



FINAL SUBMITTAL

7-ELEVEN #34941

4990 COCONUT CREEK PARKWAY, COCONUT CREEK, FLORIDA 33063

FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN A FLOOD ZONE X, AS SHOWN ON F.I.R.M. NUM. 12011C0355H, BEARING A MAP EFFECTIVE DATE OF 08/18/2014.

RELATIONSHIP BETWEEN NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.58 FEET	1.58'
NAVD 1988		0.00'

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NAVD 1988 DATUM

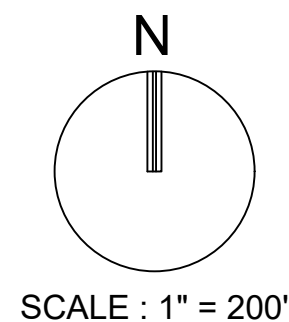
LAND DESCRIPTION:

A PORTION OF TRACT 3, BLOCK 94, "PALM BEACH FARMS COMPANY PLAT NO. 3", IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 31; THENCE NORTH 89°49'20" EAST ALONG THE CENTERLINE OF COCONUT CREEK PARKWAY 2320.49 FEET; THENCE SOUTH 00°40'20" WEST 50.01 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF SAID HAMMONDVILLE ROAD (COCONUT CREEK PARKWAY) AS SHOWN ON STATE OF FLORIDA STATE RIGHT OF WAY MAP SECTION 86130-2506, SHEET 3 OF 10; THENCE NORTH 89°49'20" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE BEING A LINE LYING 50.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 31, FOR 283.23 FEET TO THE INTERSECTION WITH THE WEST LINE OF "FARM STORE PARCEL", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 93, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 00°37'50" WEST ALONG SAID WEST LINE 125.00 FEET TO THE SOUTHWEST CORNER OF SAID PLAT; THENCE NORTH 89°49'20" EAST ALONG THE SOUTH LINE OF SAID "FARM STORE PARCEL" AND ITS EASTERLY EXTENSION 85.58 FEET TO THE INTERSECTION WITH A LINE LYING 900 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID TRACT 3; THENCE SOUTH 00°37'50" WEST ALONG SAID PARALLEL LINE 52.00 FEET TO THE INTERSECTION WITH A LINE LYING 350 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID TRACT 3; THENCE NORTH 89°19'47" WEST ALONG SAID PARALLEL LINE 400.70 FEET TO THE INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF BANKS ROAD AS RECORDED IN OFFICIAL RECORDS BOOK 45097, PAGE 101, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE, THE FOLLOWING FOUR (4) COURSES AND DISTANCES: 1) NORTH 00°40'20" EAST 19.13 FEET; 2) NORTH 10°30'05" EAST 76.12 FEET; 3) NORTH 00°40'20" EAST 49.57 FEET A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY; 4) NORTHEASTERLY ON THE ARC OF SAID CURVE, HAVING A RADIUS 30.00 FEET, A CENTRAL ANGLE OF 68°06'38", FOR AN ARC DISTANCE OF 35.66 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 57,368 SQUARE FEET (1.3170 ACRES), MORE OR LESS.

SITE LOCATION



LOCATION MAP

SECTION 31, TOWNSHIP 48 S, RANGE 42 E
FOLIO# 484231010055

INDEX OF SHEETS		
Sheet Sequence No.	Sheet Identification	Sheet Title
	--	COVER
1	--	SURVEY
2	--	SURVEY
3	--	PLAT (UNRECORDED)
4	--	PLAT (UNRECORDED)
5	SP-101	SITE PLAN
6	SP-102	VEHICLE CIRCULATION PLAN
7	R0.01	ELEVATIONS
8	R0.02	ELEVATIONS
9	R0.03	FLOOR PLAN
10	LD-101	TREE DISPOSITION PLAN
11	LP-101	LANDSCAPE PLAN
12	LP-501	LANDSCAPE DETAILS
13	LP-201	LANDSCAPE NOTES
14	LP-202	LANDSCAPE NOTES
15	PH-1.0	PHOTOMETRIC PLAN
16	GI-001	LEGEND
17	GI-002	CONSTRUCTION SPECIFICATIONS
18	GI-003	GENERAL NOTES
19	CT-101	CONSTRUCTION TRAILER PLAN
20	CG-101	EROSION AND SEDIMENTATION CONTROL PLAN
21	CD-101	DEMOLITION PLAN
22	CP-101	PAVING, GRADING, AND UTILITY PLAN
23	CP-501	PAVING, GRADING, AND UTILITY DETAILS
24	CP-502	PAVING, GRADING, AND UTILITY DETAILS
25	CU-101	WATER AND SEWER PLAN
26	CU-501	WATER AND SEWER DETAILS
27	CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
28	CM-501	PAVEMENT MARKING AND SIGNAGE DETAILS

THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



PREPARED FOR:
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
 900 SW PINE ROAD, SUITE 202
 CAPE CORAL, FL 33991

301 East Atlantic Boulevard
 Pompano Beach, Florida 33060-6643

2160 NW 82nd Avenue
 Doral, Florida 33122

PH: (954) 788-3400

State of Florida Certificate of
 Authorization Number - 7928

PROJECT No. 09725.64 DATE: NOVEMBER 2019

LEGAL DESCRIPTION:

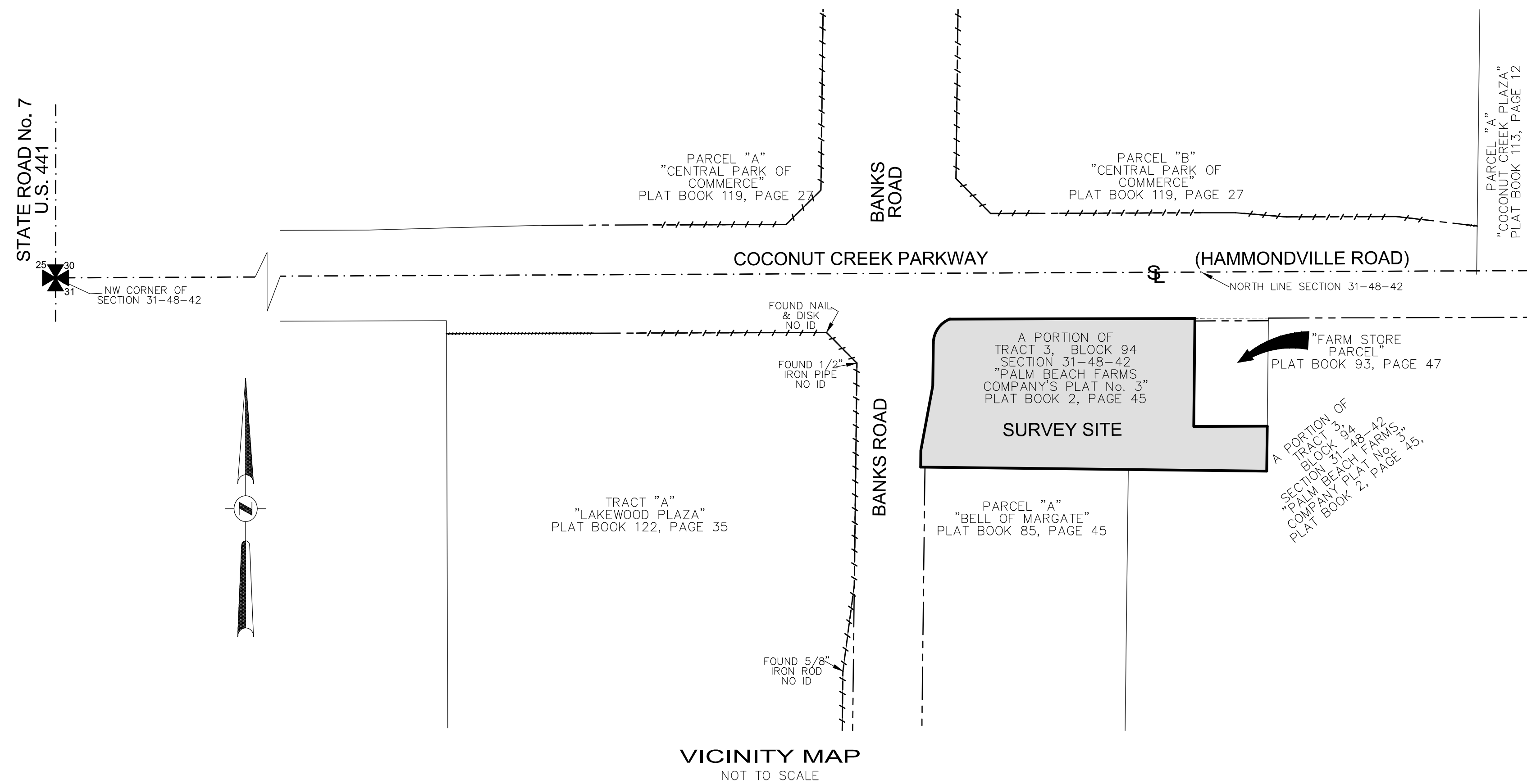
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SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 57,398 SQUARE FEET (1.3177 ACRES), MORE OR LESS

NOTES:

- 1) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #3008; ELEVATION: 11.743 FEET. TO CONVERT THE ELEVATIONS HEREON TO NATIONAL GEODETIC VERTICAL DATUM OF 1929, ADD 1.581 FEET.
- 2) FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #120031 0355H; MAP DATE: 08/18/14.
- 3) THIS SITE LIES IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- 4) BEARINGS ARE BASED ON THE WEST RIGHT-OF-WAY LINE OF BANKS ROAD BEING N00°40'20"E.
- 5) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 6) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- 7) THIS SITE CONTAINS 37 TOTAL PARKING SPACES (34 REGULAR & 3 HANDICAPPED).
- 8) THIS SURVEY WAS PREPARED WITH BENEFIT OF A TITLE CERTIFICATE PREPARED BY PARAMOUNT TITLE SERVICES, INC., SEARCH NO. 19-806-2, DATED FEBRUARY 2, 2019. THE FOLLOWING ITEMS ARE LISTED IN SAID CERTIFICATE.
 - EASEMENTS AND RIGHTS-OF-WAY:
 - ITEM 1: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 2, PAGE 45, P.B.C.R. APPLY TO THIS SITE. THERE ARE NO PLATTED EASEMENTS.
 - ITEM 2: RIGHT OF WAY MAP IN RIGHT-OF-WAY MAP BOOK 15, PAGE 13 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 3: RIGHT OF WAY MAP IN RIGHT-OF-WAY MAP BOOK 3, PAGE 28 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 4: RIGHT OF WAY MAP IN RIGHT-OF-WAY MAP BOOK 7, PAGE 21 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 5: RIGHT OF WAY DEED IN DEED BOOK 333, PAGE 327 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 6: RIGHT OF WAY DEED IN DEED BOOK 360, PAGE 526 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 7: COUNTY DEED IN DEED BOOK 4497, PAGE 497 APPLIES TO COCONUT CREEK PARKWAY RIGHT-OF-WAY AS SHOWN HEREON.
 - ITEM 8: FPL EASEMENT IN O.R.B. 4657, PAGE 630 DOES NOT APPLY TO THIS SITE AS DEPICTED HEREON.
 - ITEM 9: TELEPHONE RIGHT-OF-WAY EASEMENT IN O.R.B. 6269, PAGE 128 APPLIES TO BANKS ROAD RIGHT-OF-WAY AS DEPICTED HEREON.
 - ITEM 10: RESOLUTION REGARDING ROADWAY EASEMENT IN O.R.B. 9054, PAGE 648 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 11: RESOLUTION REGARDING ROADWAY EASEMENT IN O.R.B. 9108, PAGE 576 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 12: RESOLUTION REGARDING FIRE HYDRANT EASEMENT IN O.R.B. 9431, PAGE 507 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 13: RESOLUTION REGARDING 15' UTILITY EASEMENT IN O.R.B. 10456, PAGE 980 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 14: FPL EASEMENT IN O.R.B. 10700, PAGE 509 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 15: QUIT CLAIM DEED IN O.R.B. 45097, PAGE 101 APPLIES TO BANKS ROAD RIGHT-OF-WAY AS DEPICTED HEREON.
 - ITEM 16: AGREEMENT REGARDING LANDSCAPE AND HARDSCAPE IMPROVEMENT LIMITS IN O.R.B. 47173, PAGE 1849 APPLIES TO BANKS ROAD AND COCONUT CREEK PARKWAY RIGHT-OF-WAY AS DEPICTED HEREON.
 - TITLE DEEDS AND RELEASES:
 - ITEM 1: DEED IN DEED BOOK 54, PAGE 190 APPLIES TO THIS SITE BUT HAS BEEN RELEASED AND IS NOT DEPICTED.
 - ITEM 2: QUIT CLAIM DEED IN DEED BOOK 223, PAGE 384 APPLIES TO THIS SITE.
 - ITEM 3: RELEASE OF RESERVATIONS IN O.R.B. 1817, PAGE 82 DOES NOT APPLY TO THIS SITE.
 - ITEM 4: RELEASE OF RESERVATIONS IN O.R.B. 1817, PAGE 84 DOES NOT APPLY TO THIS SITE.
 - ITEM 5: RELEASE OF RESERVATIONS IN O.R.B. 3928, PAGE 681 APPLIES TO THIS SITE BUT IS NOT DEPICTED.
 - ITEM 6: RELEASE OF RESERVATIONS IN O.R.B. 3928, PAGE 683 APPLIES TO THIS SITE BUT IS NOT DEPICTED.
 - ITEM 7: RELEASE OF RESERVATIONS IN O.R.B. 6815, PAGE 762 DOES NOT APPLY TO THIS SITE.
 - ITEM 8: RELEASE OF RESERVATIONS IN O.R.B. 6815, PAGE 764 DOES NOT APPLY TO THIS SITE.
 - ITEM 9: RELEASE OF RESERVATIONS IN O.R.B. 10508, PAGE 574 DOES NOT APPLY TO THIS SITE.



TO CREIGHTON CONSTRUCTION & MANAGEMENT:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, & 11 OF TABLE A THEREOF.

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 - BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
 - VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- STATE OF FLORIDA

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SHEET 1 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

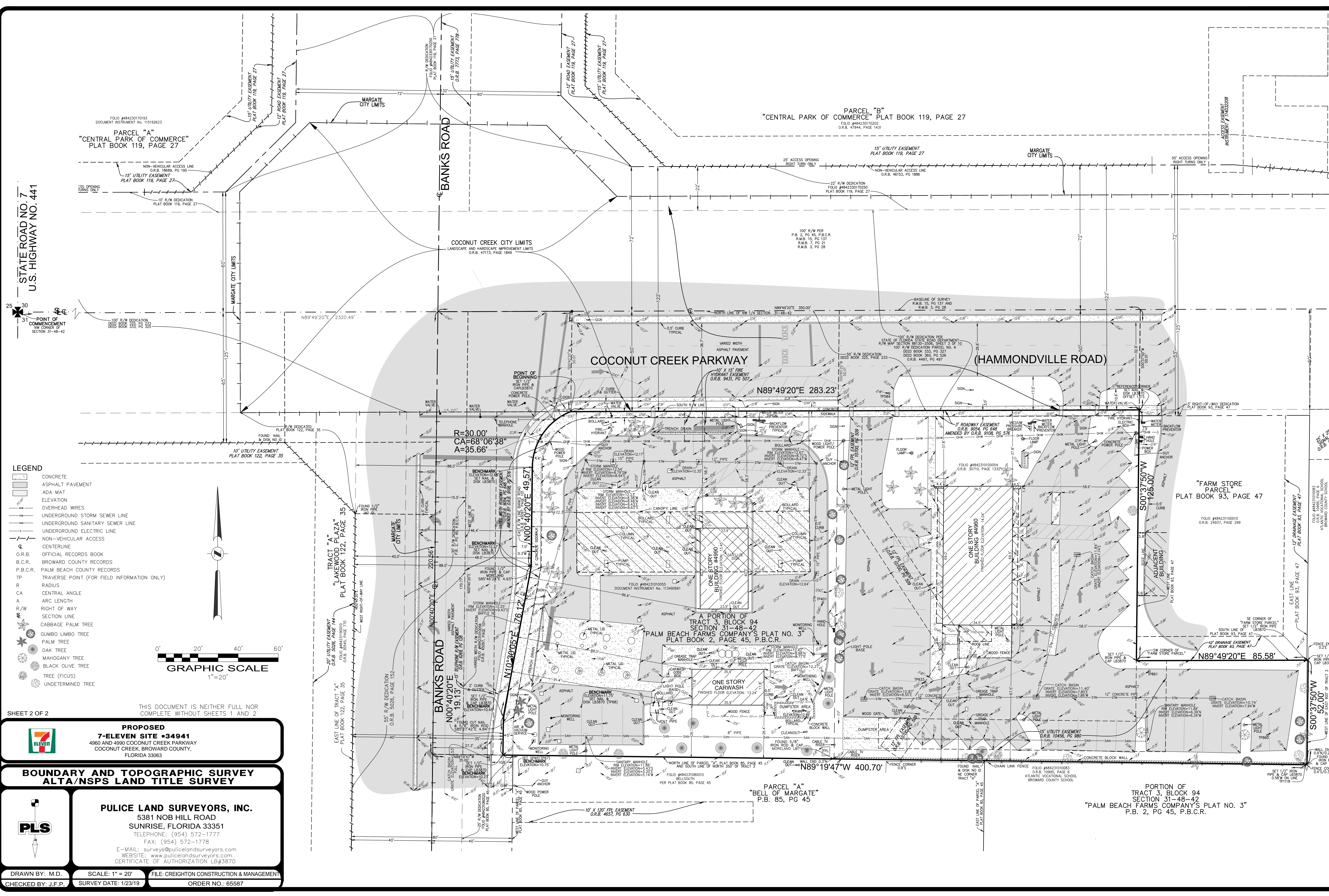
5		
4		
3		
2		
1		
NO.	REVISIONS	BY

PROPOSED
7-ELEVEN SITE #34941
 4960 AND 4990 COCONUT CREEK PARKWAY
 COCONUT CREEK, BROWARD COUNTY,
 FLORIDA 33063

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: surveys@pulicelandsurveyors.com
 WEBSITE: www.pulicelandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

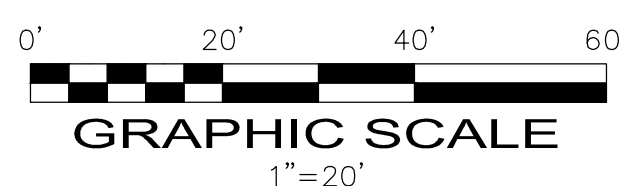
DRAWN BY: M.D.	SCALE: 1" = 20'	FILE: CREIGHTON CONSTRUCTION & MANAGEMENT
CHECKED BY: J.F.P.	SURVEY DATE: 1/23/19	ORDER NO.: 65587



STATE ROAD NO. 7
U.S. HIGHWAY NO. 441

POINT OF COMMENCEMENT
NW CORNER OF SECTION 31-48-42

- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - ADA MAT
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - UNDERGROUND ELECTRIC LINE
 - NON-VEHICULAR ACCESS
 - CENTERLINE
 - O.R.B. OFFICIAL RECORDS BOOK
 - B.C.R. BROWARD COUNTY RECORDS
 - P.B.C.R. PALM BEACH COUNTY RECORDS
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - R RADIUS
 - CA CENTRAL ANGLE
 - A ARC LENGTH
 - R/W RIGHT OF WAY
 - S SECTION LINE
 - C CABBAGE PALM TREE
 - G GUMBO LIMBO TREE
 - P PALM TREE
 - O OAK TREE
 - M MAHOGANY TREE
 - BL BLACK OLIVE TREE
 - F TREE (FIGUS)
 - U UNDETERMINED TREE



THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

SHEET 2 OF 2

PROPOSED
7-ELEVEN SITE #34941
4960 AND 4990 COCONUT CREEK PARKWAY
COCONUT CREEK, BROWARD COUNTY,
FLORIDA 33063

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY

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CERTIFICATE OF AUTHORIZATION LB#3870

PLS

DRAWN BY: M.D. SCALE: 1" = 20' FILE: CREIGHTON CONSTRUCTION & MANAGEMENT
CHECKED BY: J.F.P. SURVEY DATE: 1/23/19 ORDER NO.: 65587

PARCEL "A"
"CENTRAL PARK OF COMMERCE"
PLAT BOOK 119, PAGE 27

PARCEL "B"
"CENTRAL PARK OF COMMERCE"
PLAT BOOK 119, PAGE 27

"FARM STORE
PARCEL"
PLAT BOOK 93, PAGE 47

COCONUT CREEK PARKWAY

(HAMMONDVILLE ROAD)

A PORTION OF
TRACT 3, BLOCK 94
SECTION 31-48-42
"PALM BEACH FARMS COMPANY'S PLAT NO. 3"

PARCEL "A"
"BELL OF MARGATE"
P.B. 85, PG 45

PORTION OF
TRACT 3, BLOCK 94
SECTION 31-48-42
"PALM BEACH FARMS COMPANY'S PLAT NO. 3"
P.B. 2, PG 45, P.B.C.R.

"7-ELEVEN #34941"

A REPLAT OF A PORTION OF TRACT 3, BLOCK 94, "PALM BEACH FARMS COMPANY PLAT NO. 3", IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

PREPARED BY
PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777
FAX NO. 954-572-1778
FEBRUARY, 2019

NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE CITY AND THIS COUNTY.

LEGAL DESCRIPTION:

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DEDICATION:

STATE OF _____ SS
COUNTY OF _____

KNOW ALL MEN BY THESE PRESENTS: THAT 7-ELEVEN, INC., A TEXAS CORPORATION, LICENSED TO DO BUSINESS IN THE STATE OF FLORIDA, AND THOMAS KIEL, A SINGLE MAN, THE OWNERS OF THE LANDS DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE SUBDIVIDED AND PLATTED AS SHOWN HEREON, SAID PLAT TO BE KNOWN AS "7-ELEVEN #34941", A REPLAT.

PARCELS "L-1", "L-2" AND "L-3" (LANDSCAPE PARCELS) AS SHOWN HEREON ARE HEREBY DEDICATED FOR ROADWAY LANDSCAPE BUFFERS. LANDSCAPE IMPROVEMENTS IN PARCELS "L-1" AND "L-2" ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE OWNERS OR PARCEL "A", THEIR SUCCESSORS AND/OR ASSIGNS.

THE ADDITIONAL RIGHT-OF-WAY PARCEL AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

THE INGRESS/EGRESS EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

THE ACCESS EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR INGRESS AND EGRESS ACCESS TO THE PROPERTY EAST OF THIS PLAT.

THE UTILITY EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE CITY OF MARGATE, FLORIDA, FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES.

IN WITNESS THEREOF: THAT 7-ELEVEN, INC., A TEXAS CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED FOR AND ON ITS BEHALF BY _____, ITS _____, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED IN THE PRESENCE OF THESE TWO WITNESSES THIS _____ DAY OF _____, A.D. 20__.

WITNESSES: 7-ELEVEN, INC., A TEXAS CORPORATION

BY: _____

PRINT NAME: _____ BY: _____

BY: _____ PRINT NAME: _____

PRINT NAME: _____ TITLE: _____

ACKNOWLEDGMENT:

STATE OF _____ SS
COUNTY OF _____

I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME _____ OF 7-ELEVEN, INC., A TEXAS CORPORATION, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE/SHE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 20__.

MY COMMISSION NUMBER: _____ NOTARY PUBLIC - STATE OF _____

MY COMMISSION EXPIRES: _____ PRINT NAME: _____

IN WITNESS THEREOF: THAT THOMAS KIEL, A SINGLE MAN, HAS CAUSED THESE PRESENTS TO BE SIGNED IN THE PRESENCE OF THESE TWO WITNESSES THIS _____ DAY OF _____, A.D. 20__.

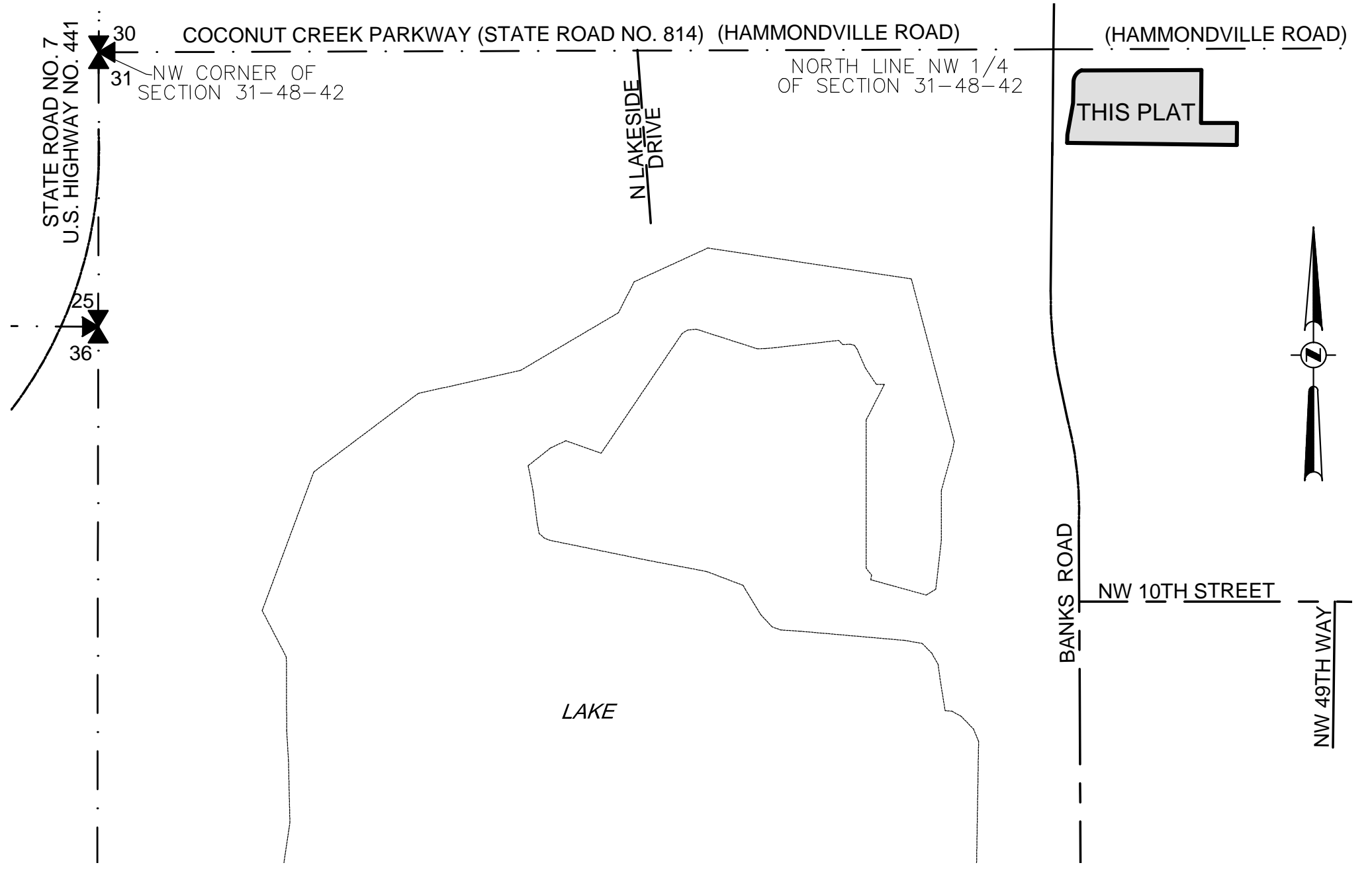
WITNESSES:

BY: _____

PRINT NAME: _____ BY: _____

BY: _____ PRINT NAME: THOMAS KIEL

PRINT NAME: _____ TITLE: OWNER



LOCATION MAP
PORTION OF THE NW 1/4 OF SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST
NOT TO SCALE

ACKNOWLEDGMENT:

STATE OF _____ SS
COUNTY OF _____

I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME THOMAS KIEL, A SINGLE MAN, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 20__.

MY COMMISSION NUMBER: _____ NOTARY PUBLIC - STATE OF _____

MY COMMISSION EXPIRES: _____ PRINT NAME: _____

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY DIRECTION AND SUPERVISION; THAT THE SURVEY DATA COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS OF FLORIDA STATUTES CHAPTER 177, AND WITH THE APPLICABLE SECTION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AND FURTHER THAT THE PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS WERE SET THIS _____ DAY OF _____, A.D. 20__, IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177.

BETH BURNS
PROFESSIONAL SURVEYOR AND MAPPER NO. LS6136
STATE OF FLORIDA
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
CERTIFICATE OF AUTHORIZATION NUMBER LB3870

DATE

7-ELEVEN, INC., A TEXAS CORPORATION	PLATTING SURVEYOR	CITY CLERK	CITY ENGINEER	COUNTY SURVEYOR	COUNTY ENGINEER
-------------------------------------	-------------------	------------	---------------	-----------------	-----------------

CITY COMMISSION OF COCONUT CREEK:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED FOR RECORD BY THE CITY COMMISSION OF THE CITY OF COCONUT CREEK BY ORDINANCE NO. _____, ADOPTED THIS _____ DAY OF _____, A.D. 20__, PURSUANT TO SECTION 13-166, COCONUT CREEK CODE OF ORDINANCES.

EASEMENTS SHALL NOT CONTAIN PERMANENT IMPROVEMENTS INCLUDING BUT NOT LIMITED TO PATIOS, DECKS, POOLS, AIR CONDITIONERS, STRUCTURES, UTILITY SHEDS, POLES, FENCES, TREES, SHRUBS, HEDGES, PLANTS AND LANDSCAPING, EXCEPT THAT UTILITIES, PUBLIC IMPROVEMENTS AND SOD ARE ALLOWED.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

BY: _____
CITY CLERK
LESLIE WALLACE MAY

CITY PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF COCONUT CREEK, THIS _____ DAY OF _____, A.D. 20__.

BY: _____
CHAIRPERSON

CITY ENGINEER:

THIS PLAT IS HEREBY APPROVED FOR RECORD, THIS _____ DAY OF _____, A.D. 20__.

BY: _____
CITY ENGINEER
PRINT NAME: OSAMA ELSHAMI
FLORIDA P.E. # _____

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, A.D. 20__.

BY: _____
DIRECTOR / DESIGNEE

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY: THAT THE BROWARD COUNTY PLANNING COUNCIL HAS APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS _____ DAY OF _____, A.D. 20__.

BY: _____
CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, A.D. 20__.

BY: _____
EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - MINUTES SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS _____ DAY OF _____, A.D. 20__.

BY: _____
MAYOR, COUNTY COMMISSION

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES AND APPROVED AND ACCEPTED FOR RECORD.

BY: _____
ROBERT P. LEGG, JR.
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. LS4030

DATE

BY: _____
RICHARD TORNESE
DIRECTOR
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 40263

DATE

PREPARED BY
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777
FAX NO. 954-572-1778
FEBRUARY, 2019

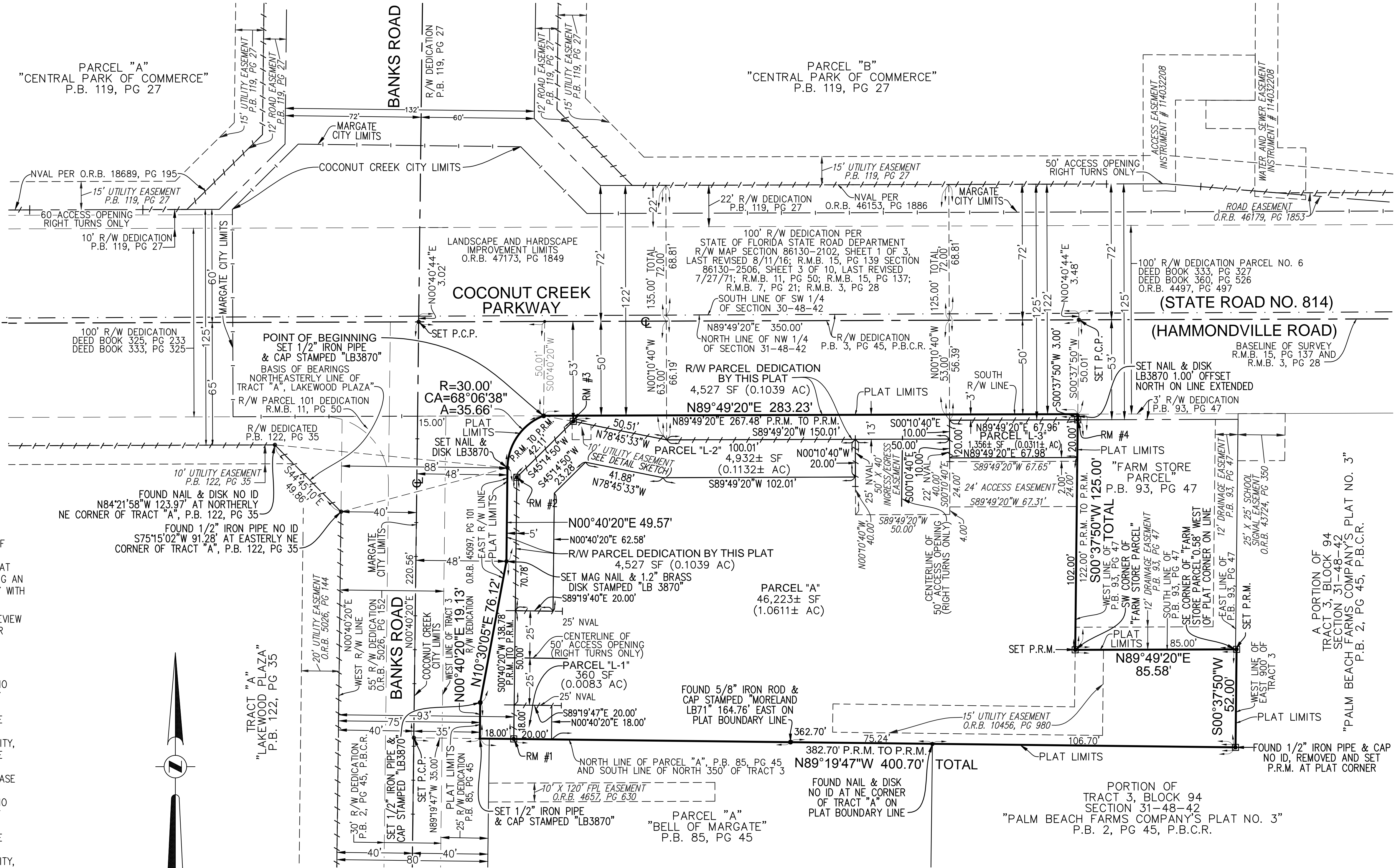
"7-ELEVEN #34941"

A REPLAT OF A PORTION OF TRACT 3, BLOCK 94, "PALM BEACH FARMS COMPANY PLAT NO. 3", IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA
CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

- LEGEND:**
- P.R.M. □ DENOTES: PERMANENT REFERENCE MONUMENT (4" X 4" X 24" CONCRETE MONUMENT WITH 2" ALUMINUM DISC STAMPED "PRM LB 3870" UNLESS OTHERWISE NOTED)
 - P.C.P. ● DENOTES: PERMANENT CONTROL POINT (MAG NAIL & 1.2" BRASS WASHER STAMPED "P.C.P. 3870" UNLESS OTHERWISE NOTED)
 - DENOTES: NAIL & 1.2" BRASS DISK
 - DENOTES: 1/2" IRON PIPE WITH PLASTIC CAP
 - LB DENOTES: LICENSED BUSINESS
 - P.B.C.R. DENOTES: PALM BEACH COUNTY RECORDS
 - P.B. DENOTES: PLAT BOOK
 - O.R.B. DENOTES: OFFICIAL RECORD BOOK
 - PG DENOTES: PAGE
 - NVAL --- DENOTES: NON-VEHICULAR ACCESS LINE
 - DENOTES: SECTION CORNER
 - DENOTES: CENTERLINE
 - R DENOTES: RADIUS
 - CA DENOTES: CENTRAL ANGLE
 - A DENOTES: ARC LENGTH
 - R/W DENOTES: RIGHT-OF-WAY
 - NO. OR # DENOTES: NUMBER
 - RM DENOTES: REFERENCE MONUMENT
 - SF DENOTES: SQUARE FEET
 - AC DENOTES: ACRES
 - R.M.B. DENOTES: RIGHT OF WAY MAP BOOK

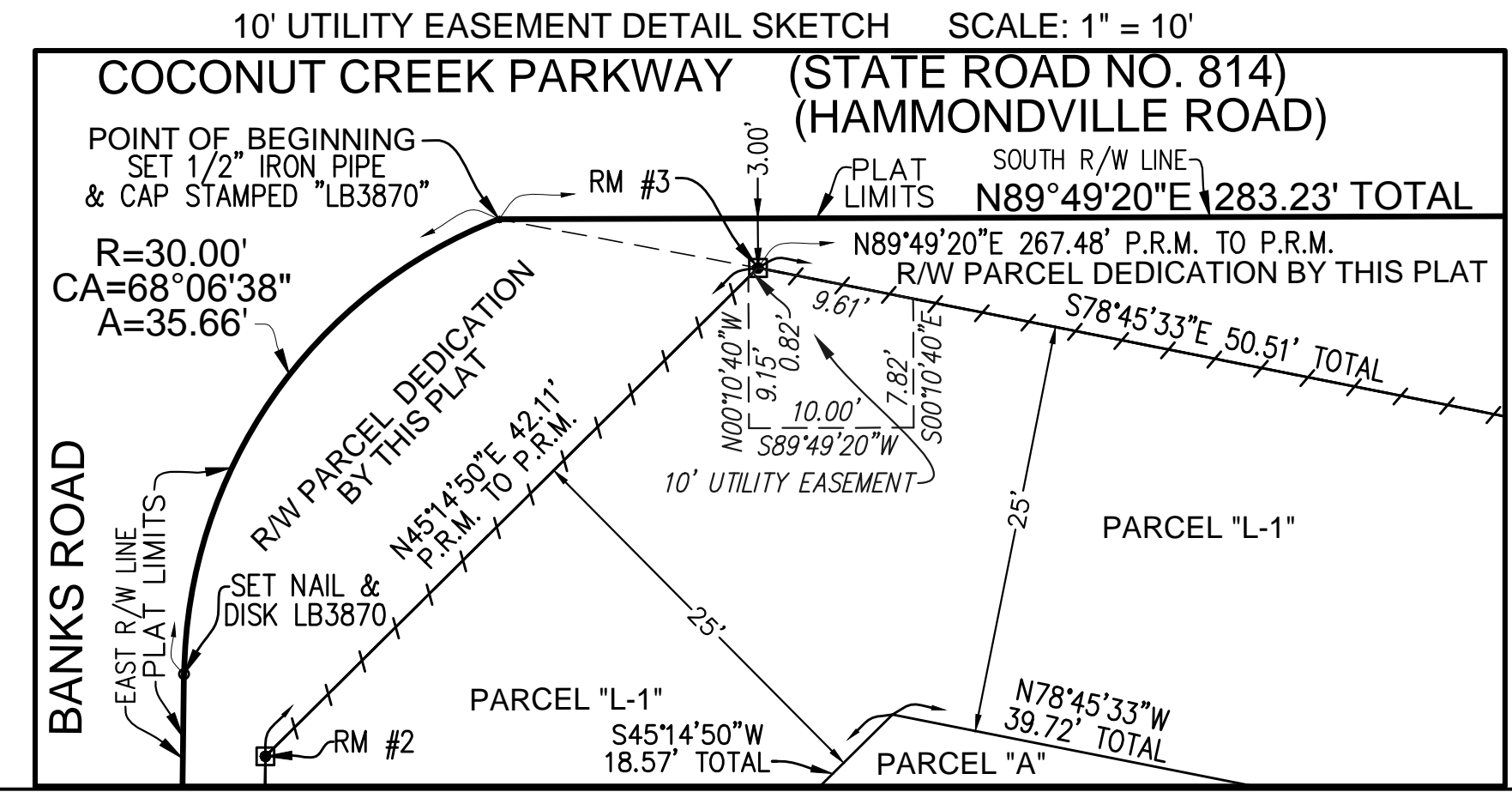
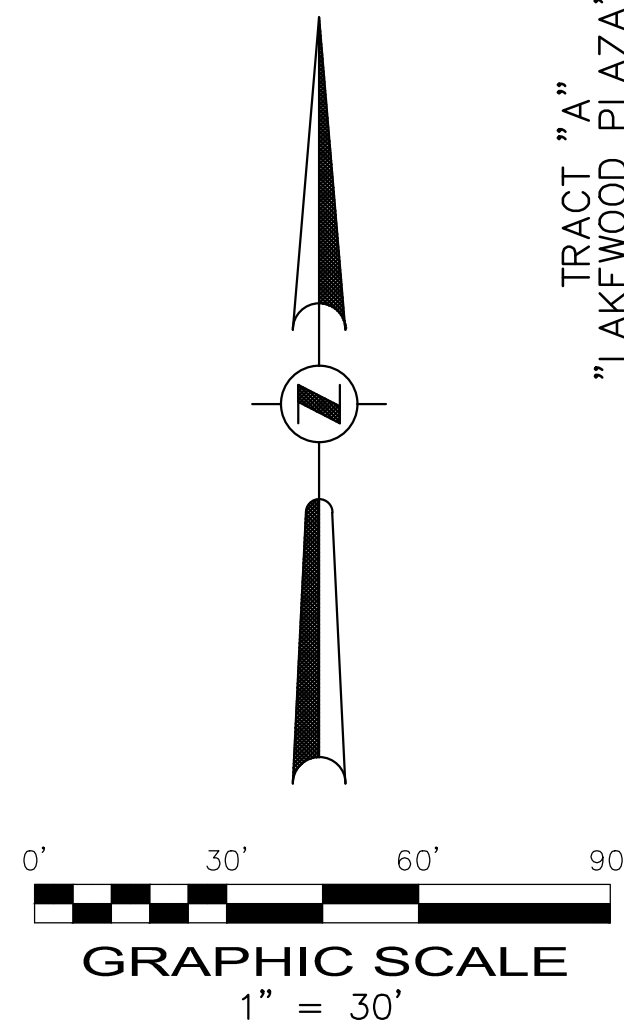
NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE CITY AND THIS COUNTY.

