and tightening guys, resetting plants to proper grades and positions, removal of dead materials, restoration of planting saucers, maintaining any barriers or fences, and any other necessary operations. Any damage created by the planting operation shall be repaired promptly. All trees and other B&B material shall be deep watered for a period of least twenty one (21) days after installation and at least once every other day during the (21) day period.

IV. FINAL INSPECTION AND ACCEPTANCE

- Inspection of work to determine completion of contract, but exclusive of the replacement of plant materials under the Warranty Period, will be made by the Landscape Architect or Owner at the conclusion of all planting and at the written request of the Contractor.
- The Contractor will be notified by the Landscape Architect or Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to Warranty.

V. WARRANTY PERIOD AND REPLACEMENT

- The Contractor, as part of this contract, shall guarantee all materials, workmanship, and plant materials for a period of twelve (12) months from the time of final acceptance, and specified size and quality of all plant material.
- The guarantee shall be null and void for plant material that is damaged or dies as a result of freeze, hail or hurricane-force winds, provided the material was properly planted and a healthy growing condition prior to such acts of Nature.
- The Contractor shall not be held responsible for failures due to neglect by Owner or acts of vandalism during the Warranty Period.
- During, or at the end of the Warranty Period, any plant that is dead or not in satisfactory condition as determined by the Landscape Architect or Owner, shall be replaced by the Contractor at no cost to the Owner. Subsequent replacement costs shall be shared equally by the Owner and the Contractor, should the replacement not survive, unless the plant(s) have not been planted in accordance with previous specifications as determined by the Landscape Architect or Owner. All replacements shall be furnished and planted as specified herein.
- The Warranty Period for replaced plant material shall commence on the date of acceptance of the replaced item(s) of plant material.

VI. ADDENDA

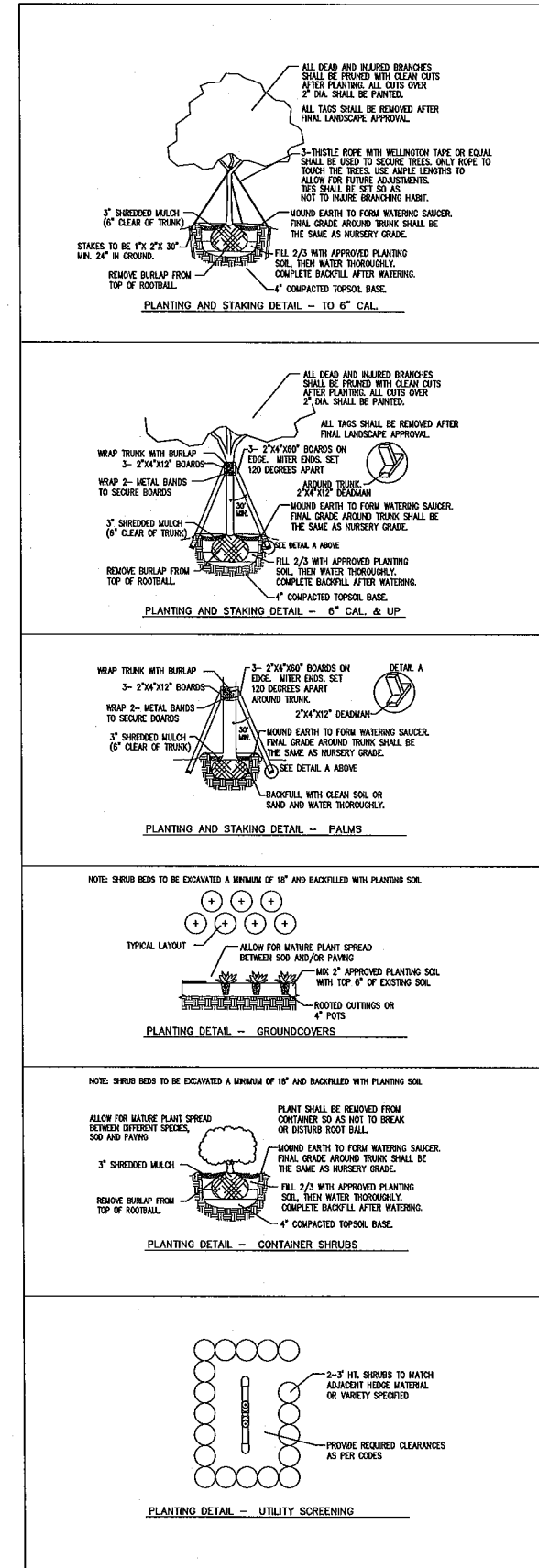
All addenda apply to section(s) specified in the contract documents and therefore are to be considered a part of the contract.

SITE RESTORATION

The Contractor shall remove all excess material and shall clean up and restore the site to its original condition or better. All damage, as a result of work under this Contract, done to existing structure, pavement, driveways, paved areas, curbs and gutters, sidewalks, shrubbery, grass, trees, utility poles, utility pipe lines, conduits, drains, catch basins, flagstones, rocked, gravelled or stabilized areas or driveways and including all obstructions not specifically named herein, shall be repaired and restored to a condition acceptable to the Landscape Architect or owner.

CONTRACTOR TO CHECK DRAWINGS AND DATA

The Contractor shall verify all dimensions, quantities, locations, materials and details shown on the drawings, supplementary drawings, schedules or other data received from the Landscape Architect, and shall notify him of all errors, omissions, conflicts and discrepancies found therein. Failure to discover or correct errors, omissions or discrepancies shall not relieve the Contractor of full responsibility for unsatisfactory work, faulty construction or improper operation resulting therefrom nor from rectifying such condition at his own expense. He will not be allowed to take advantage of any error or omissions, as full instructions will be furnished by the Landscape Architect or Owner, should any error or omission be discovered. All schedules are given for the convenience of the Client, Landscape Architect and Contractor and are not guaranteed to be complete.



Carol B Perez  
Digitally signed by Carol B Perez  
DN: cn=US, ou=Unaffiliated, ou=AD1410C00000, 17769CEDC8F80000 6DF8, cn=Carol B Perez  
Date: 2021.07.23 11:54:04 -0400

PROJECT  
THE MARKETPLACE  
AT HILLSBORO  
WEST OUT-PARCEL  
CALI COFFEE  
COCONUT CREEK, FL

LANDSCAPE SPECIFICATIONS  
& DETAILS  
WEST OUT-PARCEL

PROJ. NO.	FILE NAME
X	BB DRAWN
12/17/20	DATE
03/12/21	REV.
04/14/21	
07/23/21	

LAST SAVED AT: 7/22/21

Luminaire Schedule					
Symbol	Qty	Label	Description	LLF	Lum. Lumens
	1	SB	CREE LTG#: (2) OSQ-A-NM-5ME-U-40K-UL / OSQ-XX-XX / MTD AT 25' AFG	0.900	24666
	5	SA	CREE LTG#: OSQ-A-NM-4ME-U-40K-UL / OSQ-XX-XX / OSQ-BLSLF / MTD AT 25' AFG	0.900	20427

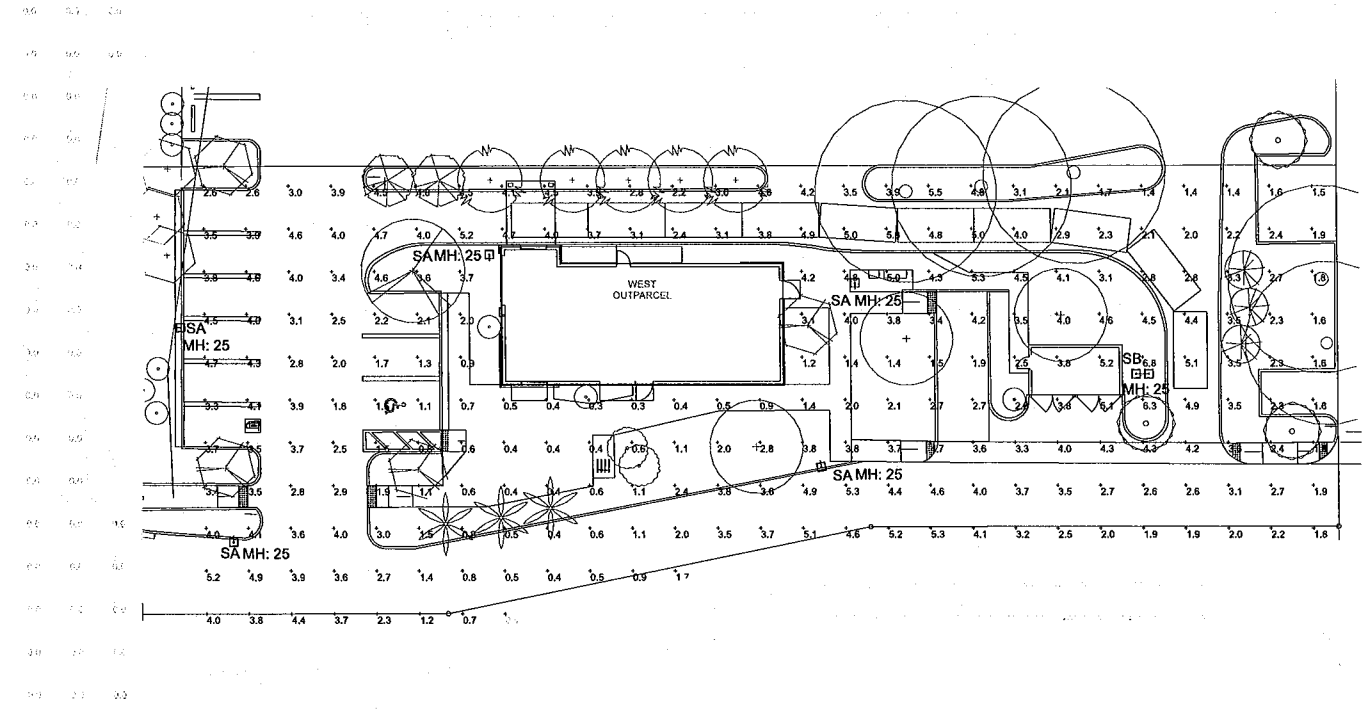
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Areas	Illuminance	Fc	2.96	6.8	0.3	9.87	22.67
SPILL LIGHT	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

