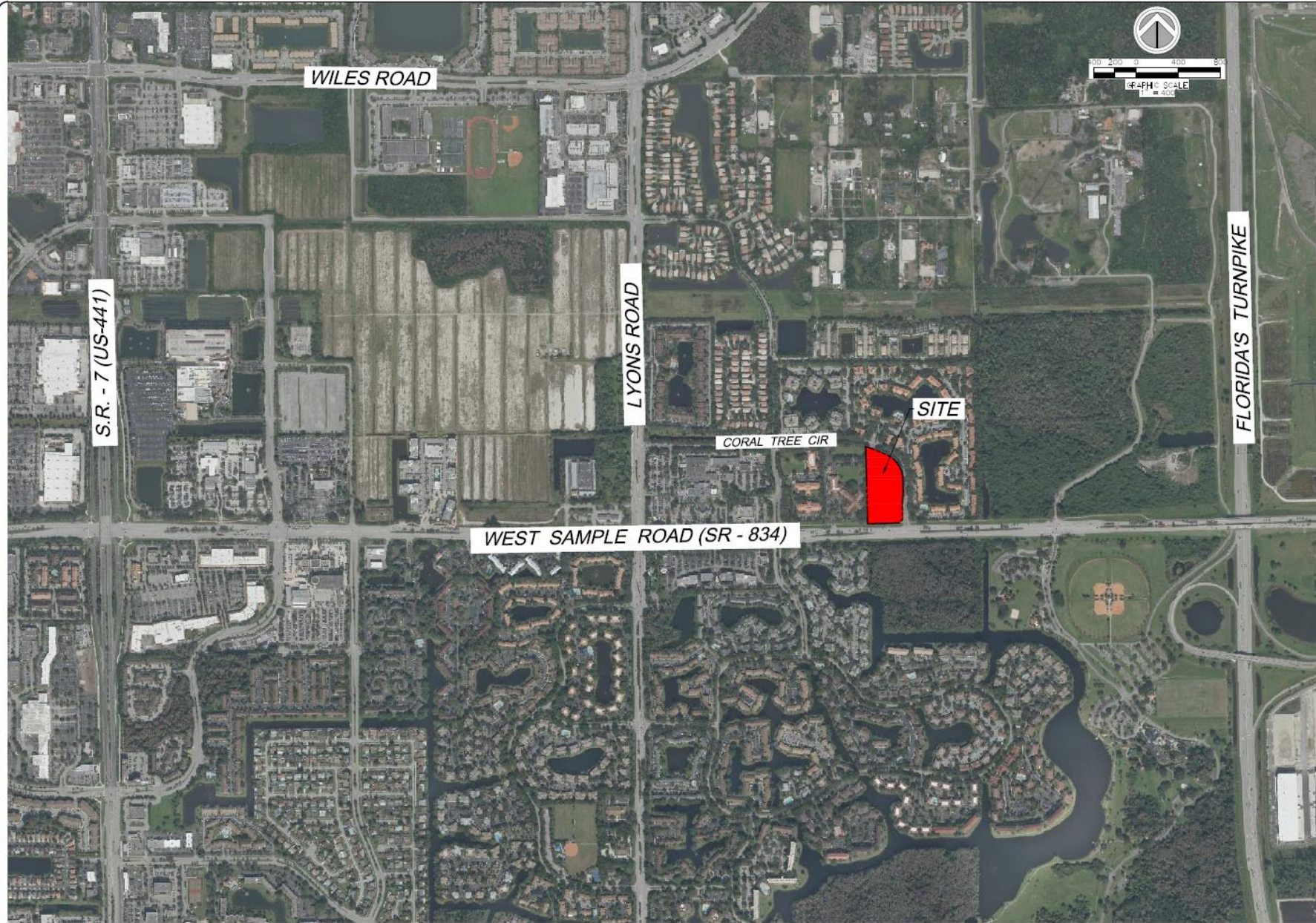


# COCONUT CREEK MAZDA

CITY OF COCONUT CREEK, FL





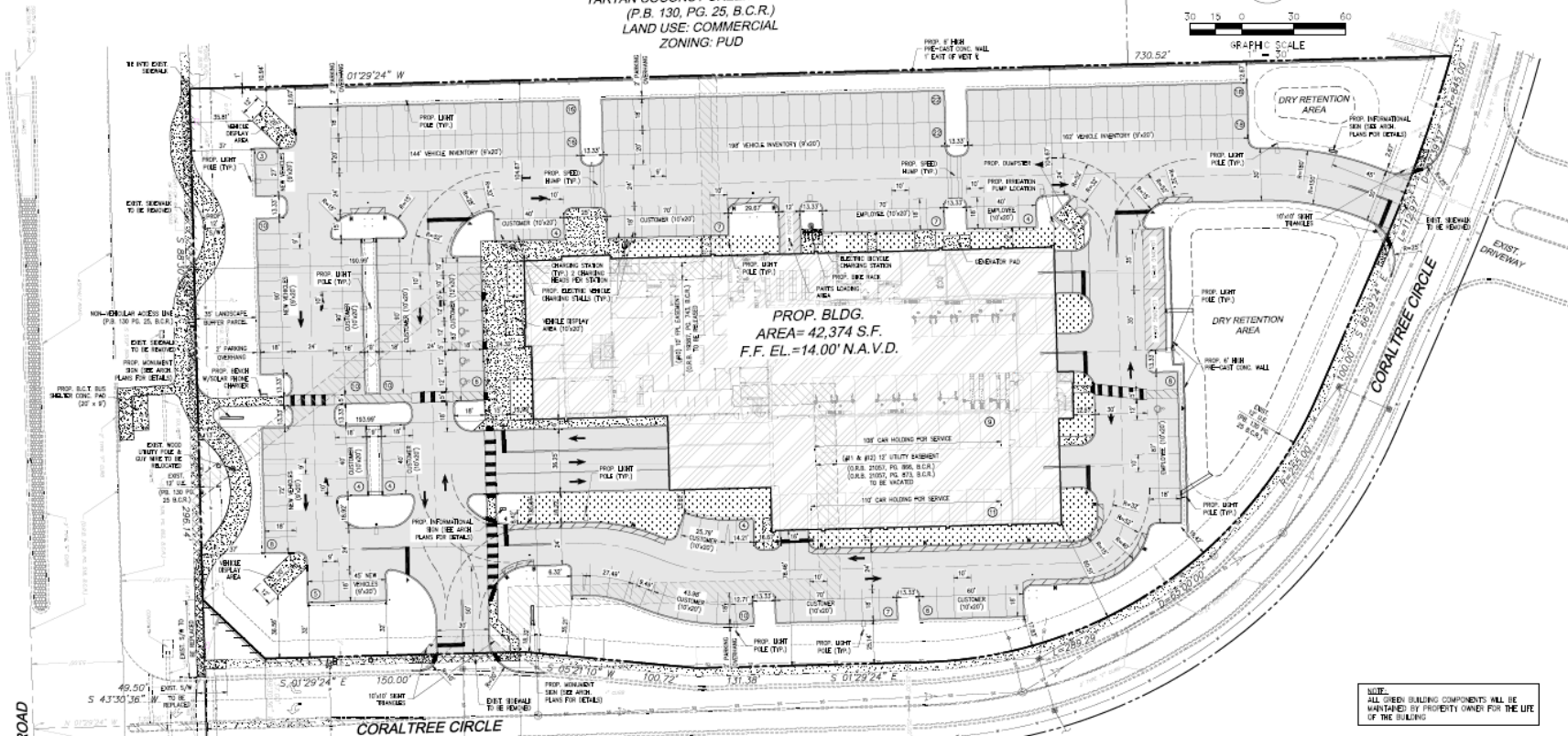
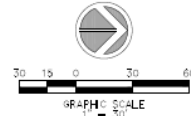
 <b>Sun-Tech</b> Engineering, Inc. <small>Professional Engineers</small>													
4777 Hollis Rd. Suite 207 www.suntecheng.com Central Ave. of South, #10707, Ft. Myers Phone: (888) 777-3232 Fax: (888) 777-3231													
<table border="1"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> <tr> <th>NO.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>		REVISIONS		NO.	DATE								
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<table border="1"> <tr> <td><b>COCONUT CREEK MAZDA</b></td> <td>FLORIDA</td> </tr> <tr> <td>CITY OF COCONUT CREEK</td> <td><b>LOCATION MAP</b></td> </tr> </table>		<b>COCONUT CREEK MAZDA</b>	FLORIDA	CITY OF COCONUT CREEK	<b>LOCATION MAP</b>								
<b>COCONUT CREEK MAZDA</b>	FLORIDA												
CITY OF COCONUT CREEK	<b>LOCATION MAP</b>												
DATE:	10/15/2020												
SCALE:	1"=400'												
DESIGNED BY:	M.G.												
DRAWN BY:	M.A.S.												
JOB #:	25-4335												
Date: August 30, 2021 This has been electronically signed and recorded by <b>CLIFFORD L. LOULF, P.E.</b> on the date adjacent to the seal. Printed copies of this document are not considered signed and recorded and the signature must be verified on any electronic copies.													
SHEET No. <b>LOC</b>													