STATE ROAD NO. 7
U.S. HIGHWAY NO. 441



SURVEYOR'S NOTES:

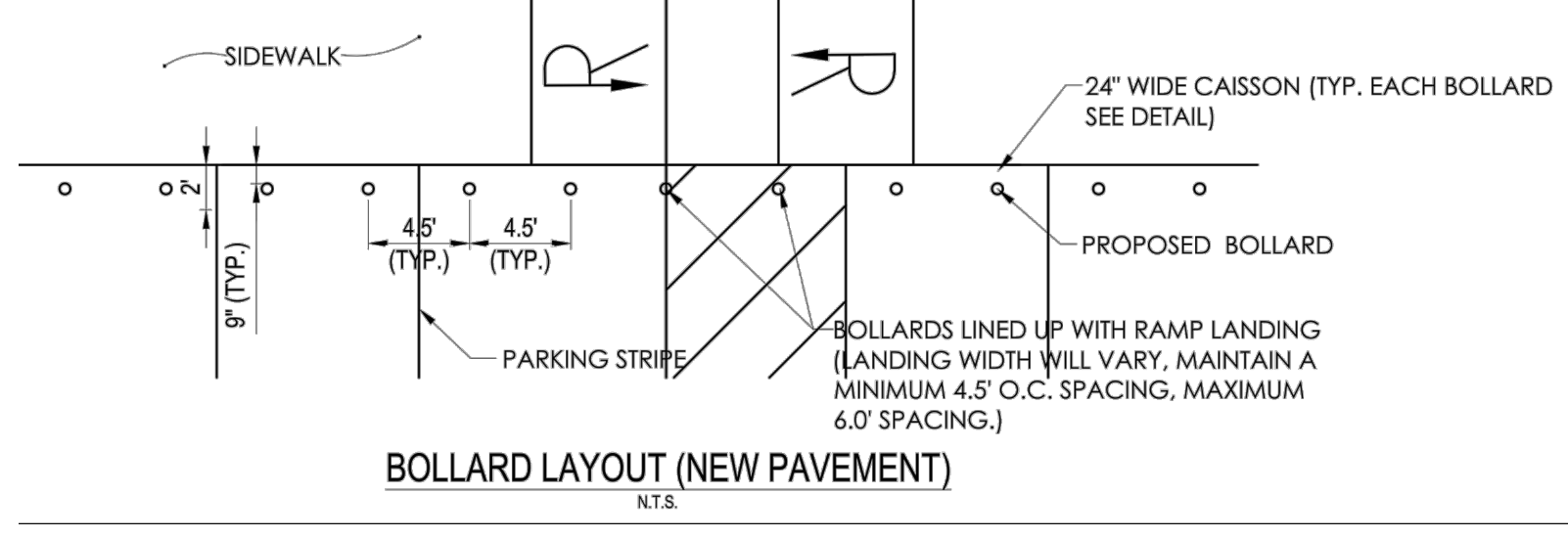
- 1) THIS PLAT IS RESTRICTED TO CONVENIENCE STORE WITH 16 FUELING POSITIONS.
THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERETO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION 2B.1.f, DEVELOPMENT REVIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.
- 2A) IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY _____, 2024, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME: AND/OR
- 2B) IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY _____, 2024, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
- 3) BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN OF S44°45'10"E AS SHOWN ON THE NORTHEASTERLY LINE OF TRACT "A", "LAKEWOOD PLAZA", PLAT BOOK 122, PAGE 35, BROWARD COUNTY RECORDS..
- 4) THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091, SUBSECTION (28), FLORIDA STATUTES. PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- 5) ALL RECORDED DOCUMENTS ARE PER THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA UNLESS OTHERWISE NOTED.



REFERENCE MONUMENT INFORMATION			
RM #1 SET RM P.R.M. STAMPED "PRM OFFSET 18.7' E LB 3870" 18.00' OFFSET EAST ON LINE	RM #4 SET RM P.R.M. STAMPED "PRM OFFSET 15.7' E LB 3870" 15.70' OFFSET EAST ON LINE	RM #2 SET RM P.R.M. STAMPED "PRM OFFSET 7.02' SE LB 3870" S44°47'56"E 7.02'	RM #5 SET RM P.R.M. STAMPED "PRM OFFSET 3' S LB 3870" 3.00' OFFSET SOUTH ON LINE
RM #3 SET RM P.R.M. STAMPED "PRM OFFSET 15.99' SE LB 3870" S79°21'47"E 15.99'			

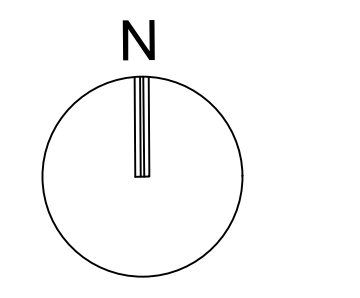
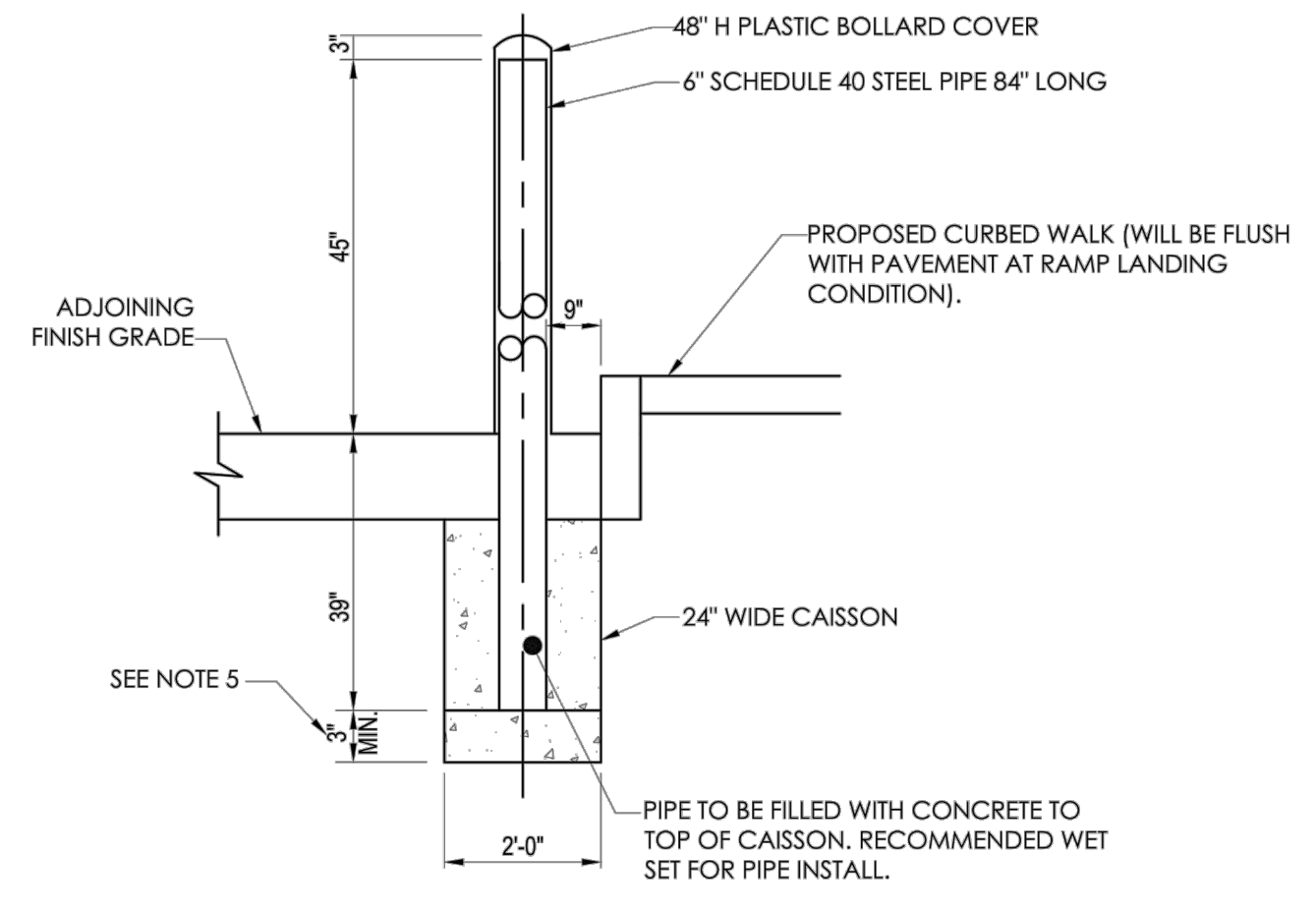
PLAT FILE NO. 007-MP-19

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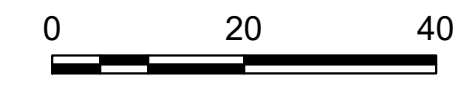


NOTE:

1. CONCRETE MUST BE A MINIMUM 4,000 PSI COMPRESSIVE STRENGTH WITH FIBER MESH.
2. PROVIDE PLASTIC BOLLARD COVER. COVER TO BE IDEALSHIELD (OR APPROVED EQUAL) 1/8" THICK, BROWN (PQ-440C), 6" PIPE FIT, DOME TOP, 48" TALL.
3. DESIGN PARAMETERS:
- 20 MPH
- 5,000 LB VEHICLE
4. USE SONOTUBE IN SANDY OR OTHER SOILS THAT MIGHT CAVE IN.
5. INCREASE DEPTH OF CAISSON BELOW PIPE TO MEET LOCAL JURISDICTION MIN. FROST DEPTH REQUIREMENT. PIPE CAN STAY AT 39" BELOW PAVEMENT.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY NO UTILITY CONFLICTS EXIST WHERE BOLLARDS ARE TO BE INSTALLED. PRIOR TO INSTALLATION.

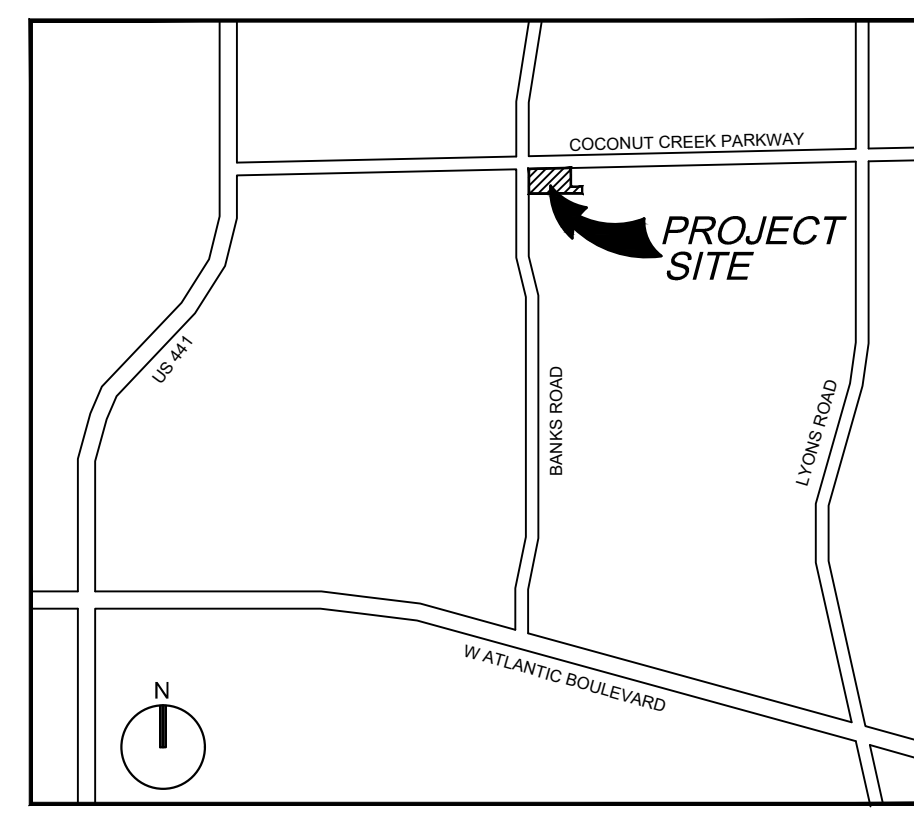


GRAPHIC SCALE



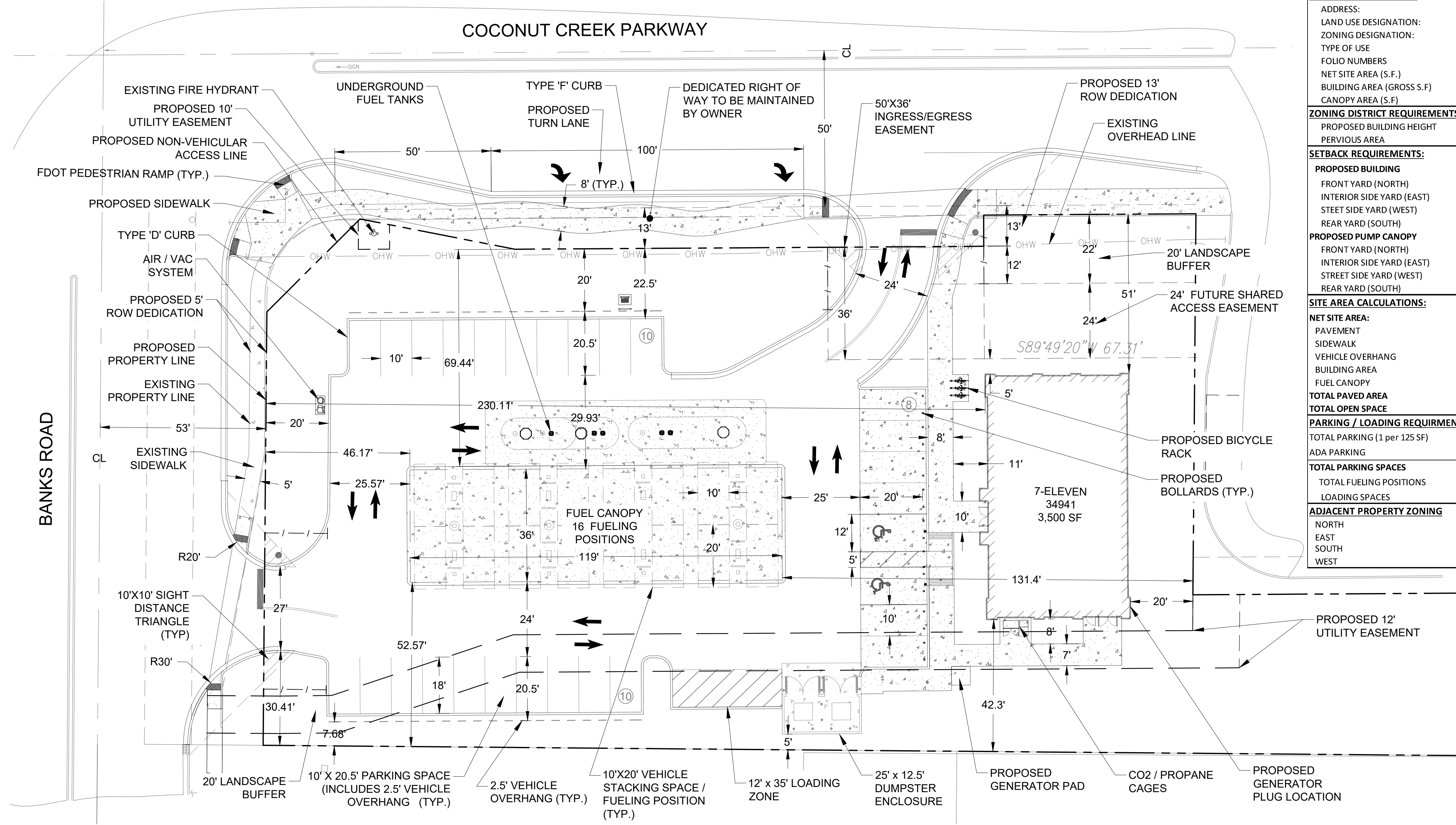
SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



VICINITY MAP (NOT TO SCALE)

COCONUT CREEK PARKWAY



SITE DATA TABLE:			
PROJECT INFORMATION:			
ADDRESS:	4990 & 4960 COCONUT CREEK PARKWAY		
LAND USE DESIGNATION:	COMMERCIAL (C)		
ZONING DESIGNATION:	COMMUNITY SHOPPING (B-3)		
TYPE OF USE:	CONVENIENCE STORE WITH FUEL SALES		
FOLIO NUMBERS:	484231010055 & 484231010054		
NET SITE AREA (S.F.):	52,870 SFT	1.21 AC	
BUILDING AREA (GROSS S.F.):	3,500 SFT	0.08 AC	
CANOPY AREA (S.F.):	4,284 SFT	0.10 AC	
ZONING DISTRICT REQUIREMENTS:			
PROPOSED BUILDING HEIGHT:	REQUIRED: 36' MAX.	PROVIDED: 22 FT	
PERVIOUS AREA:	REQUIRED: 15% MIN.	PROVIDED: 43%	
SETBACK REQUIREMENTS:			
PROPOSED BUILDING			
FRONT YARD (NORTH):	25 FT	51 FT	
INTERIOR SIDE YARD (EAST):	20 FT	20 FT	
STREET SIDE YARD (WEST):	25 FT	230.11 FT	
REAR YARD (SOUTH):	25 FT	42.3 FT	
PROPOSED PUMP CANOPY			
FRONT YARD (NORTH):	25 FT	69.44 FT	
INTERIOR SIDE YARD (EAST):	20 FT	131.4 FT	
STREET SIDE YARD (WEST):	25 FT	46.17 FT	
REAR YARD (SOUTH):	25 FT	52.57 FT	
SITE AREA CALCULATIONS:			
NET SITE AREA:	REQUIRED: 52,870	SQ. FT.	%
PAVEMENT:	19,776		37%
SIDEWALK:	2,034		4%
VEHICLE OVERHANG:	366		1%
BUILDING AREA:	3,500		7%
FUEL CANOPY:	4,596		9%
TOTAL PAVED AREA:	85%	30,272	57%
TOTAL OPEN SPACE:	15%	22,598	43%
PARKING / LOADING REQUIREMENTS:			
TOTAL PARKING (1 per 125 SF):	REQUIRED: 28	PROVIDED: 28	
ADA PARKING:	2	2	
TOTAL PARKING SPACES:			
TOTAL FUELING POSITIONS:		16	
LOADING SPACES:	1	1	
ADJACENT PROPERTY ZONING			
NORTH:	TOC-C (CITY OF MARGATE)		
EAST:	B-2 & B-3 (CITY OF COCONUT CREEK)		
SOUTH:	B-3 (CITY OF COCONUT CREEK)		
WEST:	TOC-C (CITY OF MARGATE)		

301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643

2312 S. Andrews Ave.
Fort Lauderdale, Florida 33316

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO.:

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE:	AS NOTED
1ST SUBMITTAL DATE:	FEB. 2019
DRAWN BY:	MA
DESIGNED BY:	SL
CHECKED BY:	TD

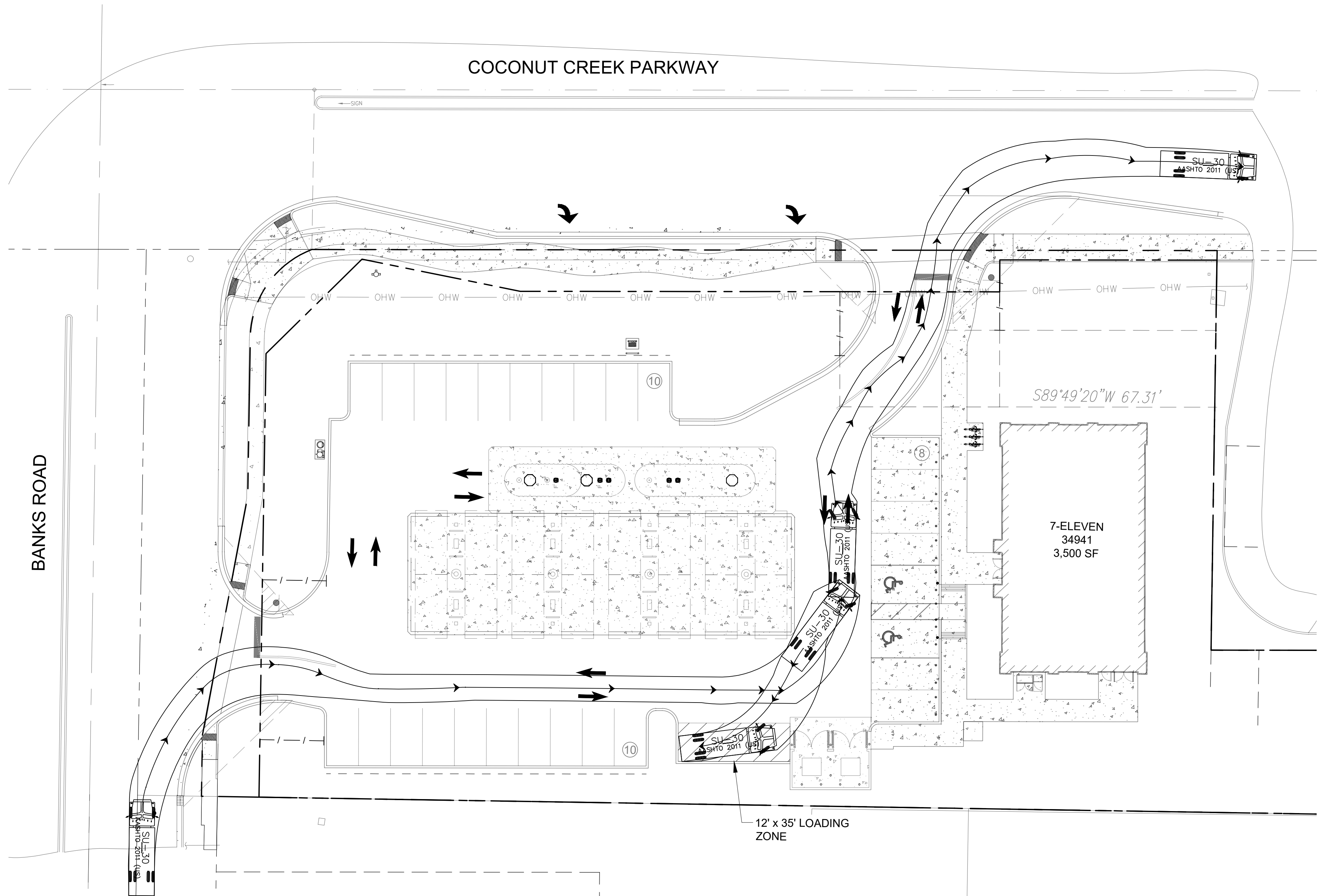
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE
SITE PLAN

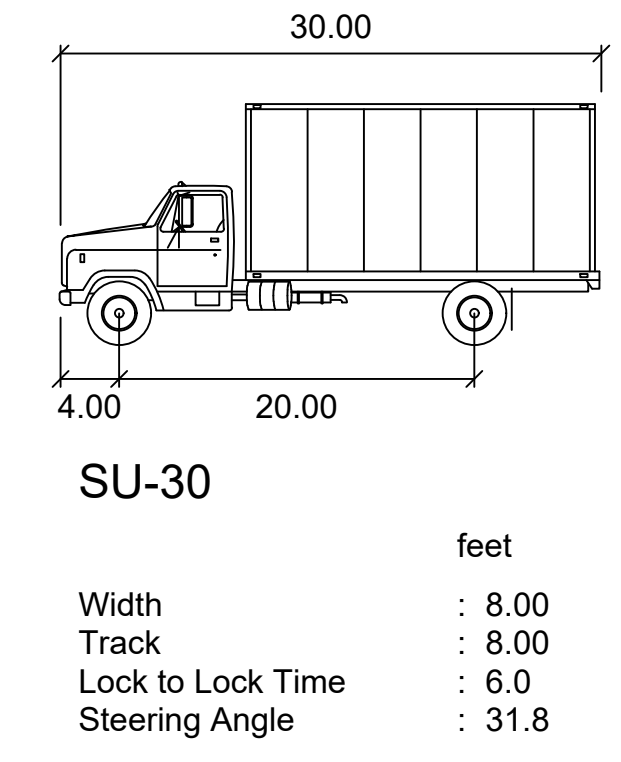
SHEET NUMBER
SP-101

PROJECT NO. **09725.64**

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N
 GRAPHIC SCALE
 0 30 60
 SCALE: 1"=30'
 NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



- NOTES:**
1. THE DESIGN VEHICLE SHOWN DEPICTS A DELIVERY TRUCK (SU-30) PER TRANSOFT SOLUTIONS AUTOTURN VERSION 10.2 VEHICLE LIBRARY SPECIFICATIONS



KEITH
 301 East Atlantic Boulevard
 Pompano Beach, Florida 33060-6643
 2312 S. Andrews Ave.
 Fort Lauderdale, Florida 33316
 PH: (954) 788-3400
 Florida Certificate of
 Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
 NOT FOR CONSTRUCTION**
 THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



7-ELEVEN #34941
 4990 COCONUT CREEK PKWY.
 COCONUT CREEK, FL 33063

SCALE:	AS NOTED
1ST SUBMITTAL DATE:	FEB. 2019
DRAWN BY:	MA
DESIGNED BY:	SL
CHECKED BY:	TD

THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
**VEHICLE
 CIRCULATION
 PLAN**

SHEET NUMBER
SP-102

PROJECT NO. **09725.64**

D
 C
 B
 A

9/18/2019 3:10:38 PM

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5

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3

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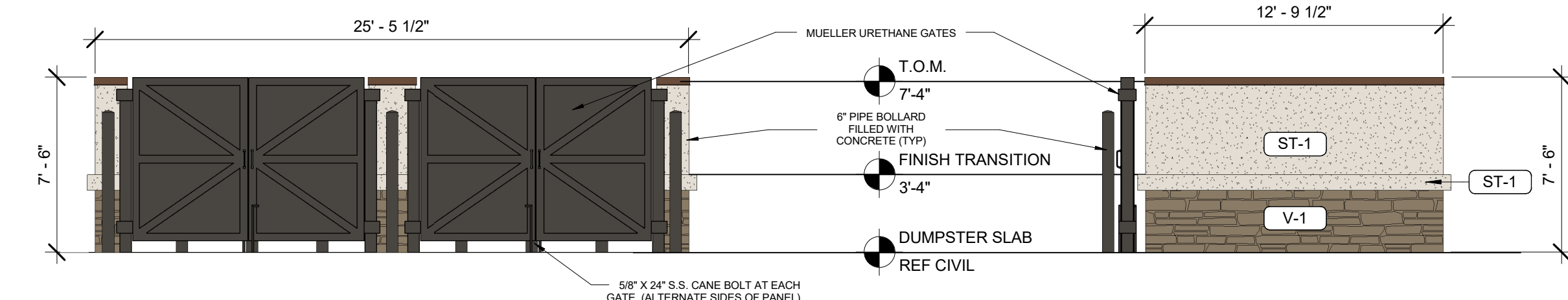
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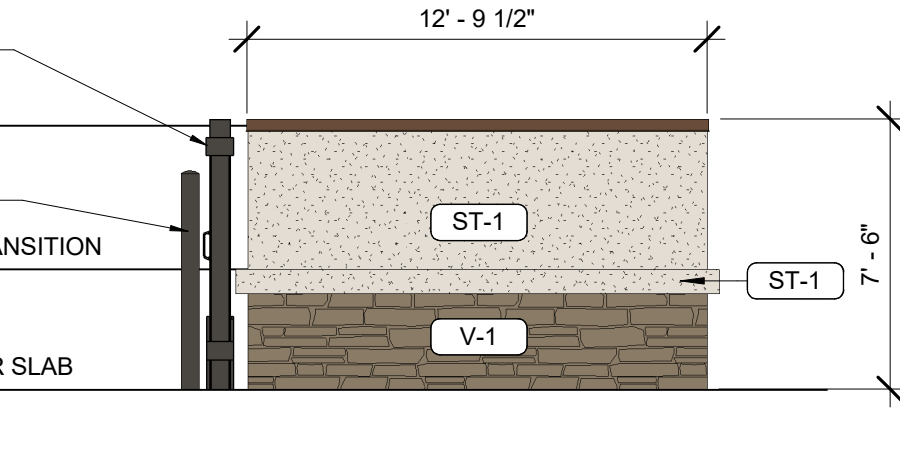
C

B

A



5 FRONT DUMPSTER ENCLOSURE ELEVATION
3/16" = 1'-0"



6 SIDE DUMPSTER ENCLOSURE ELEVATION
3/16" = 1'-0"

- GREEN NOTES:**
1. ALL CMU AND CONCRETE SHALL BE SOURCED REGIONALLY.
 2. HVAC SYSTEM SHALL BE HIGH-EFFICIENT RTU'S WITH ENCONOMIZER AND ENTHALPY CONTROL.
 3. WATER CLOSETS SHALL BE HIGH-EFFICIENCY AND LAVATORIES SHALL HAVE AERATORS TO CONTROL WATER USAGE.
 4. ROOF SHALL BE A WHITE TPO ROOF.
 5. ALL APPLICABLE MATERIALS SHALL BE WITHIN TOLERABLE VOC LIMITS FOR INTERIOR AIR QUALITY.

EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR - 1	MEMBRANE ROOFING	DUROLAST - WHITE
ST-1	PAINTED STUCCO	BALANCED BEIGE - SW 7037
ST-2	PAINTED STUCCO	AESTHETIC WHITE - SW 7035
V-1	VENEER STONE	EQUAL TO COBBLEFIELD STONE BY BORALSTONE COMPANY, F.V. COLOR
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE
N-1	PAINT	BALANCED BEIGE - SW 7037
F-1	FUEL CANOPY FASCIA	EASTMAN WHITE PY-25

bates

502 SW A STREET, SUITE 2
BENTONVILLE, AR 72712
WWW.BATESFORUM.COM
TEL: 479.633.8165

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Contractor is responsible for confirming and coordinating dimensions at job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

STORE #:
34941

CONSTRUCTION MANAGER
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991

TENANT
7-ELEVEN INC.
3200 HACKBERRY ROAD, IRVING, TX 75063

STRUCTURAL CONSULTANT

7-ELEVEN STORE
4990 COCONUT CREEK PARKWAY
COCONUT CREEK FL 33063
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991



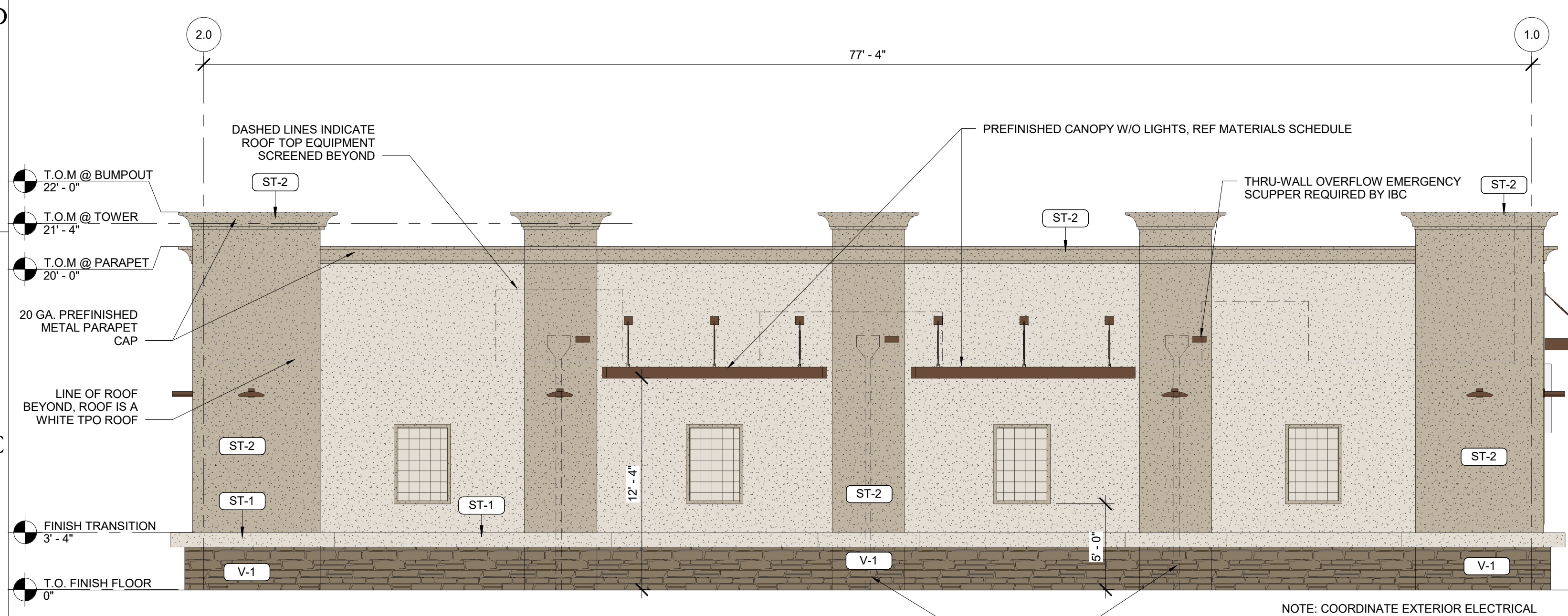
02/19/2019
Architect Name - RYAN M. FAUST
Architect Number - AR97905

REVISIONS	
NO.	DESCRIPTION

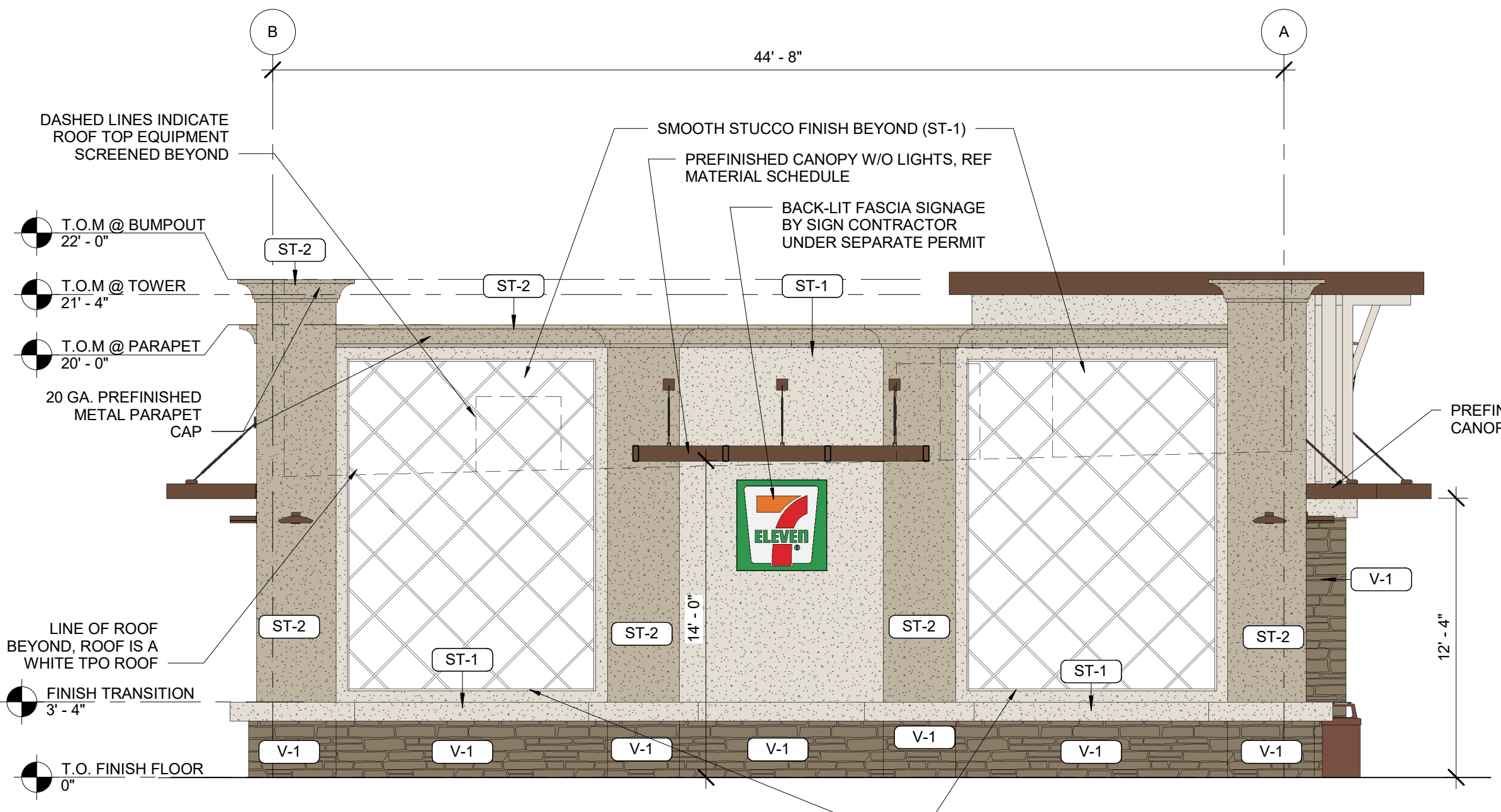
PROJECT NUMBER: 18209
RELEASE DATE: 02/19/2019

REVIEW BOARD BUILDING & DUMPSTER ENCLOSURE

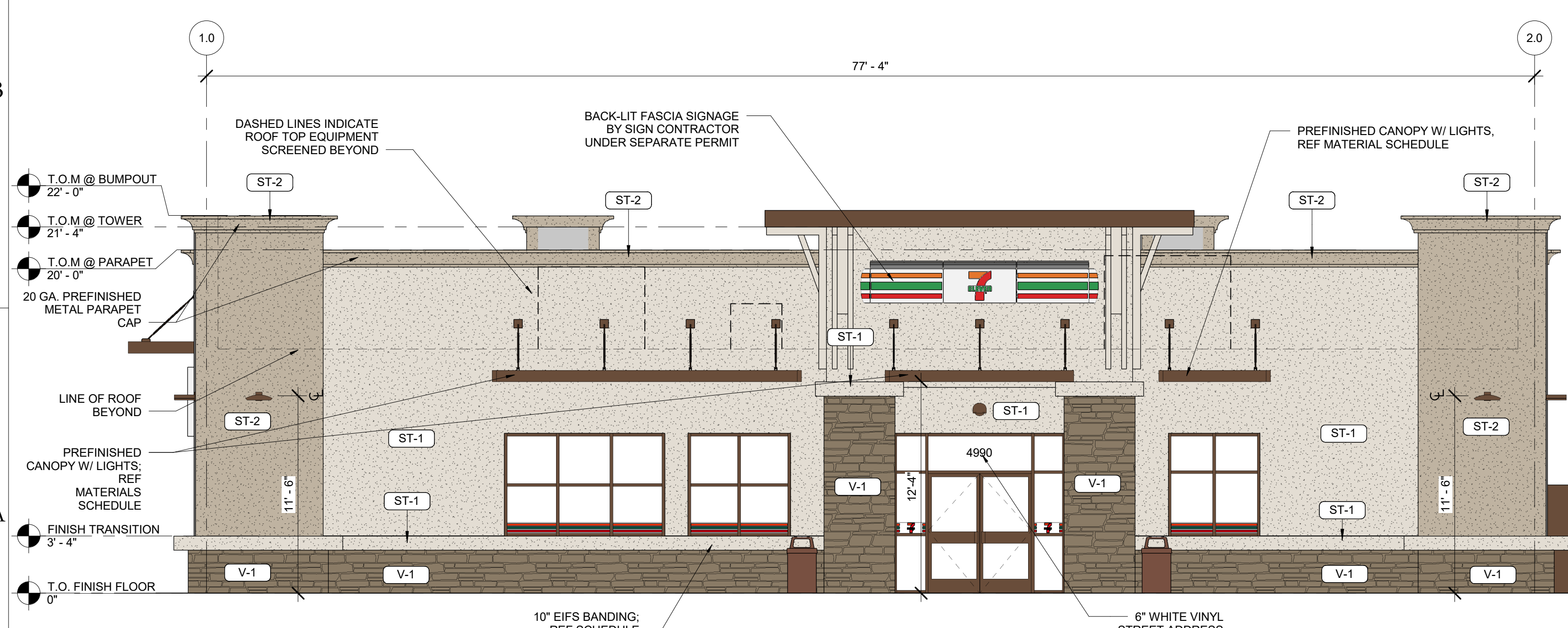
R0.01



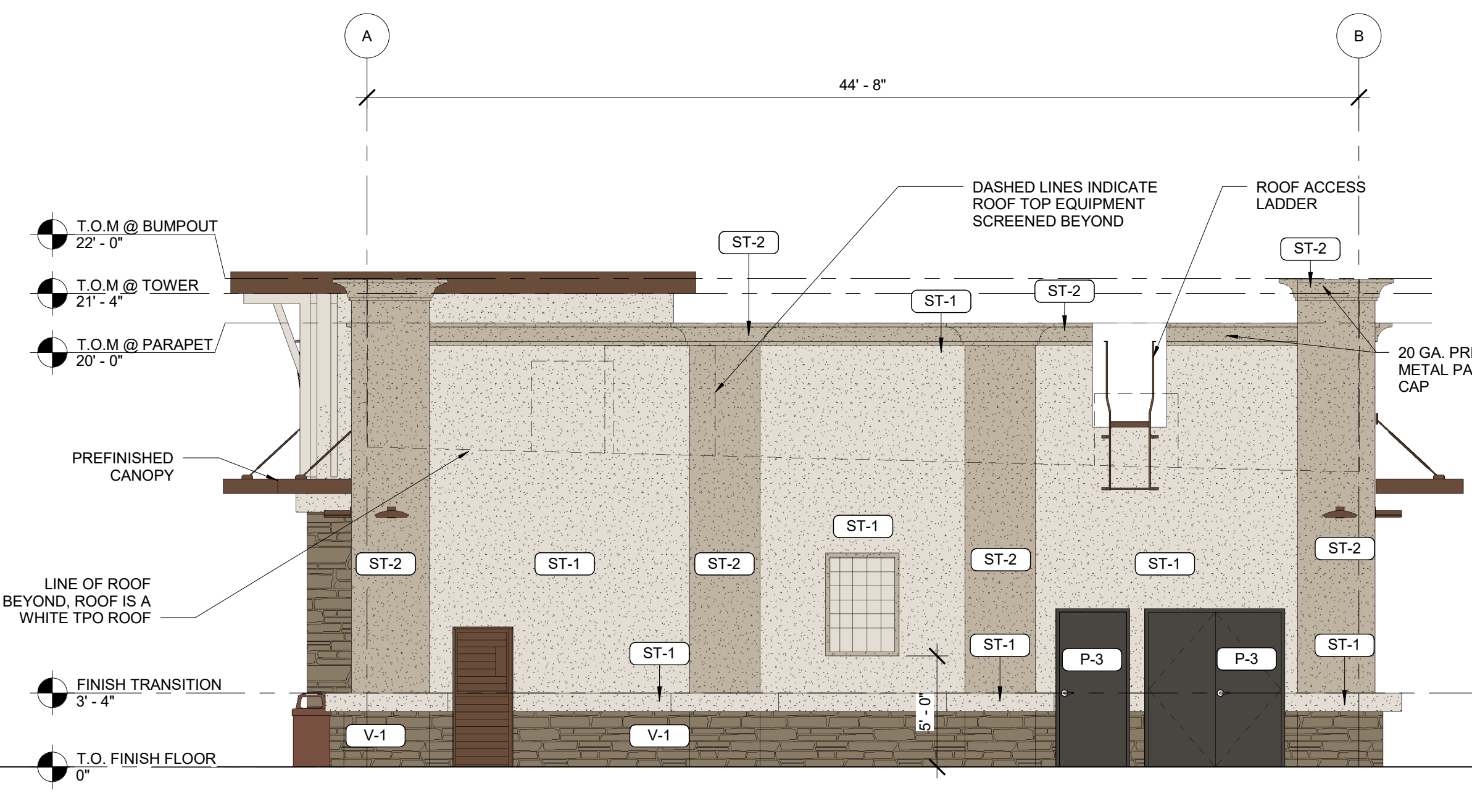
4 ELEVATION FACING - EAST
3/16" = 1'-0"