LIGHTING COMPLIANCE CHART			
LABEL	QUANTITY	LUMINAIRE LUMENS	TOTAL
SA	5	20427	102135
SB	1	49332	49332
TOTAL LUMINAIRE LUMENS			151467
**SITE ALLOWED TOTAL LUMENS (LUMENS PER SF X HARDSCAPE)			187320
PROJECT IS COMPLIANT			YES

TOTAL LUMENS ALLOWED PER SITE	
HARDSCAPE AREA (SF)	24976
ALLOWED LUMENS PER SF OF HARDSCAPE	7.5
SITE ALLOWED TOTAL LUMENS (LUMENS PER SF X HARDSCAPE)	187320

**Note:**  
All site lighting is required a reduction of lighting to 1% for the entire property after hours.



PHOTOMETRIC PLAN

SCALE: 1" = 20'



14101 NW 8TH STREET  
SUNRISE, FL 33325  
PH: 654-308-3931  
CONTACT: RYAN MCCARTHY

SITE LIGHTING PLAN

**DESIGN MATTERS**

**MUMMAW**  
+  
**ASSOCIATES, INC**

ARCHITECTURE  
INTERIOR DESIGN  
CONSTRUCTION MANAGEMENT

4730 NW BOCA RATON BLVD.  
BOCA RATON, FL 33431  
561.361.0375

AAJ 13002164  
BF 26001004  
OSQ 55172

DOUGLAS A. MUMMAW  
AIA, NCARB  
FLORIDA AR 92310  
PENNSYLVANIA RA 495601  
www.mummaaw.com

Digitally signed by  
Douglas A.  
Mummaaw, AR  
92310

ONE c/o Douglas A.  
Mummaaw, A.S.  
92310, c/o Mummaaw  
and Associates, Inc.  
our Architects,  
encl - Compliance  
max.com, c-45  
Date: 2021.07.23  
13:43:47 -0400

ARCHITECTURAL SEAL

MARKETPLACE AT HILLSBORO - WEST OUT-PARCEL  
4201 - 4569 W. HILLSBORO BLVD.  
COCONUT CREEK, FLORIDA 33432

SHEET TITLE	
SITE LIGHTING PLAN	
PROJECT NUMBER	
1104-C	
PARTIAL RELEASE	
FULL RELEASE	
02/14/2020	
P.M. - RENE JOHNNALY	
REVISIONS	
▲	SECOND SUBMITTAL
	09/29/2020
▲	THIRD SUBMITTAL
	12/17/2020
▲	FOURTH SUBMITTAL
	03/12/2021
▲	FIFTH SUBMITTAL
	05/14/2021
▲	SIXTH SUBMITTAL
	07/23/2021

210-  
PH-1

B:\cloud BIM\server\FC - BIM\cloud Base for ARCH\CAD 22\Hillsboro Market - Marketplace at Hillsboro - SPA

JOB: MARKETPLACE AT HILLSBORO TYPE: SA  
OSQ-A-NM-4ME-U-40K-UL / OSQ-XX-XX / OSQ-BLSLF

OSQ Series

OSQ™ LED Area Flood Luminaire - Large

Product Description  
The OSQ™ Area Flood luminaire blends outdoor, commercial, industrial thermal management and modern, clean aesthetics. Built to last, it's designed to provide long-term, low-maintenance lighting for a wide range of applications. The OSQ™ Area Flood luminaire is available in a variety of sizes and finishes. The OSQ™ Area Flood luminaire is available in a variety of sizes and finishes. The OSQ™ Area Flood luminaire is available in a variety of sizes and finishes.

Performance Summary

Manufacturer's Precision Energy (PE) 90%  
Made in the USA, 100% LED, and 100% recyclable  
Initial Delivered Lumens: up to 27,120  
Efficiency: up to 120 LPW  
CRI: Minimum 90 CRI, 4000K & 5000K (3000K available), 60 CRI (3000K recommended)  
CCT: 3000K, 4000K, 5000K, 5700K, 6500K  
Lifetime Warranty: 5 years on luminaire, 3 years on ColorCast™ technology

Accessories

Standard Accessories  
- Mounting hardware  
- Mounting plate  
- Mounting plate  
- Mounting plate

Ordering Information

Ordering Information  
Please provide the following information when ordering:  
- Color: Black, White, Silver, Bronze  
- Finish: RAL #, Custom  
- Mounting: Surface, Suspended, Wall  
- Voltage: 120V, 277V, 480V

Luminaire (Mount must be ordered separately)

Table with columns: Product, Mounting, Light, Wattage, Color, System, Notes. Includes details for OSQ-A-NM-4ME-U-40K-UL-DIM / OSQ-XX-XX / OSQ-BLSLF.



JOB: MARKETPLACE AT HILLSBORO TYPE: SB  
OSQ-A-NM-5ME-U-40K-UL / OSQ-XX-XX

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Luminaire (Mount must be ordered separately)

Table with columns: Product, Mounting, Light, Wattage, Color, System, Notes. Includes details for OSQ-A-NM-5ME-U-40K-UL-DIM / OSQ-XX-XX.



ORDER NUMBER - STANDARD DESIGN

For additional design, please call our office 726-370-0400

Grid of luminaire models and their dimensions. Columns include model number, height, width, and depth.

Table for MARGO luminaire options. Columns include Mounting, Wattage, Color, System, Notes.

TECHNICAL CHARACTERISTICS

Margo is a luminaire which fits all kinds of lighting projects thanks to its high level of modularity.

Table of technical characteristics for MARGO luminaires. Columns include luminaire model, weight, and EPA rating.

MARKETPLACE AT HILLSBORO CALI COFFEE LIGHTING FIXTURE SCHEDULE. Table with columns: TYPE, MANUFACTURER, CATALOG NUMBER, DESCRIPTION, LAMPS, VOLTS, MOUNTING, REMARKS, INPUT WATTS.

LIGHTING SCHEDULE NOTES:  
1. For pricing please email Genesis Lighting at quotes@genesislighting.net, for technical questions please contact Ryan McCarthy at 650-980-5708

DESIGN MATTERS MUMMAW ASSOCIATES, INC. ARCHITECTURE INTERIOR DESIGN CONSTRUCTION MANAGEMENT. 4730 NW BOCA RATON BLVD. BOCA RATON, FL 33431. SBI 361.0375. AIA 13002164. IBC 26001324. CGCP 55122. DOUGLAS A. MUMMAW AIA, NCARB. FLORIDA AR 92310. PENNSYLVANIA RA 40660. www.mumma.com