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# Aerial Location Map

TRACT B-1  
TARTAN COCONUT CREEK PHASE IV  
(P.B. 130, PG. 25, B.C.R.)  
LAND USE: COMMERCIAL  
ZONING: PUD



PROP. BLDG.  
AREA = 42,374 S.F.  
F.F. EL. = 14.00' N.A.V.D.

NOTE:  
ALL SHOWN BUILDING COMPONENTS WILL BE  
MAINTAINED BY PROPERTY OWNER FOR THE LIFE  
OF THE BUILDING.

• TOTAL FOUNDATION PLANTING AREA REQUIRED: 107,498' (BLDG.  
HEIGHT) = 8,810 S.F. (-) 1,506 S.F. (OPENING) = 8,704 S.F.  
• TOTAL FOUNDATION PLANTING PROVIDED: 8,830 S.F.

AREAS LEGEND

- GREEN SPACE AREA
- PAVEMENT AREA
- CONCRETE AREA
- PROP. BUILDING

BUILDING AREA BREAKDOWN						
FLOOR LEVEL	SHOWROOM	OFFICES	PARTS, EQUIP. & STORAGE	SERVICE BAYS	OTHER AREAS NON ASSOCIATED W/PARKING SPACES	TOTAL FLOOR AREA
1ST FLOOR	7,095	4,881	3,151	8,898	18,349	42,374
2ND FLOOR	2,281	1,857	0	0	30,098	34,216
3RD FLOOR	0	0	0	0	30,098	30,098
TOTAL AREA	9,376	6,738	3,151	8,898	78,533	106,676
FLOOR AREA RATIO						0.489

SITE PLAN DATA			
AREA	SF	AC.	%
GREEN SPACE AREA	69,805	1.60	32.05%
PAVEMENT AREA	97,540	2.24	44.78%
CONCRETE AREA	8,082	0.19	3.71%
PROP. BUILDING	42,374	0.97	19.46%
TOTAL AREA	217,801	5.00	100.00%

PERVIOUS CALCULATIONS			
PERVIOUS	SF	AC.	%
PERVIOUS	69,805	1.60	32.05%
IMPERVIOUS	147,996	3.40	67.95%

PARKING TABULATION	
TOTAL REQUIRED PARKING (SERVICE)	45 SPACES
6,896 S.F. @ 1 SPACE/200 S.F.	
TOTAL REQUIRED PARKING (PARTS)	7 SPACES
3,151 S.F. @ 1 SPACE/200 S.F.	
TOTAL REQUIRED PARKING (OFFICE)	23 SPACES
6,738 S.F. @ 1 SPACE/200 S.F.	
TOTAL REQUIRED PARKING (SHOWROOM)	47 SPACES
9,376 S.F. @ 1 SPACE/200 S.F.	
TOTAL PARKING REQUIRED	122 SPACES
PARKING PROVIDED	
107,407 CUSTOMER/EMPLOYEES' SPACES AT GRADE	86 SPACES
17,420 HANDICAP SPACES AT GRADE	5 SPACES
107,420 EMPLOYEES/HOLDING SPACES AT GARAGE	46 SPACES
TOTAL PARKING PROVIDED	137 SPACES
17,420 INVENTORY SPACES	318 SPACES
GRAND TOTAL	455 SPACES

B-3 COMPARISON TABLE		
ITEM	REQUIRED	PROVIDED
MAX. BLDG. HEIGHT	36'-0"	48'-8"
F.A.R.	0.50	0.48
BUILDING COVERAGE	30%	19.44%
MIN. LOT AREA	25 AC.	5 AC.
MIN. LOT WIDTH	25'	331.13'
MIN. LOT DEPTH	475'	730.52'
MIN. FRONT SETBACK	25'	190.99'
MIN. SIDE SETBACK	20'	78.46'
MIN. REAR SETBACK	20'	60.51'
MIN. OPEN SPACE	10%	32.06%