3 ELEVATION FACING - COCONUT CREEK PARKWAY
3/16" = 1'-0"



2 ELEVATION - FRONT
3/16" = 1'-0"



1 ELEVATION FACING - SOUTH
3/16" = 1'-0"

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EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR - 1	MEMBRANE ROOFING	DUROLAST - WHITE
ST-1	PAINTED STUCCO	BALANCED BEIGE - SW 7037
ST-2	PAINTED STUCCO	AESTHETIC WHITE - SW 7035
V-1	VENEER STONE	EQUAL TO COBBLEFIELD STONE BY BORALSTONE COMPANY, F.V. COLOR
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE
N-1	PAINT	BALANCED BEIGE - SW 7037
F-1	FUEL CANOPY FASCIA	EASTMAN WHITE PY-25

bates
 502 SW A STREET, SUITE 2
 BENTONVILLE, AR 72712
 WWW.BATESFORUM.COM
 TEL: 479.633.8165

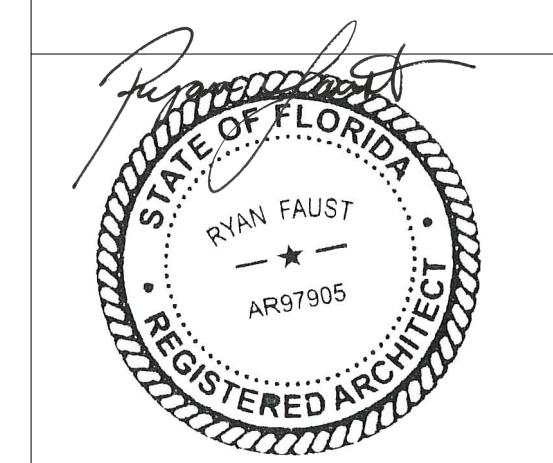
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 Contractor is responsible for confirming and correlating dimensions at job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

STORE #:
 34941
CONSTRUCTION MANAGER
 CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
 900 SW PINE ISLAND ROAD, SUITE 202
 CAPE CORAL, FL 33991

TENANT
 7-ELEVEN INC.
 3200 HACKBERRY ROAD, IRVING, TX 75063

STRUCTURAL CONSULTANT

7-ELEVEN STORE
 4990 COCONUT CREEK PARKWAY
 COCONUT CREEK FL 33063
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
 900 SW PINE ISLAND ROAD, SUITE 202
 CAPE CORAL, FL 33991



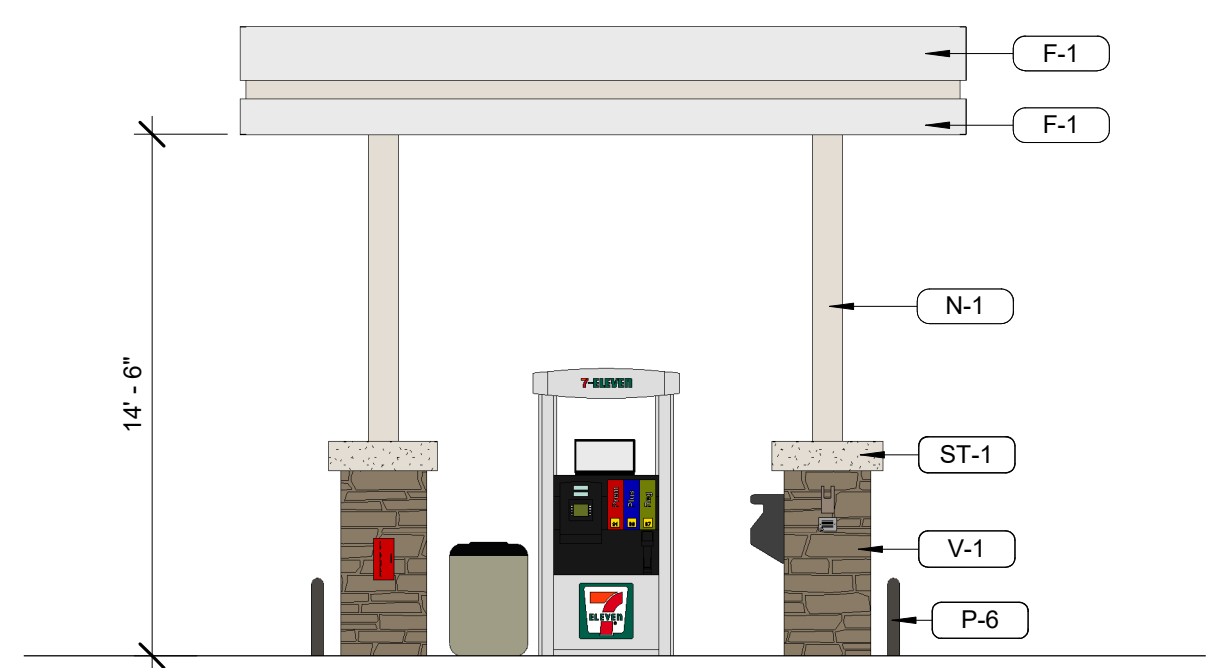
02/19/2019
Architect Name - RYAN M. FAUST
Architect Number - AR97905
THE SEAL AND SIGNATURE ARE APPLIED TO THIS DOCUMENT TO SHOW THEY ARE AFFIXED AND WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

PROJECT NUMBER: 18209
RELEASE DATE: 02/19/2019

REVIEW BOARD CANOPY ELEVATION

R0.02



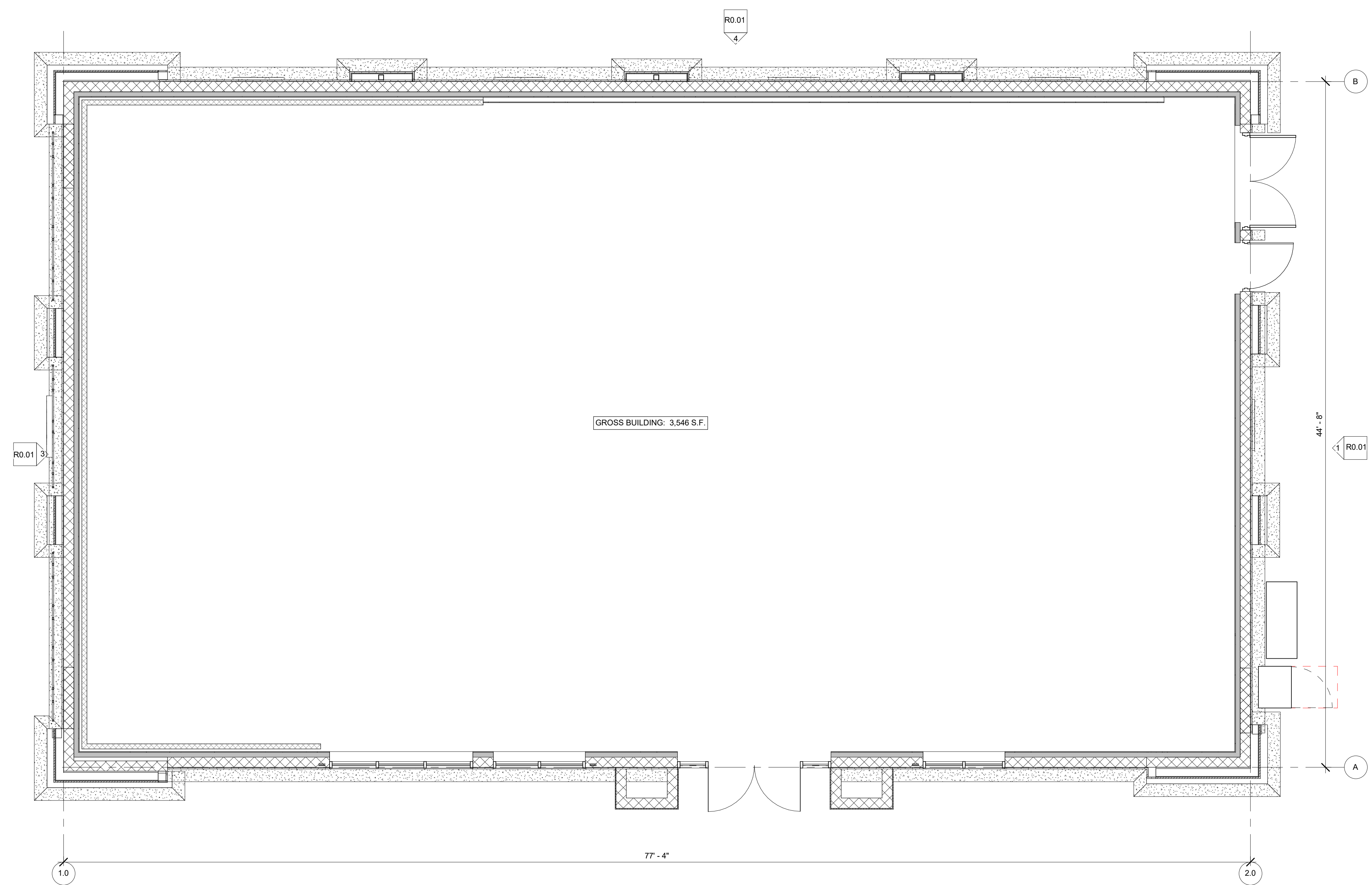
2
 R0.02 **FUEL CANOPY ELEVATION - SHORT**
 3/16" = 1'-0"



1
 R0.02 **FUEL CANOPY ELEVATION - LONG**
 3/16" = 1'-0"

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1
R0.03 REVIEW BOARD - FLOOR PLAN
1/4" = 1'-0"

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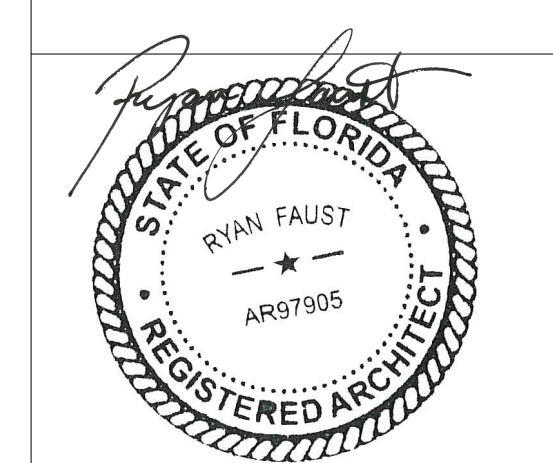
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Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on other projects or extensions to this project except by agreement in writing and with appropriate compensation to the Architect.
Contractor is responsible for confirming and correlating dimensions at job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

STORE #:
34941
CONSTRUCTION MANAGER:
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991

TENANT:
7-ELEVEN INC.
3200 HACKBERRY ROAD, IRVING, TX 75063

STRUCTURAL CONSULTANT

7-ELEVEN STORE
4990 COCONUT CREEK PARKWAY
COCONUT CREEK FL 33063
CREIGHTON CONSTRUCTION & MANAGEMENT, LLC
900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991



02/19/2019
Architect Name - RYAN M. FAUST
Architect Number - AR97905
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REVISIONS	
NO.	DESCRIPTION

PROJECT NUMBER: 18209
RELEASE DATE: 02/19/2019

REVIEW BOARD FLOOR PLAN

R0.03

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

Customer Notes:

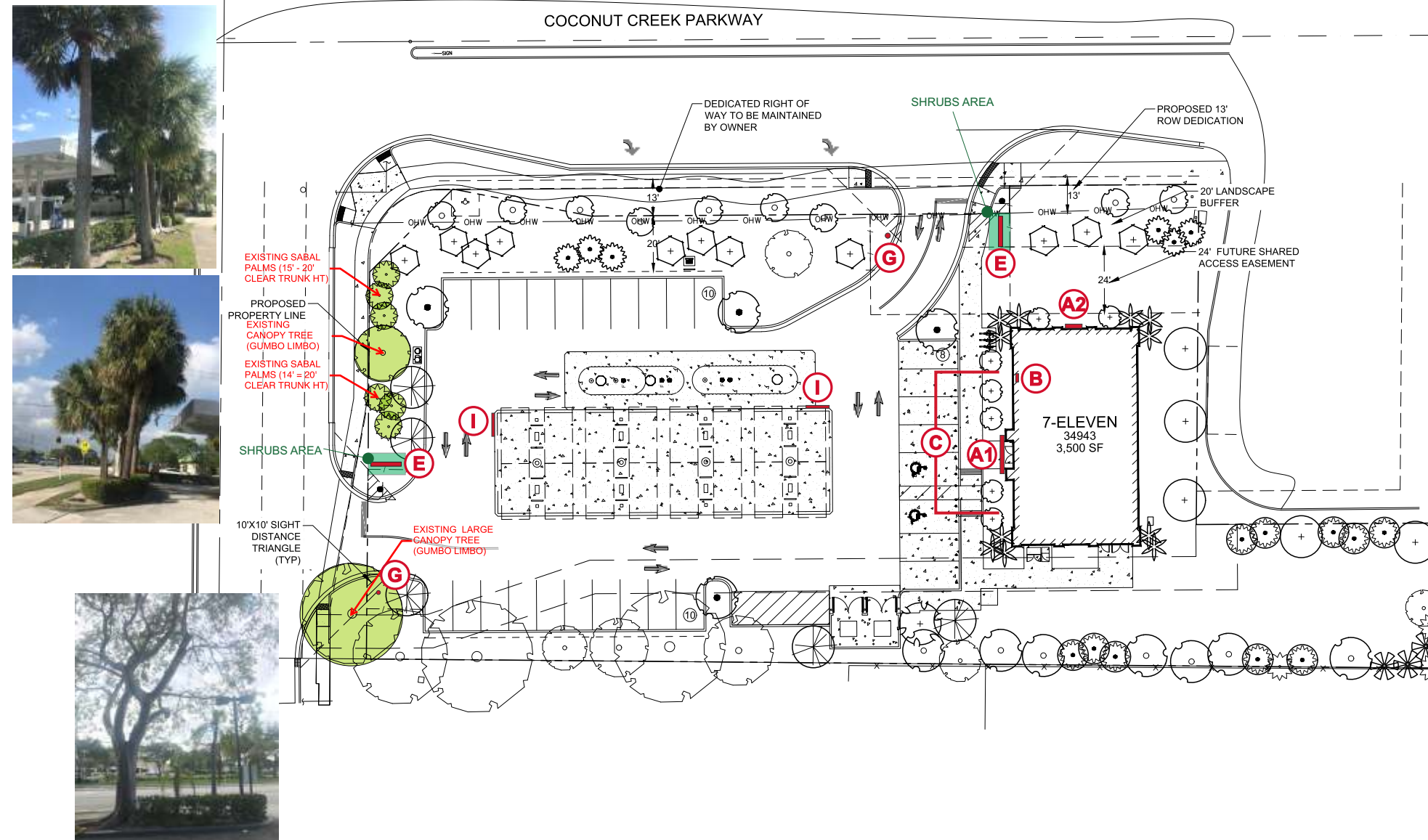
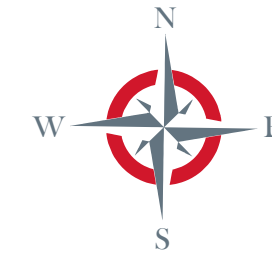
Customer Approval: _____ DATE: _____

Page: 1



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION/MANUAL OF STEEL CONSTRUCTION, 9TH EDITION, THE AMERICAN WELDING SOCIETY/AWS D11.15, THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).

A1	3-Pack SEJ W/S (24")
A2	W36 Keystone Wall Sign
B	ATM Interior Sign
C	Window Graphics
E	Monument Sign
G	Directional
I	Mobil Canopy Signs



Landscape Plan

1" = 50'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
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09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

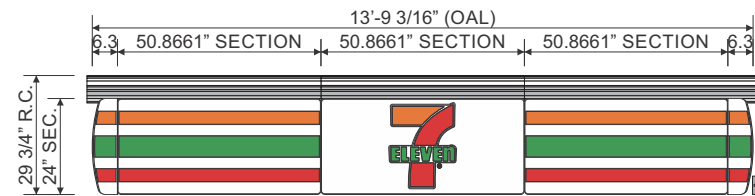
Customer Notes:

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Page: 2



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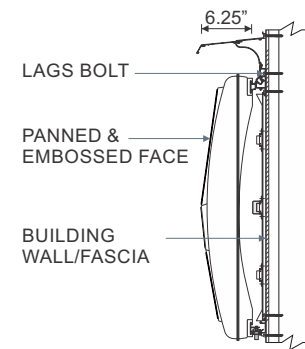
ONE (1) SET OF 24" S/F INTERNALLY ILLUMINATED WALL SIGNS (SEJ 1300 SERIES).

ELECTRICAL NOTE: EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V
ALL SIGNAGE WILL BE (MET) LISTED,(U.L.) 48STD COMPLIANT AND CARRY (MET) LABELS.

Front Elevation - SEJ Wall Sign Cabinets - Sign A1

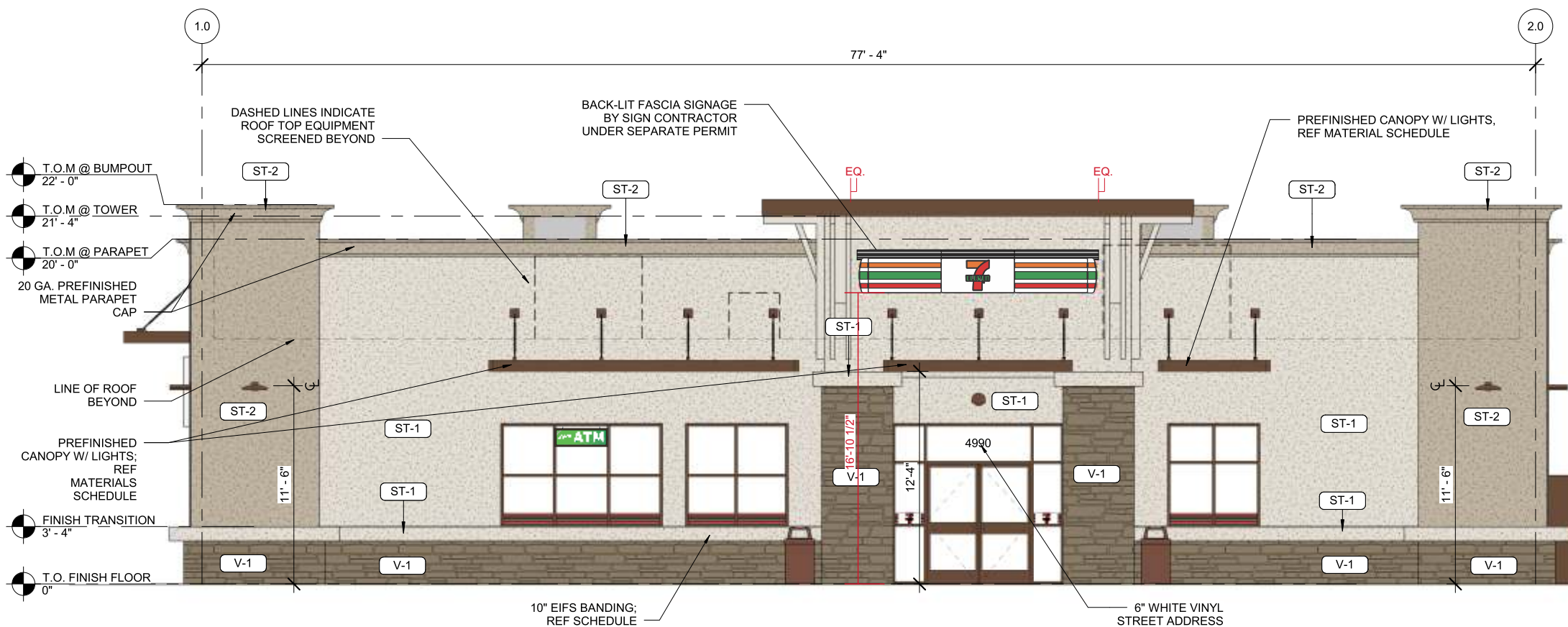
1/4" = 1'-0"

Display Square Footage(Cabinets): 27.5



Side Mounting Detail - Sign A1

NTS



Proposed West Elevation - Signs A1, B & C

1/8" = 1'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

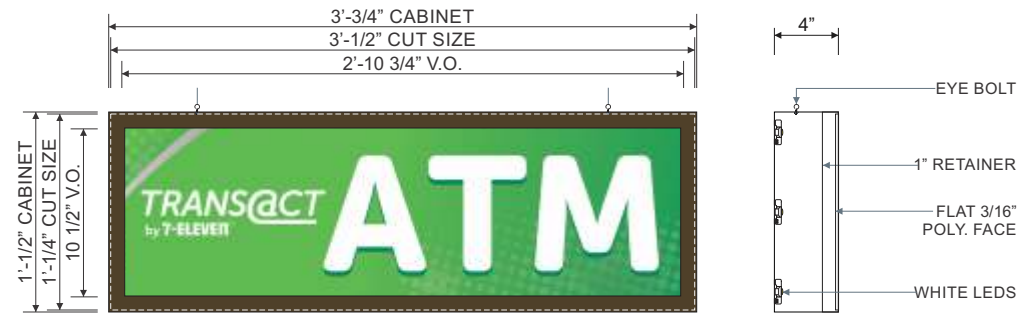
Customer Notes:

Customer Approval: _____ DATE: _____



Complies with
UL 48
CSA C22.2 No.207

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ONE (1) **INTERIOR ATM** INTERNALLY ILLUMINATED S/F WINDOW SIGN. 3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS. 4 DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED **313E DURANODIC BRONZE**. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

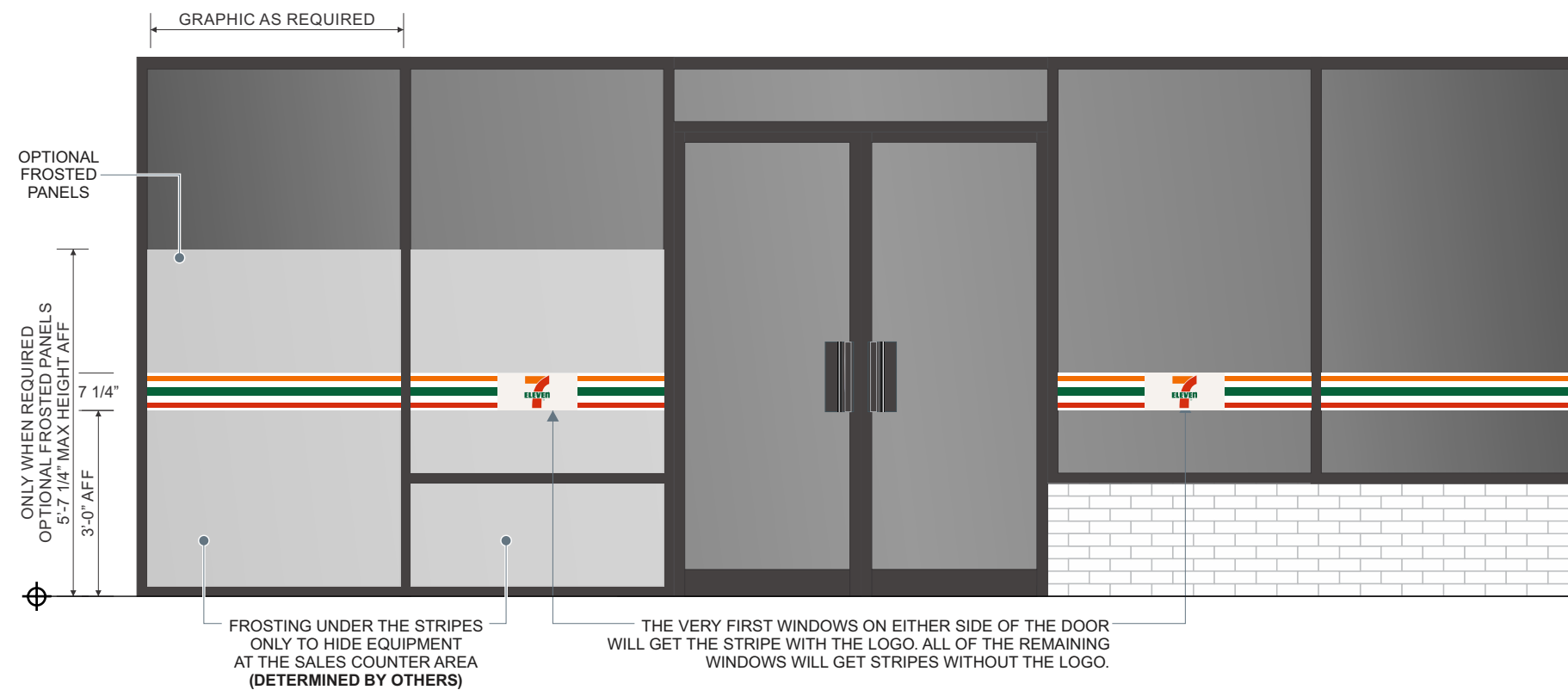
VINYL SPECS: DIGITALLY PRINTED IMAGE VINYL
PAINT SPECS: 313E DURANODIC BRONZE

NOTE: ATM SIGN TO BE FABRICATED & INSTALLED BY OTHERS

Front Elevation & Side Mounting Detail - ATM S/F Window Sign - **Sign B**

1" = 1'-0"

Display Square Footage (Cabinet): **3.2**



WINDOW VINYL GRAPHICS.

VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK.

NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

Front Elevation - Typical Window Vinyl Graphics - **Sign C**

3/8" = 1'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

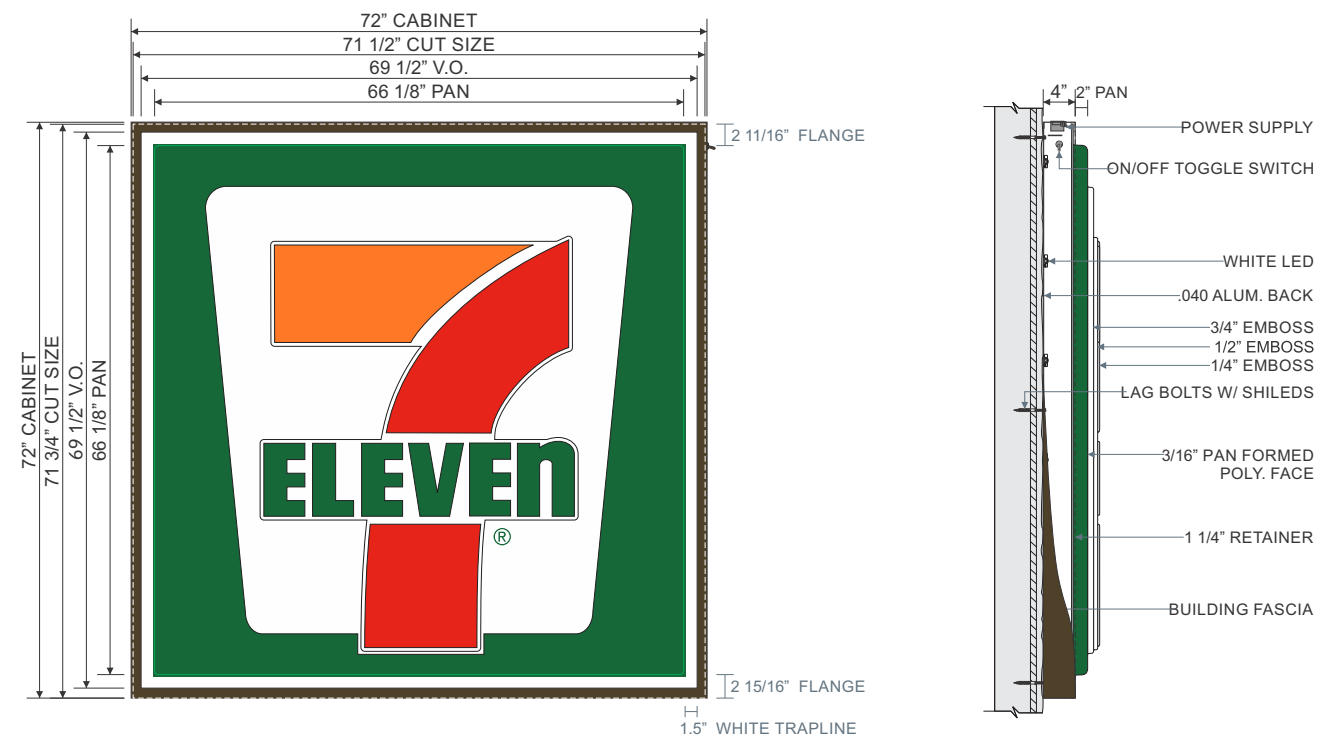
Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____



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ONE (1) **W37** INTERNALLY ILLUMINATED S/F WALL SIGN CABINET.
3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 4" DEEP ALUM. CABINET W/ 1 1/4" RETAINERS TO BE PAINTED **DURANODIC BRONZE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN
PAINT SPECS: DURANODIC BRONZE

7-ELEVEN LOGO DIMENSIONS:
OAH: 58 1/2"
OAL: 53 7/16"

Face & Side Detail - **W37** Wall Sign Cabinet - **Sign A2**

1/2" = 1'-0"

Display Square Footage(Cabinet): **36.0**

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____

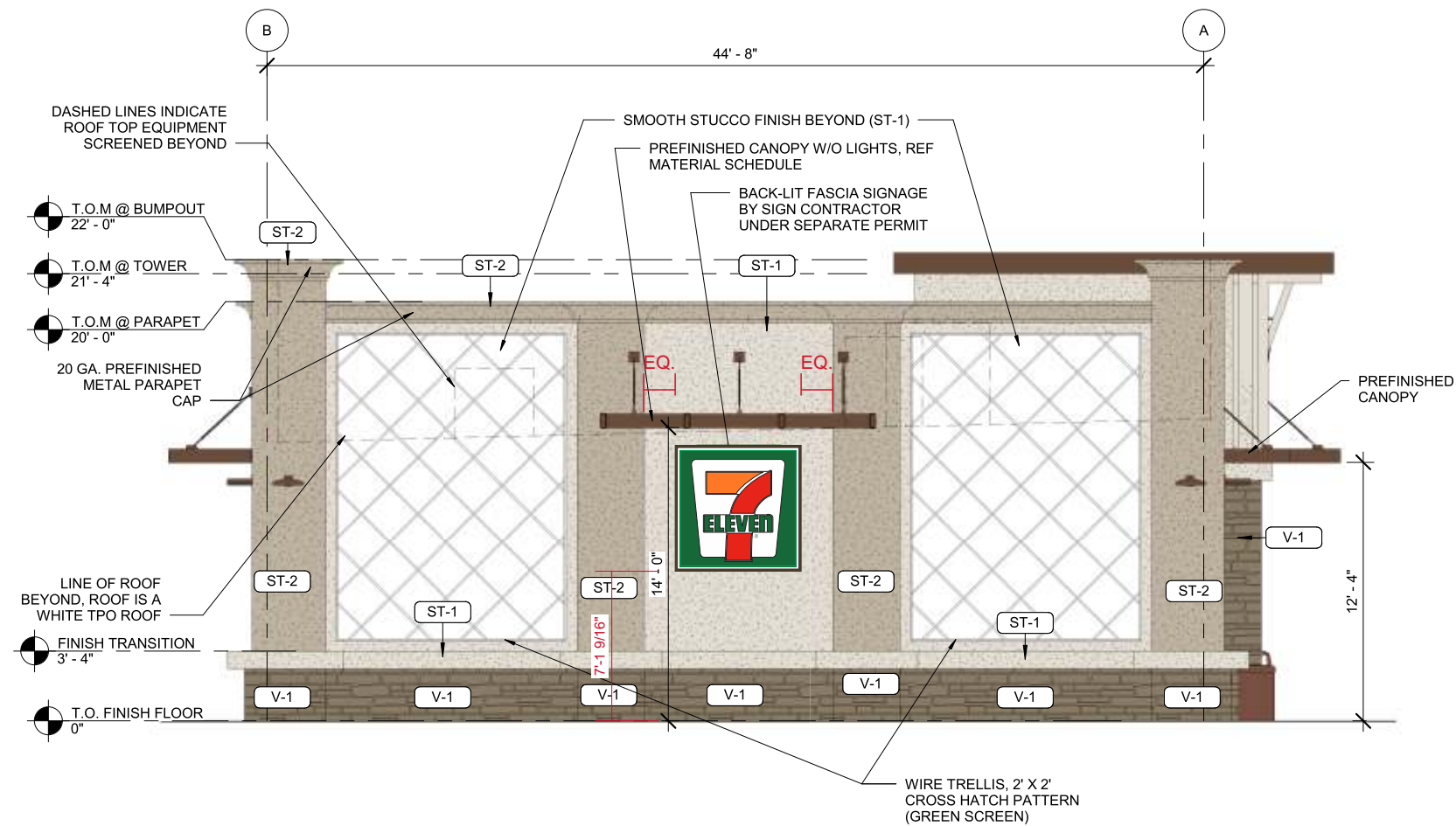


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Code Information:

Formula: Linear sign area is three (3) feet in height by seventy-five (75) percent of the width of the façade to which the sign is attached.

Allowed:	99.0 sqft
Proposed:	36.0 sqft



Proposed North Elevation - Sign A2

1/8" = 1'-0"

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____

Page: 6



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TWO (2) **CUSTOM D/F INTERNALLY ILLUMINATED DUAL BRAND (7-ELEVEN & MOBIL) SIGN CABINETS WITH RED & GREEN LEDS.**

8" DEEP EXTRUDED ALUM. CABINET WITH 2" INSET HINGED RETAINERS & 1 1/2" DIVIDER BARS TO BE PAINTED
MOBIL P8 EGGSHELL WHITE.
CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.
2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

STANDARD 7-ELEVEN M16 FACES: 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACES WITH TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.

MOBIL FACES: 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACES WITH TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.

MOBIL SYNERGY FACE SPECS: 3/16" THICK PAN FORMED CLEAR POLYCARBONATE BACK SPRAYED **PMS 485 RED THEN PMS WHITE.**
MOBIL BRAND GAS PRICE FACES: 3/16" THICK PAN FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED **PMS 293 BLUE THEN PMS WHITE W/ 3M 7725-12 BLACK VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE.**

PROPOSED WITH 12" SEP PRICE-VISION RED & GREEN LED UNITS.

7-ELEVEN VINYL SPECS:

3M 3630-44 ORANGE,

3M 3630-33 RED,

3M 3630-26 GREEN

MOBIL VINYL SPECS:

3M 3630-2590 RED,

3M 3630-8248 BLUE,

3M 7725-12 BLACK

MOBIL PAINT SPECS:

MOBIL P8 EGGSHELL WHITE,

PMS 485 C MOBIL RED,

PMS 293 C MOBIL BLUE,

PMS WHITE

PROVIDE 2 1/8" PERFORATED PANEL STRUCTURE FINISHED **P8 EGGSHELL WHITE** TO FILL/PROVIDE VENTILATION SPACE UNDERNEATH CABINET FOR AIR FLOW VENTS.

PROVIDE ALUM SHROUD BASE PAINTED W/ STUCCO

SW 7037 BALANCED BEIGE,

PROVIDE ALUM. BASE CAP PAINTED W/ STUCCO

SW 7035 AESTHETIC WHITE

PROVIDE ALUM MONUMENT CAP PAINTED W/ STUCCO

SW 7037 BALANCED BEIGE,

PROVIDE ALUM. TOPPER CAP PAINTED W/ STUCCO

SW 7035 AESTHETIC WHITE

PROVIDE 6" TALL ALUM. FCO ADDRESS NUMBERS, PAINTED

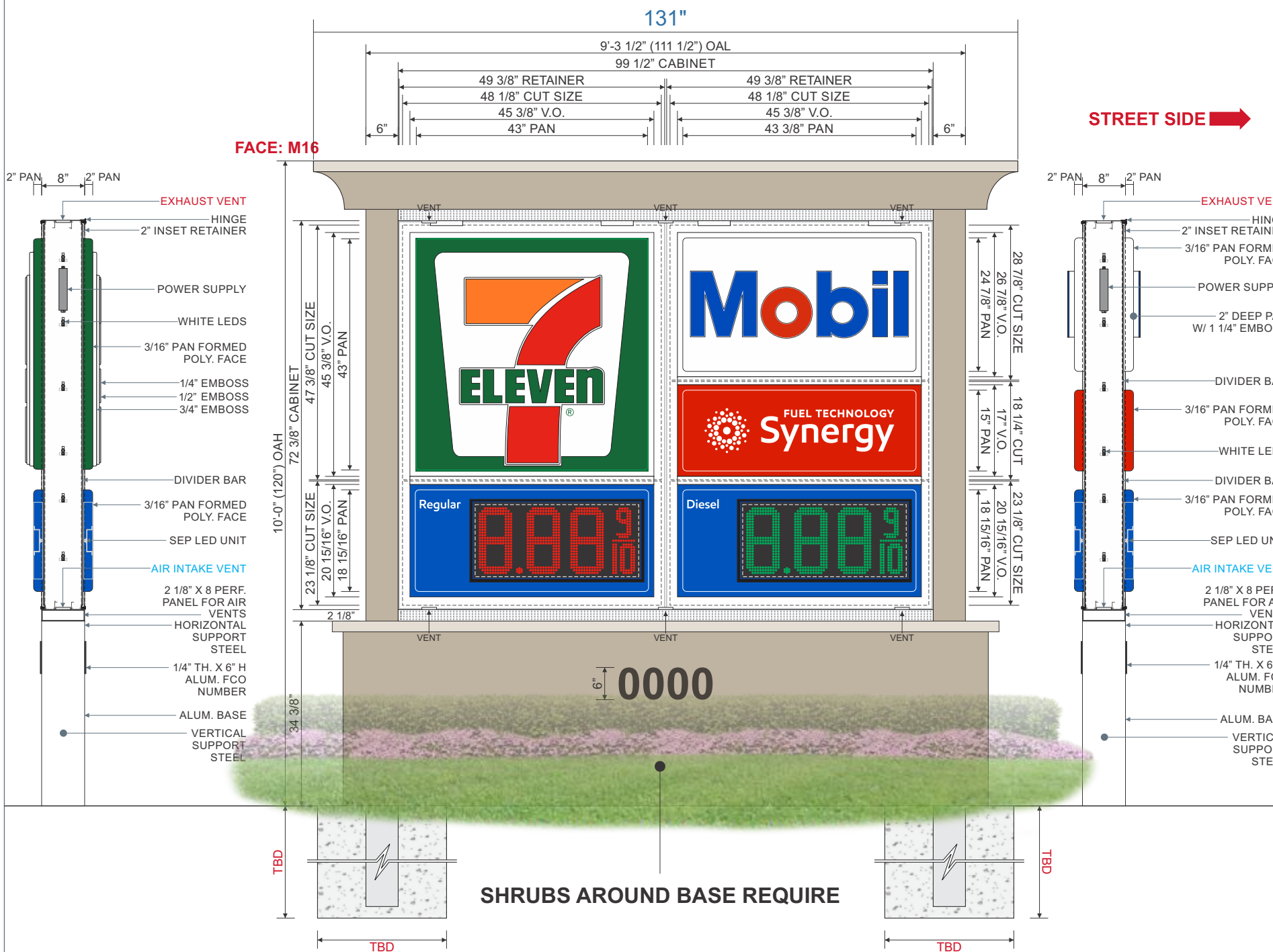
SW 7675 SEAL SKIN

NOTE: STEEL SUPPORT PIPE & ALUMINUM SKIRT TO BE PAINTED P8 EGGSHELL WHITE.

NOTE: VERTICAL STEEL SUPPORT PIPE & FOOTING TO BE SPECIFIED BY ENGINEERING & PROVIDED BY INSTALLER.

NOTE: DEDICATED 20 AMP CIRCUIT REQUIRED FOR LED GAS PRICE CABINET, MUST BE PROVIDED BY CUSTOMER.

NOTE: GROUND SIGNS EXCEED 3 FEET IN HEIGHT REQUIRED LANDSCAPING TO BE PROVIDED BY LANDSCAPE CONTRACTOR.



Code Information:

Formula: 50 sf per street frontage. The sign face area shall not exceed sixty (60) percent of the sign structure area.

Allowed:	50.0 sqft
Proposed:	50.0 sqft

Height Information:

Allowed:	10'- 0"
Proposed:	10'- 0"

Set Back Information:

Allowed:	5'- 0"
Proposed:	5'- 0"

7-ELEVEN LOGO DIMENSIONS:

OAH:	39 3/4"
OAL:	36 1/4"

SEP PRICE VISION LED UNITS:

LED UNIT SIZE:	14.284" X 31.3"
LED CHARACTER SIZE:	12.340"

Front Elevation & Side Detail - Custom Dual Brand - Monument Sign Structures - Sign E

1/2" = 1'-0"

Display Square Footage (Cabinet): 50.0

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

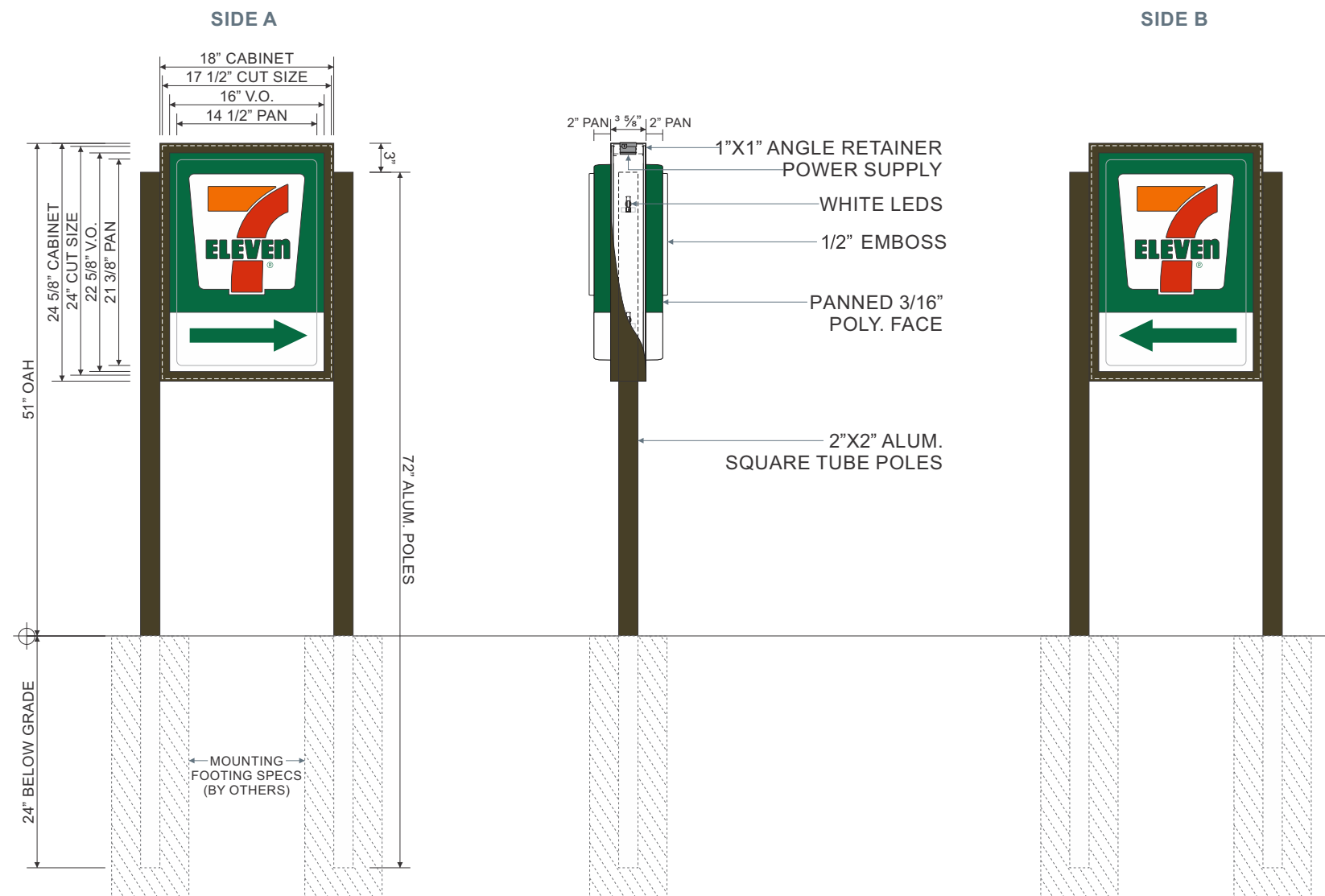
Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____



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TWO (2) **STANDARD** D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN CABINETS.
3/16" THICK PAN & EMBOSSED WHITE POLYCARBONATE FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.
3 5/8" DEEP EXTRUDED ALUM. CABINET W/ 1" RETAINERS TO BE PAINTED **DURANODIC BRONZE**.
CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

NOTE: ARROWS TO ALWAYS BE FACING TOWARDS STORE.