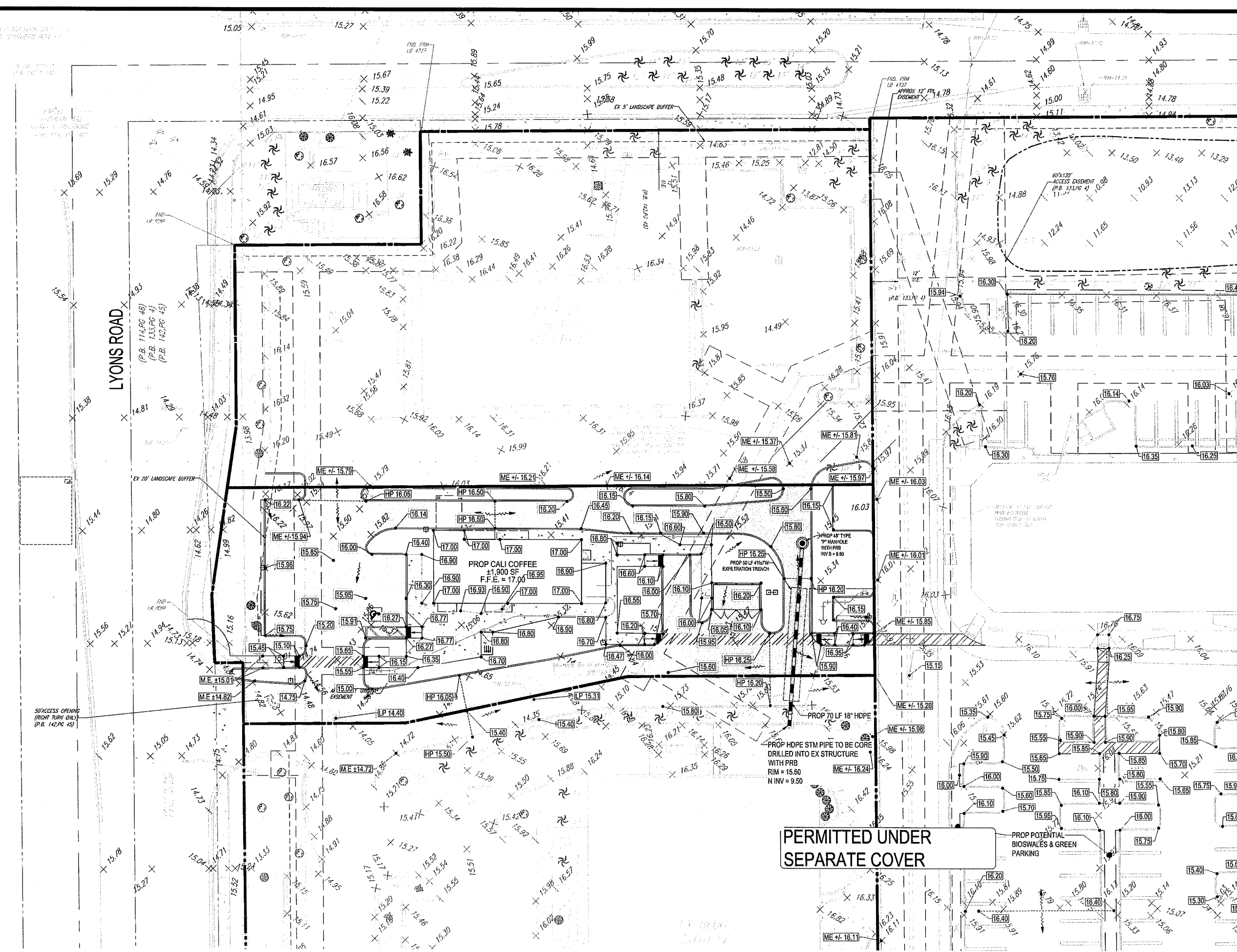
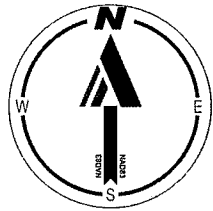
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MARKETPLACE AT HILLSBORO - WEST OUT-PARCEL. 4201-4589 W. HILLSBORO BLVD. COCONUT CREEK, FLORIDA 33432.

SHEET TITLE: SITE LIGHTING SPECIFICATIONS. PROJECT NUMBER: 1104-C. PARTIAL RELEASE. FULL RELEASE: 02/14/2020. P.M.: RENEE JOHNSON. REVISIONS: SECOND SUBMITTAL (02/19/2020), THIRD SUBMITTAL (2/17/2020), FOURTH SUBMITTAL (02/12/2021), FIFTH SUBMITTAL (04/14/2021), SIXTH SUBMITTAL (07/23/2021).

GENESIS LIGHTING. 14101 NW 8TH STREET, SUNRISE, FL 33325. PH: 654-306-3931. CONTACT: RYAN MCCARTHY.

211-PH-2



**GENERAL NOTE**  
1. EXISTING RIM ELEVATION TO BE RAISED

**AREA CALCULATIONS**  
PRE-DEVELOPMENT  
PERVIOUS AREA = 19,744 SF (0.43 AC)  
IMPERVIOUS AREA = 8,310 SF (0.19 AC)

**DATUM NOTE:**  
ALL ELEVATIONS REFERENCED HEREIN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

POST DEVELOPMENT  
PERVIOUS AREA = 7,113 SF (0.16 AC)  
IMPERVIOUS AREA = 19,941 SF (0.46 AC)

**PERMITTED UNDER SEPARATE COVER**



**BOHLER//**  
SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/12/21	PHOTOMETRICS	ML	AS

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL  
PROJECT No.: FLB190147  
DRAWN BY: ML  
CHECKED BY: AS  
DATE: 03/12/2021  
CAD I.D.: FLB190147-GDP-0

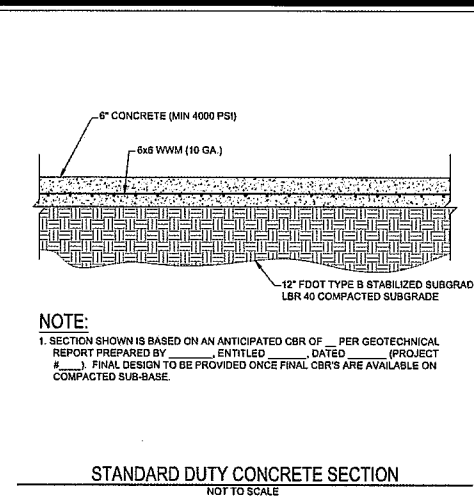
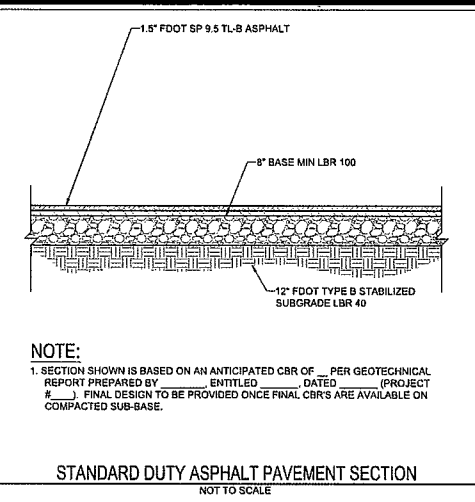
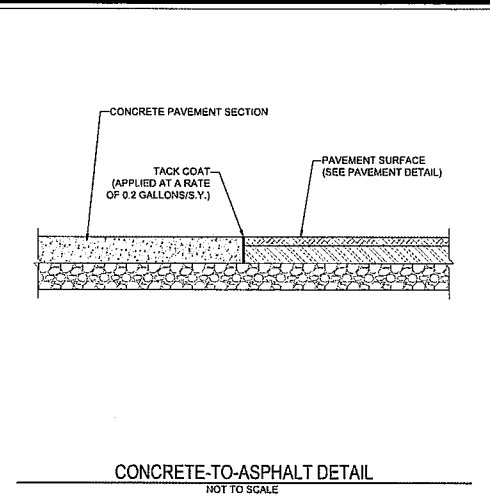
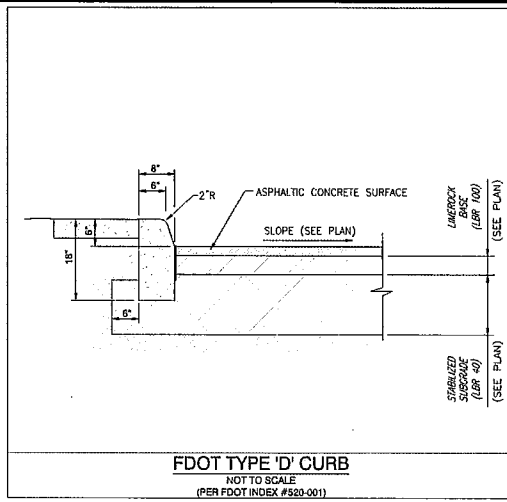
**MARKETPLACE AT HILLSBORO**  
FOR  
**MUMMAW AND ASSOCIATES**  
4201-4889 W. HILLSBORO BLVD.  
COCONUT CREEK, FL 33432

**BOHLER//**  
2255 GLADES ROAD, SUITE 309E  
BOCA RATON, FLORIDA 33431  
Phone: (561) 371-0285  
Fax: (561) 371-0281  
Professional Engineer Seal: Andrew Savage, No. 000005685, Exp. 12/31/2023

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW SAVAGE, PE ON THE DATE ADJACENT TO THE SEAL.

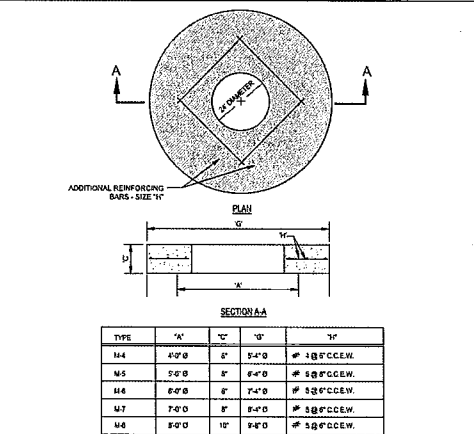
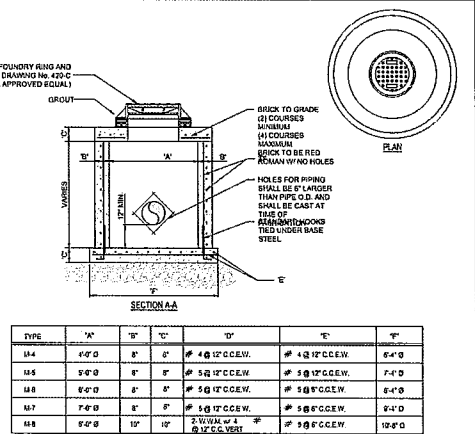
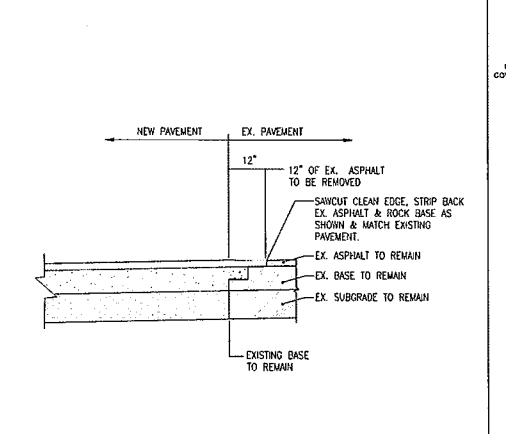
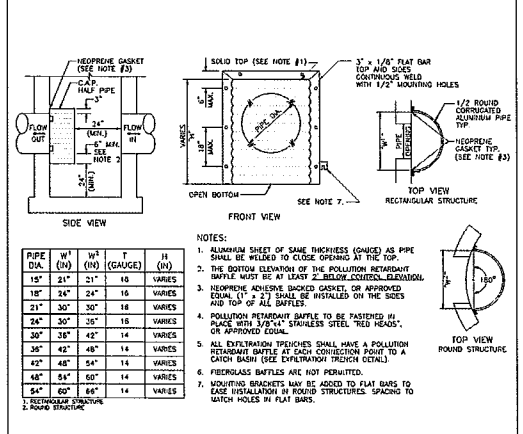
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SHEET TITLE:  
**PAVING & DRAINAGE - NORTHWEST**  
SHEET NUMBER:  
**230-C-1**  
ORG DATE - 02/14/2020