EXISTING LAND USE: COMMERCIAL  
EXISTING ZONING: PUD (B-3)  
BUILDING HEIGHT: 48'-8"

47714th 141 Road, Suite 302  
Gainesville, FL 32608  
www.sun-tech-engineering.com  
Commercial/Industrial/Residential  
Phone: (817) 773-9233  
Fax: (817) 773-9114

**STE Sun-Tech Engineering, Inc.**  
REGISTERED PROFESSIONAL ENGINEERS

REVISIONS	
NO.	DATE

COCONUT CREEK MAZDA  
CITY OF COCONUT CREEK, FLORIDA

**SITE PLAN**

DATE: 10/16/2020  
SCALE: 1"=40'  
DESIGNED BY: M.G.  
DRAWN BY: M.A.L.  
JOB #: 20-0855



Date: August 16, 2021  
This plan has been digitally signed and verified by STE Sun-Tech Engineering, Inc. on the date adjacent to the name. The digital copy of this document was not considered legal and no other signatures must be used on any electronic copy.

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SP-1

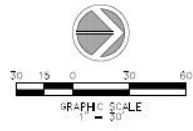
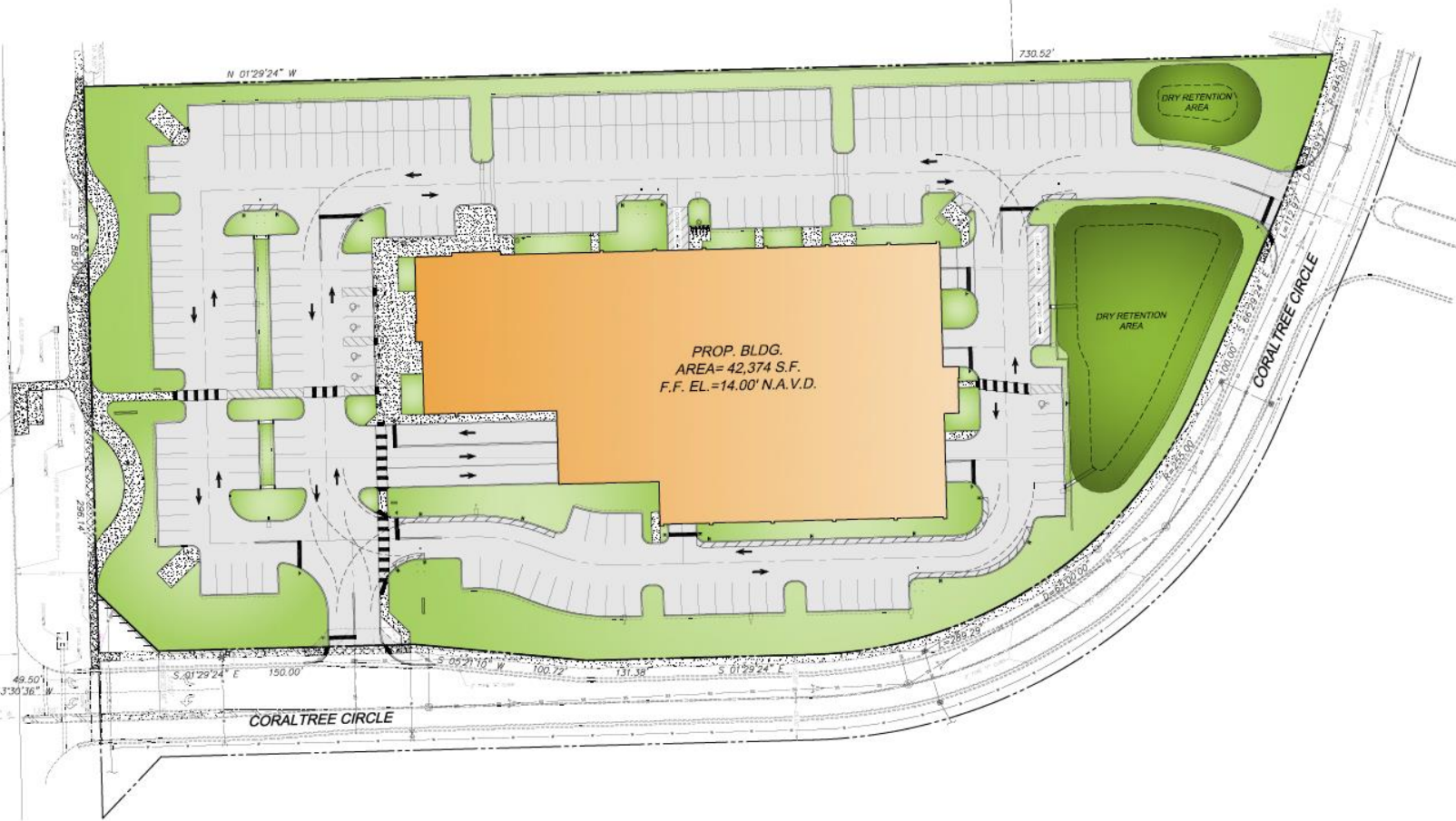
# Site Plan