Front Elevation & Side Detail - **Standard D/F Directional Sign Cabinet - Sign G**

3/4" = 1'-0"

Display Square Footage: **3.0 Each**

Date	Rev.	Description
01.10.19	R2	Revised to new site plan & added 2 sign E option site plan.
01.16.19	R3	Revised to 2 sign E monument option.
01.25.19	3.1	Updated with monument address numbers, landscaping & building install dimensions.
02.19.19	R4	Update with new building elevations
09.18.19	R5	Update art with new building elevations
11.05.19	R6	Update art per landscape plan
11.12.19	R7	Update art per city comments

ZONING: xxx

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	xx SQ. FT.
PROPOSED TOTAL	xx SQ. FT.

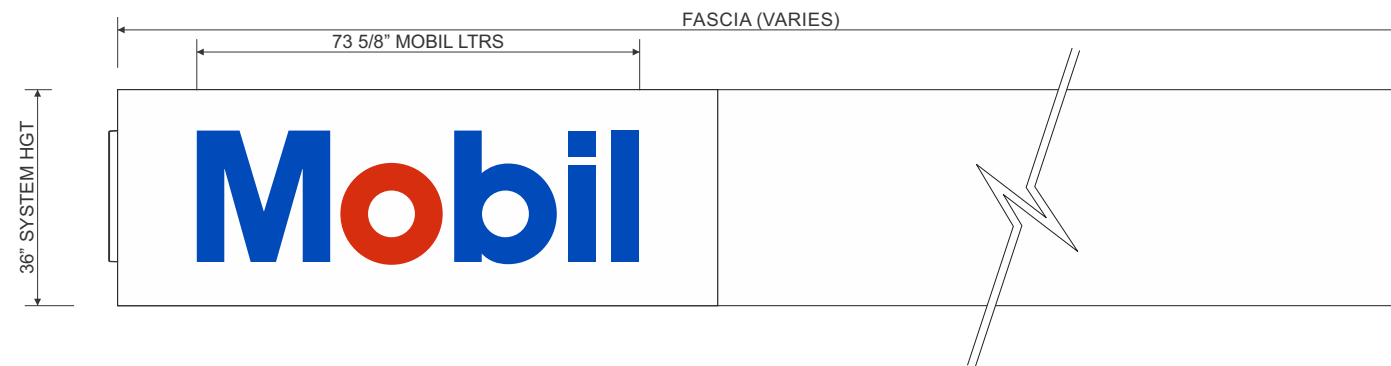
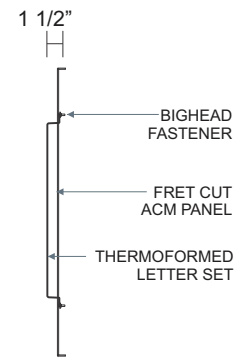
Site Notes:

Customer Notes:

Customer Approval: _____ DATE: _____



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



TWO (2) 2D MOBIL ACM LOGO BOX CANOPY SIGNS.
THERMOFORMED LETTERSET MOUNTED TO ACM BOX. BOXES TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL.

Front Elevation & Side Mounting Detail - Mobil ACM Logo Box - 2D Canopy Fascia - **Sign I1**

1/2" = 1'-0"

Display Square Footage: **(Mobil Letters) 11.4**

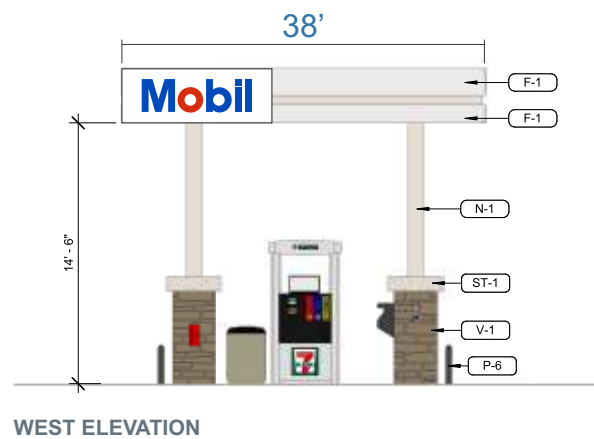
Typical Canopy Sign - **Sign I1**

3/8" = 1'-0"

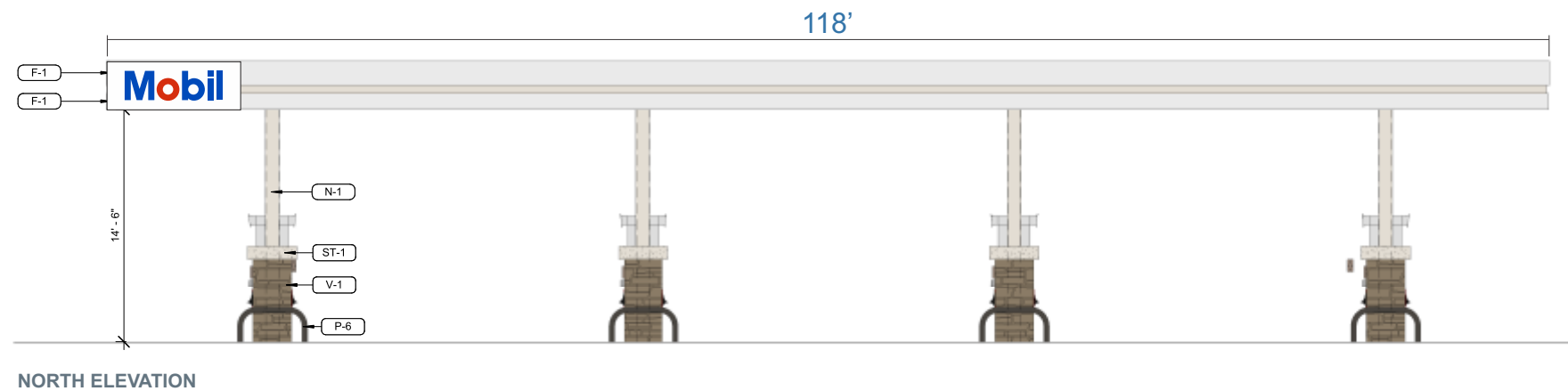
PER CODE CHECK, CAPITAL LETTER HEIGHT SHALL NOT EXCEED TWENTY-FOUR (24) INCHES.

Code Information:	
Allowed:	16.0 sqft
Proposed:	11.4 sqft

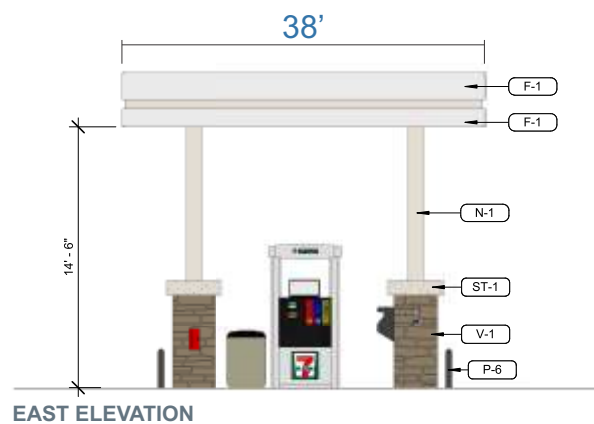
NOTE: CANOPY ELEVATIONS DO NOT MATCH WITH SITE PLAN



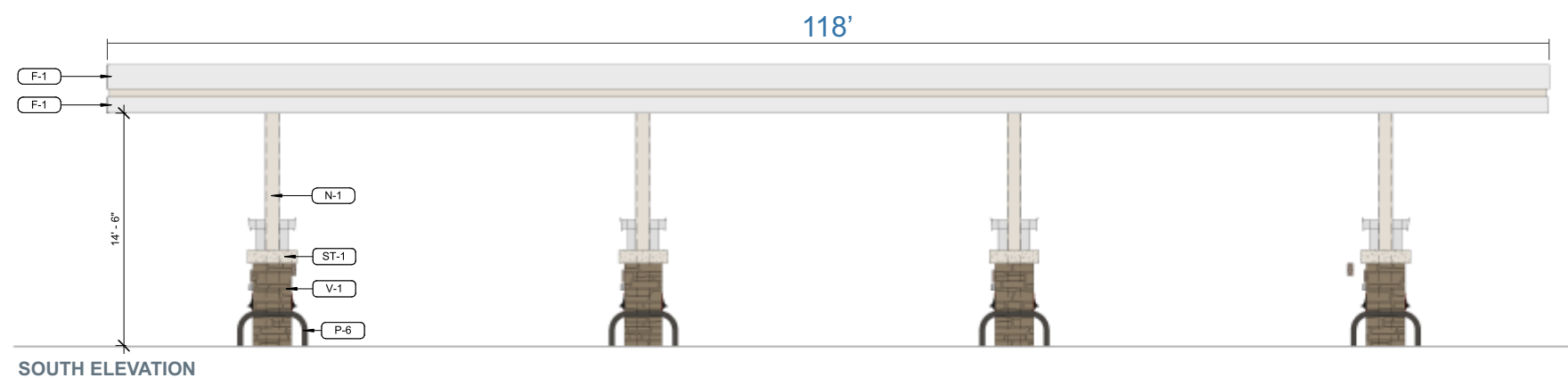
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

Front and Side Elevation (Canopy Configuration) - **Sign I**

3/32" = 1'-0"

TREE DISPOSITION LEGEND:

(Symbol)	EXISTING TREE/PALM TO REMAIN (NO SYMBOL); TO BE PROTECTED DURING CONSTRUCTION
(Symbol)	EXISTING TREE/PALM TO RELOCATE REFER TO LANDSCAPE PLAN FOR NEW LOCATION
(Symbol)	EXISTING TREE/PALM TO REMOVE REMOVE ALL CAT 1 INVASIVE EXOTICS (EX: BRAZ. PEPPER)
(Symbol)	EXISTING TREE/PALM NUMBER REFER TO TREE DISPOSITION TABLE ON LD-102

NOTE: REF. LP-501 FOR TREE PROTECTION DETAIL

- TREE DISPOSITION NOTES:**
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
 - SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
 - CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
 - TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
 - ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER.
 - BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
 - REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
 - ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.

TREE DISPOSITION TABLE

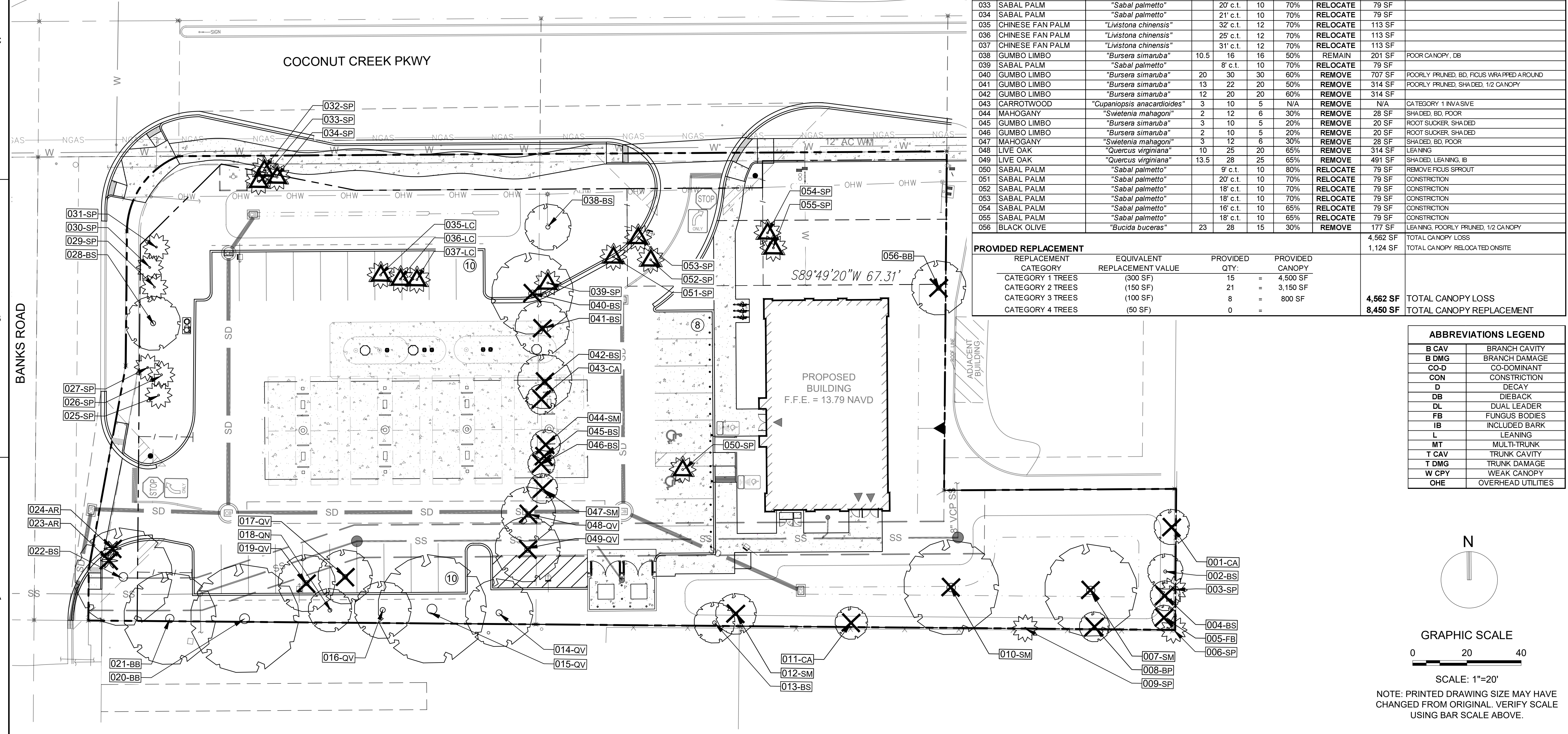
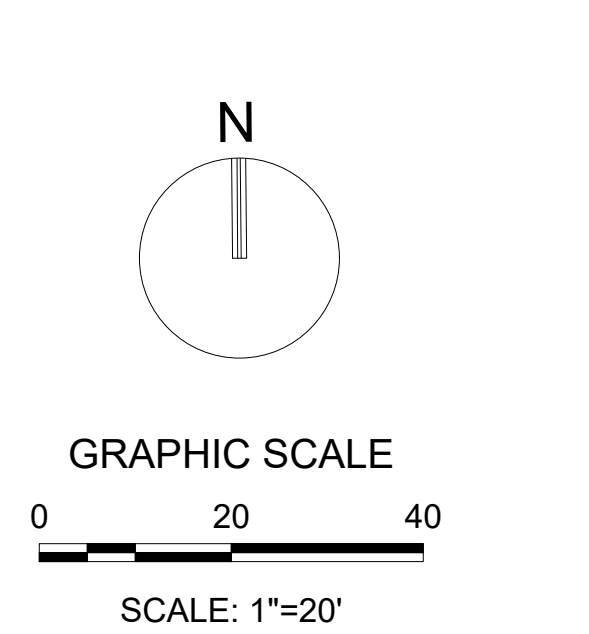
TREE #	COMMON NAME	SCIENTIFIC NAME	DBH IN.	HT. FT.	CNPLY. FT.	TREE % CONDITION	TREE DISPOSITION	CANOPY SF	COMMENTS
001	CARROTWOOD	" <i>Cupaniopsis anacardioides</i> "	3	12	6	N/A	REMOVE	28 SF	CATEGORY 1 INVASIVE
002	GUMBO LIMBO	" <i>Bursera simaruba</i> "	6	15	8	55%	REMAIN	50 SF	SHADED, POOR CANOPY
003	SABAL PALM	" <i>Sabal palmetto</i> "	10'	c.t.	10	70%	REMAIN	79 SF	SHADED
004	GUMBO LIMBO	" <i>Bursera simaruba</i> "	2	14	3	40%	REMOVE	7 SF	SHADED, THIN CANOPY
005	FICUS BENJAMINA	" <i>Ficus Benjaminia</i> "	N/A	N/A	N/A	N/A	REMOVE	N/A	OVER GROWN HEDGE, THIN, NO CANOPY, THIRPS
006	SABAL PALM	" <i>Sabal palmetto</i> "	N/A	N/A	3	70%	REMAIN	7 SF	SHRUB, NO CLEAR TRUNK
007	MAHOGANY	" <i>Swietenia mahagoni</i> "	25	40	32	25%	REMOVE	804 SF	DECAY, BD, IB, POOR
008	BRAZILIAN PEPPER	" <i>Schinus terebinthifolius</i> "	N/A	N/A	N/A	N/A	REMOVE	N/A	CATEGORY 1 INVASIVE
009	SABAL PALM	" <i>Sabal palmetto</i> "	12'	c.t.	10	70%	REMAIN	79 SF	
010	MAHOGANY	" <i>Swietenia mahagoni</i> "	20	30	25	30%	REMOVE	491 SF	DECAY, IB, T CAV, 1/2 CANOPY, POOR
011	CARROTWOOD	" <i>Cupaniopsis anacardioides</i> "	4.3	12	6	N/A	REMOVE	28 SF	MULTI-STEM, CATEGORY 1 INVASIVE
012	MAHOGANY	" <i>Swietenia mahagoni</i> "	20	35	8	20%	REMOVE	50 SF	DECAY, VINES, FUNGUS, DECLINING, VERY POOR
013	GUMBO LIMBO	" <i>Bursera simaruba</i> "	8	20	10	60%	REMAIN	79 SF	SHADED
014	LIVE OAK	" <i>Quercus virginiana</i> "	12	28	25	65%	REMAIN	491 SF	SHADED, CO-D
015	LIVE OAK	" <i>Quercus virginiana</i> "	19.5	30	40	75%	REMAIN	1,256 SF	
016	LIVE OAK	" <i>Quercus virginiana</i> "	11.5	30	22	65%	REMAIN	380 SF	SHADED
017	LIVE OAK	" <i>Quercus virginiana</i> "	11	28	20	60%	REMOVE	314 SF	SHADED
018	WATER OAK	" <i>Quercus nigra</i> "	7	25	15	60%	REMAIN	177 SF	POOR CANOPY, THIN, SHADED
019	LIVE OAK	" <i>Quercus virginiana</i> "	10.5	25	22	60%	REMOVE	380 SF	SHADED, IB
020	BLACK OLIVE	" <i>Bucida buceras</i> "	18	42	40	65%	REMAIN	1,256 SF	B DMG
021	BLACK OLIVE	" <i>Bucida buceras</i> "	18	35	35	60%	REMAIN	962 SF	SUCKERS
022	GUMBO LIMBO	" <i>Bursera simaruba</i> "	23	35	35	60%	REMAIN	962 SF	EXPOSED ROOTS, SHADED
023	QUEEN PALM	" <i>Arecastrum romanzoffianum</i> "	3'	c.t.	5	30%	REMOVE	20 SF	SHADED, CONSTRUCTION, POOR
024	QUEEN PALM	" <i>Arecastrum romanzoffianum</i> "	9'	c.t.	6	30%	REMOVE	28 SF	CONSTRUCTION, POOR
025	SABAL PALM	" <i>Sabal palmetto</i> "	20'	c.t.	10	70%	REMAIN	79 SF	CONSTRUCTION
026	SABAL PALM	" <i>Sabal palmetto</i> "	17'	c.t.	10	70%	REMAIN	79 SF	CONSTRUCTION
027	SABAL PALM	" <i>Sabal palmetto</i> "	14'	c.t.	10	65%	REMAIN	79 SF	CONSTRUCTION
028	GUMBO LIMBO	" <i>Bursera simaruba</i> "	18	25	22	65%	REMAIN	380 SF	
029	SABAL PALM	" <i>Sabal palmetto</i> "	18'	c.t.	10	70%	REMAIN	79 SF	
030	SABAL PALM	" <i>Sabal palmetto</i> "	15'	c.t.	10	60%	REMAIN	79 SF	TRUNK WOUND
031	SABAL PALM	" <i>Sabal palmetto</i> "	20'	c.t.	10	70%	REMAIN	79 SF	
032	SABAL PALM	" <i>Sabal palmetto</i> "	18'	c.t.	10	60%	RELOCATE	79 SF	CONSTRUCTION
033	SABAL PALM	" <i>Sabal palmetto</i> "	20'	c.t.	10	70%	RELOCATE	79 SF	
034	SABAL PALM	" <i>Sabal palmetto</i> "	21'	c.t.	10	70%	RELOCATE	79 SF	
035	CHINESE FAN PALM	" <i>Livistona chinensis</i> "	32'	c.t.	12	70%	RELOCATE	113 SF	
036	CHINESE FAN PALM	" <i>Livistona chinensis</i> "	25'	c.t.	12	70%	RELOCATE	113 SF	
037	CHINESE FAN PALM	" <i>Livistona chinensis</i> "	31'	c.t.	12	70%	RELOCATE	113 SF	
038	GUMBO LIMBO	" <i>Bursera simaruba</i> "	10.5	16	16	50%	REMAIN	201 SF	POOR CANOPY, DB
039	SABAL PALM	" <i>Sabal palmetto</i> "	8'	c.t.	10	70%	RELOCATE	79 SF	
040	GUMBO LIMBO	" <i>Bursera simaruba</i> "	20	30	30	60%	REMOVE	707 SF	POORLY PRUNED, BD, FICUS WRAPPED AROUND
041	GUMBO LIMBO	" <i>Bursera simaruba</i> "	13	22	20	50%	REMOVE	314 SF	POORLY PRUNED, SHADED, 1/2 CANOPY
042	GUMBO LIMBO	" <i>Bursera simaruba</i> "	12	20	20	60%	REMOVE	314 SF	
043	CARROTWOOD	" <i>Cupaniopsis anacardioides</i> "	3	10	5	N/A	REMOVE	N/A	CATEGORY 1 INVASIVE
044	MAHOGANY	" <i>Swietenia mahagoni</i> "	2	12	6	30%	REMOVE	28 SF	SHADED, BD, POOR
045	GUMBO LIMBO	" <i>Bursera simaruba</i> "	3	10	5	20%	REMOVE	20 SF	ROOT SUCKER, SHADED
046	GUMBO LIMBO	" <i>Bursera simaruba</i> "	2	10	5	20%	REMOVE	20 SF	ROOT SUCKER, SHADED
047	MAHOGANY	" <i>Swietenia mahagoni</i> "	3	12	6	30%	REMOVE	28 SF	SHADED, BD, POOR
048	LIVE OAK	" <i>Quercus virginiana</i> "	10	25	20	65%	REMOVE	314 SF	LEANING
049	LIVE OAK	" <i>Quercus virginiana</i> "	13.5	28	25	65%	REMOVE	491 SF	SHADED, LEANING, IB
050	SABAL PALM	" <i>Sabal palmetto</i> "	9'	c.t.	10	80%	RELOCATE	79 SF	REMOVE FICUS SPROUT
051	SABAL PALM	" <i>Sabal palmetto</i> "	20'	c.t.	10	70%	RELOCATE	79 SF	CONSTRUCTION
052	SABAL PALM	" <i>Sabal palmetto</i> "	18'	c.t.	10	70%	RELOCATE	79 SF	CONSTRUCTION
053	SABAL PALM	" <i>Sabal palmetto</i> "	18'	c.t.	10	70%	RELOCATE	79 SF	CONSTRUCTION
054	SABAL PALM	" <i>Sabal palmetto</i> "	16'	c.t.	10	65%	RELOCATE	79 SF	CONSTRUCTION
055	SABAL PALM	" <i>Sabal palmetto</i> "	18'	c.t.	10	65%	RELOCATE	79 SF	CONSTRUCTION
056	BLACK OLIVE	" <i>Bucida buceras</i> "	23	28	15	30%	REMOVE	177 SF	LEANING, POORLY PRUNED, 1/2 CANOPY
								4,562 SF	TOTAL CANOPY LOSS
								1,124 SF	TOTAL CANOPY RELOCATED ONSITE

PROVIDED REPLACEMENT

REPLACEMENT CATEGORY	EQUIVALENT REPLACEMENT VALUE	PROVIDED QTY:	PROVIDED CANOPY
CATEGORY 1 TREES (300 SF)		15	= 4,500 SF
CATEGORY 2 TREES (150 SF)		21	= 3,150 SF
CATEGORY 3 TREES (100 SF)		8	= 800 SF
CATEGORY 4 TREES (50 SF)		0	=
			4,562 SF
			8,450 SF

ABBREVIATIONS LEGEND

B CAV	BRANCH CAVITY
B DMG	BRANCH DAMAGE
CO-D	CO-DOMINANT
CON	CONSTRUCTION
D	DECAY
DB	DIEBACK
DL	DUAL LEADER
FB	FUNGUS BODIES
IB	INCLUDED BARK
L	LEANING
MT	MULTI-TRUNK
T CAV	TRUNK CAVITY
T DMG	TRUNK DAMAGE
W CPY	WEAK CANOPY
OHE	OVERHEAD UTILITIES



301 East Florida Boulevard
Pompano Beach, Florida 33060-6643

2312 S. Andrews Ave.
Fort Lauderdale, Florida 33316

PH: (954) 788-3400

Florida Certificate of
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED
1ST SUBMITTAL DATE: FEB. 2019
DRAWN BY: KS
DESIGNED BY: MP
CHECKED BY: MP

MICHAEL J. PHILLIPS, RLA
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

SHEET TITLE
TREE DISPOSITION PLAN

SHEET NUMBER
LD-101

PROJECT NO. **09725.64**

NOTES

SOD TO BE ST. AUGUSTINE 'FLORATAM', CONTRACTOR TO DETERMINE QUANTITY.

ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 50% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.

BUBBLERS TO BE PROVIDED FOR LARGE TREES AND PALMS.

CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.

PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.

ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.

NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

CITY OF COCONUT CREEK STANDARD LANDSCAPE NOTES:
(REF. LP-202)

PLANT LIST

SHRUBS & GROUNDCOVERS				
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS
375	**	AGL	<i>Arachis glabrata</i> PERENNIAL PEANUT	4" HT; 12" SPRD; 12" O.C.
50	**	BUL	<i>Bulbine frutescens</i> BULBINE	12" HT; 12" SPRD; 12" O.C.
76	**N	CHR	<i>Chrysobalanus icaco</i> COCOPLUM	24" HT; 20" SPRD; 24" O.C.
165	**N	CON	<i>Conocarpus erectus</i> GREEN BUTTWOOD HEDGE	24" HT; 24" SPRD; 30" O.C.
640	**N	ERN	<i>Erodia littoralis</i> GOLDEN CREEPER	12" HT; 12" SPRD; 12" O.C.
368	**B	EUR	<i>Euryops pectinatus</i> BUSH DAISY	18" HT; 18" SPRD; 18" O.C.
30	**N	FOR	<i>Foresteria segregata</i> FLORIDA PRIVET	24" HT; 24" SPRD; 24" O.C.
139	**NB	HAP	<i>Hamelia patens</i> FIREBUSH	30" HT; 30" SPRD; 30" O.C.
432	*	JAS	<i>Jasminum volubile</i> WAX JASMINE	10" HT; 16" SPRD; 24" O.C.
190	**B	LMO	<i>Lantana montevidensis</i> PURPLE TRAILING LANTANA	10" HT; 18" SPRD; 12" O.C.
210	*N	MUH	<i>Muhlenbergia capillaris</i> GULF MUHLY GRASS	24" HT; 24" SPRD; 30" O.C.
165	**N	NEP	<i>Nephrolepis bisserata</i> SWORD FERN	12" HT; 12" SPRD; 24" O.C.; CERTIFIED NATIVE ONLY
102	*N	PSY	<i>Psychotria nervosa</i> WILD COFFEE	24" HT; 24" SPRD; 24" O.C.
24	**B	SLU	<i>Salvia leucantha</i> MEXICAN BUSH SAGE	24" HT; 24" SPRD; 36" O.C.
135	**NB	STJ	<i>Stachytarpheta jamaicensis</i> BLUE PORTERWEED	18" HT; 18" SPRD; 24" O.C.
15	**	TRJ	<i>Trachelospermum jasminoides</i> CONFEDERATE JASMINE VINE	6-8" HT; FULL VINE, ATTACH TO GREEN SCREEN
408	**NB	ZAM	<i>Zamia floridana</i> COONTIE	18" HT; 24" SPRD; 24" O.C.
		SOD	ST. AUGUSTINE 'FLORATUM'	SOLID SOD

PLANT LIST

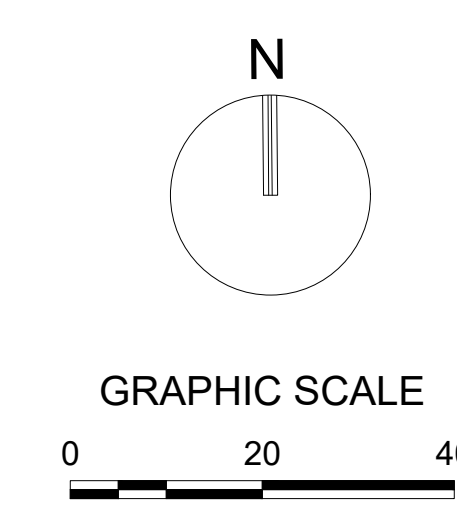
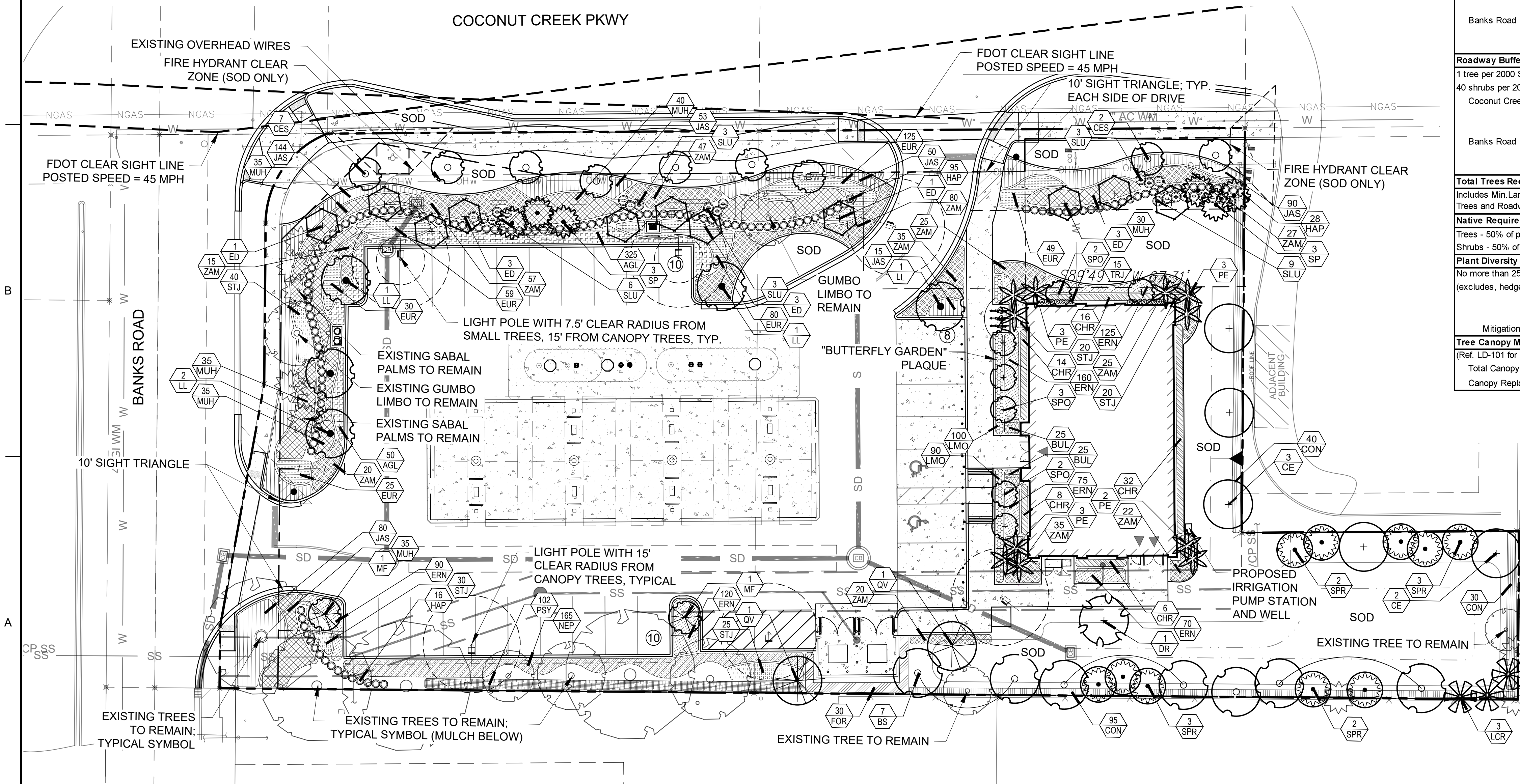
TREES					
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	REPL CATEGORY
7	**	BS	<i>Busera simaruba</i> GUMBO LIMBO	12' HT; 6' SPRD; FULL CANOPY	1
5	**	CE	<i>Conocarpus erectus</i> GREEN BUTTWOOD	12' HT; 6' SPRD; FULL CANOPY	1
9	**	CES	<i>Conocarpus erectus</i> 'Sericeus' SILVER BUTTWOOD	10' HT; 5' SPRD; FULL CANOPY	2
1	*B	DR	<i>Delonix regia</i> ROYAL POINCIANA	14' HT; 7' SPRD; FULL CANOPY	1
11	**	ED	<i>Eleocharis decipiens</i> JAPANESE BLUEBERRY	10' HT; 5' SPRD; FULL CANOPY; NATURAL FORM	
5	**	LL	<i>Lysiloma latisiliquum</i> WILD TAMARIND	14' HT; 7' SPRD; FULL CANOPY	2
2	**	MF	<i>Myrcianthes fragrans</i> SIMPSON STOPPER	10' HT; 5' SPRD; MULTI-STEM; FULL CANOPY	3
7	**B	SPO	<i>Senna polyphylla</i> DESERT CASSIA	8' HT; 4' SPRD; FULL CANOPY	2
2	**	QV	<i>Quercus virginiana</i> LIVE OAK	14' HT; 7' SPRD; FULL CANOPY	1

PALMS					
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	REPL CATEGORY
3	**	LCR	<i>Livistona chinensis</i> (RELOCATED) CHINESE FAN PALM	RELOCATED FROM ON-SITE; REF. LD-101	
11	**	PE	<i>Ptychosperma elegans</i> SOLITAIRE PALM	8' & 14' CT; STAGGERED HEIGHTS	
6	**	SP	<i>Sabal palmetto</i> CABBAGE PALM	22'-26" OA; STAGGERED HTS	3
10	**	SPR	<i>Sabal palmetto</i> (RELOCATED) CABBAGE PALM	RELOCATED FROM ON-SITE; REF. LD-101	

N DENOTES NATIVE SPECIES
 ** DENOTES HIGH DROUGHT TOLERANT SPECIES
 * DENOTES MODERATE DROUGHT TOLERANT SPECIES
 B BUTTERFLY PLANT

CITY OF COCONUT CREEK - LANDSCAPE REQUIREMENTS			
Zoning	B-3		
Net Site Area	57,369 SF		
Total PerVIOUS Area	26,532 SF		
Minimum Landscape Requirements Sec. 13-443 (4)	REQUIRED	PROVIDED	
1 Tree per 1000 SF (not structures & parking)	26,532 SF	27 TREES	27 TREES
Existing Trees	3	Shade Trees	
Proposed Trees	24	Trees + Palms @ 3:1	
5 shrubs per 1000 SF		133 SHRUBS	1,045 SHRUBS
Building Foundation Sec. 13-443 (7) d	REQUIRED	PROVIDED	
Foundation Planting - Tiered landscaping required between the Building and VUA area			
West Façade	78 LF		
1 tree per 40 lf		2 TREES	2 TREES
20 shrubs per 40 lf		39 SHRUBS	97 SHRUBS
30 groundcovers per 40 lf		59 GDCVRS	690 GDCVRS
North Façade	46 LF		
1 tree per 40 lf		2 TREES	2 TREES
20 shrubs per 40 lf		23 SHRUBS	97 SHRUBS
30 groundcovers per 40 lf		35 GDCVRS	690 GDCVRS
Perimeter Trees Sec. 13-443 (10)	REQUIRED	PROVIDED	
1 tree per 40 LF (+ continuous hedge)			
South Boundary:	400 LF	10 TREES	10 TREES
Existing Trees:	5	Shade Trees	
Proposed Trees:	5	Shade Trees	
East Boundary:	177 LF	5 TREES	5 TREES
Existing Trees:	1	Shade Trees	
Proposed Trees:	4	Shade Trees	
Interior VUA Landscape Requirement Sec. 13-443 (12)	REQUIRED	PROVIDED	
Total VUA Impervious Area	22,565 SF		
less parking space area of 300sf/space	36 SPACES		
Paved Area:	11,765 SF		
1 sf Landscape per 100 sf Paved Area		118 SF	26,532 SF
Parking Islands - 1 tree per island		6 TREES	6 TREES
Street Trees Sec. 13-443 (13)	REQUIRED	PROVIDED	
1 tree per 40 LF (30 LF if overhead wires present)			
Coconut Creek Parkway (overhead wires)	254 LF	9 TREES	9 TREES
Existing Trees:	0		
Proposed Trees:	9		
Banks Road	138 LF	4 TREES	4 TREES
Existing Trees:	3	(1 canopy, 3 Palms@3:1)	
Proposed Trees:	1		
Roadway Buffer Requirement Sec. 13-443 (15)	REQUIRED	PROVIDED	
1 tree per 2000 SF of total land area			
40 shrubs per 2000 SF plus continuous hedge (min. 3 tiers)			
Coconut Creek Parkway (overhead wires)	6,403 SF	4 TREES	4 TREES
Existing Trees:	0	Shade Tree	129 SHRUBS
Proposed Trees:	4	Small / Medium Trees	207 SHRUBS
Banks Road	2,266 SF	2 TREES	2 TREES
Existing Trees:	1	3 Palms @ 3:1	46 SHRUBS
Proposed Trees:	1	Shade Trees	152 SHRUBS
Total Trees Required	REQUIRED	PROVIDED	
Includes Min. Landscape, Bldg Foundation, Perimeter, Interior VUA, Street Trees and Roadway Buffer Trees	71 TREES	72 TREES	
Native Requirement Sec. 13-444 (c)	REQUIRED	PROVIDED	
Trees - 50% of proposed trees	40 TREES	46 TREES	
Shrubs - 50% of proposed shrubs	1,771 SHRUBS	2,070 SHRUBS	
Plant Diversity Sec. 13-444 (c)	REQUIRED	PROVIDED	
No more than 25% of proposed plant material can be the same species (excludes, hedges, sod & native palms)			
79 Total Trees & Palms =	19 Max of any one species		
3542 Total Shrubs & Gdcvr =	869 Max of any one species		
Mitigation Species Required: (21-50 Repl Trees Required)	4 SPECIES	8 SPECIES	
Tree Canopy Mitigation Sec. 13-448	REQUIRED	PROVIDED	
(Ref. LD-101 for Tree Disposition List and Canopy Coverage)			
Total Canopy Loss	4,562 SF		
Canopy Replacement Provided		8,450 SF	

COCONUT CREEK PKWY



301 East Florida Boulevard
Pompano Beach, Florida 33060-6643

2312 S. Andrews Ave.
Fort Lauderdale, Florida 33316

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

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7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED
 1ST SUBMITTAL DATE: FEB. 2019
 DRAWN BY: KS
 DESIGNED BY: MP
 CHECKED BY: MP