**GRADING LEGEND**

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
15	CONTOUR LINE	15
15	SPOT ELEVATIONS	15.00, 15.15, 15.30, 15.45
15	SANITARY LABEL	SAN
15	STORM LABEL	STM
15	STORM SEWER	SS
15	STORM STRUCTURE	SS
15	TYPICAL END SECTION	ES
15	HEADWALL OR ENDWALL	HW
15	YARD INLET	YI
15	CURB INLET	CI
15	MONITORING WELL	MW
15	BORING	B
15	BENCHMARK	BM
15	TEST PIT	TP

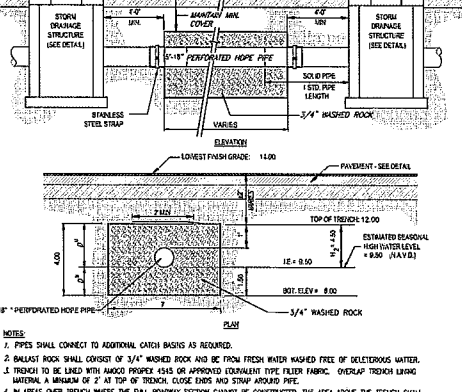
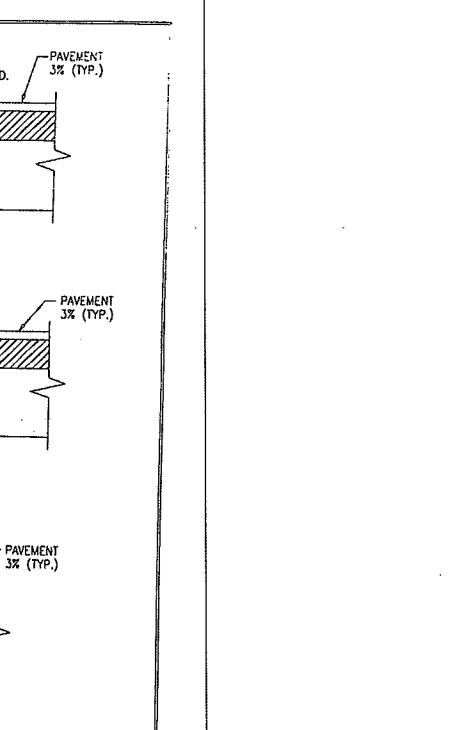
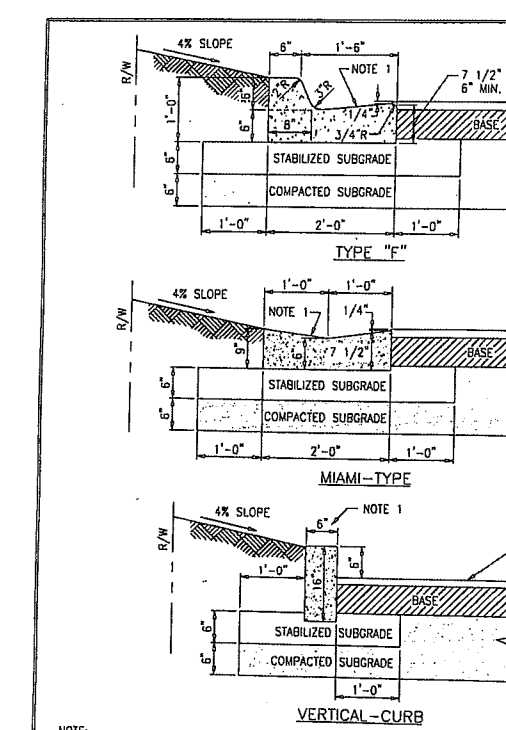
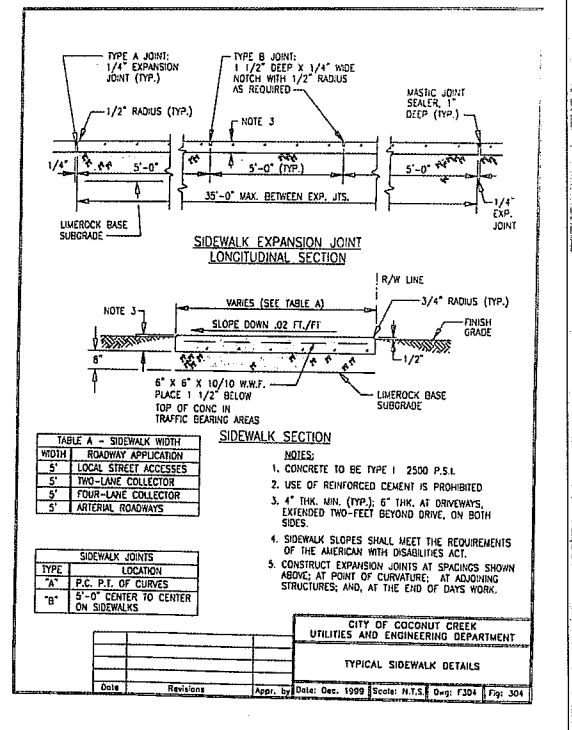


**GENERAL NOTES:**

- CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CASTING STRUCTURES.
- COORDINATE ALL UTILITY LEADS AND BUILDING CONNECTIONS WITH THE ARCHITECTURAL PLANS.
- STANDARD INDICES REFER TO THE LATEST EDITION OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY WILL NEED TO BE SODDED.
- ANY SIDEWALK THAT IS DAMAGED OR BROKEN DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH BROWARD COUNTY FOR PROPOSED ROADWORK, INCLUDING MOT.
- CONTRACTOR TO COORDINATE WITH ENGINEER OF RECORD FOR EXISTING UTILITY RELOCATIONS.

**PAVING AND GRADING NOTES:**

- GENERAL:
  - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
  - ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. "TC" = TOP OF CURB ELEVATION; "BC" = BOTTOM OF CURB ELEVATION (EDGE OF PAVEMENT); "MATCH" = PROPOSED GRADE TO MATCH EXISTING GRADE; "TW" = TOP OF RETAINING WALL ELEVATION; "BW" = BOTTOM OF RETAINING WALL ELEVATION.
  - THE ALTA/ACSM LAND TITLE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
  - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
  - ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIME/ROCK BASE.
  - ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
  - WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
  - PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- MATERIALS:
  - BASE COURSE SHALL BE COMPLIANT WITH LATEST F.D.O.T. FLEXIBLE PAVEMENT DESIGN MANUAL AND DESIGN STANDARDS.
  - ASPHALT SURFACES SHALL BE TYPE SUPER PAVE (SP), UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1-1/2" THICK AND CONSTRUCTED IN TWO MINIMUM 3/4" LIFTS, WITH TACKCOAT BETWEEN LIFTS.
  - REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.
- INSTALLATION:
  - SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-180), TO A MIN. 12" AND SHALL HAVE A MINIMUM LBR 40.
  - BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 8" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1000, UNLESS OTHERWISE INDICATED (OR LBR-100).
  - BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  - INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE OR THE LATEST REVISION.
- TESTING:
  - THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
  - DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
  - ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
  - DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
  - DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
LANDSCAPE ARCHITECTURE  
BUSINESS DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/12/21	PHOTOMETRICS	ML	AS

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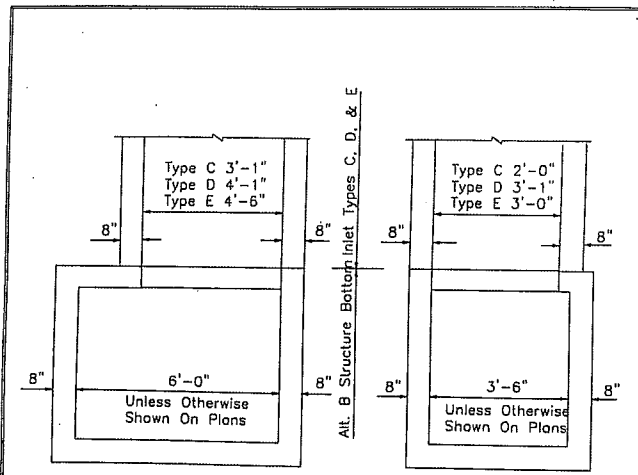
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.: FLB190147  
DRAWN BY: ML  
CHECKED BY: AS  
DATE: 03/12/2021  
CAD LD.: FLB190147-GDP-0