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LAYOUT: [ ]

PROJECT: COCONUT CREEK MAZDA, 11300 S. SAMPLE ROAD, SUITE 100, COCONUT CREEK, FLORIDA 33042

DATE: 10/15/2020  
 DRAWN BY: M.A.S.  
 CHECKED BY: M.O.  
 DESIGNED BY: M.O.  
 SCALE: 1"=30'  
 DATE: 10/15/2020

SAMPLE ROAD



47716411111111111111  
 Sun-Tech  
 ENGINEERING, INC.  
 11300 S. SAMPLE ROAD, SUITE 100  
 COCONUT CREEK, FLORIDA 33042  
 TEL: (954) 773-1111  
 FAX: (954) 773-1114

REVISIONS	
NO.	DATE

COCONUT CREEK MAZDA  
 CITY OF COCONUT CREEK  
 FLORIDA  
**COLORED SITE PLAN**

DATE: 10/15/2020  
 SCALE: 1"=30'  
 DESIGNED BY: M.O.  
 DRAWN BY: M.A.S.  
 JOB #: 20-485



Printed August 26, 2021  
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SHEET NO.  
 SP-1

# Colored Site Plan



REAR/LEFT VIEW



AERIAL VIEW



FRONT/LEFT VIEW



FRONT/RIGHT VIEW

  
 COCONUT CREEK, FL.  
 DATE OF LAST REVISION: 07/22/2021



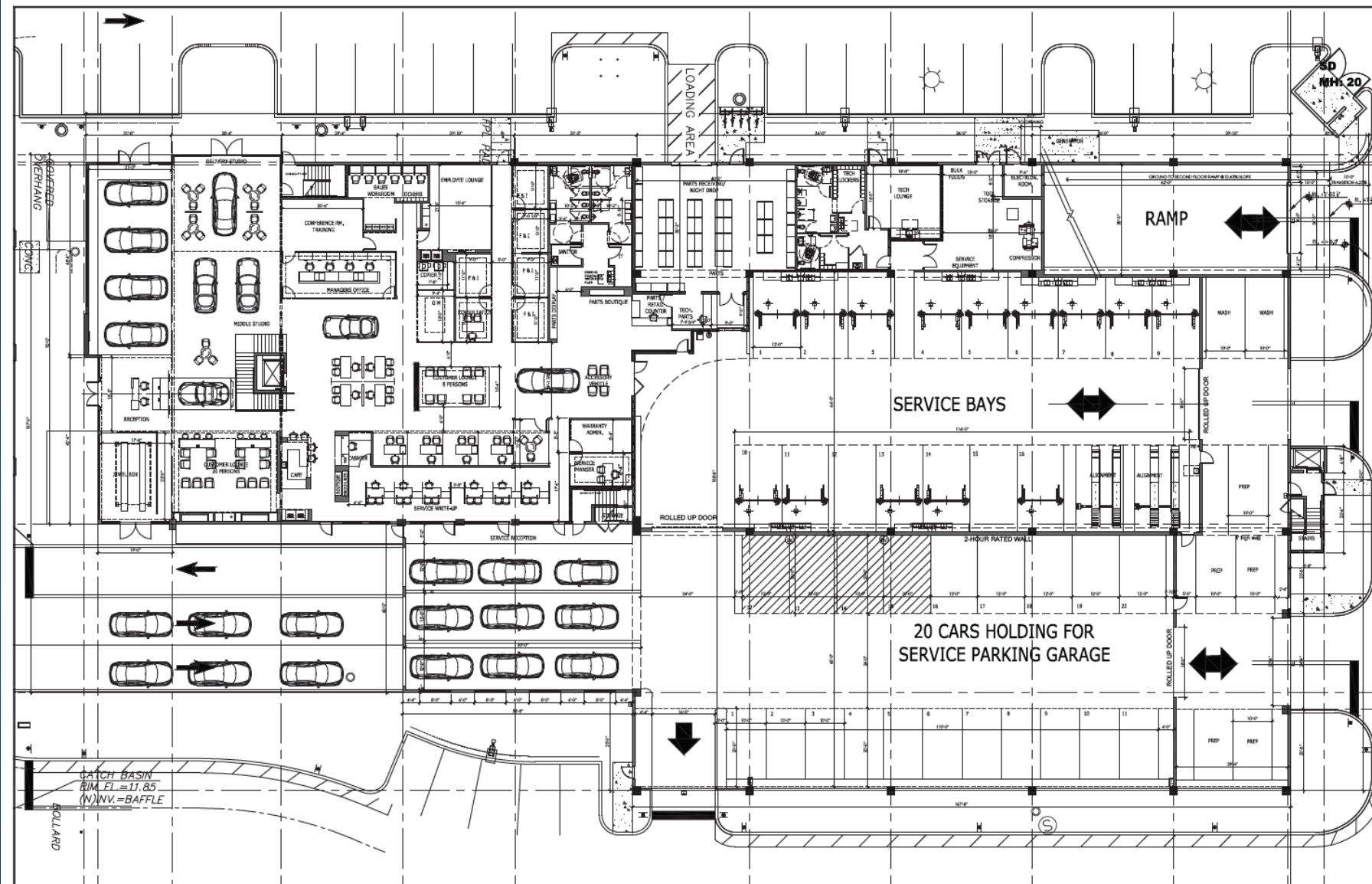