MICHAEL J. PHILLIPS, RLA
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

SHEET TITLE
LANDSCAPE PLAN

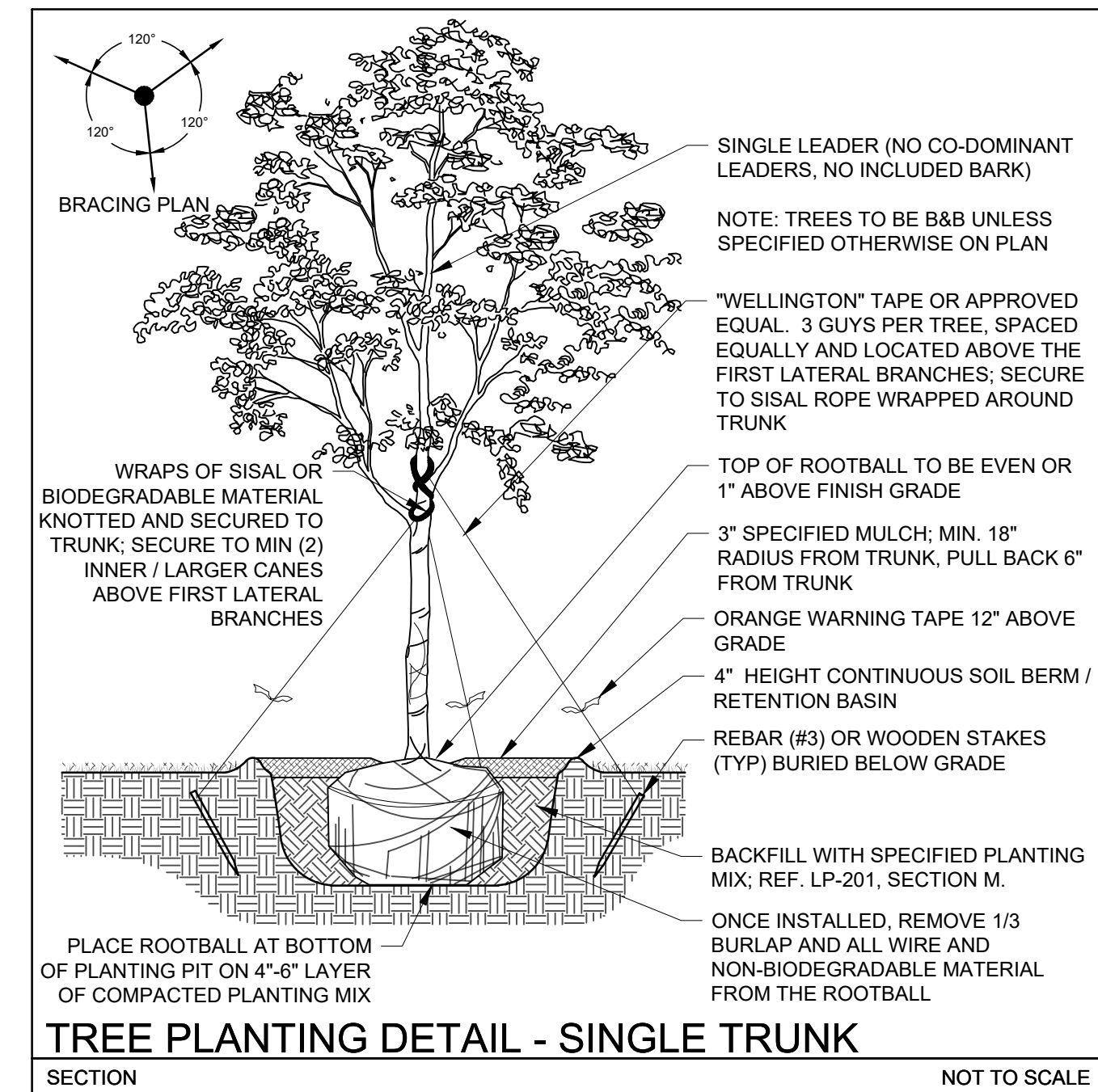
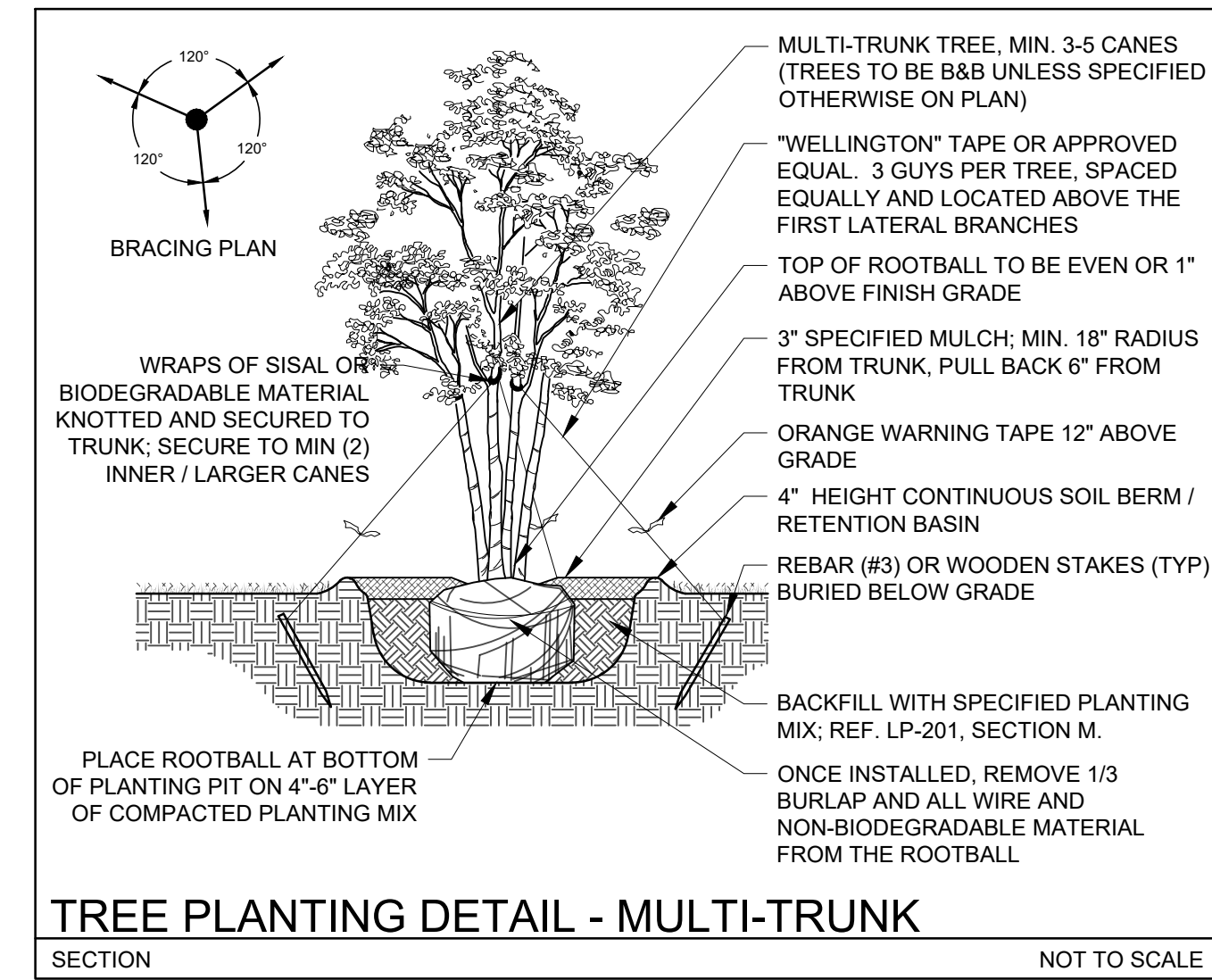
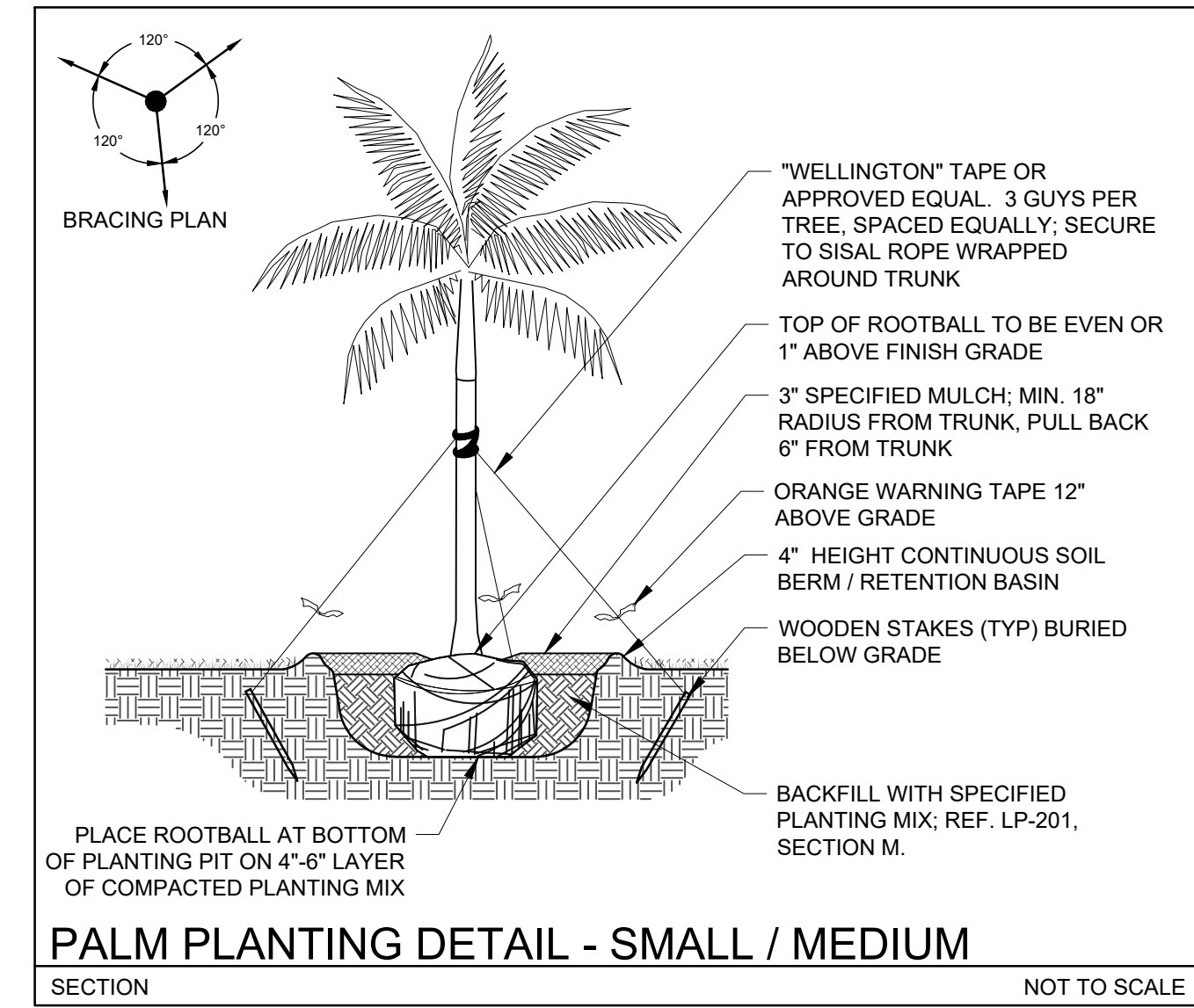
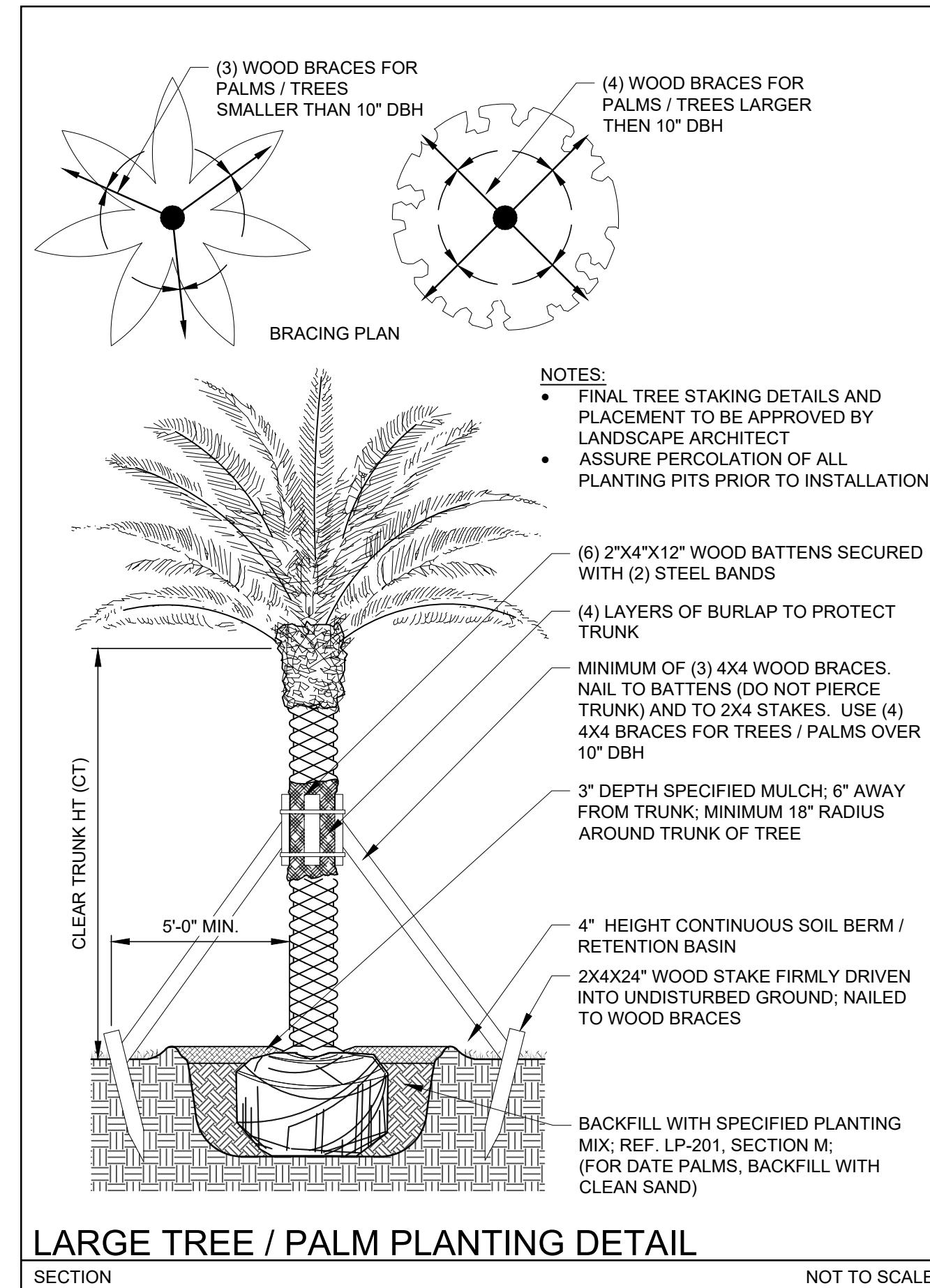
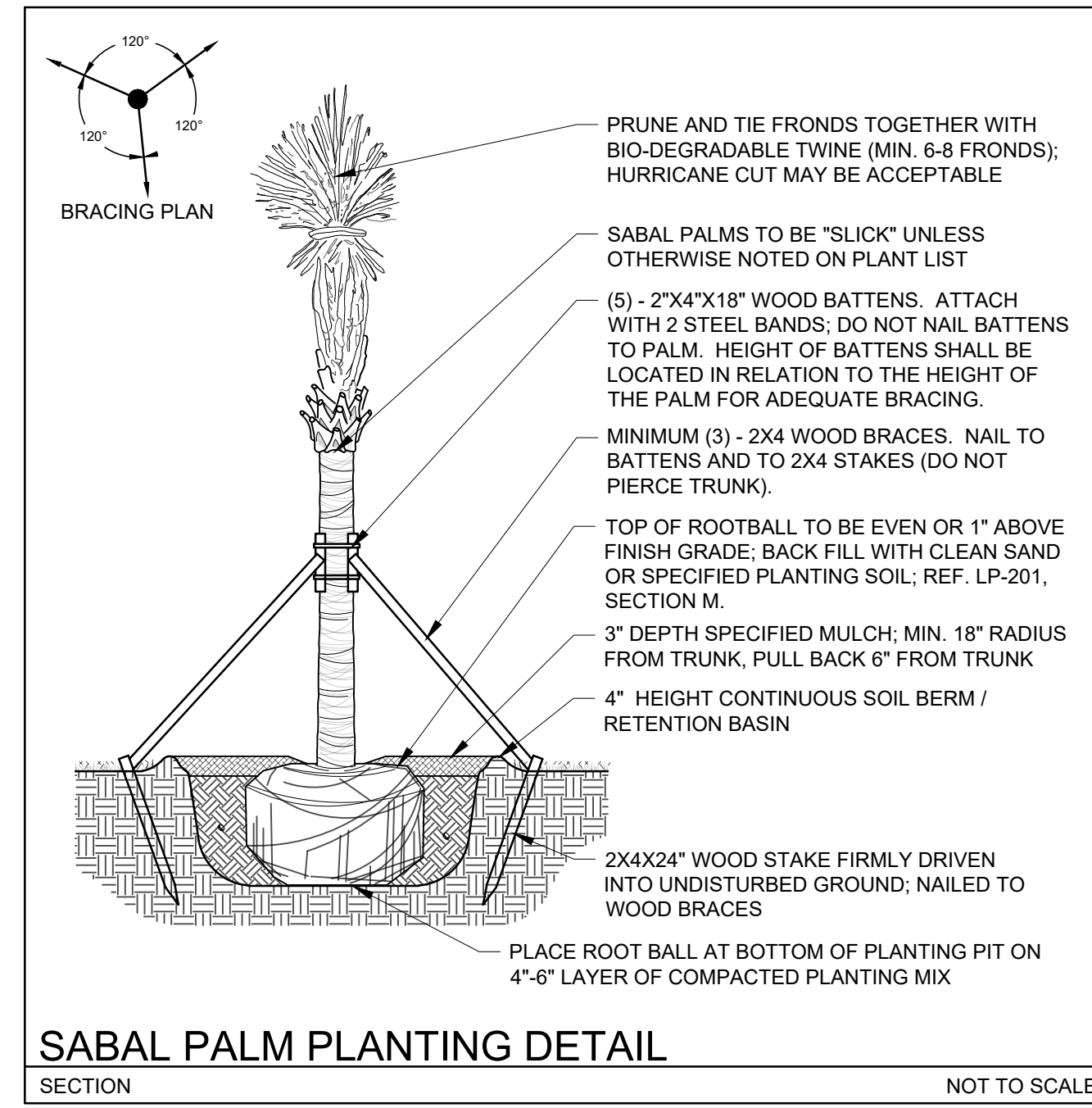
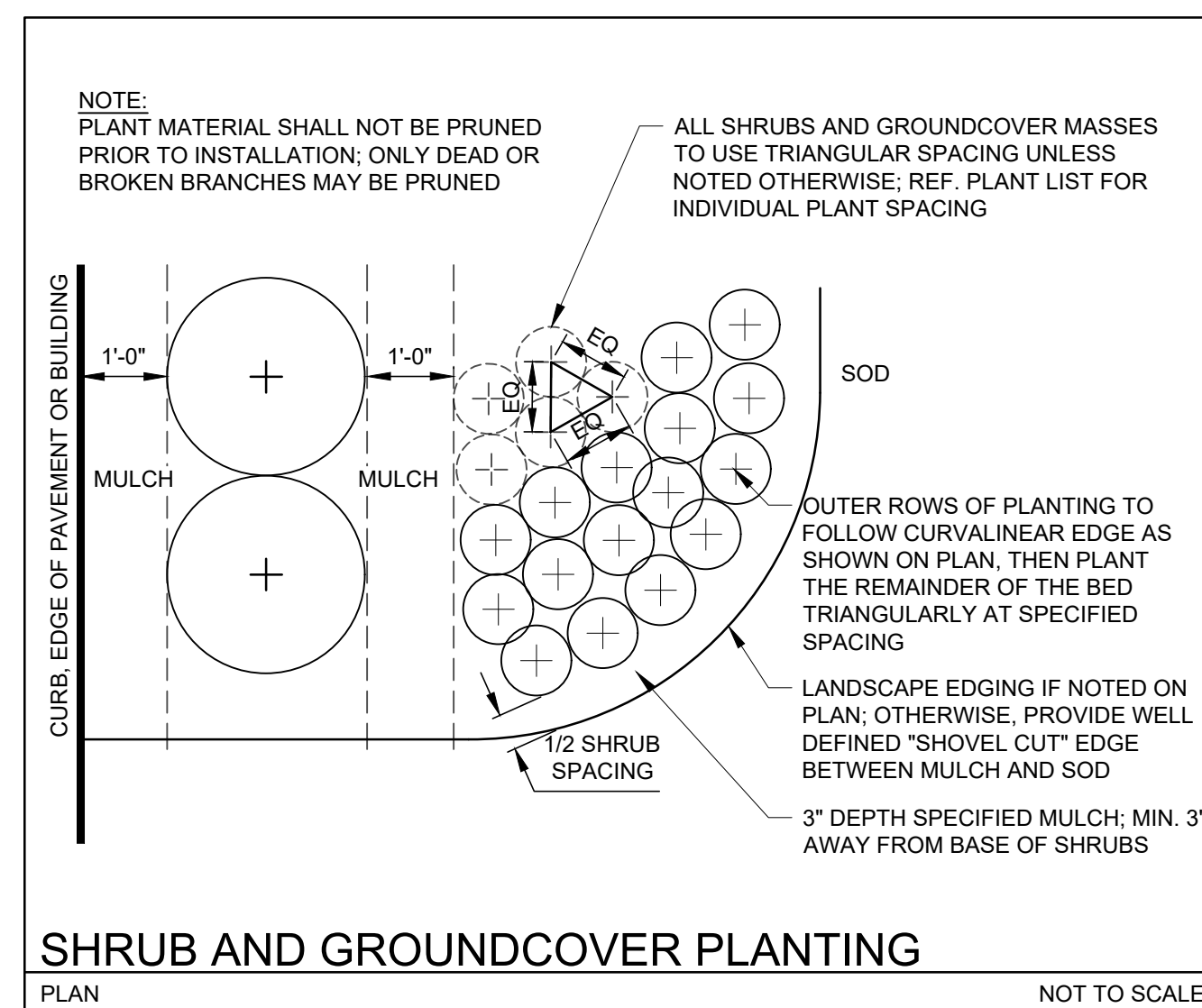
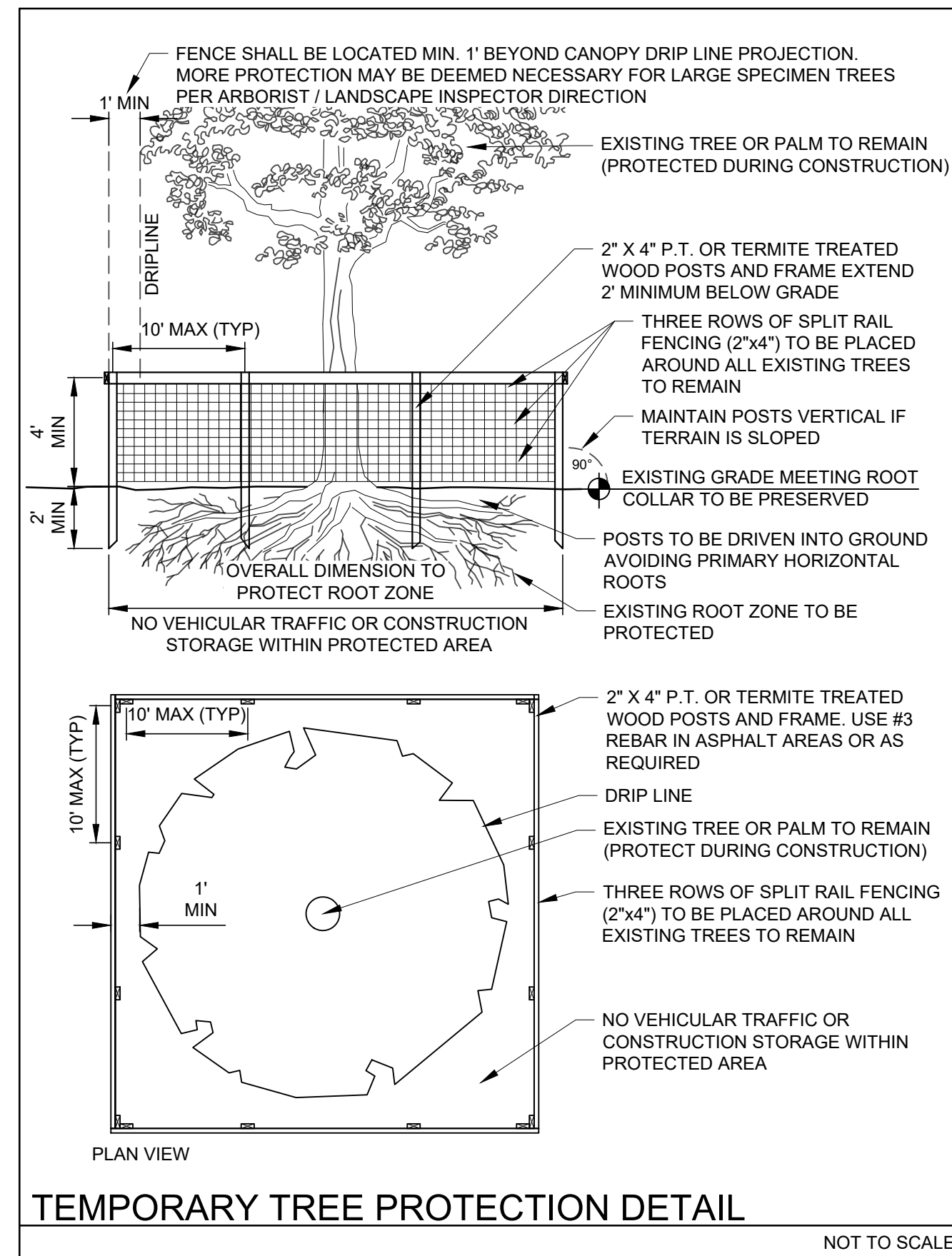
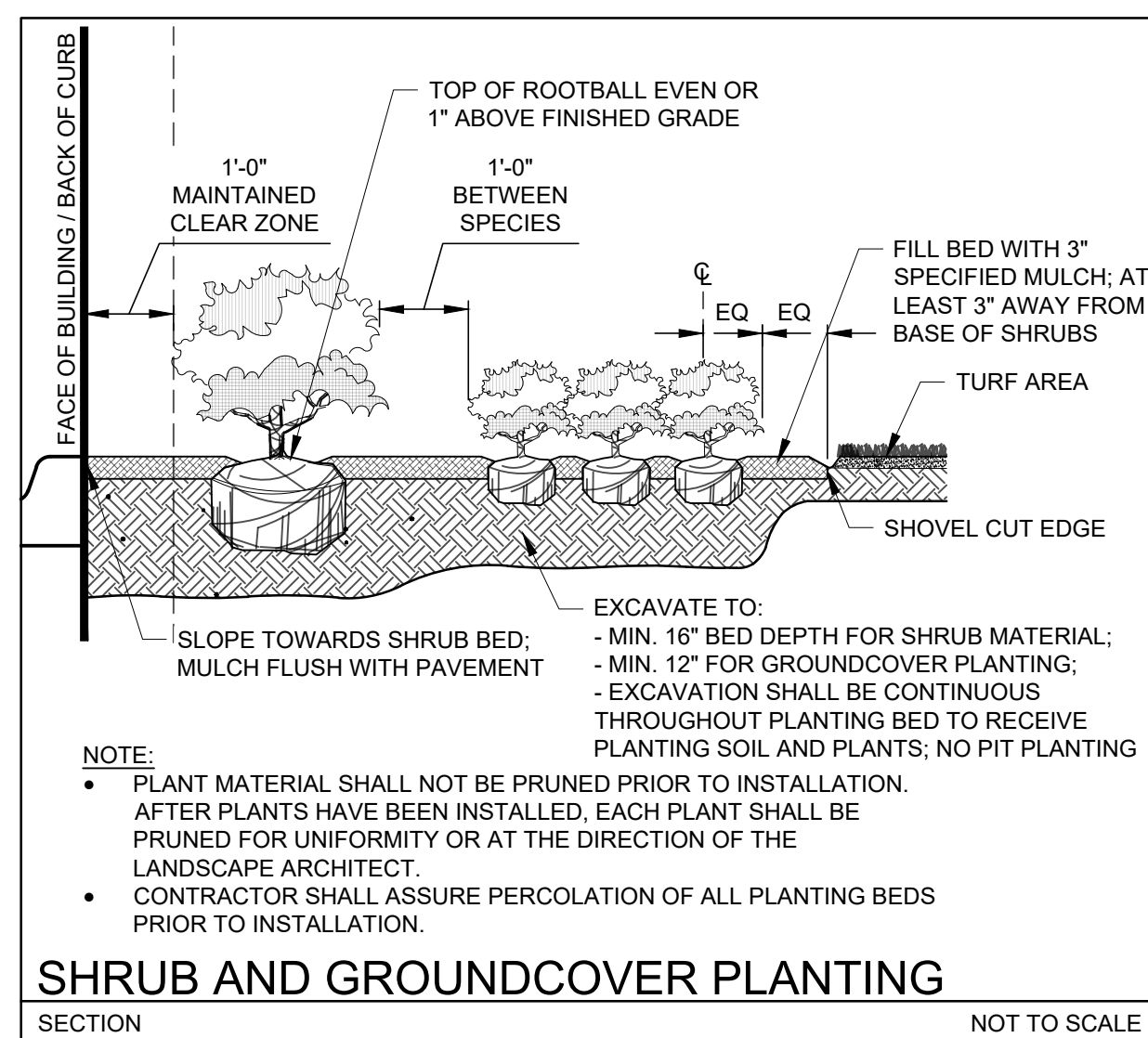
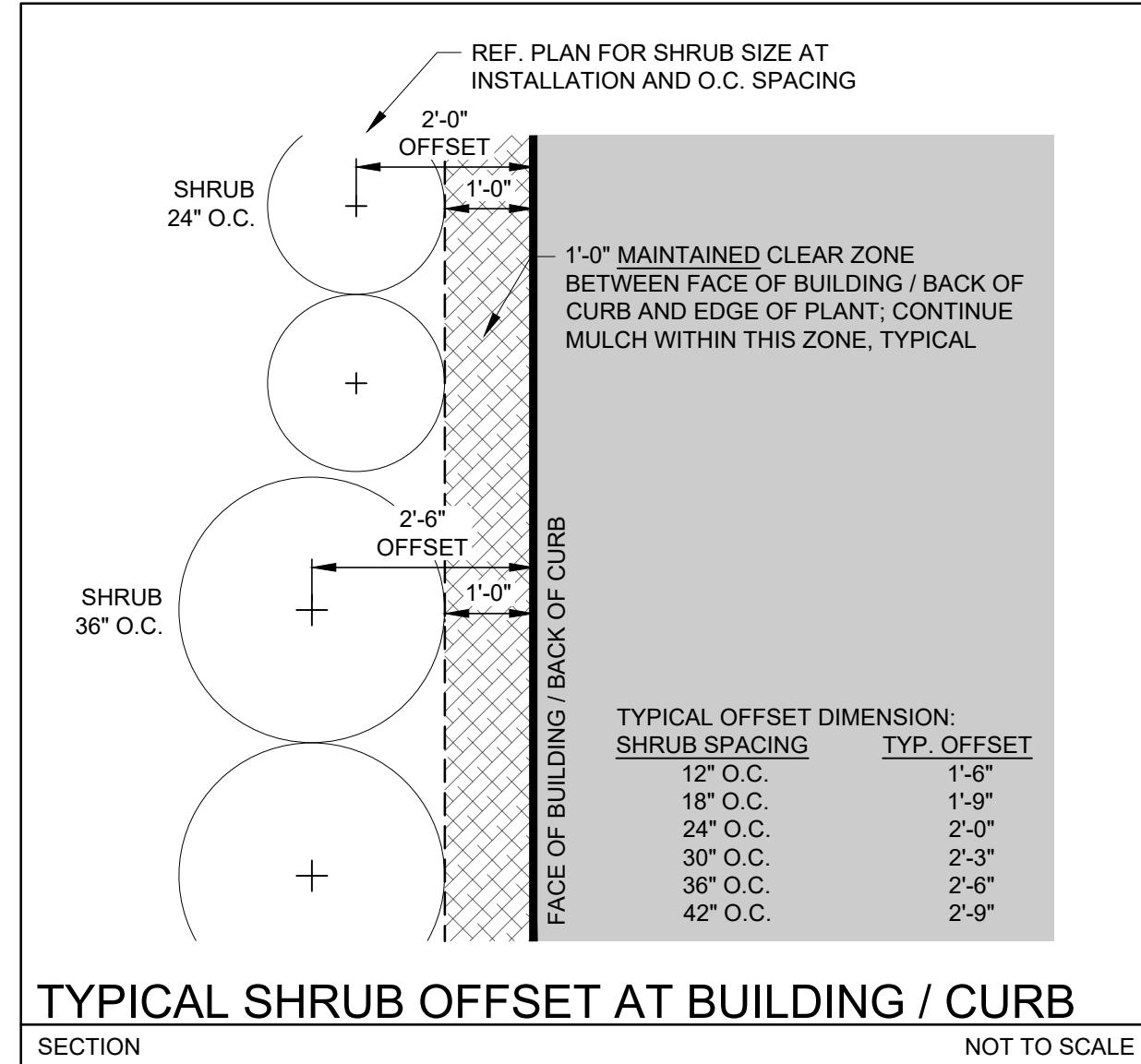
SHEET NUMBER
LP-101


SHEET of

PROJECT NO. **09725.64**

Drawing Name: N:\09725.64 - 11\043570\Coconut Creek, FL - C:\ghb\l\landscape\architect\09725.64-LP-101.dwg Layout Name: LP-101 Plotted by: S.Schuler Plotted on: Nov 07, 2018 3:41pm

- NOTE:**
- REF. LP-201-LP-202, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
 - ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.





KEITH

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BID / CONTRACT NO.:

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7-ELEVEN #34941

4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED

1ST SUBMITTAL DATE: FEB. 2019

DRAWN BY: KS

DESIGNED BY: MP

CHECKED BY: MP

**LANDSCAPE
DETAILS**

SHEET TITLE

**LANDSCAPE
DETAILS**

SHEET NUMBER

LP-501

SHEET of

PROJECT NO. 09725.64

Drawing name: H:\09725.64 - 7-11 17043370 Coconut Creek, FL - C:\ghb\l\landscape\architecture\CAD\09725.64-LP-501.dwg Layout Name: LP-501 Plotted by: KSchuler Plotted on: Sep 25, 2019 4:03pm

A. SCOPE

1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.

D. BIDDING

1. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation. Contractors and Subs must ensure they are doing take offs from Bldg Dep. Revised specs and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.

C. GENERAL LANDSCAPE NOTES

1. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as required.

B. PERMITS & REGULATIONS

1. Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the city prior to the issuance of the first building permit for the project. Landscape contractor to call the city Landscape Inspector to schedule a pre-construction meeting prior to installation if required.

A. TREE REMOVAL

1. Removal of any trees or palms will require a written 'tree removal permit' from the local governing agency prior. Set tree non-native trees classified as 'prohibited' trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.

F. EXISTING TREES

1. Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the appraised value. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.

6. All existing trees shall be 'lifted and thinned' to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas.

G. TREE RELOCATION (These notes for relocation trees only and if applicable)

1. Flag all trees and palms to be transplanted with differentiating color than those to be saved or removed. Tree Relocation process must be performed or supervised by ISA Certified Arborist.

H. SITE PREPARATION & GRADING

1. Landscape contractor shall loosen and lift compacted soils that are overly compacted in all planting areas of the project to provide for proper soil aeration for plant establishment.

J. HARDSCAPE & OTHER MATERIALS

1. Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved surfaces, unless otherwise indicated on the plans. Refer to details.

K. UTILITIES / CLEARANCES

1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.

L. ROOT BARRIERS

1. Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new approved construction or may be deemed necessary as job progresses.

N. PLANT SIZE & QUALITY

1. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications given cannot be met.

O. PLANTING NOTES

1. At the discretion of the Landscape Architect, plants are subject to review for approval for size, variety, condition and appropriateness to the design intent.

P. FERTILIZATION

1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform 20-10-5 Plus

minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart:

Table with columns: Agriform@ 21-gm Tablets (SKU# 90026*), NEW Tree / Shrub Container Size, 1 Gal, 2 Gal, 3 Gal, 5 Gal, 7 Gal, 15 Gal, 24" Box. Installation: 1 to 2, 2 to 3, 2 to 3, 2 to 3, 3 to 5, 7 to 10, 15 to 24.

Q. SOD

1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted. These disturbed areas shall have proper irrigation established or re-established if they were disrupted or non-functional.

R. INSPECTION & ACCEPTANCE

1. Notify the governing Agency if required and Landscape Architect of commencement. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner.

S. MULCH

1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch.

T. WATERING

1. All plant material shall be watered in thoroughly at the time of planting. The sole responsibility of the Landscape Contractor to ensure that all new plantings receive adequate water during the installation and until completion of contract.

U. CLEAN UP

1. The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner. The contractor is responsible for mowing the entire project during planting and establishment periods.

V. MAINTENANCE

1. The Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.

X. MISCELLANEOUS

1. All work to be done by a professional manner. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.

Y. ABBREVIATIONS IN NOTES AND PLANS

U.O.N = Unless Otherwise Noted
L.A = Landscape Architect
S.F = Square Feet
STD = Standard (single trunk)



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Fort Lauderdale, Florida 33316

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

Table with columns: NO., DESCRIPTION, DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION. THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.



7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

SCALE: AS NOTED

1ST SUBMITTAL DATE: FEB. 2019

DRAWN BY: KS

DESIGNED BY: MP

CHECKED BY: MP

WARRANTY & REPLACEMENT

1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner.

SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

LP-201

SHEET of

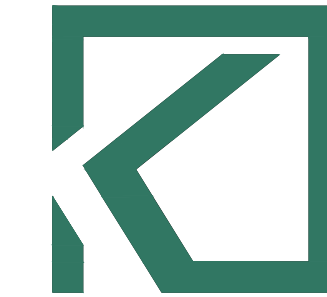
PROJECT NO. 09725.64

D

C

B

A



KEITH

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Pompano Beach, Florida 33060-6643

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COCONUT CREEK, FL 33063

SCALE: AS NOTED

1ST SUBMITTAL DATE: FEB. 2019

DRAWN BY: KS

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MICHAEL J. PHILLIPS, RLA
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

SHEET TITLE

LANDSCAPE NOTES

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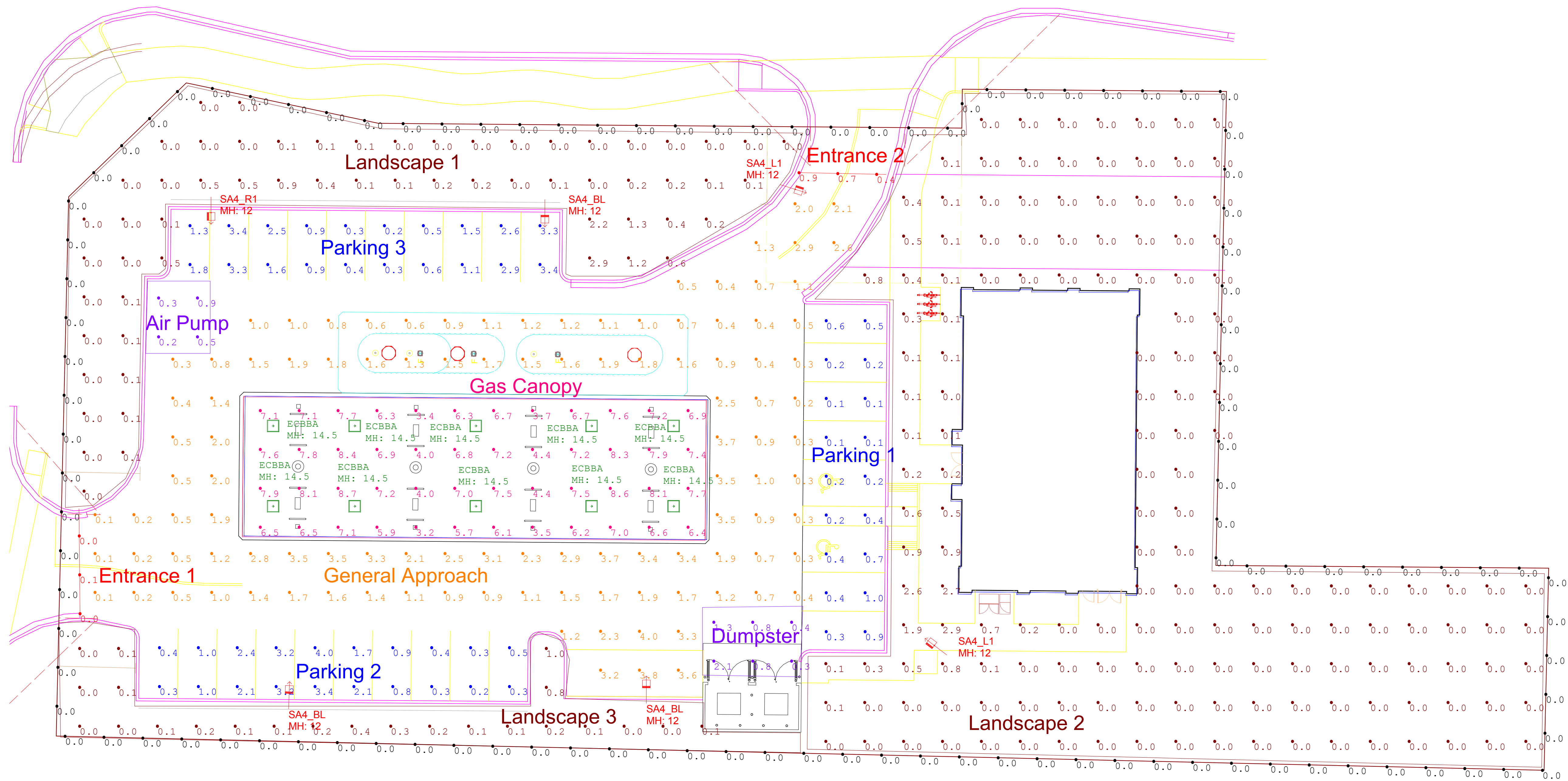
LP-202

SHEET of

PROJECT NO. 09725.64

CITY OF COCONUT CREEK STANDARD LANDSCAPE NOTES:

- ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED IN THE CITY OF COCONUT CREEK LAND DEVELOPMENT CODE. PLANS ARE INCOMPLETE WITHOUT WRITTEN NOTES AND SPECIFICATIONS.
- ALL PLANTING MATERIAL SHALL MEET OR EXCEED FLORIDA GRADE #1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. TREES SHALL NOT BE TIPPED, TOPPED, OR SHAPED PRIOR TO INSTALLATION.
- LANDSCAPE SHALL BE PLACED TO EDGE OF ABUTTING STREETS, CANALS, LAKES OR OTHER LANDS.
- ALL MECHANICAL EQUIPMENT, AIR CONDITIONING, IRRIGATION PUMP STATIONS AND EQUIPMENT, FPL TRANSFORMERS, POOL PUMPS, ETC., MUST BE SCREENED ON THREE (3) SIDES BY LANDSCAPE SHRUBS.
NOTE: THE QUANTITY OF SCREENING SHRUBS IS IN ADDITION TO THE REQUIRED NUMBER OF SHRUBS AS PROVIDED IN THE CODE CALCULATION TABLE. ALL SCREENING SHRUBS SHALL BE PLANTED FOR PROPER OPERATION OF EQUIPMENT BEING SCREENED AND/OR PER THE REQUIREMENTS OF THE UTILITY AS NECESSARY. ALL HEDGE MATERIAL REQUIRED FOR SCREENING PURPOSES SHALL BE PLANTED WITH BRANCHES TOUCHING. ADJUST ON-CENTER SPACING AS NECESSARY AND/OR PROVIDE ADDITIONAL PLANTS TO PROVIDE AN ADEQUATE SCREEN.
- SIGHT DISTANCE CONCERNS MUST BE MAINTAINED FOR CLEAR SIGHT VISIBILITY FROM THIRTY (30) INCHES TO SEVENTY-TWO INCHES. TREE TRUNKS EXCLUDED. MEASUREMENT SHALL BE MADE FROM TOP OF ROOT BALL PLANTED AT PROPER ELEVATION.
- GUYING/STAKING PRACTICES SHALL NOT PERMIT NAILS, SCREWS, WIRES, ETC., TO PENETRATE OUTER SURFACES OF TREES, PALMS OR OTHER PLANT MATERIAL. TREES, PALMS AND PLANT MATERIAL REJECTED DUE TO THIS PRACTICE SHALL BE REPLACED WITH THE INSPECTOR ON SITE.
- BURLAP MATERIAL, WIRE CAGES, PLASTIC/CANVAS STRAPS, ETC., MUST BE CUT AND REMOVED FOR THE TOP ONE-HALF (1/2) DEPTH OF THE ROOT BALL. TREES AND SHRUBS GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE SUCH MATERIAL REMOVED ENTIRELY PRIOR TO PLANTING THE TREE OR SHRUB.
- ALL PLANT MATERIAL SHALL BE FREE OF PESTS, INSECTS, DISEASE, WEEDS, ETC.
- ALL REQUIRED LANDSCAPE MATERIAL SHALL BE INSTALLED USING A PLANTING SOIL MIX COMPRISED OF A TYPE APPROPRIATE TO THE INDIVIDUAL PROPOSED PLANT MATERIAL AND THE NATIVE SOIL FOUND ON THE SITE.
- ALL PLANT MATERIAL SHALL BE PLANTED AT THE PROPER DEPTH, AS ORIGINALLY GROWN AND/OR SO THE TOP OF THE ROOT BALL IS FLUSH OR SLIGHTLY ABOVE FINISHED GRADE IMMEDIATELY AFTER PLANTING. ALL TREES SHOULD PROVIDE TRUNK TAPER WHEN PROPERLY PLANTED AT THE CORRECT PLANTING DEPTH.
- ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING TO ELIMINATE AIR POCKETS IN THE ROOT ZONE AREA.
- UPON COMPLETION OF WORK, THE SITE SHALL BE CLEARED OF ALL DEBRIS, SUPERFLUOUS MATERIALS, AND EQUIPMENT CAUSED BY THIS PERMIT TO THE SATISFACTION OF THE INSPECTOR.
- REFER TO COCONUT CREEK FIRE EQUIPMENT CLEAR ZONE DIAGRAM TO MAINTAIN A SAFE ZONE FRONTING FIRE HYDRANTS.
- DO NOT PLANT TREES, SHRUBS OR GROUNDCOVER WITHIN ELECTRIC METER CLEAR ZONE. PROVIDE A SAFE ZONE AS DESCRIBED BY THE ELECTRICAL INSPECTOR.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH 50% OVERLAP (MINIMUM) USING RUST FREE WATER. EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER AN IMPERVIOUS SURFACE SUCH AS A SIDEWALK, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 P.M. TO 8:00 A.M. ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
- IRRIGATION PERMITS AND PLANS SHALL BE SUBMITTED FOR APPROVAL AT TIME OF BUILDING PERMITS.
- ALL NON-SINGLE FAMILY OR DUPLEX IRRIGATION SYSTEMS OTHER THAN CITY WATER SYSTEMS SHALL REQUIRE A SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE PERMIT PRIOR TO ISSUANCE OF AN IRRIGATION PERMIT AND INSTALLATION OF THE IRRIGATION SYSTEM AS REQUIRED.
- ALL SITE AMENITIES TO INCLUDE SITE STREET LIGHTS, LANDSCAPE COMMON OPEN SPACE, IRRIGATION COMMON OPEN SPACE, BUFFERS, BERMS, LANDSCAPE ENTRY FEATURES, ETC. LEADING UP TO AND INCLUDING THE MODEL CENTER AND/OR FIRST CERTIFICATE OF OCCUPANCY MUST BE COMPLETED AND FUNCTIONAL PRIOR TO ISSUANCE OF THE FIRST REQUESTED CERTIFICATE OF OCCUPANCY.
- THE HEIGHT OF ALL REQUIRED, DESIGNED AND INSTALLED BERMS SHALL BE FROM THE HIGHEST ADJACENT POINT WHETHER IT IS THE SIDEWALK, PARKING AREA, VEHICULAR USE AREA, SURROUNDING GROUND, ETC. WHERE A BERM ABUTS A SIDEWALK, THERE SHALL BE A ONE (1) FOOT LEVEL SOD AREA ADJACENT TO THE SIDEWALK PRIOR TO THE START OF INCLINE FOR THE BERM.
- AN INSPECTION IS REQUIRED PRIOR TO THE BACKFILLING OF TREES/PALMS IN ALL PARKING MEDIANS AND ISLANDS.