**MARKETPLACE AT HILLSBORO**  
FOR  
**MUMMAW AND ASSOCIATES**  
4201-4589 W. HILLSBORO BLVD.  
COCONUT CREEK, FL 33432

**BOHLER**  
2255 GLADES ROAD, SUITE 305E  
BOCA RATON, FLORIDA 33431  
Phone: (561) 571-0280  
Fax: (561) 571-0281  
FLORIDA BUSINESS CERT. OF AUTH. NO. 20780  
LANDSCAPE ARCHITECT BUSINESS LIC. NO. LC20000001  
FLORIDA PROFESSIONAL ENGINEERING LIC. NO. 1200000001  
Digitally signed by Andrew Savage  
DN: c=US, o=BOHLER ENGINEERING FL LLC, ou=A0142700000168190576, ou=00000585, cn=Andrew Savage  
Date: 2021.07.23 16:46:10 -0500  
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SHEET NUMBER:  
**231-C-2**  
ORG. DATE: 02/14/2020



NOTE: Alt. B Structure Bottom Only. See Index No. 200

STRUCTURE BOTTOM FOR INLETS TYPE C, D & E

FOOT INDEX 232

Date	Revisions	Appr. by

CITY OF COCONUT CREEK  
UTILITIES AND ENGINEERING DEPARTMENT  
STORM INLET DETAIL  
STRUCTURE BOTTOMS, TYPE 'C', 'D' & 'E'  
5 OF 6

Date: Dec. 1999 Scale: N.T.S. Dwg: F309E Fig: J09E

GENERAL NOTES

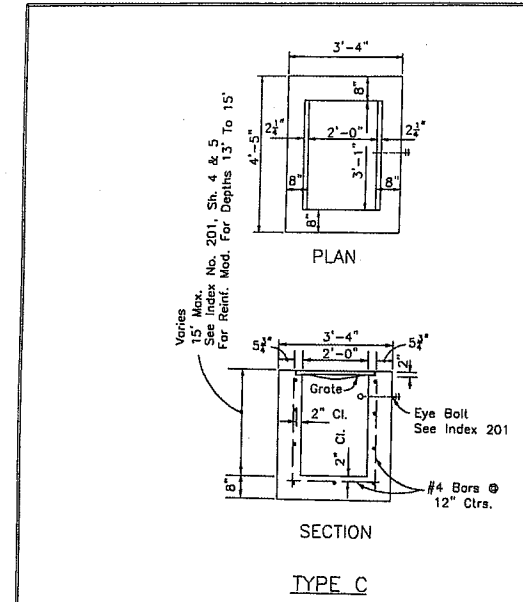
- These inlets are suitable for bicycle and pedestrian areas and are to be used in ditches, medians and other areas subject to infrequent traffic loadings but are not to be placed in areas subject to any heavy wheel loads.
- Inlets subject to minimal debris should be constructed without slots. Where debris is a problem inlets should be constructed with slots. Slotted inlets located within roadway clear zones and in areas accessible to pedestrians shall have traversable slots. The traversable slot modification is not adaptable to inlet Type H. Slots may be constructed at either or both ends as shown on plans.
- Steel grates are to be used on all inlets where bicycle traffic is anticipated. Steel grates are to be used on all inlets with traversable slots. Either cast iron or steel grates may be used on inlets without slots where bicycle traffic is not anticipated. Either cast iron or steel grates may be used on all inlets with non-traversable slots. Subject to the selection described above, when Alternate G grate is specified in the plans, either the steel grate, hot dipped galvanized after fabrication, or the cast iron grate may be used, unless the plans stipulate the particular type.
- Recommended maximum pipe sizes shown are for concrete pipe. Pipe sizes larger than those recommended must be checked for fit.
- All exposed corners and edges of concrete are to be chamfered.
- Pavement to be used on inlets without slots and inlets with non-traversable slots only when called for in the plans; but required on all traversable slot inlets. Cost to be included in contract unit price for inlets. Quantities shown are for information only.
- Traversable slots constructed in existing inlets shall be paid for as inlets partial, and shall include the cost for slot openings, paving and any required replacement grates.
- Sodding to be used on all inlets not located in paved areas and paid for under contract unit price for Sodding SY.

FOOT INDEX 232

Date	Revisions	Appr. by

CITY OF COCONUT CREEK  
UTILITIES AND ENGINEERING DEPARTMENT  
STORM INLET DETAIL  
GENERAL NOTES  
6 OF 6

Date: Dec. 1999 Scale: N.T.S. Dwg: F309F Fig: J09F



Recommended Maximum Pipe Size:  
2'-0" Wall-18" Pipe  
3'-1" Wall-24" Pipe

FOOT INDEX 232

Date	Revisions	Appr. by

CITY OF COCONUT CREEK  
UTILITIES AND ENGINEERING DEPARTMENT  
STORM INLET DETAIL  
TYPE 'C'  
1 OF 6

Date: Dec. 1999 Scale: N.T.S. Dwg: F309A Fig: J09A

GRADING LEGEND

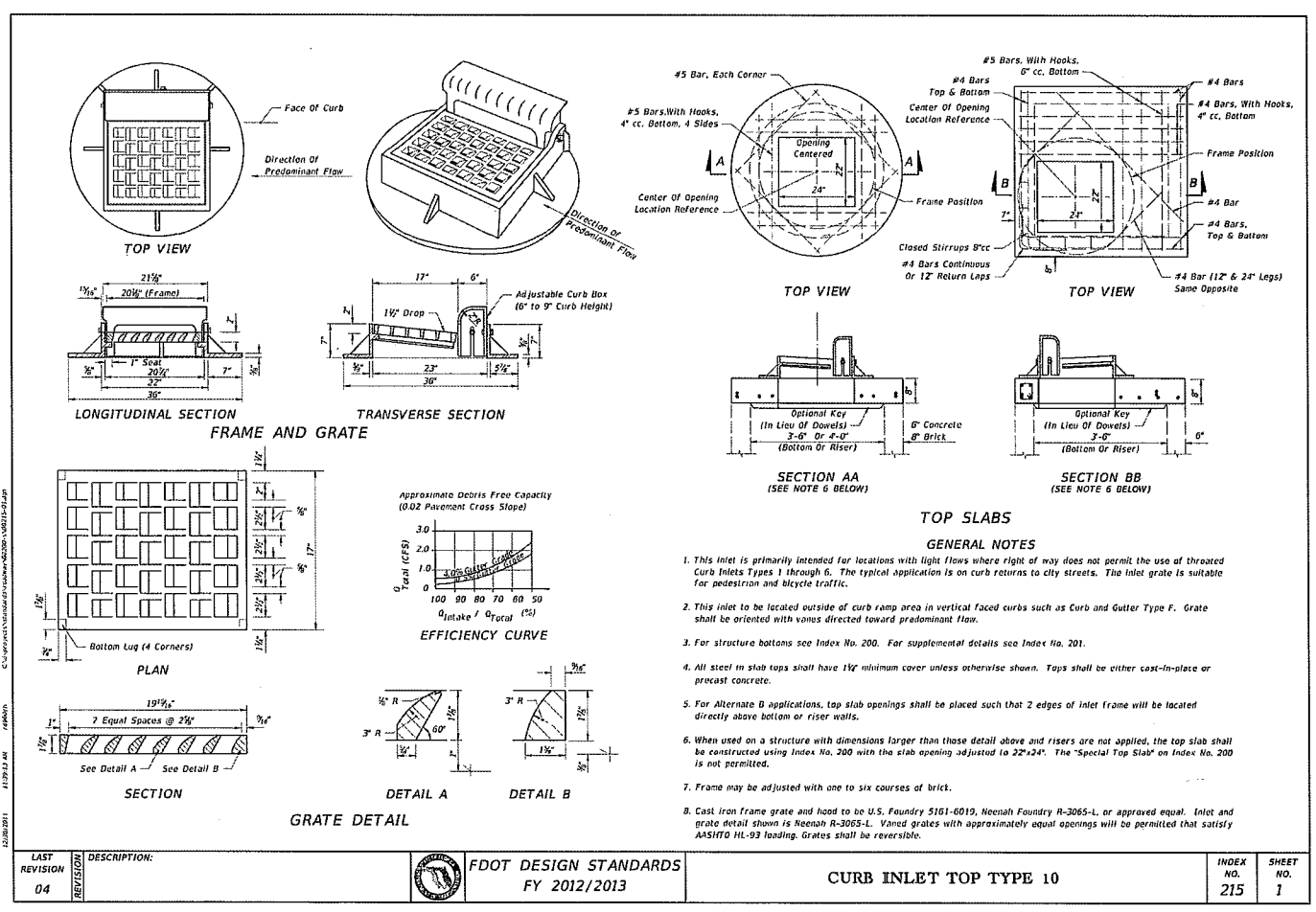
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
15	CONTOUR LINE	15
15	SPOT ELEVATIONS	15.00, 15.00, 15.00
15	SANITARY LABEL	SAN
15	STORM LABEL	STM
15	STORM SEWER	---
15	STORM STRUCTURE	⊙
15	TYPICAL END SECTION	---
15	HEADWALL OR ENDWALL	---
15	YARD INLET	⊙
15	CURB INLET	⊙
15	MONITORING WELL	⊙
15	BORING	⊙
15	BENCHMARK	⊙
15	TEST PIT	⊙

GENERAL NOTES:

- CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CASTING STRUCTURES.
- COORDINATE ALL UTILITY LEADS AND BUILDING CONNECTIONS WITH THE ARCHITECTURAL PLANS.
- STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY WILL NEED TO BE SODDED.
- ANY SIDEWALK THAT IS DAMAGED OR BROKEN DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH BROWARD COUNTY FOR PROPOSED ROADWORK, INCLUDING MOT.
- CONTRACTOR TO COORDINATE WITH ENGINEER OF RECORD FOR EXISTING UTILITY RELOCATIONS.