**EXTERIOR VIEWS**  
  
 3757 CORAL TREE CIRCLE, COCONUT CREEK, FLORIDA  
 FOR THE PROJECT  
 CONTENTS  
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**JAO ARCHITECTS & PLANNERS**  
 300 N.W. 21st AVE  
 SUITE 101  
 BOCA RATON, FL 33431  
 TEL: (561) 381-4115  
 FAX: (561) 381-4173  
 EMAIL: JAOARCH@JAO.COM

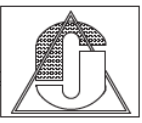


DATE DRAWN: 07/22/2021  
 DRAWN BY: AH  
 CHECKED BY: J.A.O.  
 REVISIONS:  
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 3. \_\_\_\_\_  
 4. \_\_\_\_\_  
 JOB NUMBER: 20-094  
 SHEET NO:  
**A0.1**

# Rendered Elevations



**ITM**  
COCONUT CREEK, FL.  
DATE OF LAST REVISION: 07/22/2021



**CONTINUED**  
**1ST FLOOR PLAN**  
FOR THE PROJECT:  
**ITM**  
3757 CORAL TREE CIRCLE, COCONUT CREEK, FLORIDA  
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

**J.A.O.**  
**ARCHITECTS**  
**&**  
**PLANNERS**  
308 NW 2 RD. AVE  
SUITE 105  
BOCA RATON, FL 33488  
TEL (561) 391-4115  
FAX (561) 391-4172  
EMAIL: JAOARCH@JAO.COM