Scale: 1 inch= 15 Ft.



THIS IS A D SIZE SHEET. THE NOTED SCALE IS NOT VALID IF PRINTED AS ANY OTHER SIZE.

Calculated light levels are based on specific information that has been supplied to GE. Any differences in luminaire installation, lighted area geometry and construction in the lighted area may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire production will affect results.
Ref: IES LM-61-06

Provided for:
John Downing
CURRENT, POWERED BY GE

Provided By:
Application Solution Center
Current, Powered by GE
NELA Park, East Cleveland OH
P: 1-216-266-4660

Designer: Joshua Watkins

Date: 1/17/2019

GE Drawing #: A190217-7-Eleven#34941 Coconut Creek, FL V4.AGI

7-ELEVEN STORE #34941
4990 & 4960 Coconut Creek Pkwy, Coconut Creek, FL
MOUNTING HEIGHT AS NOTED
MAINTAINED LIGHTING LEVELS INDICATED

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Arr. Lum. Lumens
	10	ECBBA	SINGLE	1.000	ECBB0A5F5501AWHTE	35	4230
	2	SA4_L1	SINGLE	1.000	1-EASC0A4F550DC___D with ELSEASXRS1BLCK (Left)	44	2400
	1	SA4_R1	SINGLE	1.000	1-EASC0A4F550DC___D with ELSEASXRS1BLCK (Right)	44	2400
	3	SA4_BL	SINGLE	1.000	1-EASC0A4F550DC___D with ELSEASXRBLBLCK	44	4000

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Air Pump	Illuminance	Fc	0.48	0.9	0.2	2.40	4.50
Dumpster	Illuminance	Fc	0.95	2.1	0.3	3.17	7.00
Entrance 1	Illuminance	Fc	0.03	0.1	0.0	N.A.	N.A.
Entrance 2	Illuminance	Fc	0.67	0.9	0.4	1.68	2.25
Gas Canopy	Illuminance	Fc	6.63	8.7	3.2	2.07	2.72
General Approach	Illuminance	Fc	1.48	4.0	0.1	14.80	40.00
Landscape 1	Illuminance	Fc	0.23	2.9	0.0	N.A.	N.A.
Landscape 2	Illuminance	Fc	0.12	2.9	0.0	N.A.	N.A.
Landscape 3	Illuminance	Fc	0.18	1.0	0.0	N.A.	N.A.
Parking 1	Illuminance	Fc	0.37	1.0	0.1	3.70	10.00
Parking 2	Illuminance	Fc	1.43	4.0	0.2	7.15	20.00
Parking 3	Illuminance	Fc	1.64	3.4	0.2	8.20	17.00
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

City ordinances:
Property line cannot exceed 0FC

Due to these ordinances, this design does not meet 7-Eleven spec.

C1 mount to be used for all pole fixtures, which will prevent them from being tilted.

There are no after hours for this store as it is open 24/7

Lighting Compliance Chart			
Lamp Descriptions	QTY	Luminaire Lumens	Total
44w LED	3	2400	7200
35w LED	10	4230	42300
44w LED	3	4000	12000
TOTAL LUMINAIRE LUMENS			61500
Site allowed Total Lumes (lumens per SF x hardscape)			171173
PROJECT IS COMPLIANT			YES

Standard 7-Eleven Lighting Specification	
Entrances	10FC AVG
Air Pump	10FC
Gasoline Canopy	30FC
Dumpster	10FC
Parking	10FC
General Approach	3FC
Sidewalk	NO SPEC
Property Line	NO SPEC
* Levels designed to be at initial output or 1.0LLF	



current powered by GE

Calculated light levels are based on specific information that has been supplied to GE. Any differences in luminaire installation, lighted area geometry and production in the lighted area may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire production will affect results.
Ref: ES LM-01-06

Provided for:
John Downing
CURRENT, POWERED BY GE

Provided BY:
Application Solution Center
Current, Powered by GE
NELA Park, East Cleveland OH
P: 1-216-266-4660

Designer: Joshua Watkins
Date: 1/17/2019
GE Drawing #: A180217-7-Eleven#34941 Coconut Creek, FL v4 AGI

7-ELEVEN STORE #34941
4990 & 4960 Coconut Creek Pkwy, Coconut Creek, FL
MOUNTING HEIGHT AS NOTED
MAINTAINED LIGHTING LEVELS INDICATED

General Symbols

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Centerline & Baseline of Survey or Construction, Building Access (ADA), Building Access (NON-ADA), Driveway Turnout Identification, Sidewalk Curb Ramp, Proposed Section Marker, Flag Pole, GPS Point, Hay Bales, Mail Box, Major Contour Elevation, Minor Contour Elevation, Parking Meter, Property Line, Grade Elevation, Top Of Curb Elevation/Pavement Elevation, Soil Test Boring Hole, Survey Bench Mark.

Line Types

Table with 3 columns: Existing, Proposed, Description. Includes symbols for County Bound, Demolition Line, Easement Line, Property Line, Limited Access Line/Non-Vehicular Access, Railroad, Right Of Way, Canal Or Drainage Ditch, Shore Line, Tree Line, Aerial Communication Line, Underground Communication Line, Underground Storm Drain Line, Underground Sanitary Line, Aerial Electric Line, Underground Electric, Underground Water Line, Underground Non Potable Water Line, Underground Force Main, Gate, Chain Link Fence, Wood Fence, Metal Rail Fence, Silt Fence, Staked Turbidity Barrier, Turbidity Barrier, Guard Rail, Roadway Centerline, 2 - 4 Skip, 3 - 9 Skip, 6 - 10 Skip, 10 - 30 Skip, 10 - 10 - 20 Skip, Curb, Curb And Gutter.

Landscaping

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Bush, Tree, Palm Tree.

Paving and Grading

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Flow Directional Arrow, Pavement Marking Arrows, Stop Bar, Concrete Sidewalk, Jogging Path, Pavement Area, Existing Pavement/Concrete/ Landscape Removal Area, Milling And Resurfacing, Detectable Warning (Truncated Domes) Per Florida Accessibility Code, Soil Tracking Prevention Device.

Drainage / Utilities

Table with 3 columns: Existing, Proposed, Description. Includes symbols for Catch Basin, Yard Drain, Exfiltration Trench, Catch Basin With Filter Fabric Insert, Curb Type 5, Curb Type 6, Pipe Culvert - Mitered End Section, Pipe Culvert - Straight Endwall, Pipe Culvert - U - Type Endwall, Manhole - Communication, Electric, Gas, Dm, San Sew, Valve Box - Gas, San, Sew, Water, Non-Potable Water, 22.5 degree Bend, 45 degree Bend, 90 degree Bend, Utility Crossing, Fire Hydrant, Proposed Bacteriological Sampling Point, Pump Station, Grease Trap, Septic Tank, Drainage Well, Monitoring Well, Water Well, Sanitary Sewer Cleanout, Back Flow Preventor, Junction Box, Electric Handhole, Electric Meter, Water Meter, Gate Valve, Guy wire, Light Pole, Relocated Or Adjusted Light Pole, Wood Power Pole, Concrete Utility Pole, Traffic Signal Pole (Concrete, Wood, Metal), Pedestrian Signal Head (Pole Or Pedestal Mounted), Post Mounted Sign, Street Sign, High Mast Lighting Tower, Controller Cabinet (Base Mounted), Controller Cabinet (Pole Mounted), Traffic Signal Head (Span Wire Mounted), Traffic Signal Head (Pedestal Mounted), Traffic Signal Head (Mast Arm Mounted).

N: 623025.4322
E: 850262.1786
Coordinate values shown on proposed improvements are relative to the coordinate values indicated on the Right-of-Way, property corners or reference monument

Table with 2 columns: General, Abbreviations. Lists various engineering abbreviations such as AADT, ABAN, ADJ, APPROX., ACCM PIPE, BIT., BC, BD., BL, BLDG, BM, BO, BOS, BR., CAP, CB, CBCI, CC, CCM, CEM, CI, CIP, CLF, CL, CMP, CO., CONC, CONT, CONST, CR GR, DHV, DI, DIA, DIP, DWY, ELEV (OR EL.), EMB, EOP, EXIST (OR EX), EXC, F&C, F&G, FDN., FLDSTN, GAR, GD, GI, GIP, GRAN, GRAV, GRD, GV, HDW, HMA, HOR, HYD, INV, JCT, L, LB, LP, LT, MAX, MB, MEG, MH, MIN, NIC, NO., PC, PCC.

Abbreviations Continued

Table with 2 columns: Abbreviations Continued. Lists abbreviations such as P.G.L., PI, POC, POT, PRC, PROJ, PROP, PT, PVC, PVI, PVT, PVMT, PWW, R, R&D, RCP, RD, RDWY, REM, RET, RET WALL, ROW, RR, R&R, RT, SHLD, SMH, ST, STA, SSD, SW, T, TAN, TEMP, TC, TOS, TSV, TYP, UP, VAR, VERT, VC, WCR, WIP, WM, X-SECT.



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REVISIONS

Table with 3 columns: NO., DESCRIPTION, DATE. Empty table for revisions.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
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RESPONSIBILITY FOR THE USE OF THESE
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7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

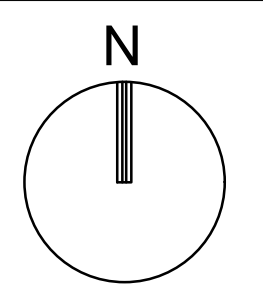
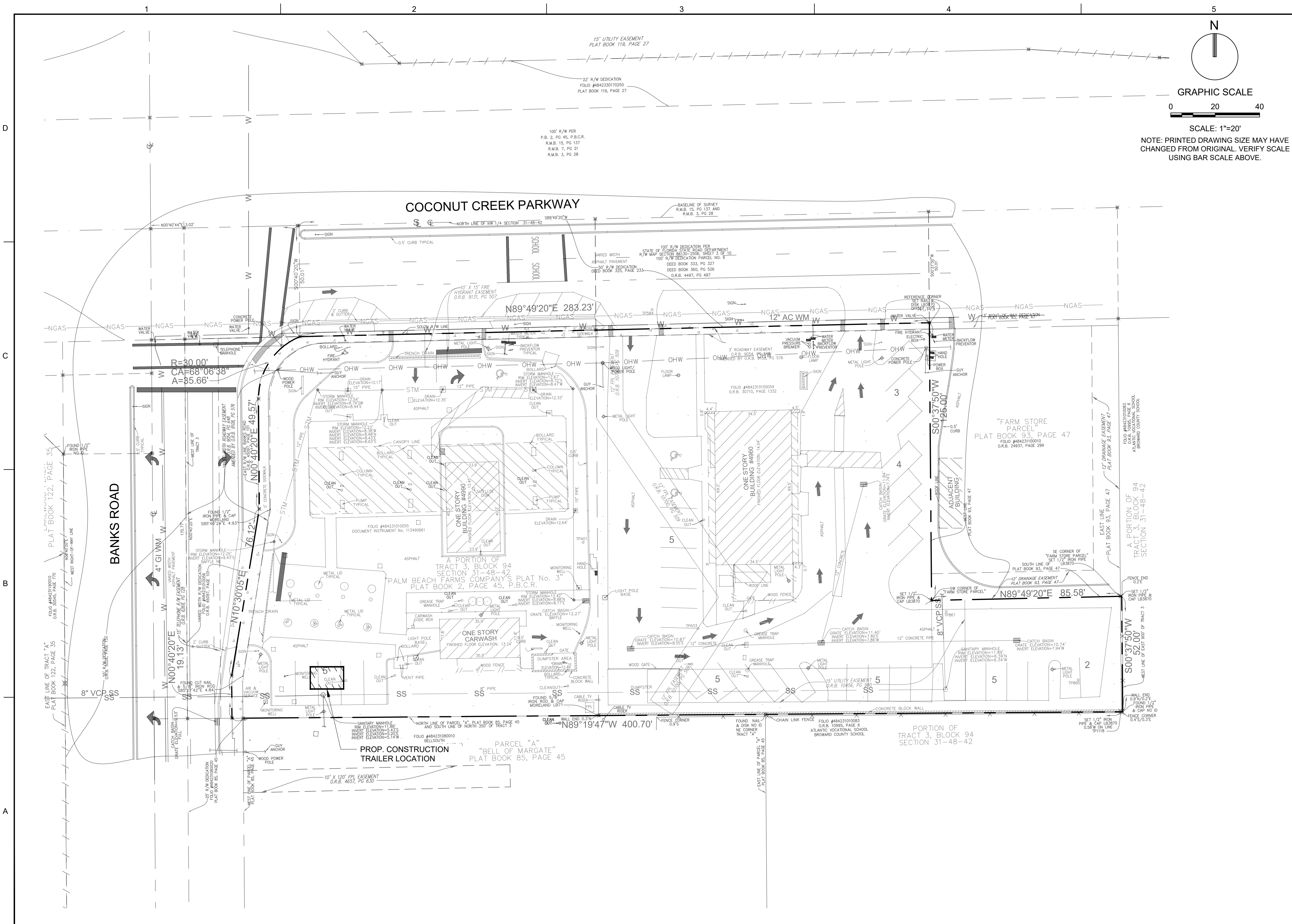
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DATE ISSUED: FEBRUARY 2019
DRAWN BY: AM
DESIGNED BY: MG
CHECKED BY: TD

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE
LEGEND

SHEET NUMBER
GI-001

PROJECT NO. 09725.64



GRAPHIC SCALE
0 20 40

SCALE: 1"=20'
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



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COCONUT CREEK, FL 33063

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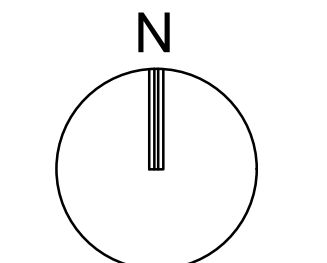
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE
**CONSTRUCTION
TRAILER PLAN**

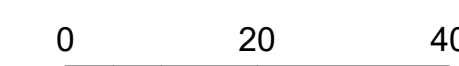
SHEET NUMBER
CT-101

PROJECT NO. 09725.64

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GRAPHIC SCALE



SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



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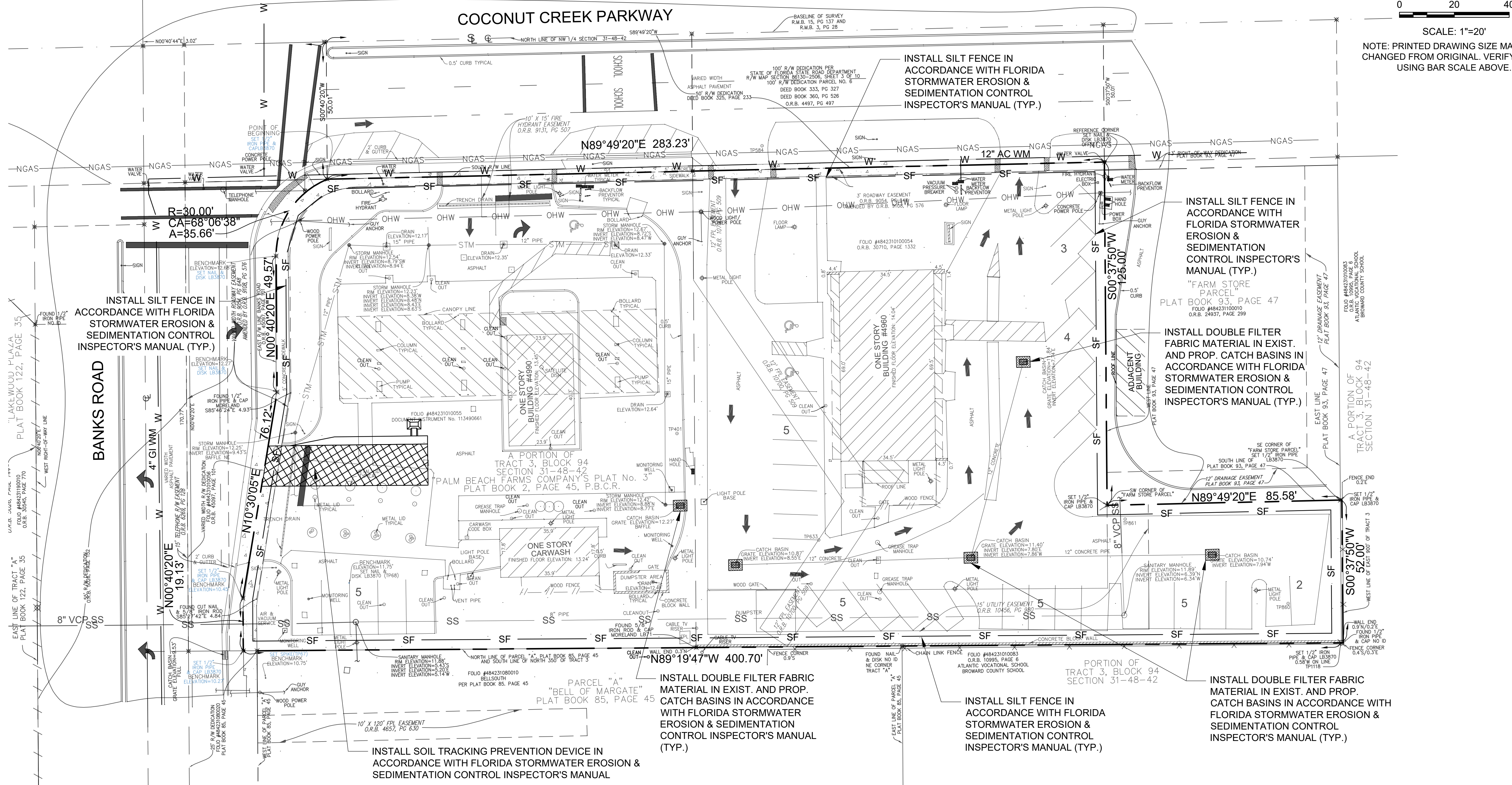
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE
**EROSION AND
SEDIMENTATION
CONTROL PLAN**

SHEET NUMBER
CG-101

PROJECT NO. 09725.64

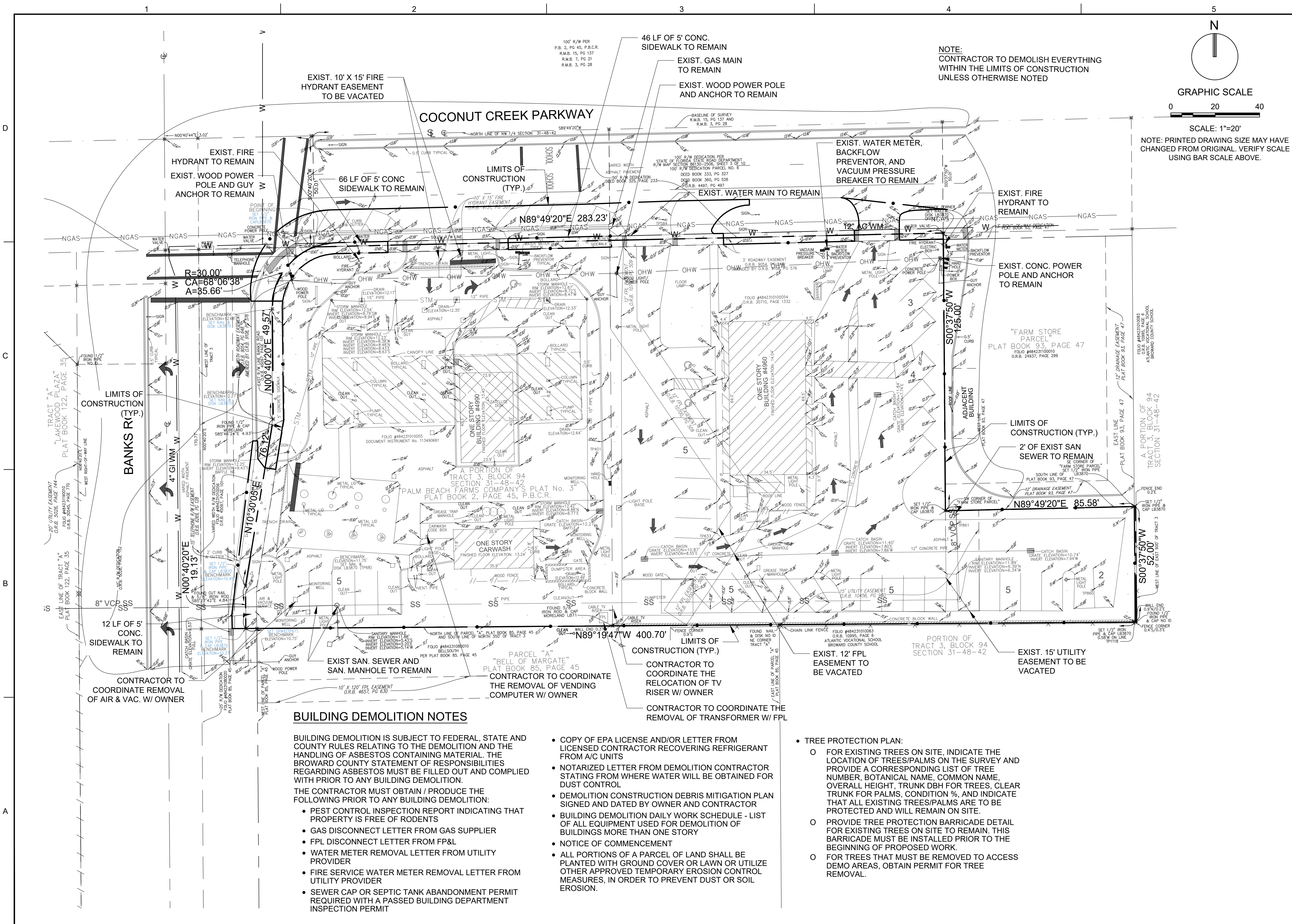
COCONUT CREEK PARKWAY



GENERAL NOTES - EROSION CONTROL:

- THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
- MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
- CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
- THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
- ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODDED, REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
- REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.

Drawing name: N:\09725.64 - 7-11\04357\Coconut Creek, FL - Civil\Storm\Engineering\CG-101 - Erosion and Sedimentation Control Plan.dwg Layout Name: CG-101 Printed by: bkaawebster Plot Date: Nov 07, 2019 - 09:41 AM



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4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

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DESIGNED BY: MG
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THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
CD-101

PROJECT NO. **09725.64**

BUILDING DEMOLITION NOTES

BUILDING DEMOLITION IS SUBJECT TO FEDERAL, STATE AND COUNTY RULES RELATING TO THE DEMOLITION AND THE HANDLING OF ASBESTOS CONTAINING MATERIAL. THE BROWARD COUNTY STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS MUST BE FILLED OUT AND COMPLIED WITH PRIOR TO ANY BUILDING DEMOLITION.

THE CONTRACTOR MUST OBTAIN / PRODUCE THE FOLLOWING PRIOR TO ANY BUILDING DEMOLITION:

- PEST CONTROL INSPECTION REPORT INDICATING THAT PROPERTY IS FREE OF RODENTS
- GAS DISCONNECT LETTER FROM GAS SUPPLIER
- FPL DISCONNECT LETTER FROM FPL
- WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
- FIRE SERVICE WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
- SEWER CAP OR SEPTIC TANK ABANDONMENT PERMIT REQUIRED WITH A PASSED BUILDING DEPARTMENT INSPECTION PERMIT

- COPY OF EPA LICENSE AND/OR LETTER FROM LICENSED CONTRACTOR RECOVERING REFRIGERANT FROM A/C UNITS
- NOTARIZED LETTER FROM DEMOLITION CONTRACTOR STATING FROM WHERE WATER WILL BE OBTAINED FOR DUST CONTROL
- DEMOLITION CONSTRUCTION DEBRIS MITIGATION PLAN SIGNED AND DATED BY OWNER AND CONTRACTOR
- BUILDING DEMOLITION DAILY WORK SCHEDULE - LIST OF ALL EQUIPMENT USED FOR DEMOLITION OF BUILDINGS MORE THAN ONE STORY
- NOTICE OF COMMENCEMENT
- ALL PORTIONS OF A PARCEL OF LAND SHALL BE PLANTED WITH GROUND COVER OR LAWN OR UTILIZE OTHER APPROVED TEMPORARY EROSION CONTROL MEASURES, IN ORDER TO PREVENT DUST OR SOIL EROSION.

- TREE PROTECTION PLAN:
 - FOR EXISTING TREES ON SITE, INDICATE THE LOCATION OF TREES/PALMS ON THE SURVEY AND PROVIDE A CORRESPONDING LIST OF TREE NUMBER, BOTANICAL NAME, COMMON NAME, OVERALL HEIGHT, TRUNK DBH FOR TREES, CLEAR TRUNK FOR PALMS, CONDITION %, AND INDICATE THAT ALL EXISTING TREES/PALMS ARE TO BE PROTECTED AND WILL REMAIN ON SITE.
 - PROVIDE TREE PROTECTION BARRICADE DETAIL FOR EXISTING TREES ON SITE TO REMAIN. THIS BARRICADE MUST BE INSTALLED PRIOR TO THE BEGINNING OF PROPOSED WORK.
 - FOR TREES THAT MUST BE REMOVED TO ACCESS DEMO AREAS, OBTAIN PERMIT FOR TREE REMOVAL.

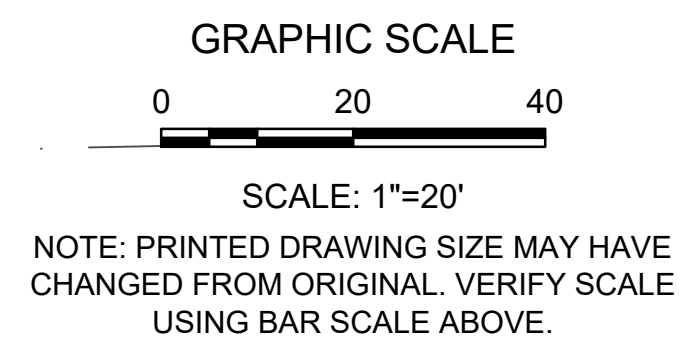
EXIST SAN. SEWER AND SAN. MANHOLE TO REMAIN

CONTRACTOR TO COORDINATE THE REMOVAL OF VENDING COMPUTER W/ OWNER

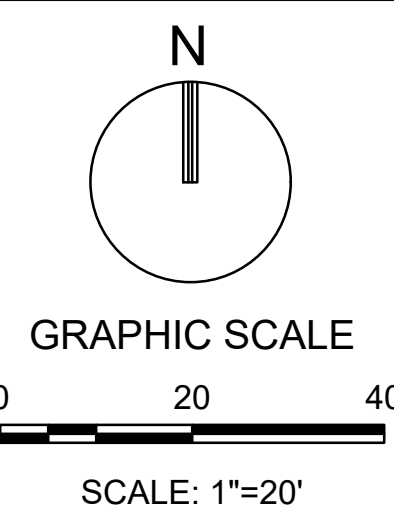
CONTRACTOR TO COORDINATE THE RELOCATION OF TV RISER W/ OWNER

CONTRACTOR TO COORDINATE THE REMOVAL OF TRANSFORMER W/ FPL

NOTE:
CONTRACTOR TO DEMOLISH EVERYTHING WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED



- | | | | | | | | |
|---|---|---|---|---|---|---|---|
| 1 | CONST. TYPE 'C' GRATE EL. = 11.85 INV. EL. = 7.00 (S) | 3 | CONST. DITCH BOTTOM INLET GRATE EL. = 10.00 INV. EL. = 7.00 (NW) | 5 | CONST. 4' Ø CURB INLET W/ PRB (NE) GRATE EL. = 10.71 INV. EL. = 7.00 (NE,S) | 7 | CONST. TYPE 'C' GRATE EL. = 10.37 INV. EL. = 5.00 (S,E) |
| 2 | CONST. 5' Ø CB W/ PRB (W,SE) GRATE EL. = 12.40 INV. EL. = 7.00 (N,SE,W) | 4 | CONST. 5' Ø CB W/ PRB (E) GRATE EL. = 10.94 INV. EL. = 7.00 (E,N,W) | 6 | CONST. DITCH BOTTOM INLET GRATE EL. = 10.00 INV. EL. = 7.00 (SW) | 8 | CORE DRILL AND CONNECT TO EXIST. CB EXIST. GRATE EL. = 9.53 EXIST. INV. EL. = 8.23 (SW) PROP. INV. EL. = 5.00 (N) |



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



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 COCONUT CREEK, FL 33063

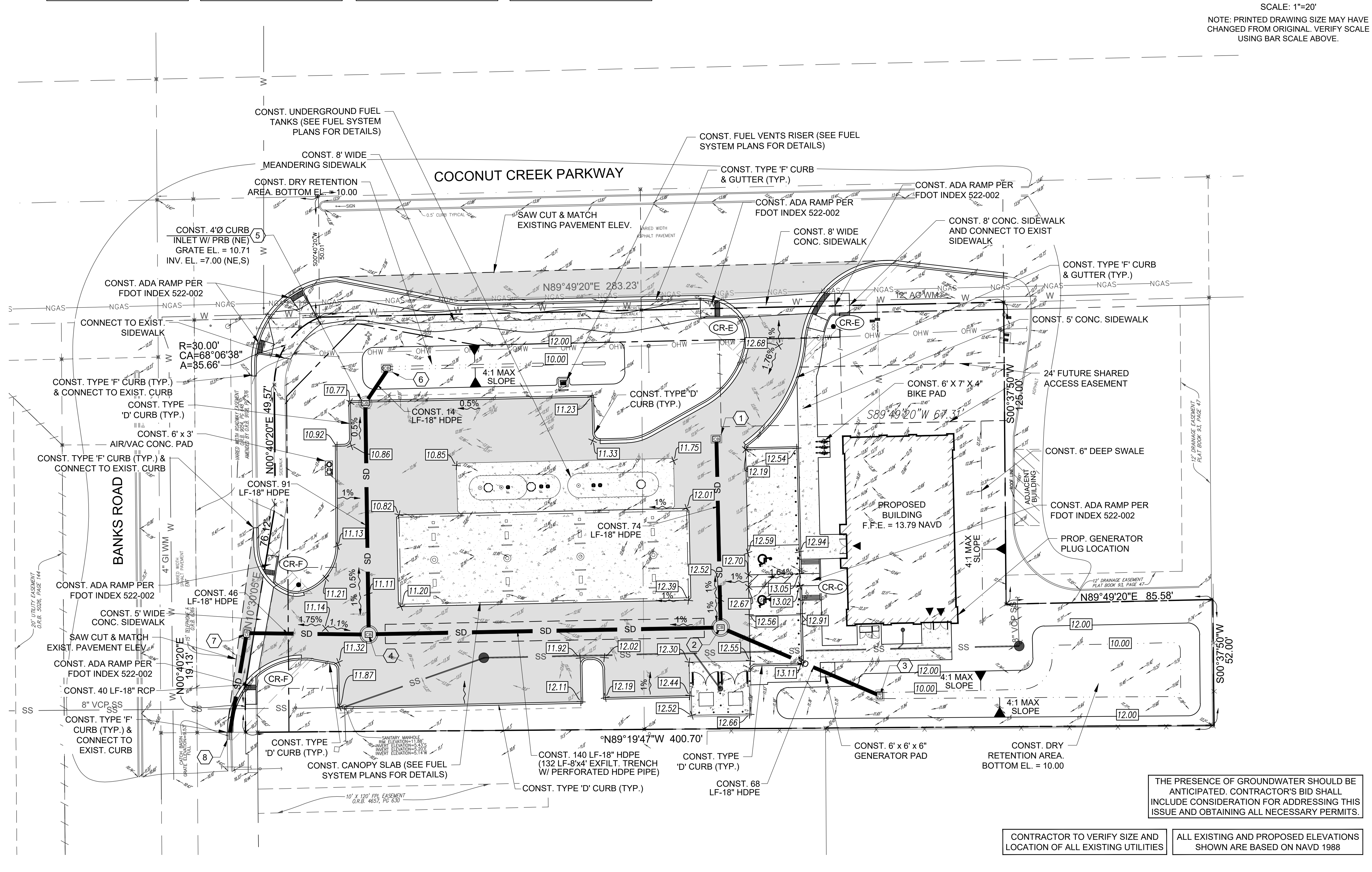
SCALE:	AS NOTED
DATE ISSUED:	FEBRUARY 2019
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DESIGNED BY:	MG
CHECKED BY:	TD

THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE
**PAVING, GRADING,
 AND DRAINAGE PLAN**

SHEET NUMBER
CP-101

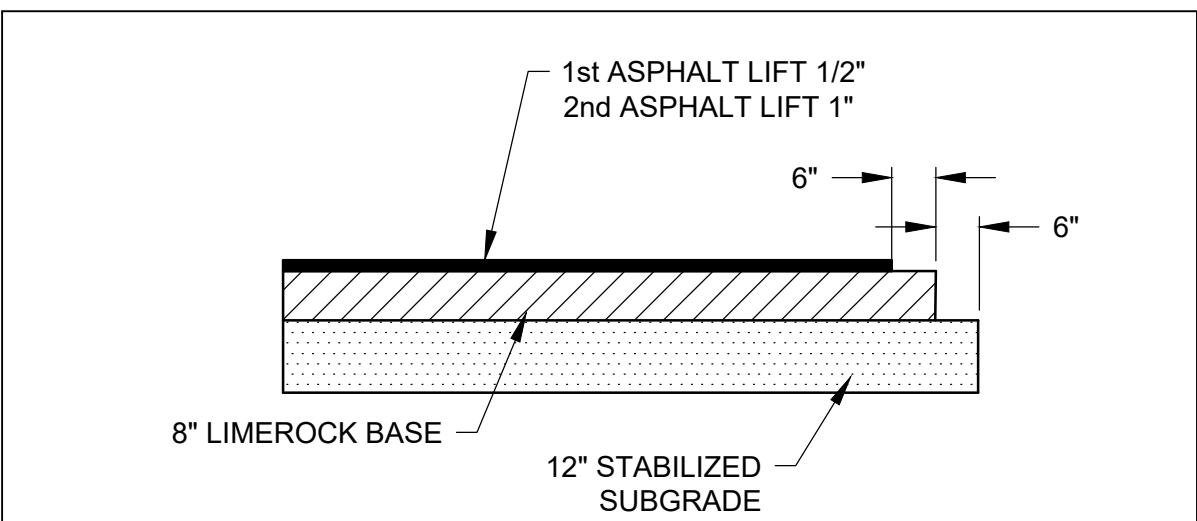
PROJECT NO. **09725.64**



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EXISTING UTILITIES

ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ARE BASED ON NAVD 1988



ASPHALTIC CONCRETE VEHICULAR:
 FIRST LIFT - 1/2" FDOT - SP 9.5 (FINE MIX).
 SECOND (FINAL) LIFT - 1" FDOT - SP 9.5 (FINE MIX).
 ASPHALT SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF FDOT STANDARDS SPECIFICATIONS SECTIONS 330 AND 334. SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL FINAL LANDSCAPE/HARDSCAPE HAS BEEN INSTALLED.

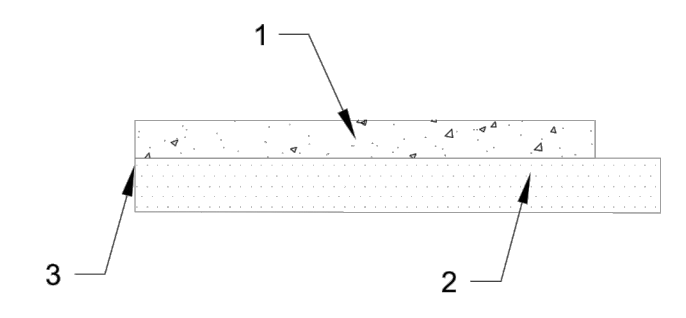
PRIME AND TACK COAT:
 LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF FDOT STANDARDS SPECIFICATIONS SECTION 300.
 APPLICATION RATES:
 PRIME COAT - 0.10 GALLONS PER SQ. YD.
 TACK COAT - 0.08 GALLONS PER SQ. YD.

BASE:
 8" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). LIMEROCK BASE TO CONFORM WITH THE REQUIREMENTS OF FDOT SPECIFICATIONS SECTIONS 200 AND 911. MINIMUM LBR = 100.

SUBGRADE:
 12" STABILIZED SUBGRADE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180); MINIMUM LBR = 40.

1 ASPHALT PAVEMENT DETAIL

SCALE: NOT TO SCALE



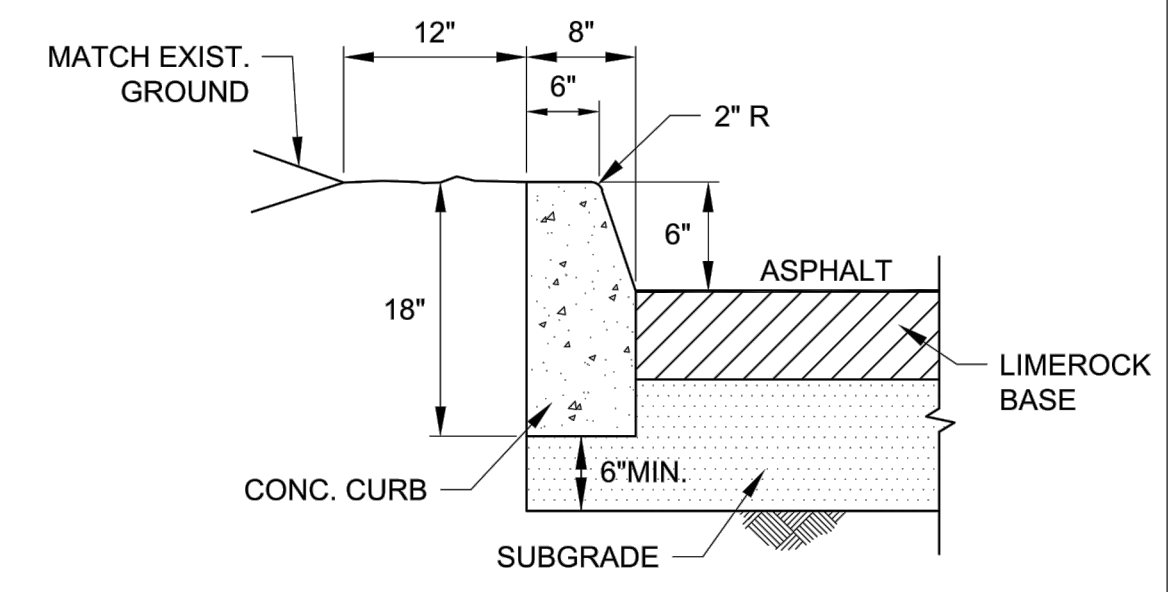
1. CONCRETE VEHICULAR COURSE:
 8" - 3,000 PSI CONCRETE PER FDOT SECTION 346 AND 350.

2. STABILIZED SUBGRADE:
 12" SUBGRADE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180).
 MINIMUM LBR = 40. GROUND ADJACENT TO PAVEMENT HAVING RUNOFF SHALL BE GRADED TWO INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD.

3. SAWED JOINTS:
 3/16" SAW CUT, 1 1/2" DEEP (WITHIN 12 HOURS), MAX. 15' O.C., AND MIN. 3' PARALLEL TO THE EDGE OF PAVEMENT.

3 CONCRETE PAVEMENT DETAIL

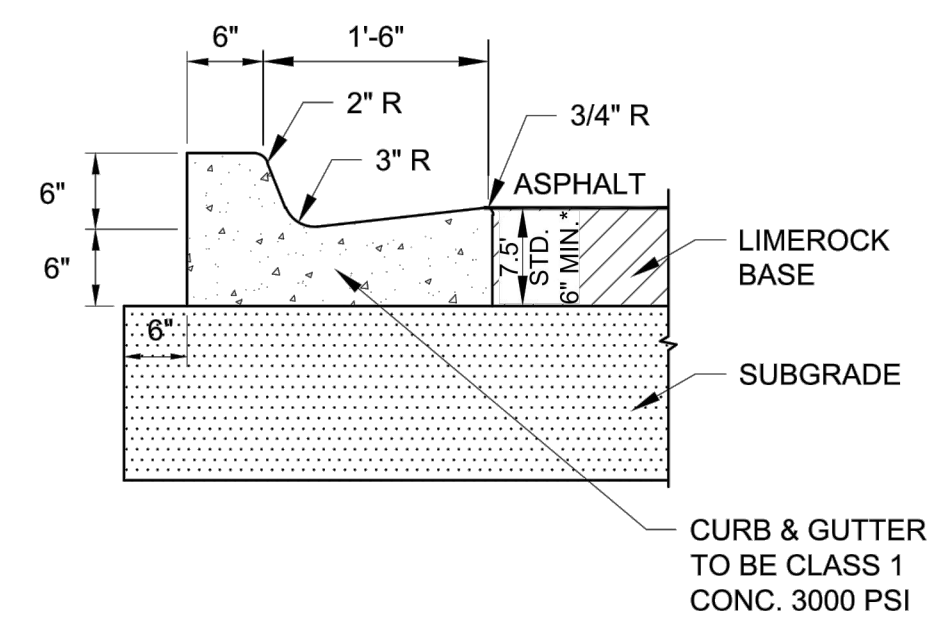
SCALE: NOT TO SCALE



NOTE:
 ALL TYPE "D" CURB SHALL BE IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF FDOT INDEX 300.