PAVING AND GRADING NOTES:

- GENERAL:
  - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
  - ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. "TC" = TOP OF CURB ELEVATION; "BC" = BOTTOM OF CURB ELEVATION (EDGE OF PAVEMENT); "MATCH" = PROPOSED GRADE TO MATCH EXISTING GRADE; "TW" = TOP OF RETAINING WALL ELEVATION; "BW" = BOTTOM OF RETAINING WALL ELEVATION.
  - THE ALTA/ACSM LAND TITLE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
  - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
  - ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LINEROCK BASE.
  - ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
  - WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
  - PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- MATERIALS:
  - BASE COURSE SHALL BE COMPLIANT WITH LATEST F.D.O.T. FLEXIBLE PAVEMENT DESIGN MANUAL AND DESIGN STANDARDS.
  - ASPHALT SURFACES SHALL BE TYPE SUPER PAVE (SP), UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1-1/2" THICK, AND CONSTRUCTED IN TWO MINIMUM 3/4" LIFTS, WITH JACKOAT BETWEEN LIFTS.
  - REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.
- INSTALLATION:
  - SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-180), TO A MIN. 12" AND SHALL HAVE A MINIMUM LBR 40.
  - BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 8" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1000, UNLESS OTHERWISE INDICATED (OR LBR-100).
  - BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  - INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE OR THE LATEST REVISION.
- TESTING
  - THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
  - DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
  - ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
  - DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
  - DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.



- GENERAL NOTES
- This inlet is primarily intended for locations with light flows where right of way does not permit the use of throated curb inlets Types 1 through 6. The typical application is on curb returns to city streets. The inlet grate is suitable for pedestrian and bicycle traffic.
  - This inlet is to be located outside of curb ramp area in vertical faced curbs such as Curb and Gutter Type F. Grate shall be oriented with vanes directed toward predominant flow.
  - For structure bottoms see Index No. 200. For supplemental details see Index No. 201.
  - All steel in slab tops shall have 1/4" minimum cover unless otherwise shown. Tops shall be either cast-in-place or precast concrete.
  - For Alternate B applications, top slab openings shall be placed such that 2 edges of inlet frame will be located directly above bottom or riser walls.
  - When used on a structure with dimensions larger than those detail above and risers are not applied, the top slab shall be constructed using Index No. 200 with the slab opening adjusted to 22"x24". The "Special Top Slab" on Index No. 200 is not permitted.
  - Frame may be adjusted with one to six courses of brick.
  - Cast iron frame grate and hood to be U.S. Foundry 5161-6019, Heenan Foundry R-3065-L, or approved equal. Inlet and grate detail shown is Heenan R-3065-L. Vaned grates with approximately equal openings will be permitted that satisfy AASHTO HL-93 loading. Grates shall be reversible.

LAST REVISION	DESCRIPTION:	FDOT DESIGN STANDARDS FY 2012/2013	INDEX NO.	SHEET NO.
04			215	1

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PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT NO.: FLB190147  
DRAWN BY: ML  
CHECKED BY: AS  
DATE: 02/14/2020  
CAD L.D.: FLB190147-GDP-0

**MARKETPLACE AT HILLSBORO**

FOR  
**MUMMAW AND ASSOCIATES**

4201-4589 W. HILLSBORO BLVD.  
COCONUT CREEK, FL 33432

**BOHLER**

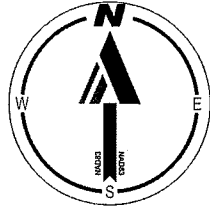
2255 GLADES ROAD, SUITE 305E  
BOCA RATON, FLORIDA 33431  
Phone: (561) 571-0230  
Fax: (561) 571-0281  
FLORIDA BUSINESS CERT. OF AUTH. NO. 20780  
LANDSCAPE ARCHITECT BUSINESS LIC. NO. LC20090501

Digitally signed by Andrew Savage  
DN: c=US, o=BOHLER ENGINEERING FL LLC, ou=A01427D000001, cn=Andrew Savage  
Date: 2021.07.23 16:46:43 -0400

SHEET NUMBER: **231-C-2.1**

PAVING & GRADING DETAILS

ORG. DATE - 02/14/2020



FOLIO: 48-420600010  
OWNER: SOUTHERN BELL CO

N. LINE TRACT 1  
(P.B. 142, PG. 145)

PARCEL 7A  
SOUTHERN BELL  
LYONS & HILLSBORO  
(P.B. 114, PG. 48)

LYONS ROAD

(P.B. 114, PG. 48)  
(P.B. 143, PG. 4)  
(P.B. 142, PG. 45)

FIND FROM  
LB 4737

FIND FROM  
LB 4737  
APPROX 12" FPL  
EASEMENT

80' X 150'  
ACCESS EASEMENT  
(P.B. 143, PG. 4)

EX 20' LANDSCAPE BUFFER

EX 5' LANDSCAPE BUFFER

30' ACCESS OPENING  
(RIGHT TURN ONLY)  
(P.B. 142, PG. 45)

(EX. 30' X 14' TRIP)  
L. 30' X 14' TRIP

LIMITS OF WATER EASEMENT TO BE ABANDONED

PROP 2" WATER METER W/ W/2"

PROP 2" BACKFLOW PREVENTER

APPROX 12" UTILITY EASEMENT

EX WATER LINE (TOP)

EX WATER METER (TOP)

LIMITS OF SEWER EASEMENT TO BE ABANDONED

PROP 18" LF 2" PE

PROP CALI COFFEE  
±1,900 SF  
F.F.E. = 17.00

EX SAN LATERAL PVC (APPROX LOCATION, CONTRIBUTE TO FIELD VERIFY LOCATION, SIZE, AND MATERIAL OF SANITARY LINE AND NOTIFY ENGINEER OF RECORD) (TO BE REMOVED)

PROP 22 LF 8" PVC SAN @ 1%

PROP SAN CO #1  
INV = 12.22

PROP 20 LF 8" PVC SAN @ 1%

PROP SAN CO #2 TO BE MAINTAINED BY THE CITY  
INV = 11.59

PROP 8" WYE AT ELEV 11.55

PROP 41 LF 8" PVC SAN @ 1%

PROP 25 LF OF 6" DIP FIRE LINE

EX HYDRANT TO BE RELOCATED

PROP RELOCATED HYDRANT

PROP 12" UTILITY EASEMENT

PERMITTED UNDER SEPARATE COVER

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PROGRAM MANAGEMENT  
URBAN DESIGN  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

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REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/12/21	PHOTOMETRICS	ML	AS

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PROJECT No.: FLB190147  
DRAWN BY: ML  
CHECKED BY: AS  
DATE: 03/12/2021  
CAD L.D.: FLB190147-UTP-0

**MARKETPLACE AT HILLSBORO**

FOR  
**MUMMAW AND ASSOCIATES**

4201-4588 W. HILLSBORO BLVD.  
COCONUT CREEK, FL 33432

**BOHLER //**

2255 GLADES ROAD, SUITE 305E  
BOCA RATON, FLORIDA 33431  
Phone: (561) 574-0280  
Fax: (561) 574-0281  
FLORIDA BUSINESS CERT. OF AUTH. NO. 50780  
LANDSCAPE ARCHITECT @ FISHB&L INC. (LC200951)

Signature: Andrew Savage  
No. 8209  
DATE: 03/12/2021  
Date: 2021.07.23 16:47:18 -0400