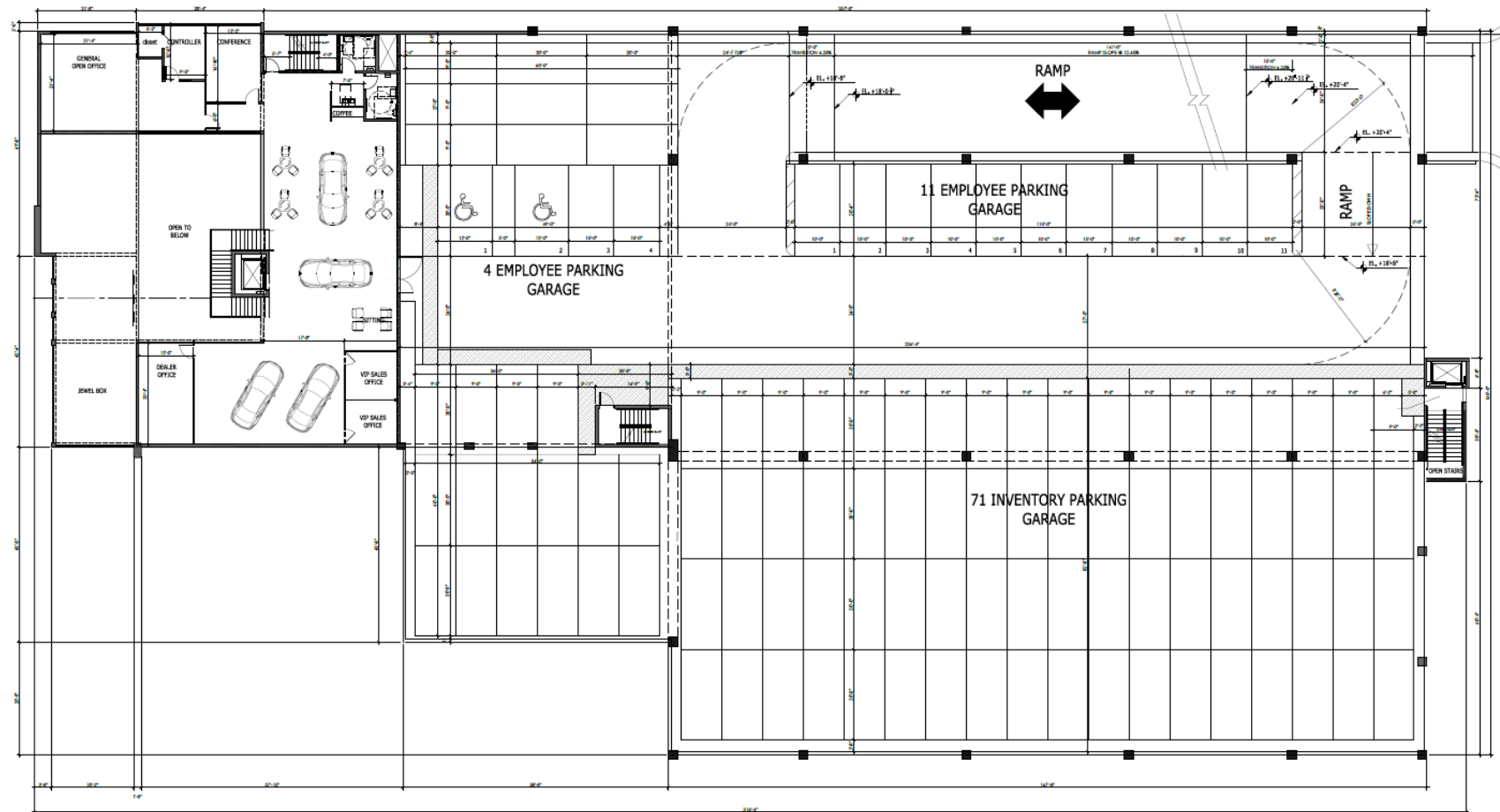
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CHECKED BY: J.A.O.  
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4. \_\_\_\_\_  
JOB NUMBER: 20-094

SHEET NO.  
**A1.0**

A grade difference of 8% or more requires transition slopes so vehicles do not "bottom out". Recommended are minimum 10'-0" transition slopes at the top and bottom of the ramp that are one-half of the differential slope. For instance, two 10'-0" transition ramps sloped at 6.25% would be required at the bottom and the top of a ramp sloped at 12.5%.

**1ST FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

# First Floor Plan

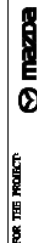


COCONUT CREEK, FL.

DATE OF LAST REVISION: 07/22/2021



2ND FLOOR PLAN



3757 CORAL TREE CIRCLE, COCONUT CREEK, FLORIDA

CONTENTS

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&  
PLANNERS

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E-MAIL: JAOARCH@AOL.COM



DATE DRAWN: 07/22/2021

DRAWN BY: AH

CHECKED BY: J.A.O.