4 TYPE 'D' CURB DETAIL PER FDOT INDEX No. 300

SCALE: NOT TO SCALE

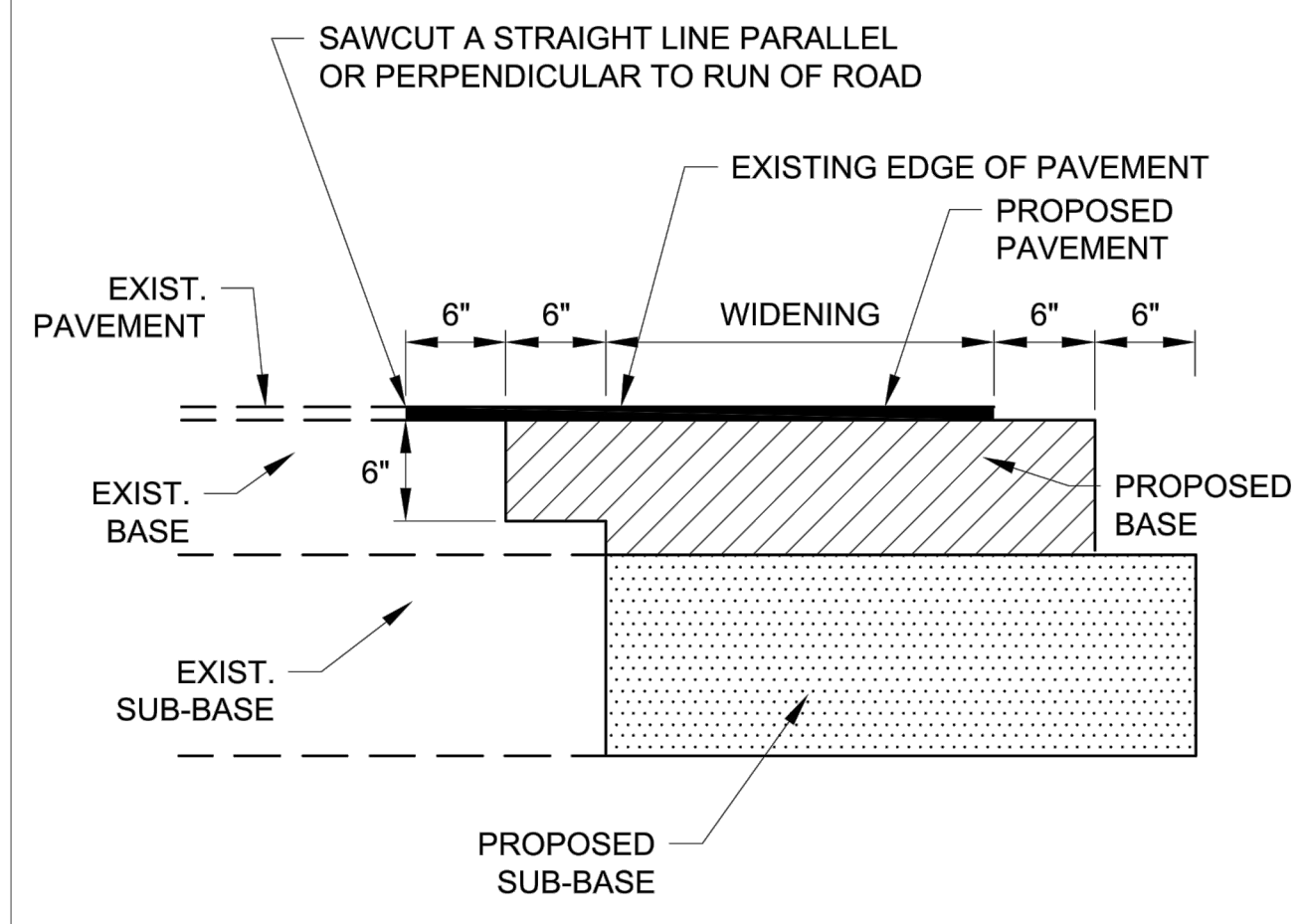


NOTE:
 ALL TYPE "F" CURB & GUTTER SHALL BE IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF FDOT INDEX 300.

*WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

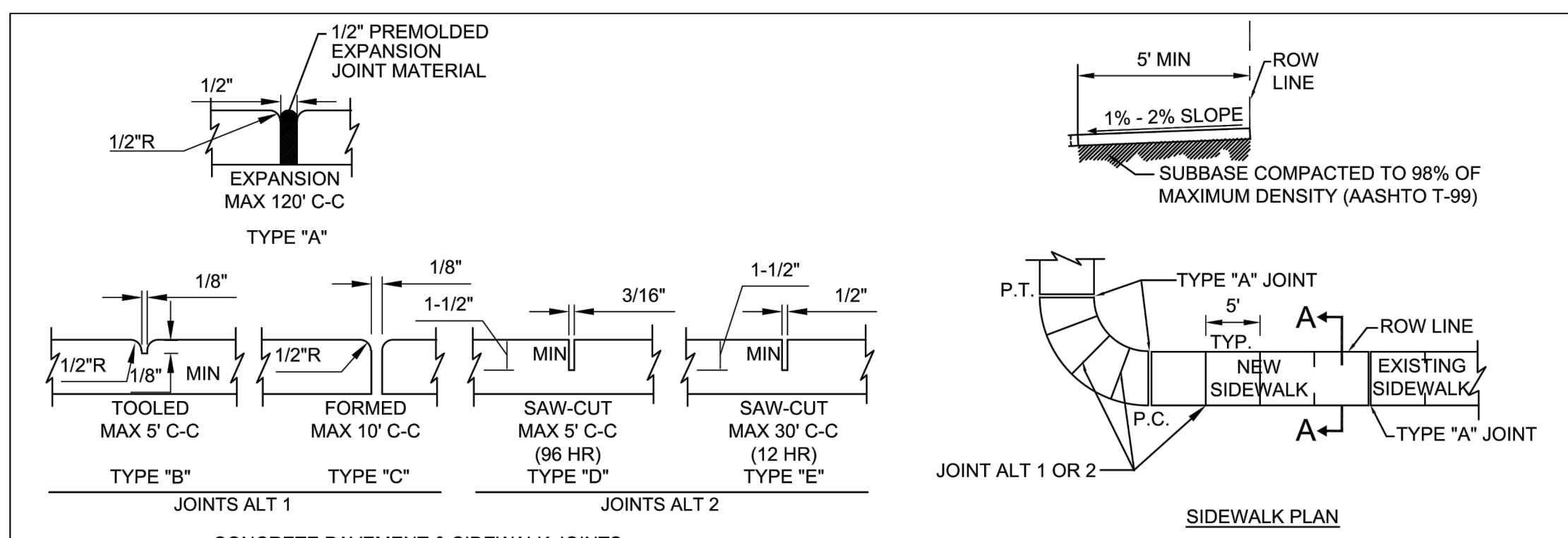
5 TYPE 'F' CURB & GUTTER DETAIL PER FDOT INDEX No. 300

SCALE: NOT TO SCALE



6 SAWCUT / WIDENING DETAIL

SCALE: NOT TO SCALE



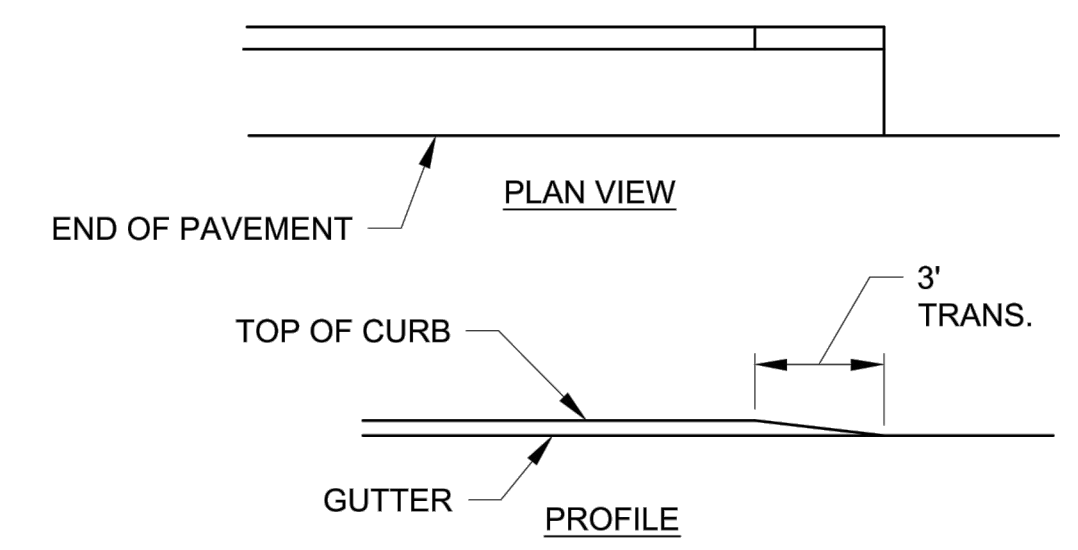
CONCRETE PAVEMENT & SIDEWALK JOINTS

NOTES:

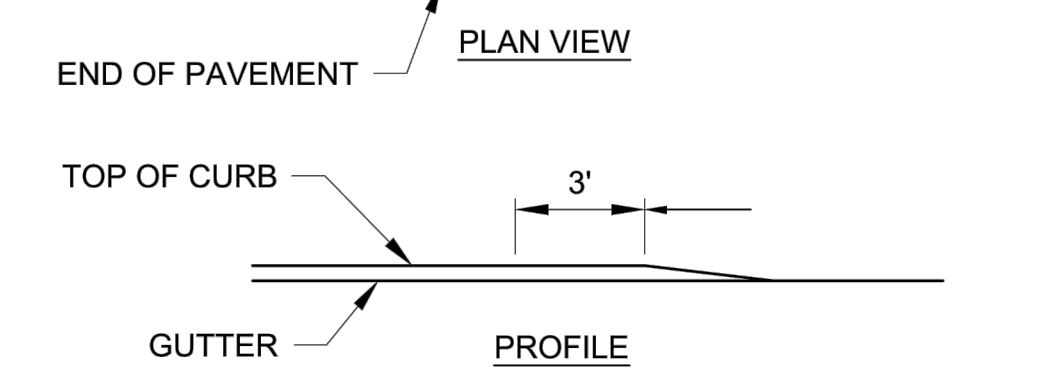
- Sidewalk construction is to comply with the latest FDOT standards for sidewalks and ADA curb ramps, per FDOT index 522.001 and 522.002.
- Provide either joint alternate 1 or 2. If using joint alternate 2: construct type "E" joints at not more than 30' intervals - within 12 hours after finishing, construct 1/2" expansion, provide joint type "A", with non-rising performed joint filler at not more than 120' intervals, construct remaining joints within 96 hours after finishing.
- Provide 1/2" expansion joint type "A", with non-rising performed joint filler where concrete pavement abuts concrete curbs, driveways and other fixed objects.
- Sidewalk thickness shall be 4" thick unless otherwise noted. Thickness shall be 6" through driveways and on all commercial sidewalk applications.
- The use of steel reinforcement is not permitted.
- Concrete to be 3,000 psi in 28 days.
- Cure all concrete with approved method.
- Sidewalk foundation shall be compacted to a firm, even surface, true to grade and cross section, and shall be moist at the time concrete is placed.
- All construction shall conform to local construction codes and standards.
- Sidewalk slopes shall meet the requirements of the Americans with Disabilities Act. Minimum transverse slope 0.01 ft./ft. And maximum transverse slope 0.02 ft./ft. toward swale or gutter. Longitudinal slope shall conform to ADA requirements.
- The vertical deviation for a new sidewalk shall not be more than 1/2".
- The vertical deviation for a new maintenance access structure cover shall not be more than 1/4".
- Where truncated domes are used, stamped concrete is not permitted. Truncated domes to be cast with the concrete.
- Sidewalk shall have a transverse hair broom finish.

7 SIDEWALK DETAIL

SCALE: NOT TO SCALE



STRAIGHT END



FLARED END

8 CURB & GUTTER FLARED AND STRAIGHT ENDS

SCALE: NOT TO SCALE

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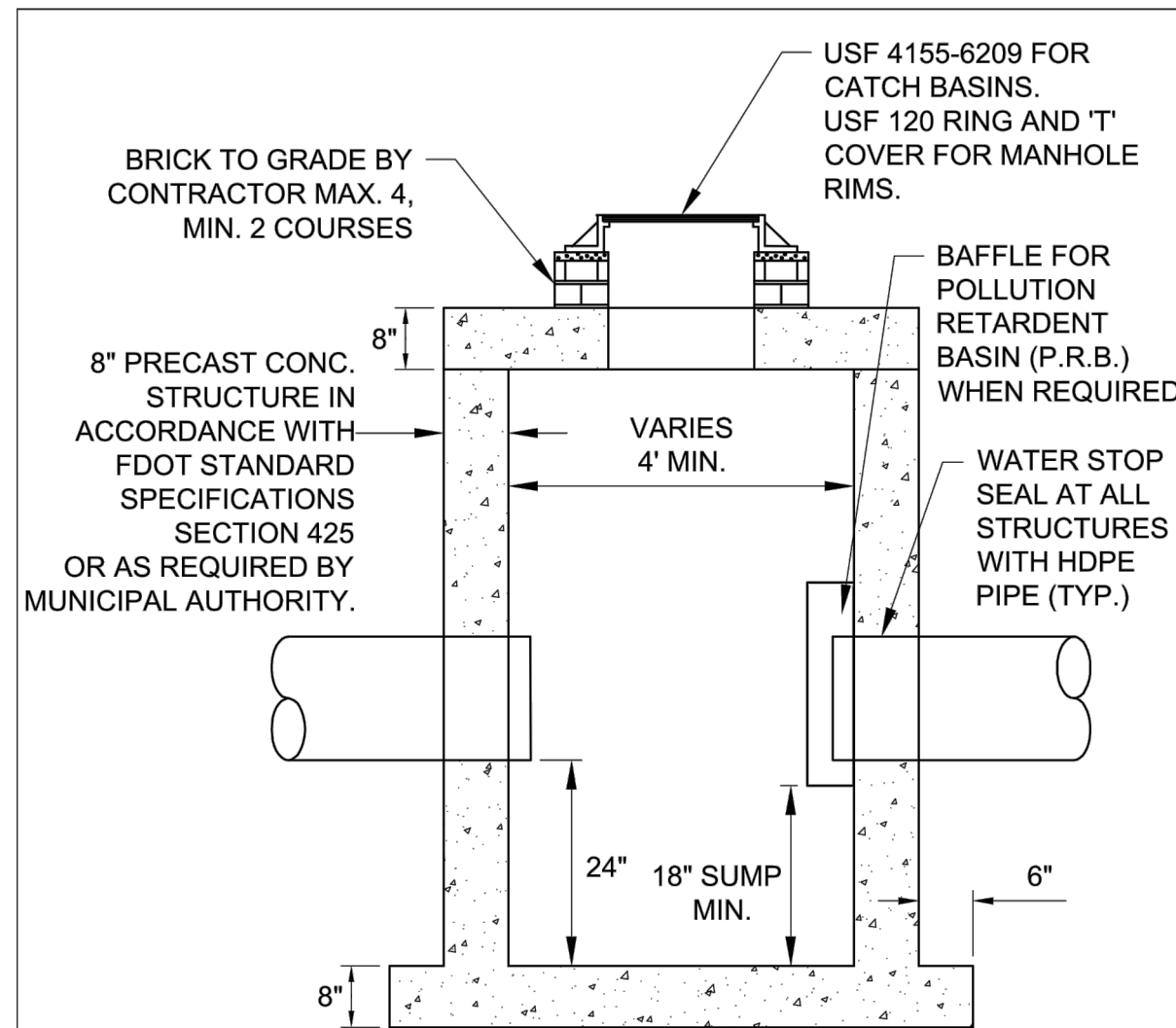
THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
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SHEET TITLE

PAVING, GRADING, AND DRAINAGE DETAILS

SHEET NUMBER
CP-501

PROJECT NO. **09725.64**

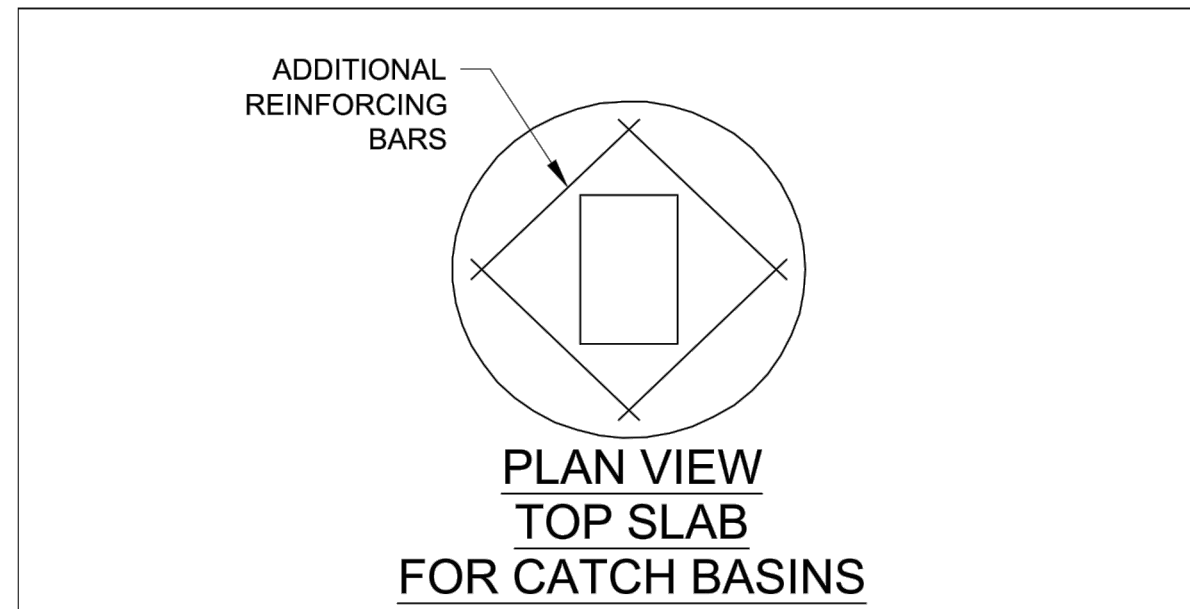


NOTE:
1. STRUCTURE MANUFACTURER AND/OR CONTRACTOR SHALL CONFIRM ALL STEEL REINFORCEMENT MEETS FDOT STANDARDS PER INDEX 200, SECTION 415 AND 425 PRIOR TO SUBMITTING ANY SHOP DRAWINGS FOR APPROVAL.
2. LOCKING GRATES TO BE PROVIDED.

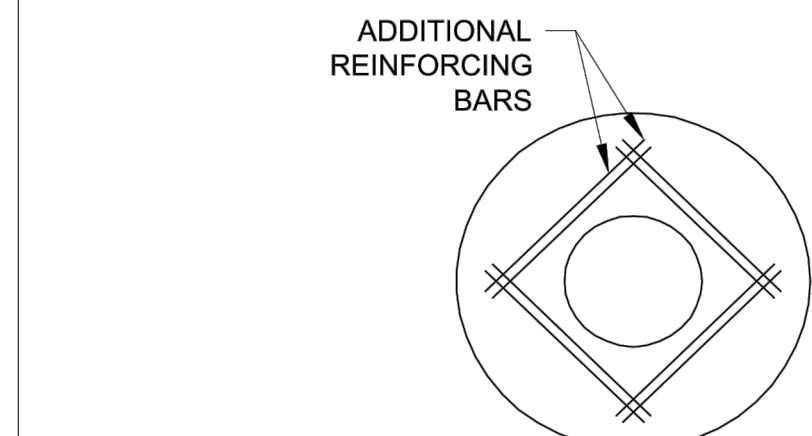
CATCH BASIN / DRAINAGE MANHOLE DETAIL

9

SCALE: NOT TO SCALE



PLAN VIEW TOP SLAB FOR CATCH BASINS

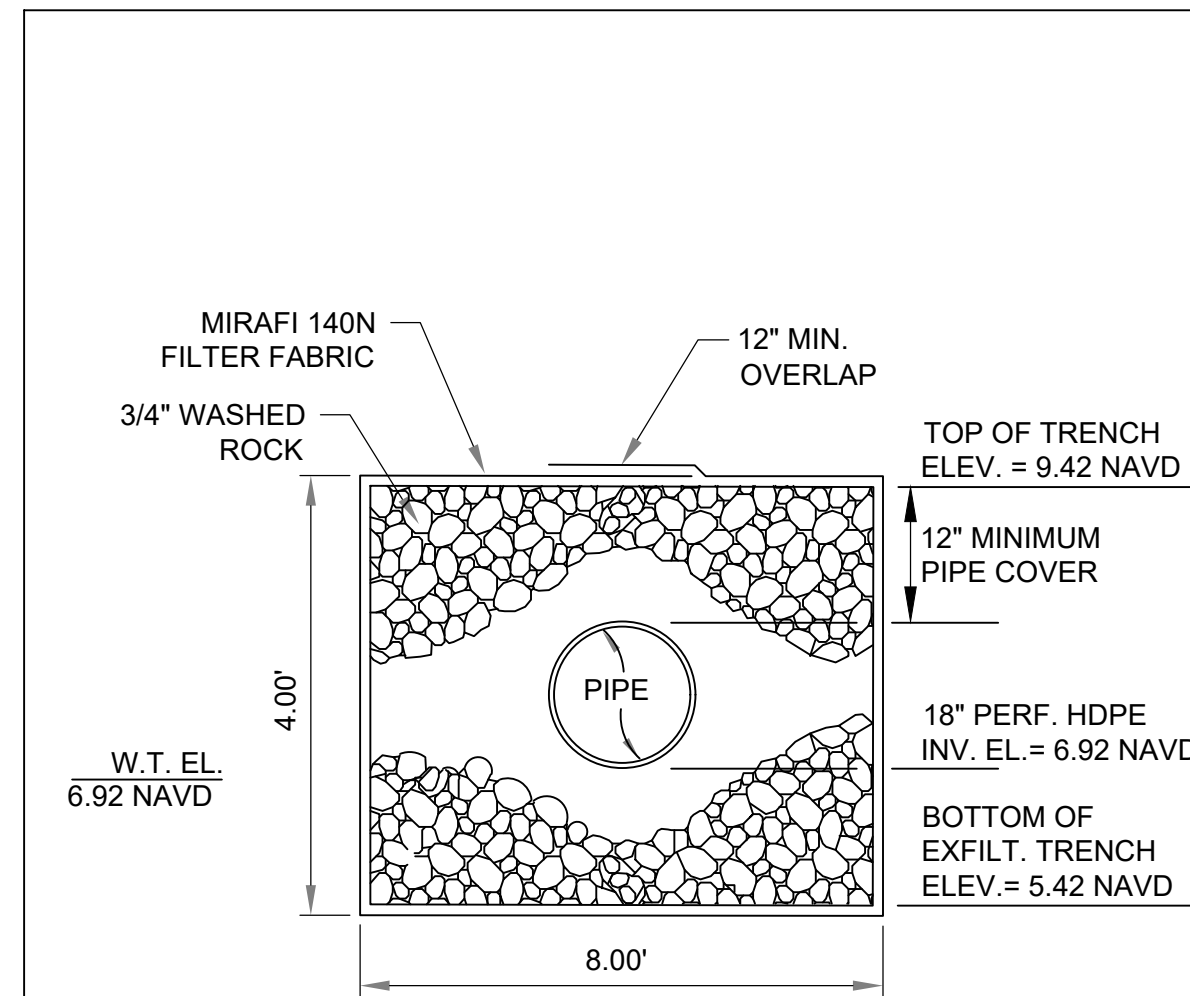


PLAN VIEW TOP SLAB FOR MANHOLES

10

CATCH BASIN / MANHOLE FRAME DETAIL

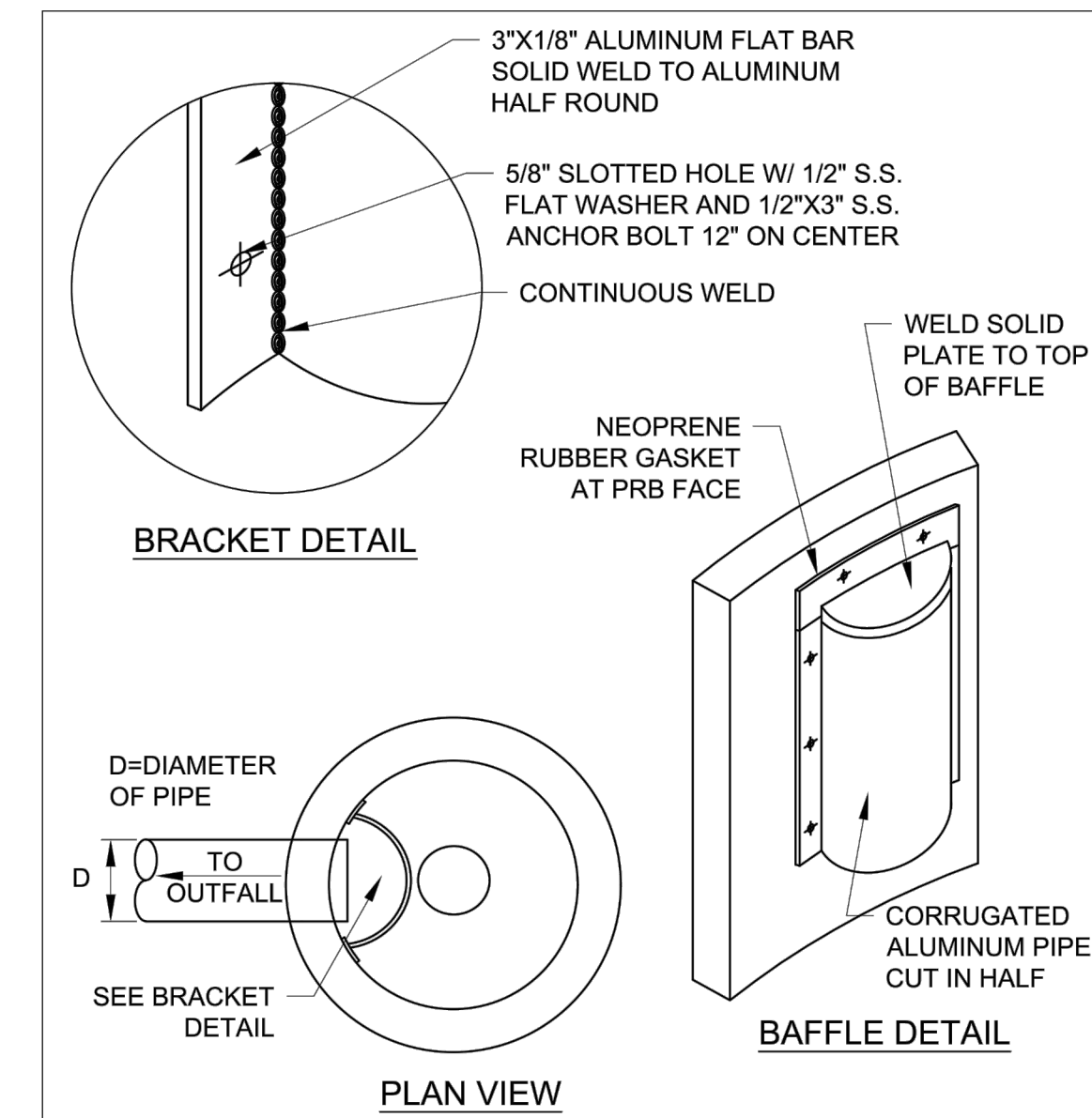
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EXFILTRATION TRENCH DETAIL

11

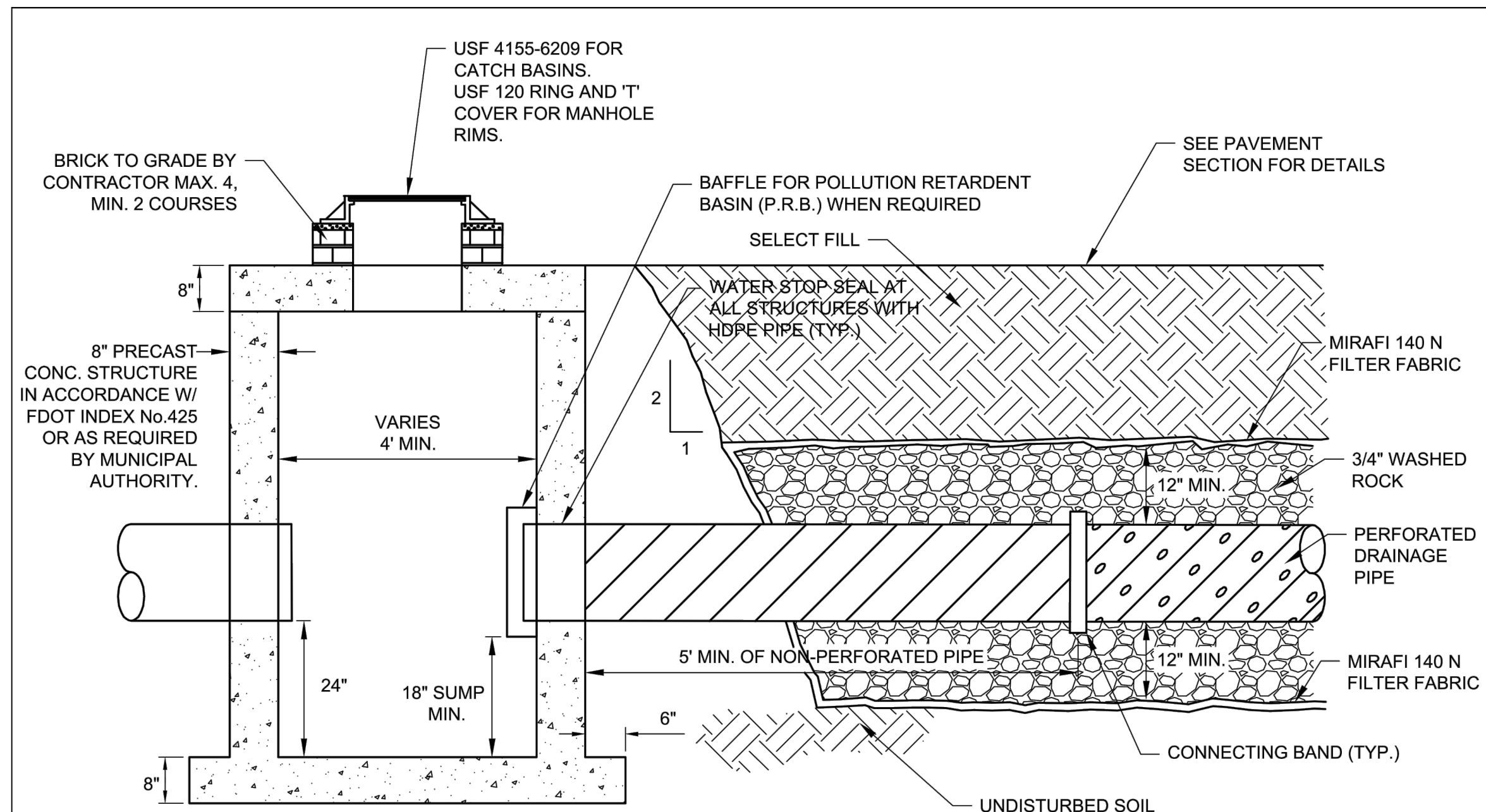
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POLLUTION RETARDANT BAFFLE DETAIL

12

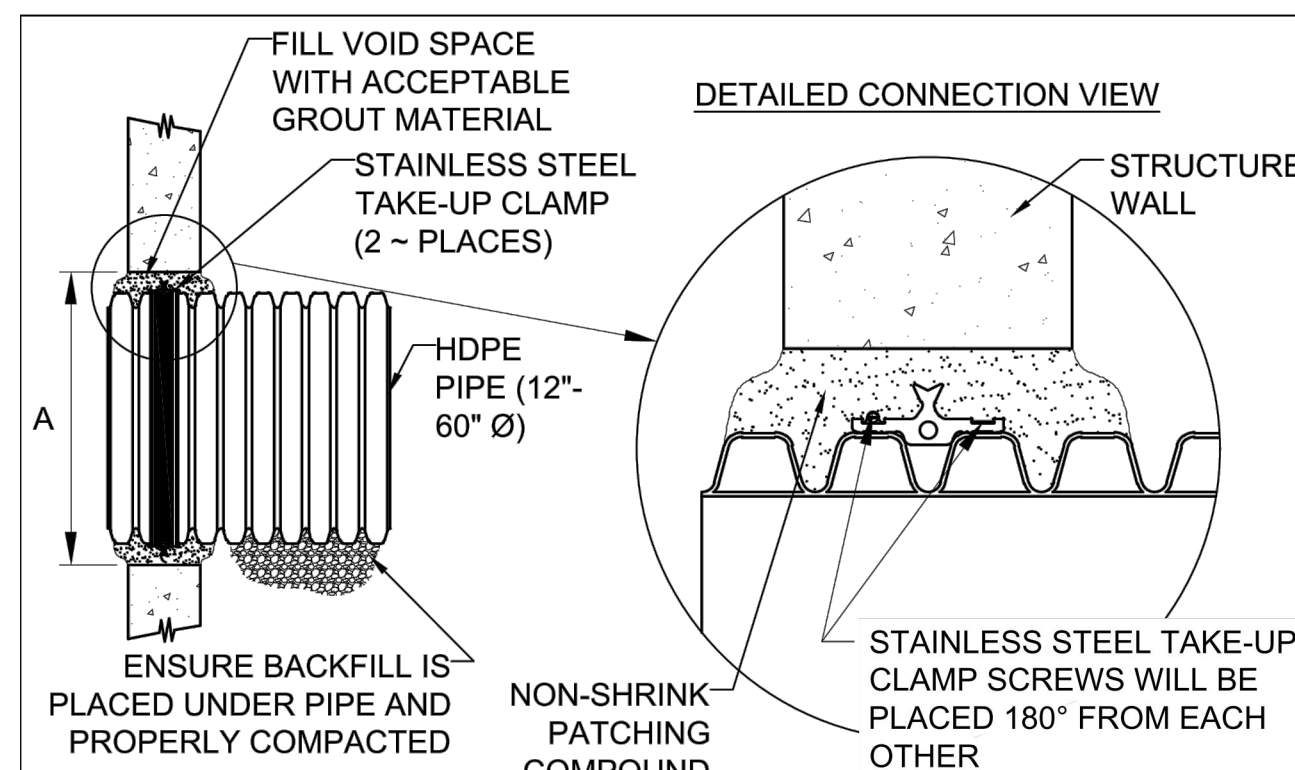
SCALE: NOT TO SCALE



CATCH BASIN W/ P.R.B. AND EXFILTRATION TRENCH

13

SCALE: NOT TO SCALE



NOTES:
PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST ENSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.

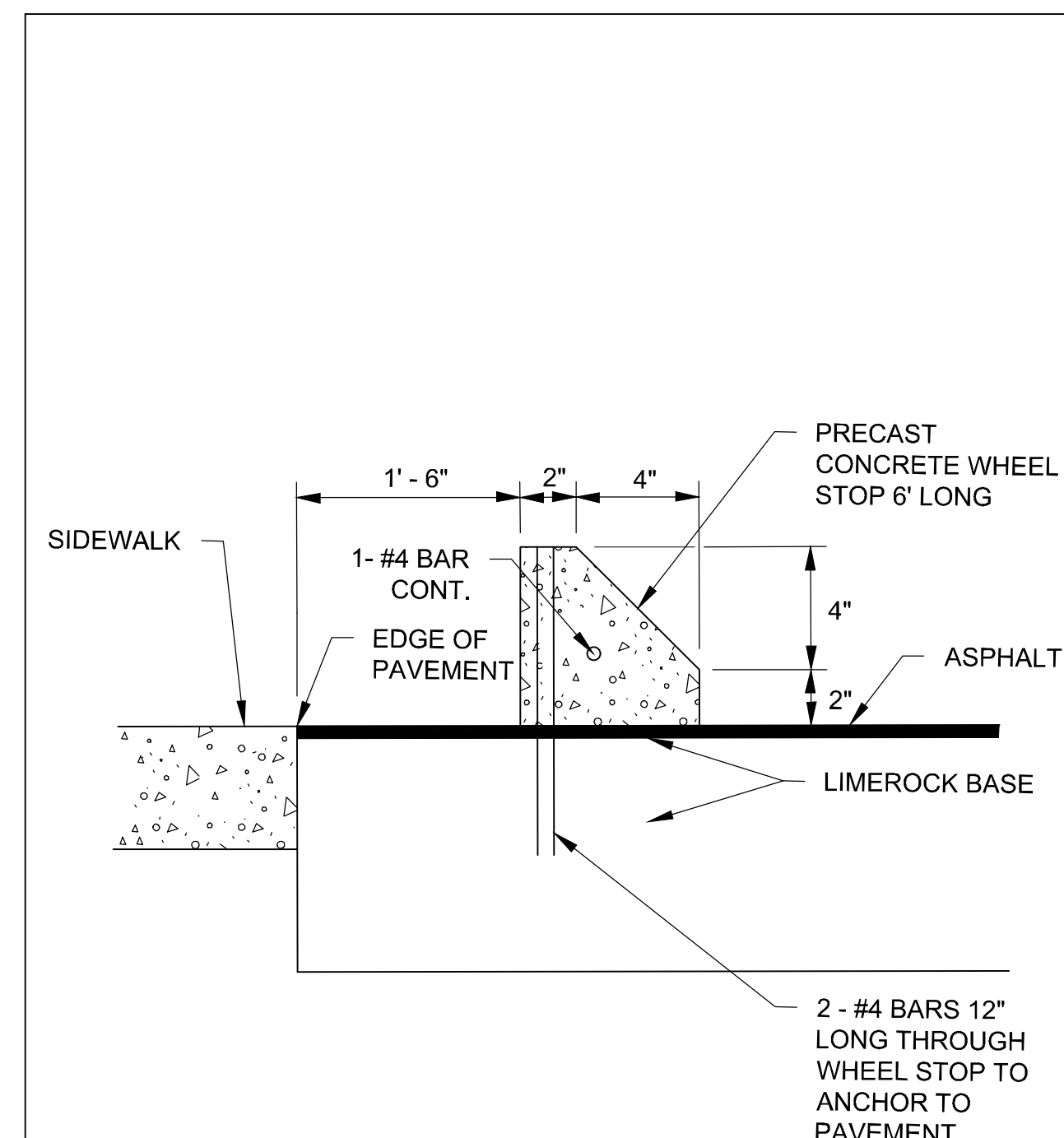
SEE ADS STANDARD DETAIL STD-201 AND ADS INSTALLATION GUIDE 1.05: WATERSTOP INSTALLATION FOR INSTALLATION RECOMMENDATIONS.