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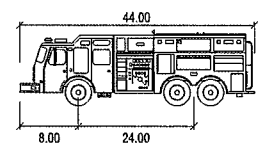
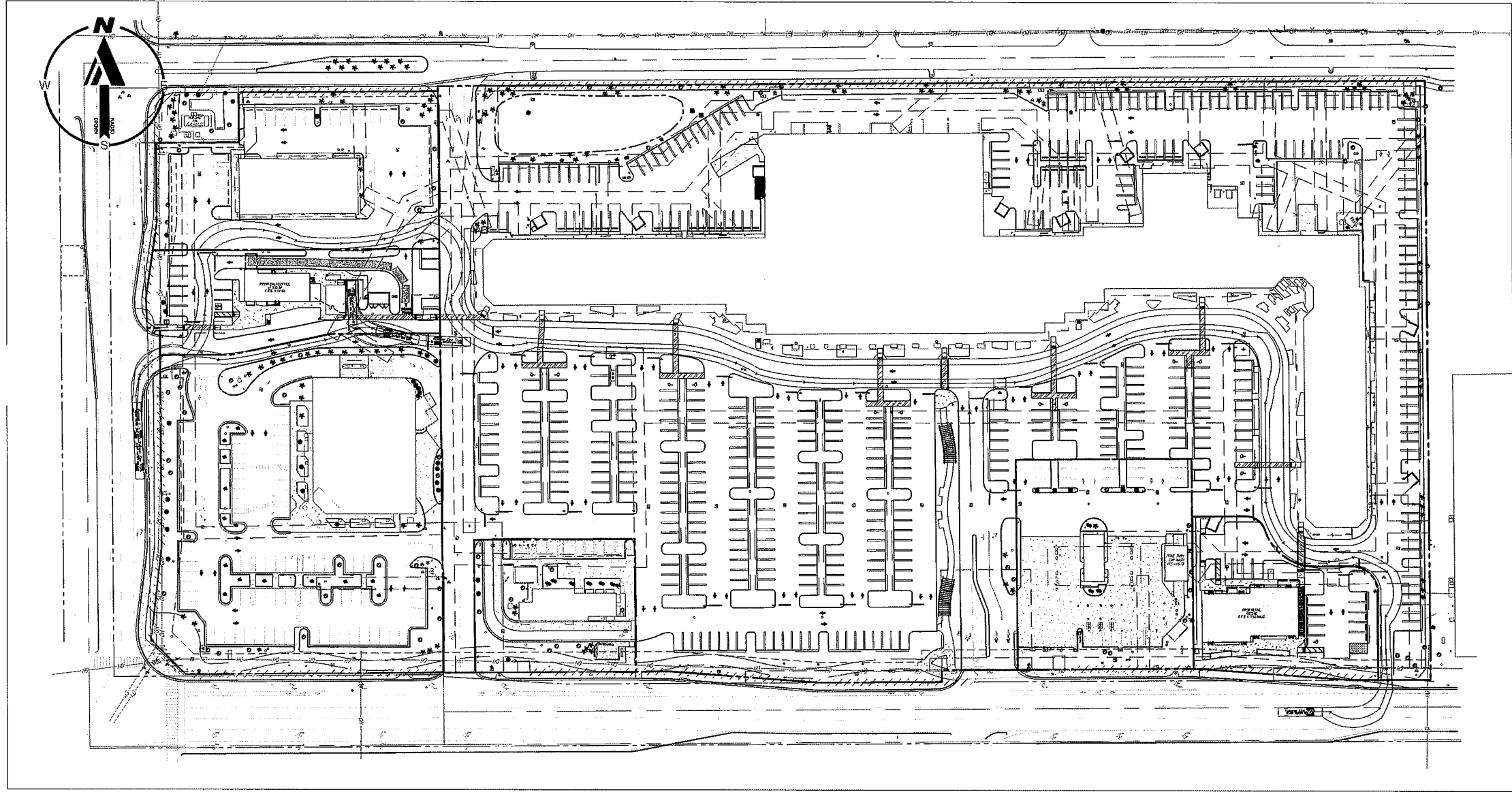
SHEET TITLE:  
**UTILITY - NORTHWEST**

SHEET NUMBER:  
**232-C-3**



ORG. DATE - 02/14/2020





Pumper Fire Truck

feet

Width : 8.50  
 Track : 8.50  
 Lock to Lock Time : 6.0  
 Steering Angle : 37.8



**BOHLER //**

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 PERMITTING SERVICES  
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**REVISIONS**

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PROJECT No.: FLB190147  
 DRAWN BY: ML  
 CHECKED BY: AS  
 DATE: 03/12/2021  
 CAD I.D.: FLB190147-TCP-Q

**MARKETPLACE AT HILLSBORO**

FOR

MUMMAW AND ASSOCIATES

4201-4589 W. HILLSBORO BLVD.  
 COCONUT CREEK, FL 33432

**BOHLER //**

2255 GLADES ROAD, SUITE 305E  
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 Fax: (561) 571-0281

ANDREW SAUSAGE, P.E.  
 No. 62408  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

DATE: 2021.07.23 16:48:46 -04'00'

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SHEET TITLE:

**VEHICULAR MOVEMENT PLAN**

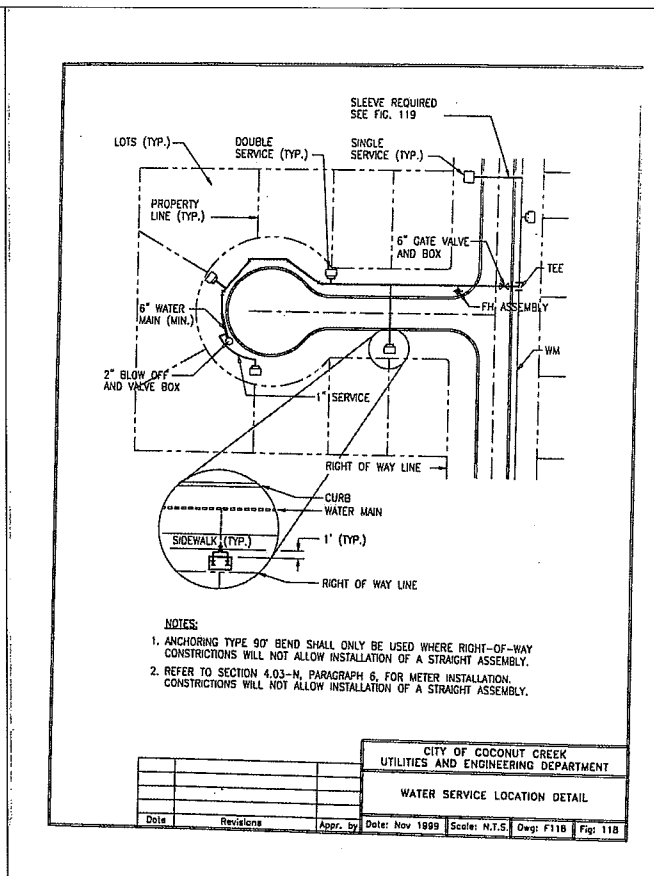
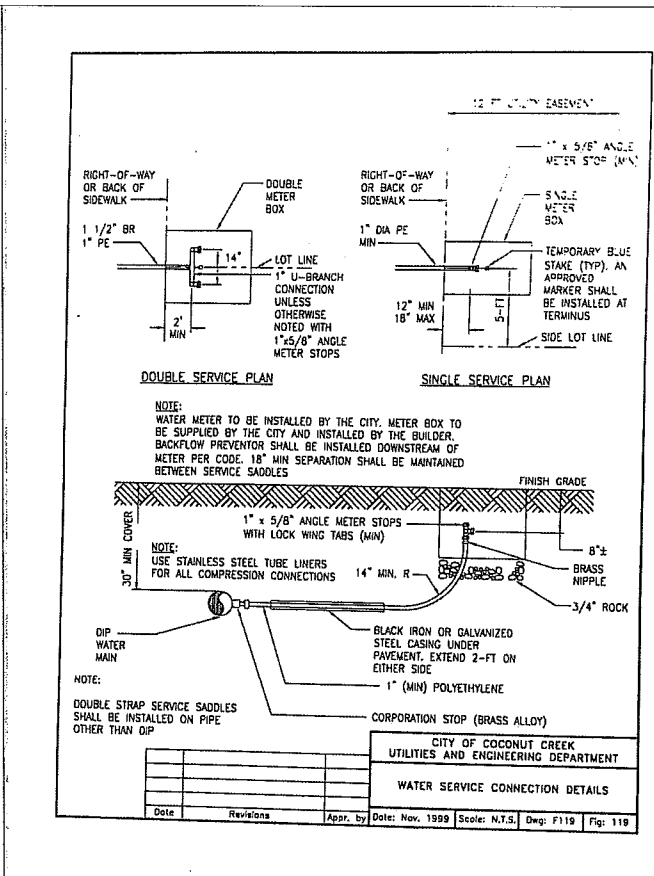
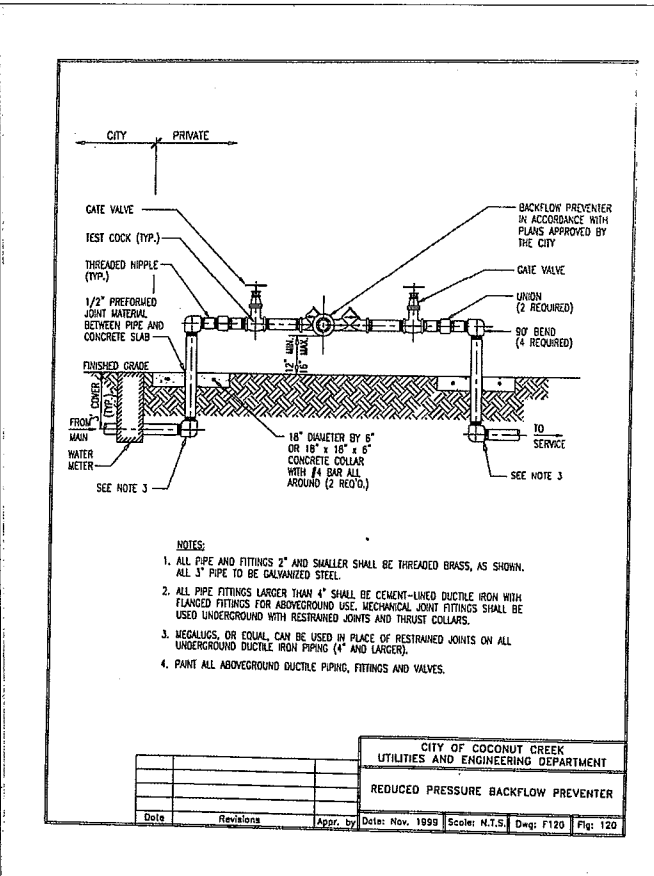
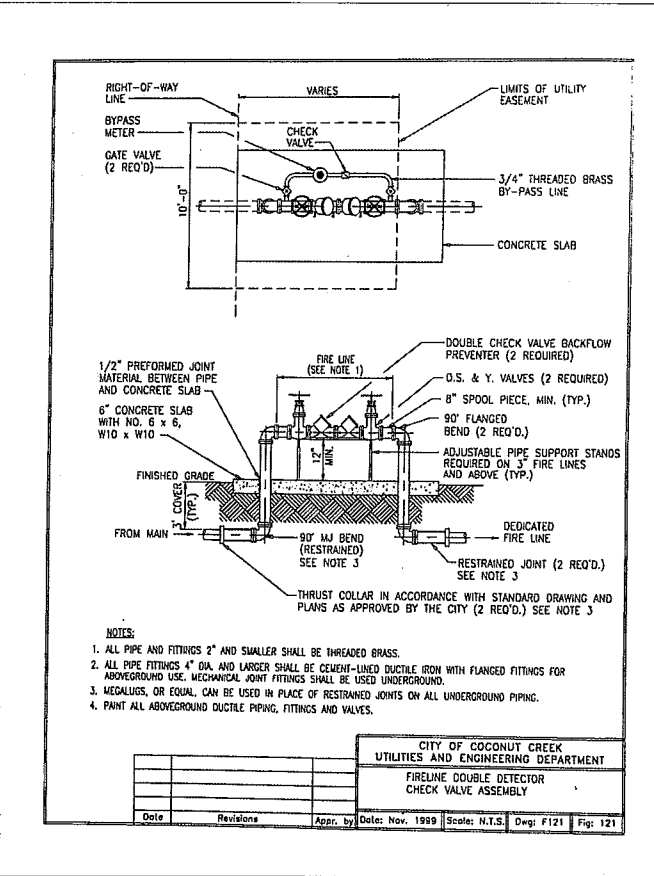
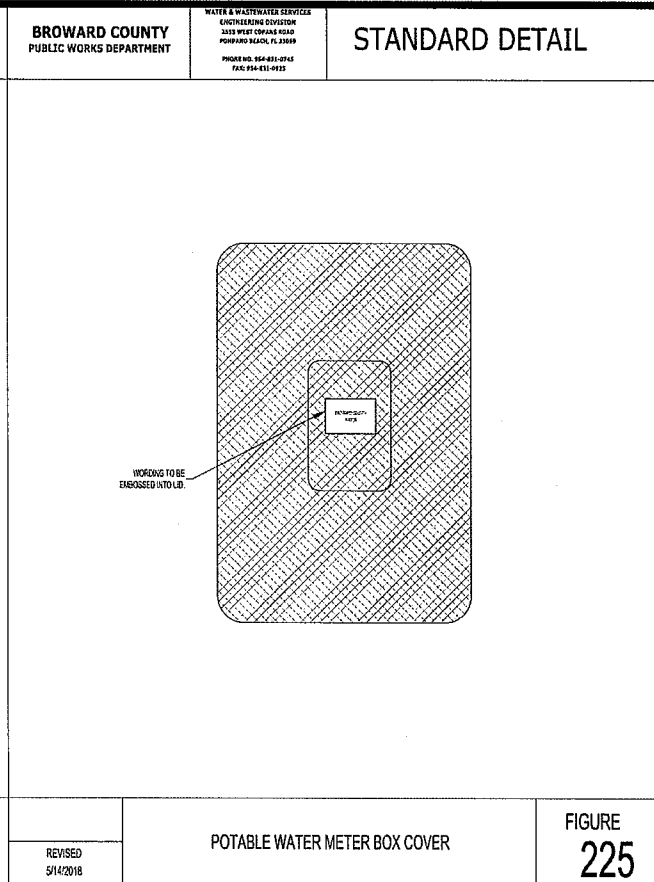
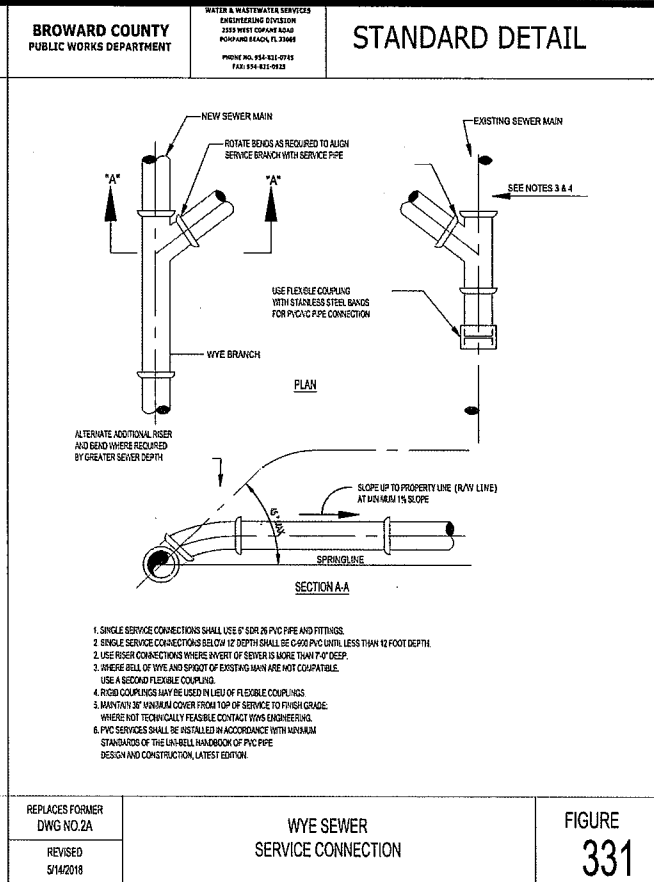
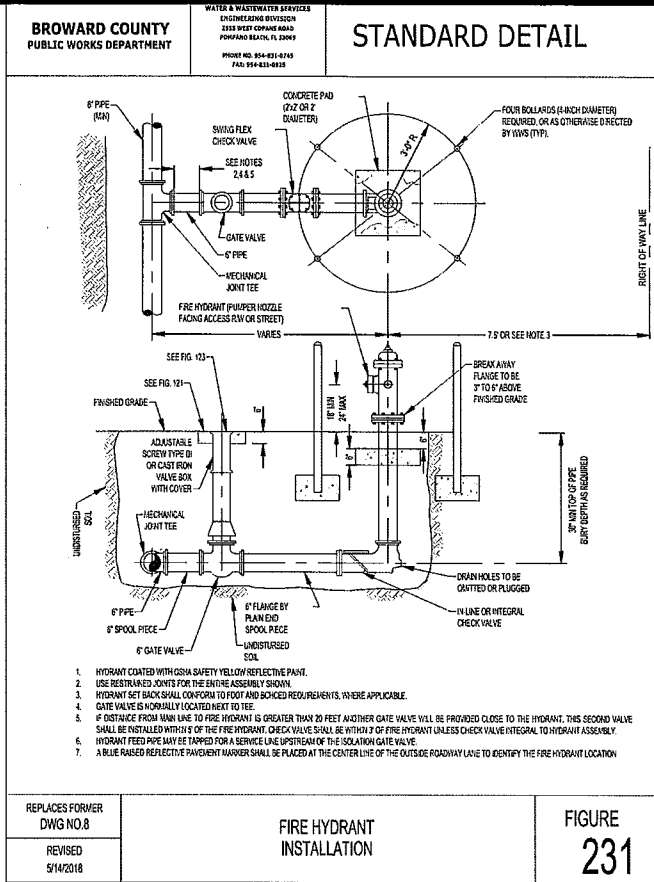
SHEET NUMBER:

**234-C-5**

ORG. DATE - 02/14/2020

4201-4589 W. HILLSBORO BLVD. INTERSECTION WITH COCONUT CREEK BLVD. - COCONUT CREEK, FLORIDA - VEHICULAR MOVEMENT PLAN





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DRAWN BY: ML  
CHECKED BY: AS  
DATE: 02/14/2020  
CAD L.D.: FLB190147-JTP-0

**MARKETPLACE AT HILLSBORO**  
FOR  
**MUMMAW AND ASSOCIATES**  
4201-4589 W. HILLSBORO BLVD.  
COCONUT CREEK, FL 33432

**BOHLER**  
2255 GLADES ROAD, SUITE 305E  
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FLORIDA BUSINESS CERT. OF AUTH. NO. 30780  
LANDSCAPE ARCHITECTURE BUSINESS LIC. NO. LC2000953

Digitally signed by Andrew Savage  
DN: cn=US, o=BOHLER ENGINEERING FL LLC, ou=A01427D000001, email=681909E7600000568, c=Andrew Savage  
Date: 2021.07.23 16:49:57 -04'00'

SHEET TITLE:  
**CONSTRUCTION DETAILS**  
SHEET NUMBER:  
**235-C-6**  
ORG. DATE - 02/14/2020