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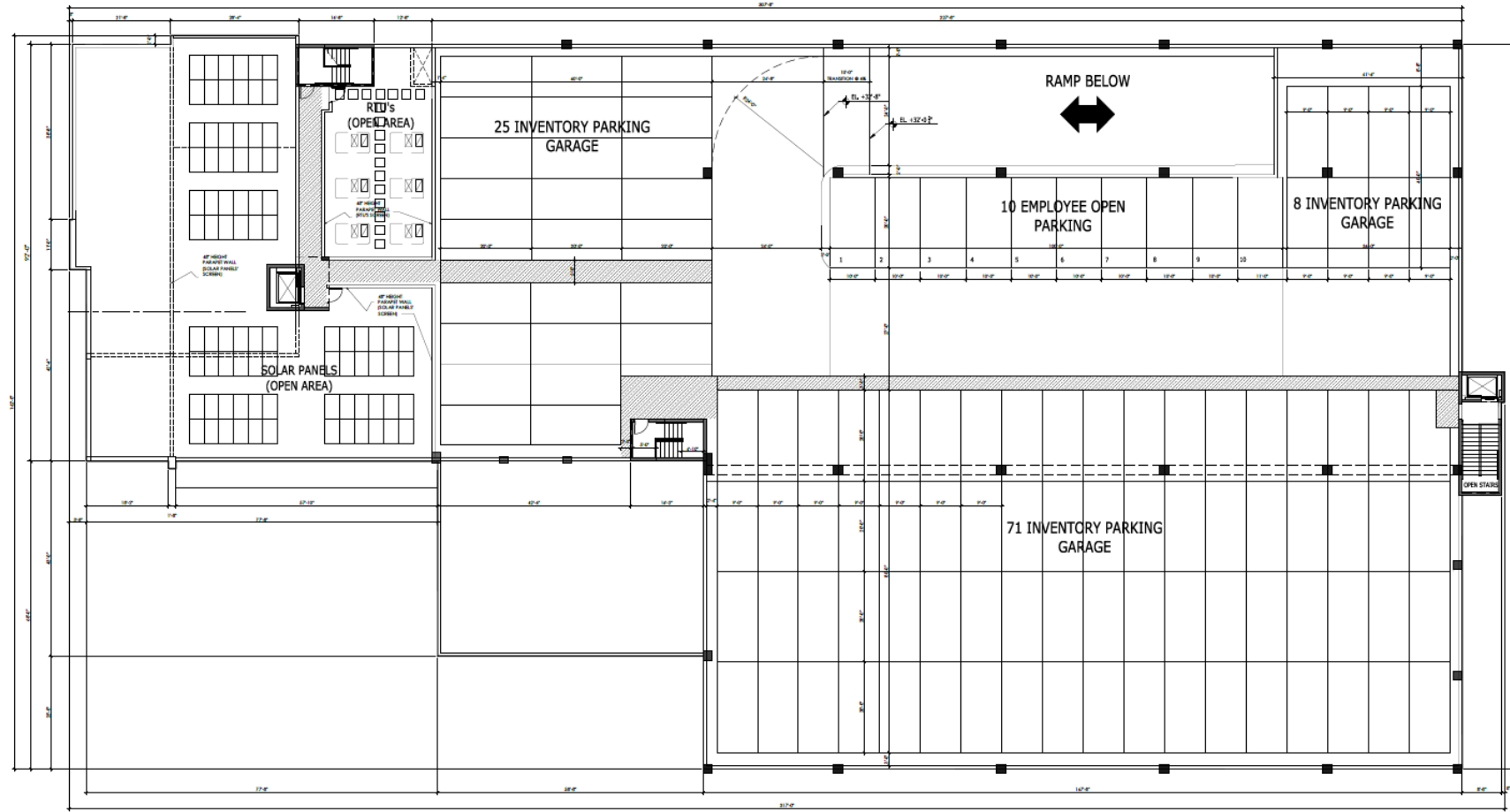
JOB NUMBER: 20-094

SHEET NO:

A1.1

**2ND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

# Second Floor Plan



COCONUT CREEK, FL.

DATE OF LAST REVISION: 07.22.2021



CONTENTS  
3RD FLOOR PLAN

FOR THE PROJECT:



3757 CORAL TREE CIRCLE, COCONUT CREEK, FLORIDA

**J.A.O.**  
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&  
PLANNERS  
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TEL: (561) 394-4115  
FAX: (561) 394-4172  
E-MAIL: JAOARCH@GOL.COM



DATE DRAWN: 07/22/2021

DRAWN BY: AH

CHECKED BY: J.A.O.

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4. \_\_\_\_\_

JOB NUMBER: 20-094

SHEET NO:

**A1.2**

**3RD FLOOR PLAN**

SCALE: 3/32" = 1'-0"

# Third Floor Plan