PIPE SIZE	PIPE OD		"A" MIN. HOLE DIA.	MIN. DISTANCE PIPE INVERT TO STRUCTURE INVERT
	A-PROFILE	H-PROFILE		
12"	14.5"	N/A	19.5"	3.7"
15"	17.6"	N/A	23.00"	4.0"
18"	21.2"	N/A	26.50"	4.2"
24"	27.8"	N/A	33.25"	4.5"
30"	35.1"	N/A	40.50"	5.2"
36"	41.1"	41.1"	47.00"	5.5"
42"	47.7"	48.0"	53.00"	5.7"
48"	53.6"	54.0"	59.00"	5.7"
60"	66.3"	67.3"	72.00"	6.4"

GROUTED MANHOLE CONNECTION (HDPE PIPE) DETAIL

15

SCALE: NOT TO SCALE



WHEEL STOP DETAIL

16

SCALE: NOT TO SCALE



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REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION

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7-ELEVEN #34941
4990 COCONUT CREEK PKWY.
COCONUT CREEK, FL 33063

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DESIGNED BY: MG

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THOMAS F. DONAHUE, P.E.
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(FOR THE FIRM)

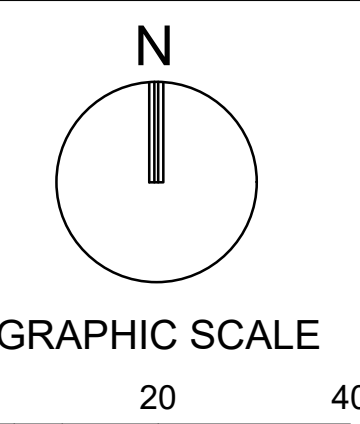
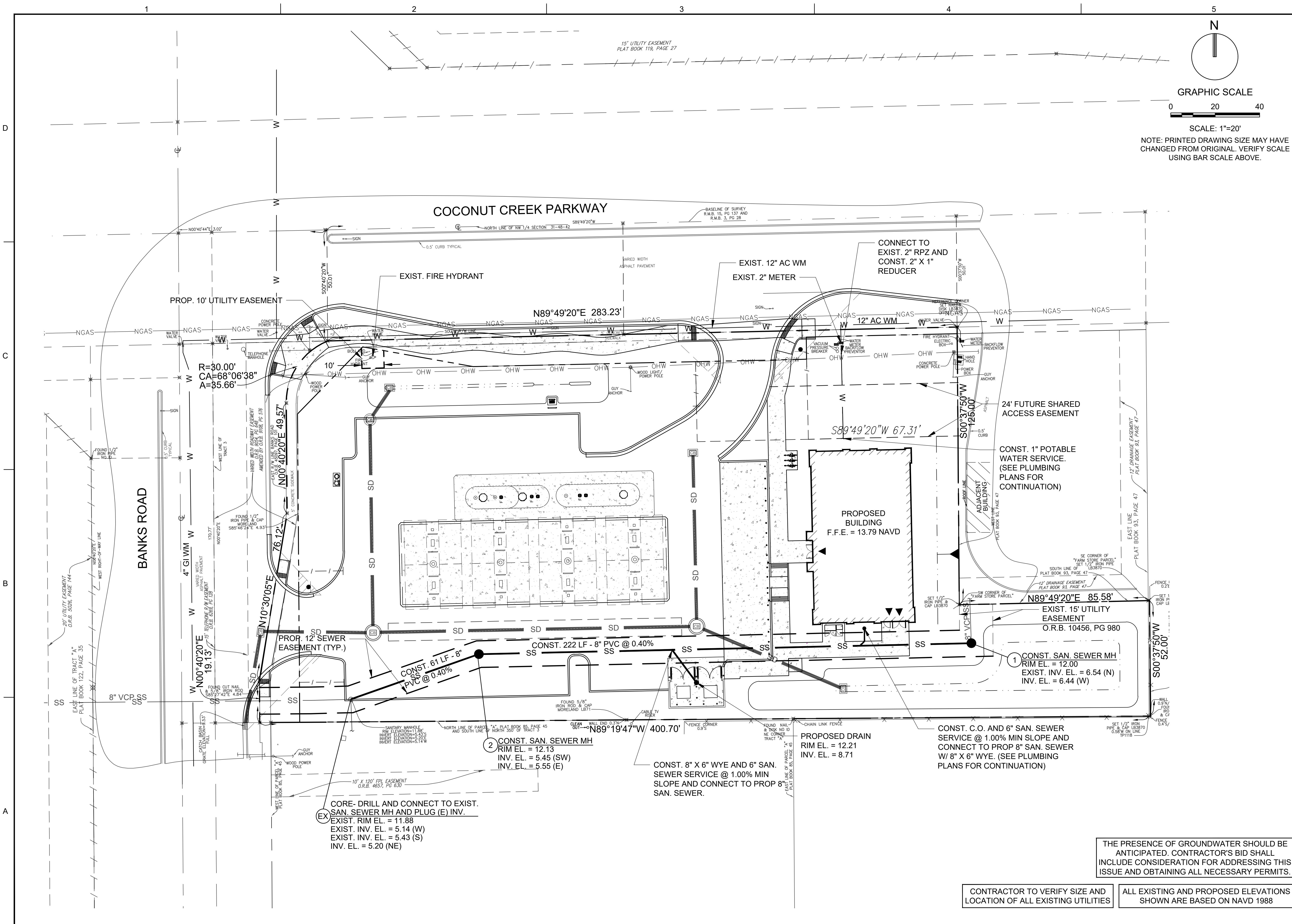
**SHEET TITLE
PAVING, GRADING,
AND DRAINAGE
DETAILS**

SHEET NUMBER

CP-502

PROJECT NO. 09725.64

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NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



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SHEET TITLE
WATER AND SEWER PLAN

SHEET NUMBER
CU-101

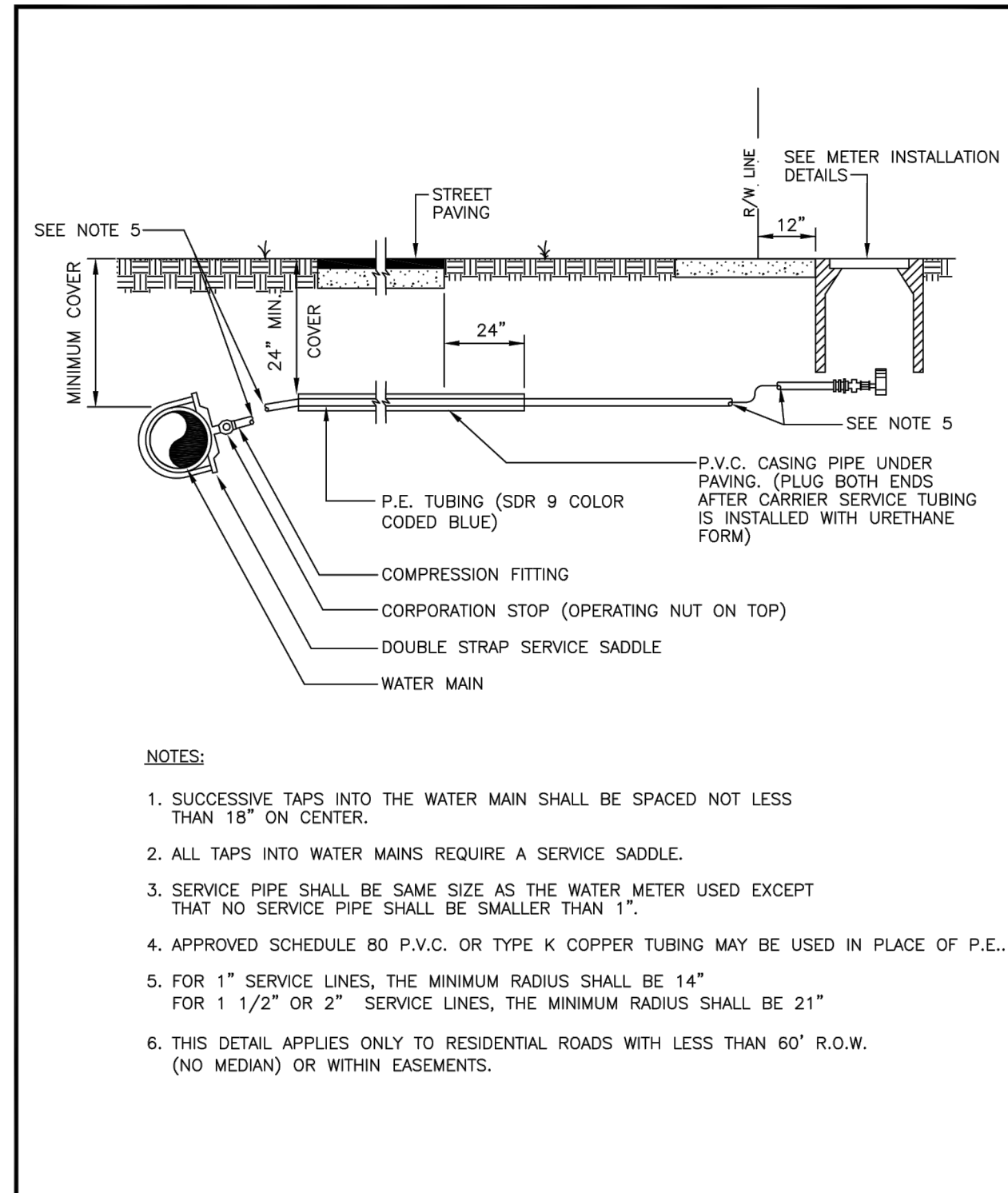
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EXISTING UTILITIES

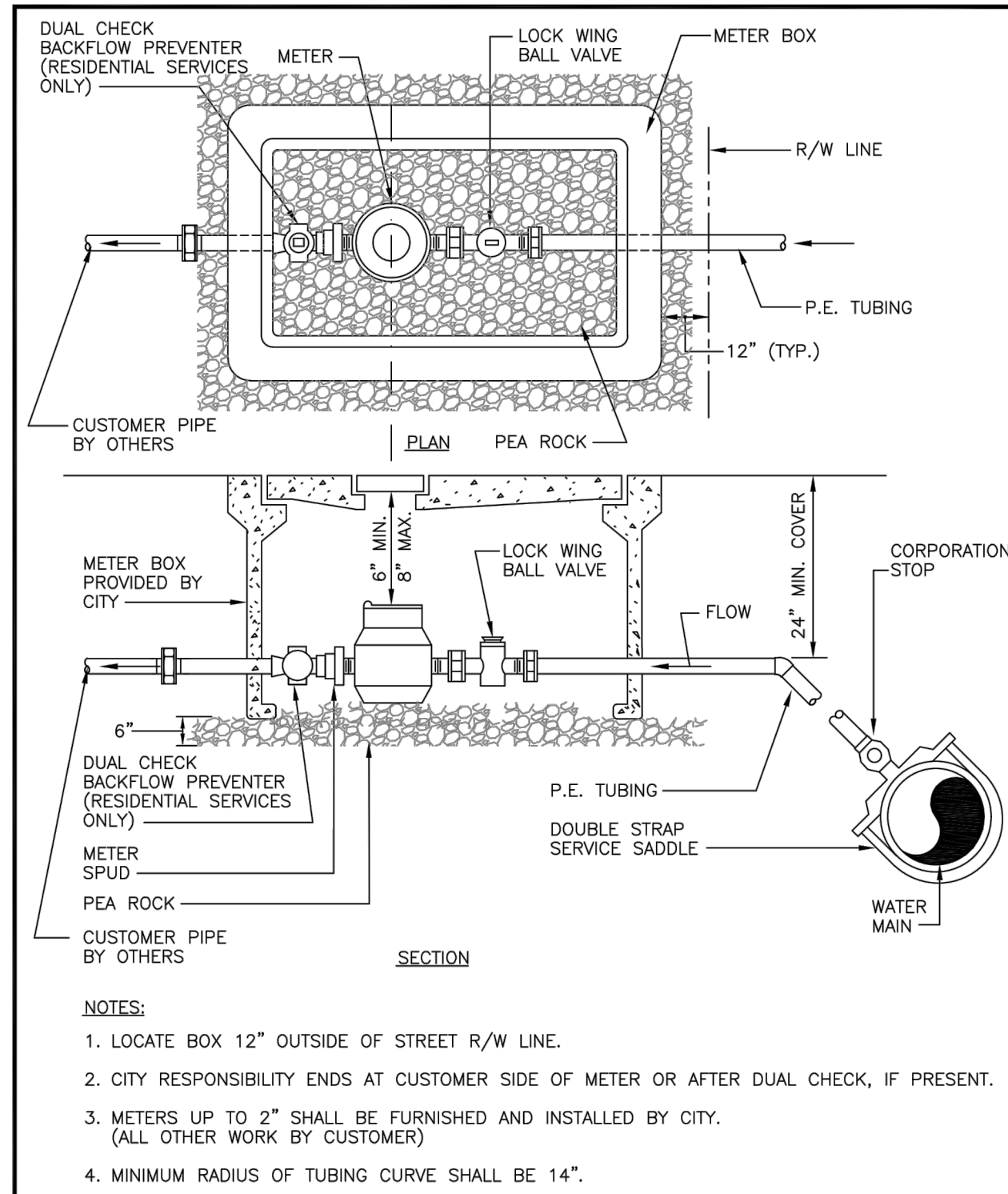
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PROJECT NO. **09725.64**

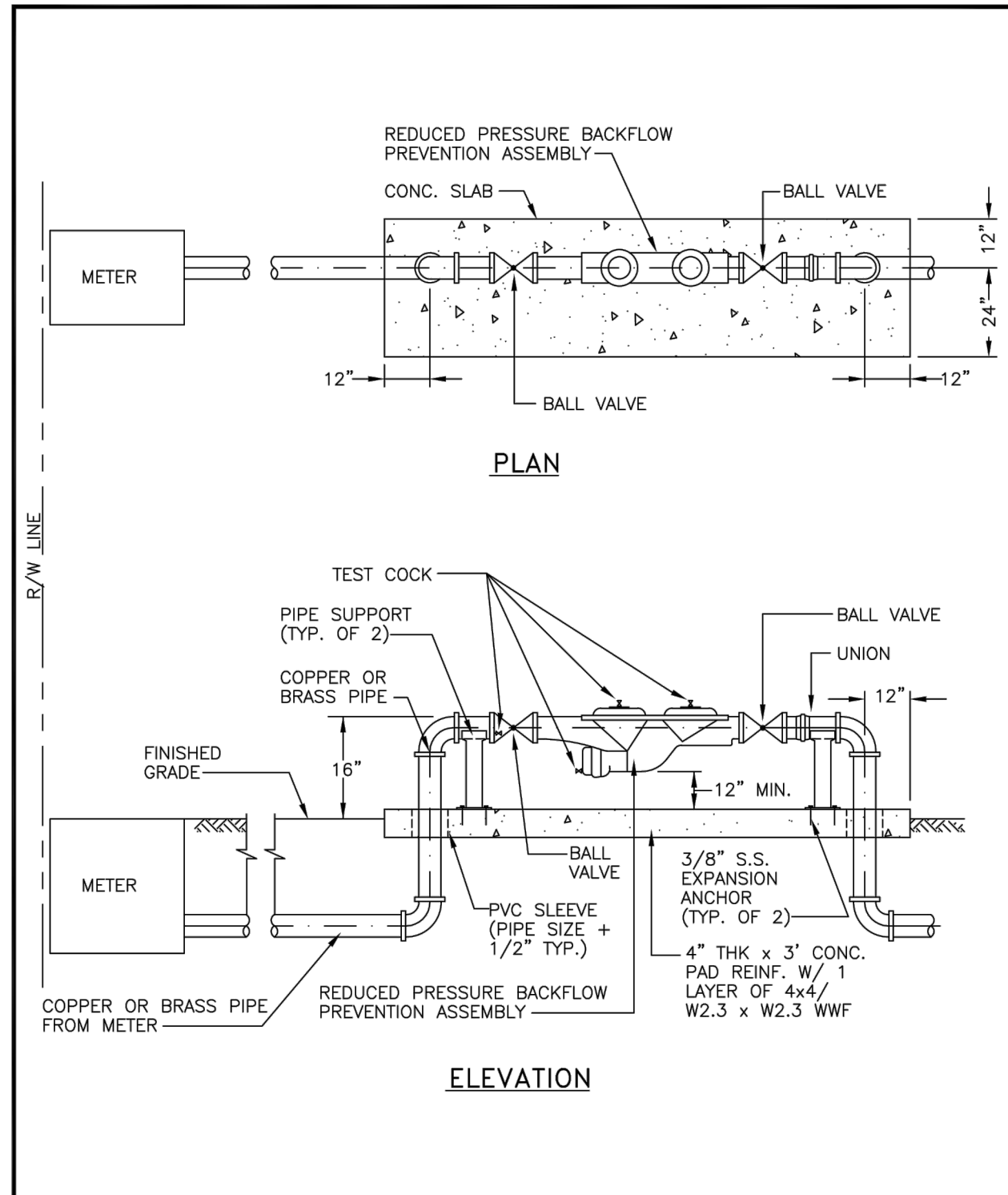
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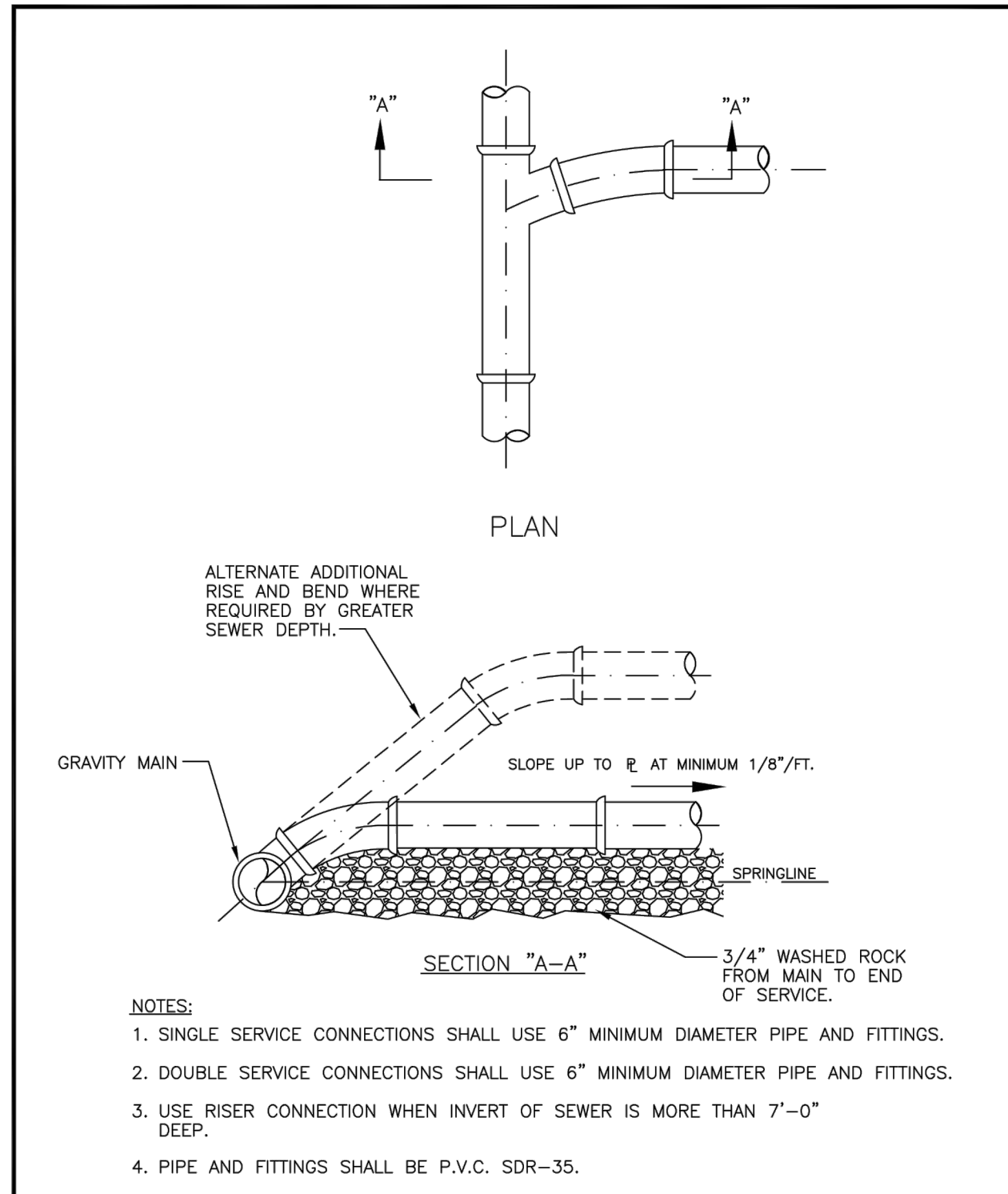
DATE: 12-14-16 DRAWN: JWEAVER
WATER SERVICE CONNECTION FOR 1" TO 2" SERVICES W-1
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



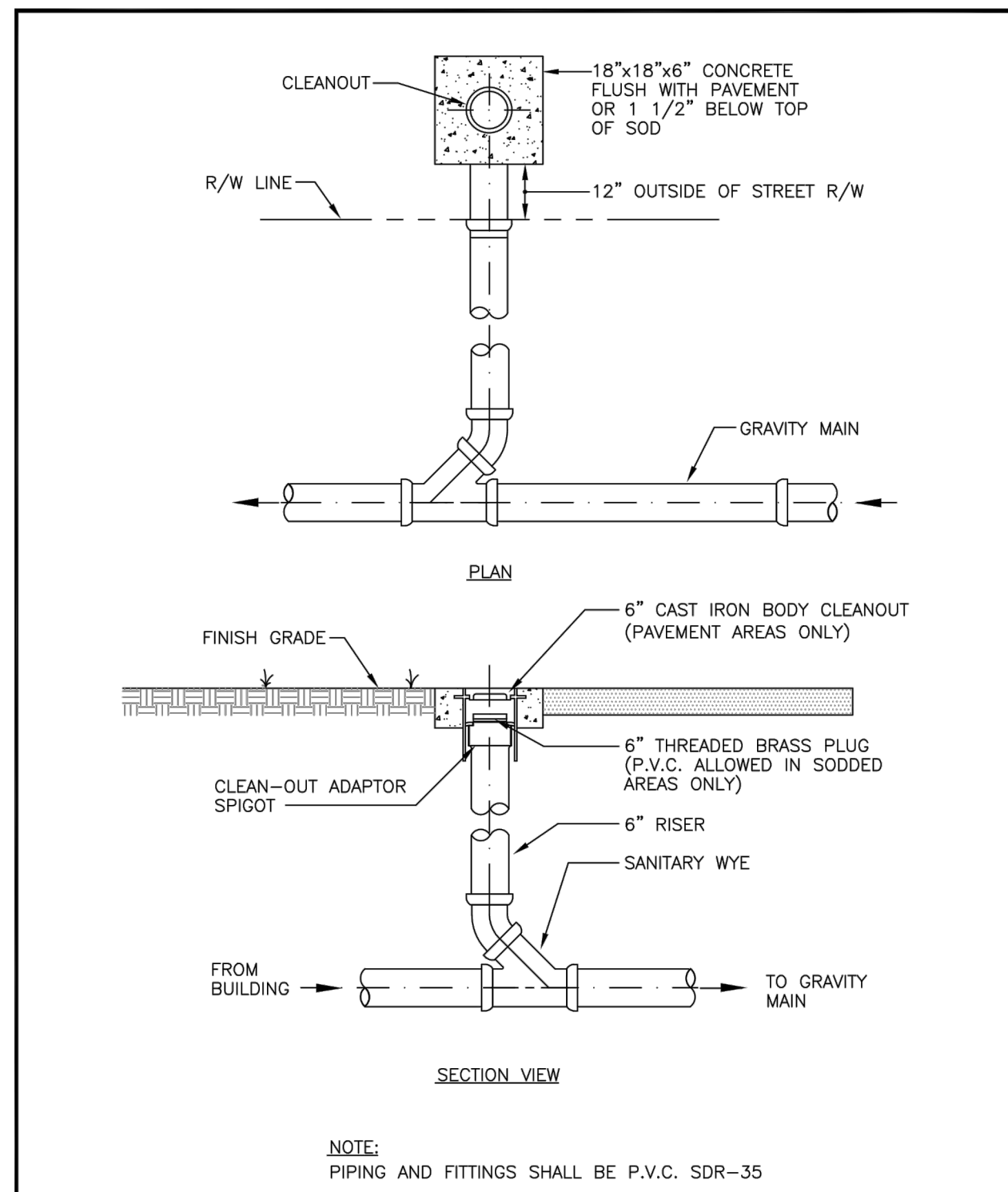
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METER INSTALLATION FOR 5/8" AND 1" METERS W-2
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



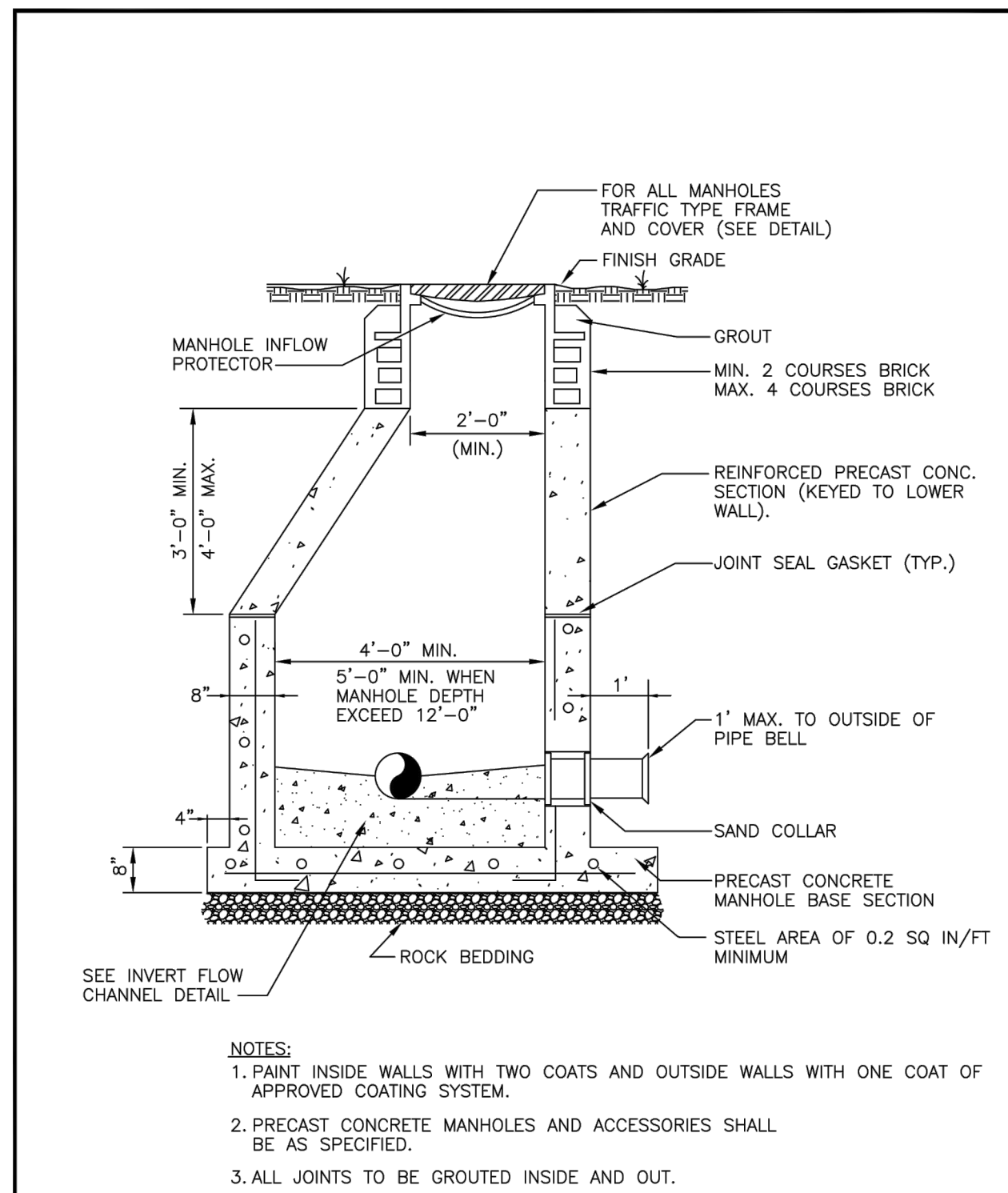
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REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY FOR SERVICE SIZE 1" TO 2" W-7
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



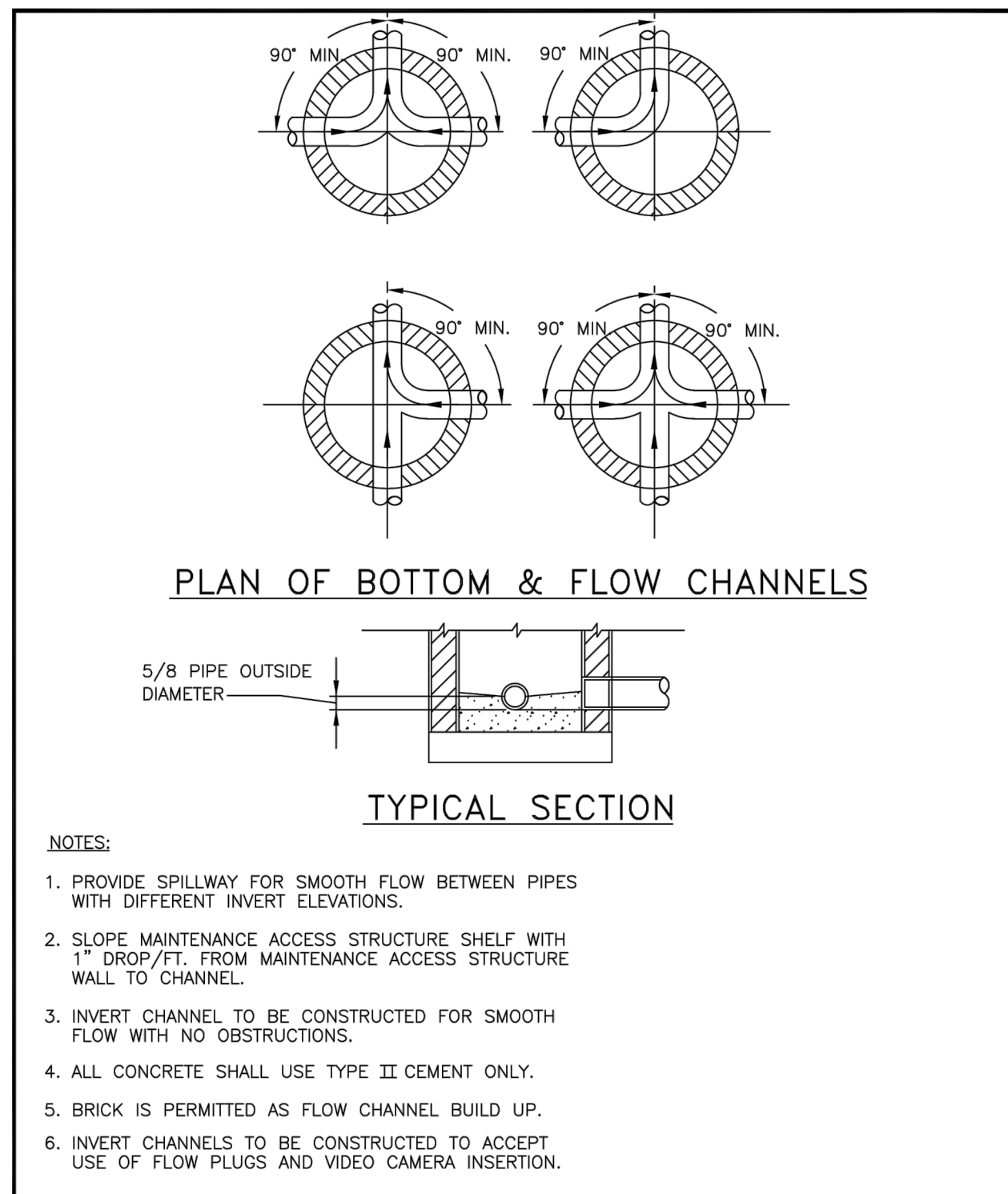
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WYE SERVICE CONNECTION WW-1
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



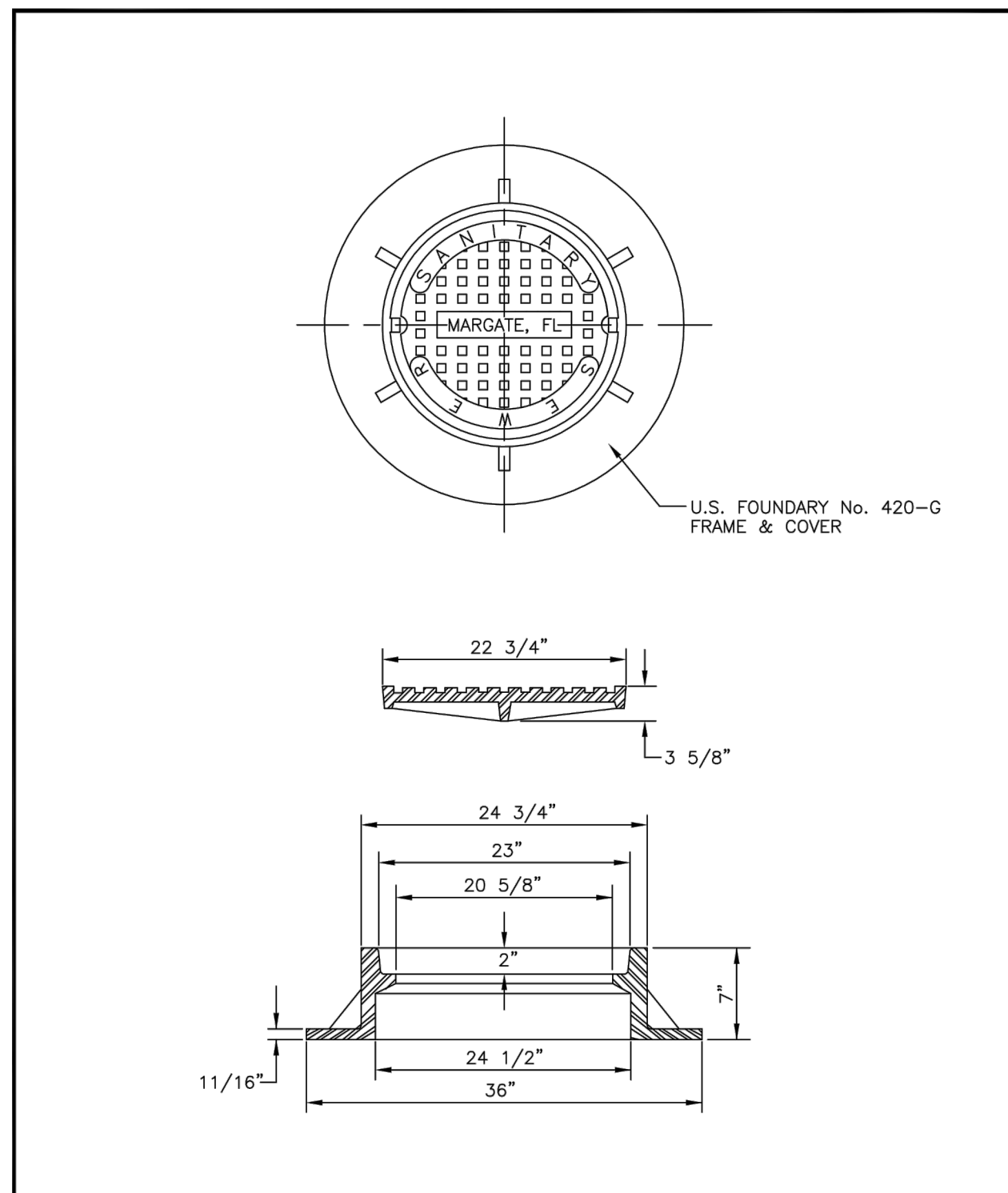
DATE: 12-14-16 DRAWN: JWEAVER
CLEANOUT WW-3
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



DATE: 12-14-16 DRAWN: JWEAVER
STANDARD MANHOLE WW-4
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



DATE: 12-14-14 DRAWN: JWEAVER
INVERT FLOW CHANNEL WW-6
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



DATE: 12-14-16 DRAWN: JWEAVER
GRAVITY SEWER MANHOLE FRAME AND COVER WW-7
 CITY OF MARGATE, FLORIDA
 DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES



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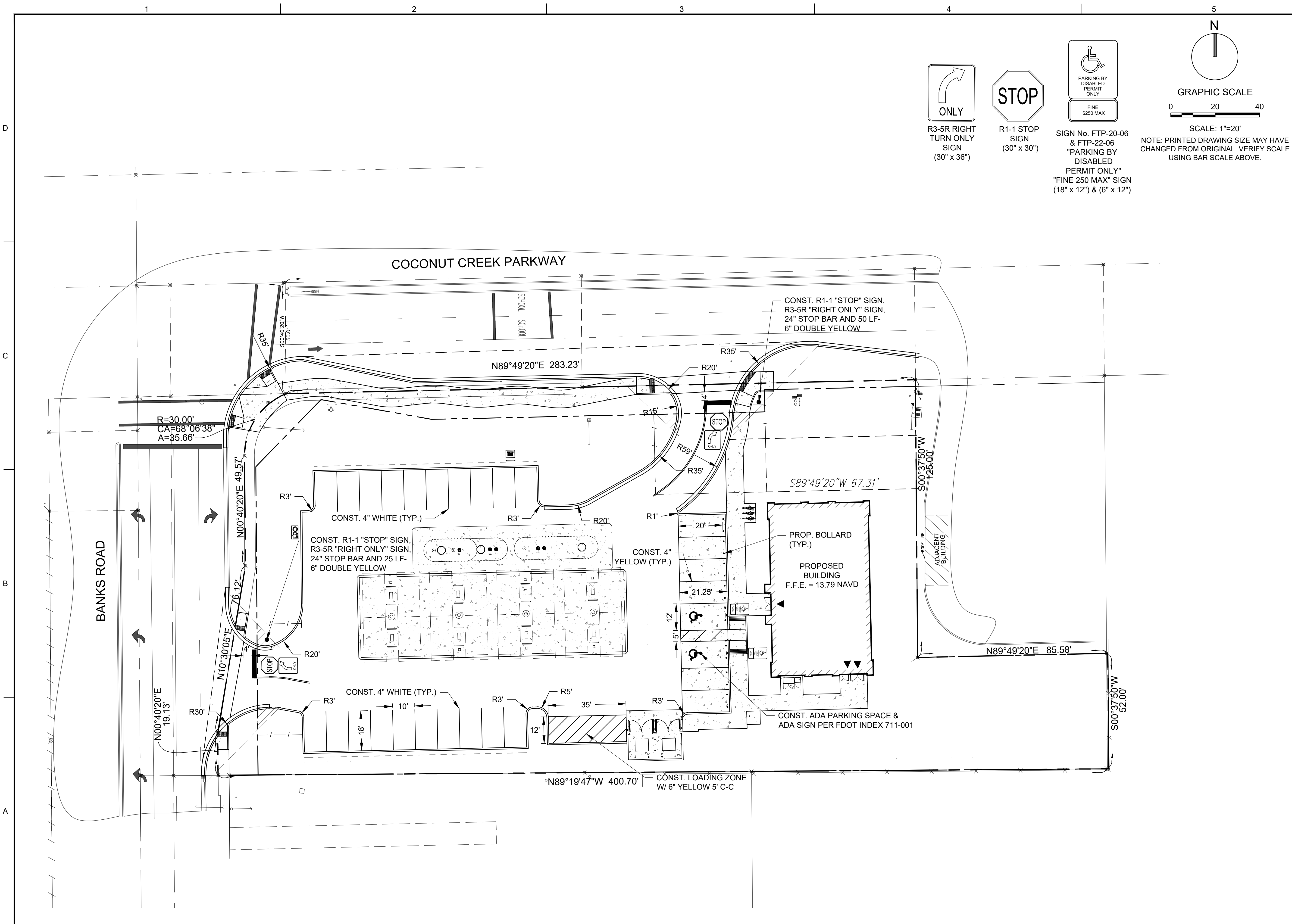
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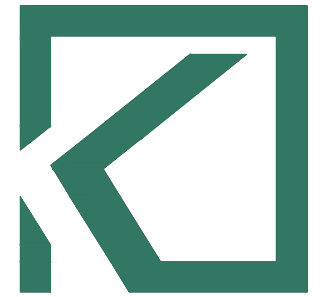
WATER AND SEWER DETAILS

SHEET NUMBER

CU-501

PROJECT NO. 09725.64





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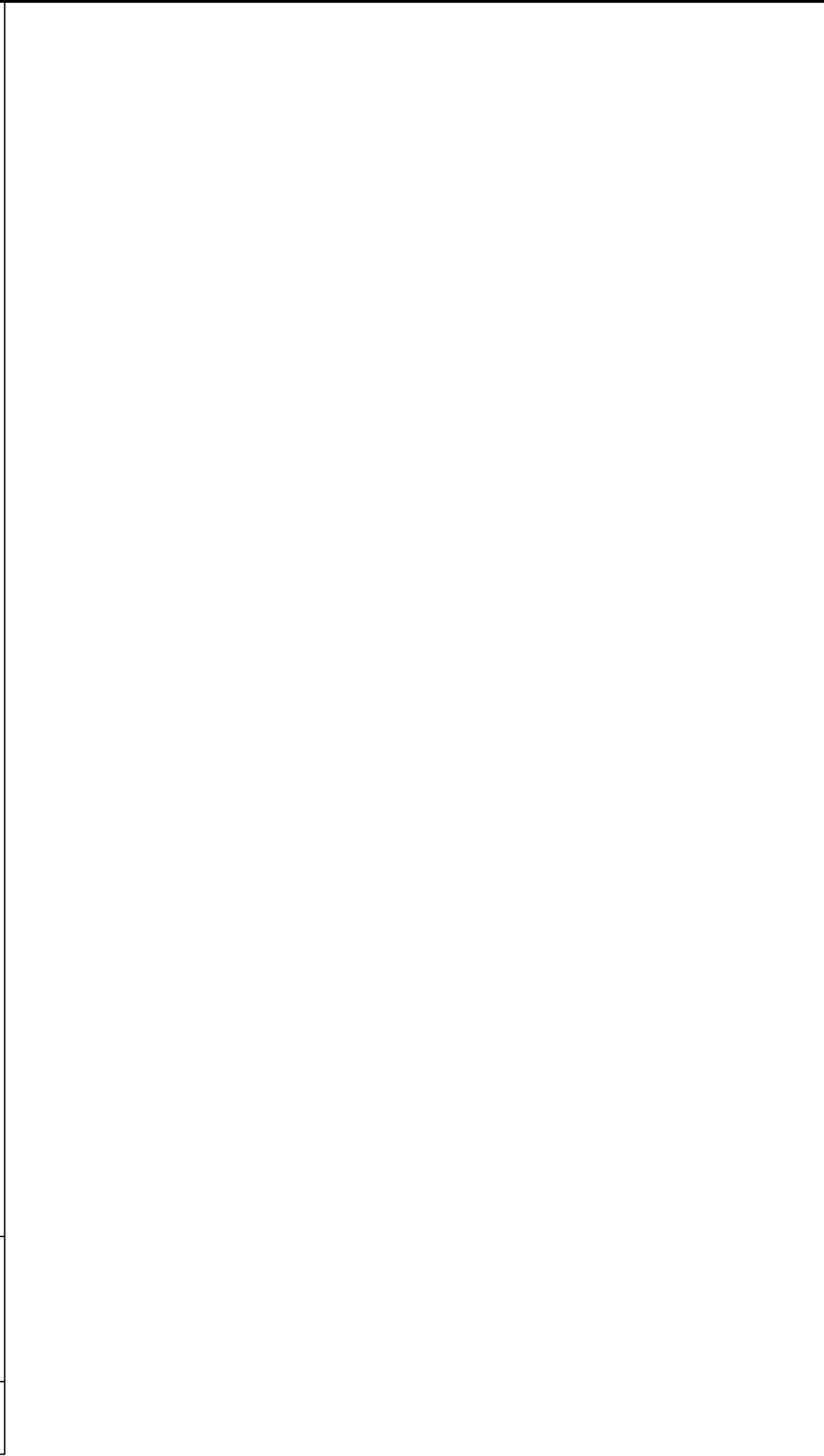
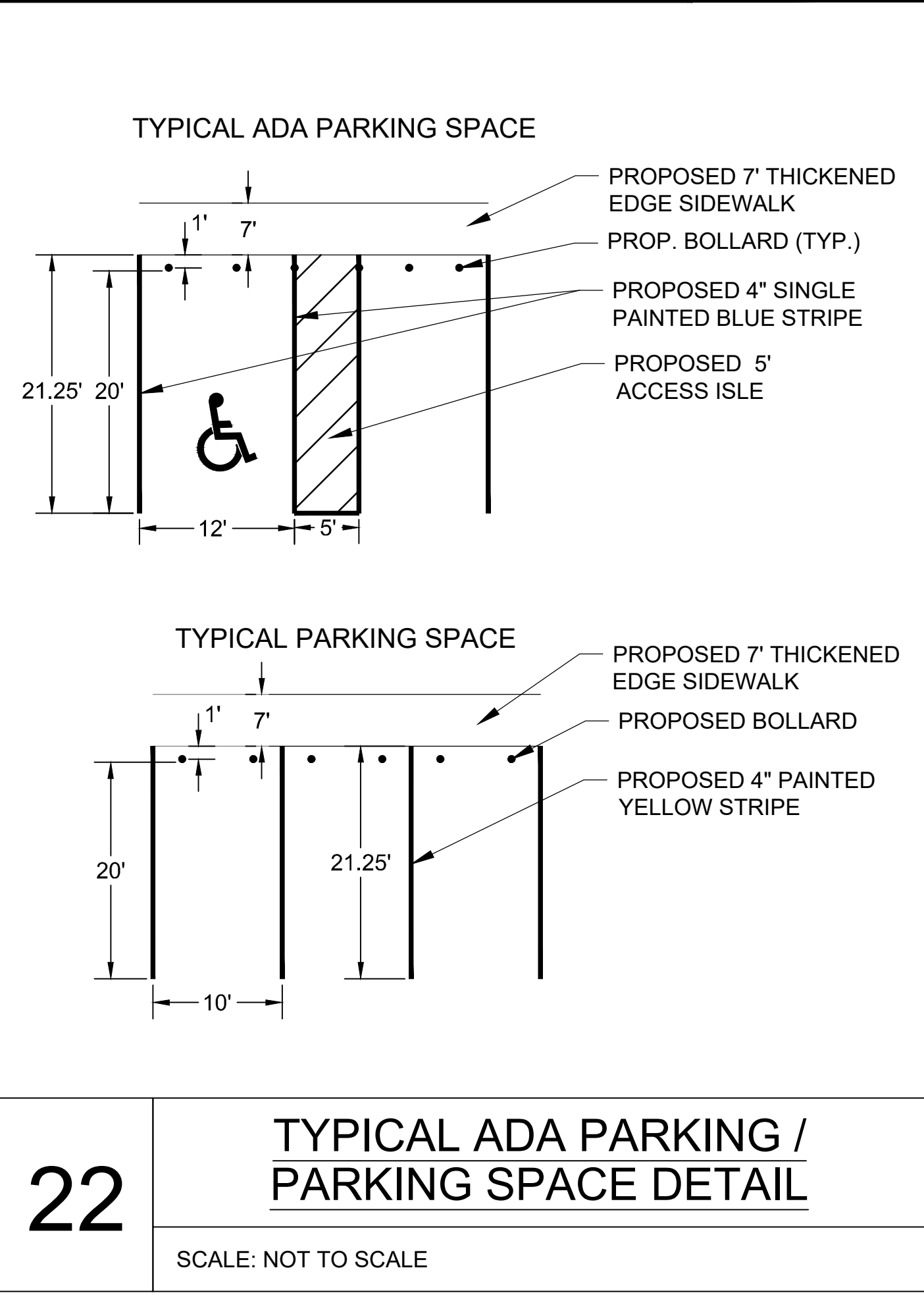
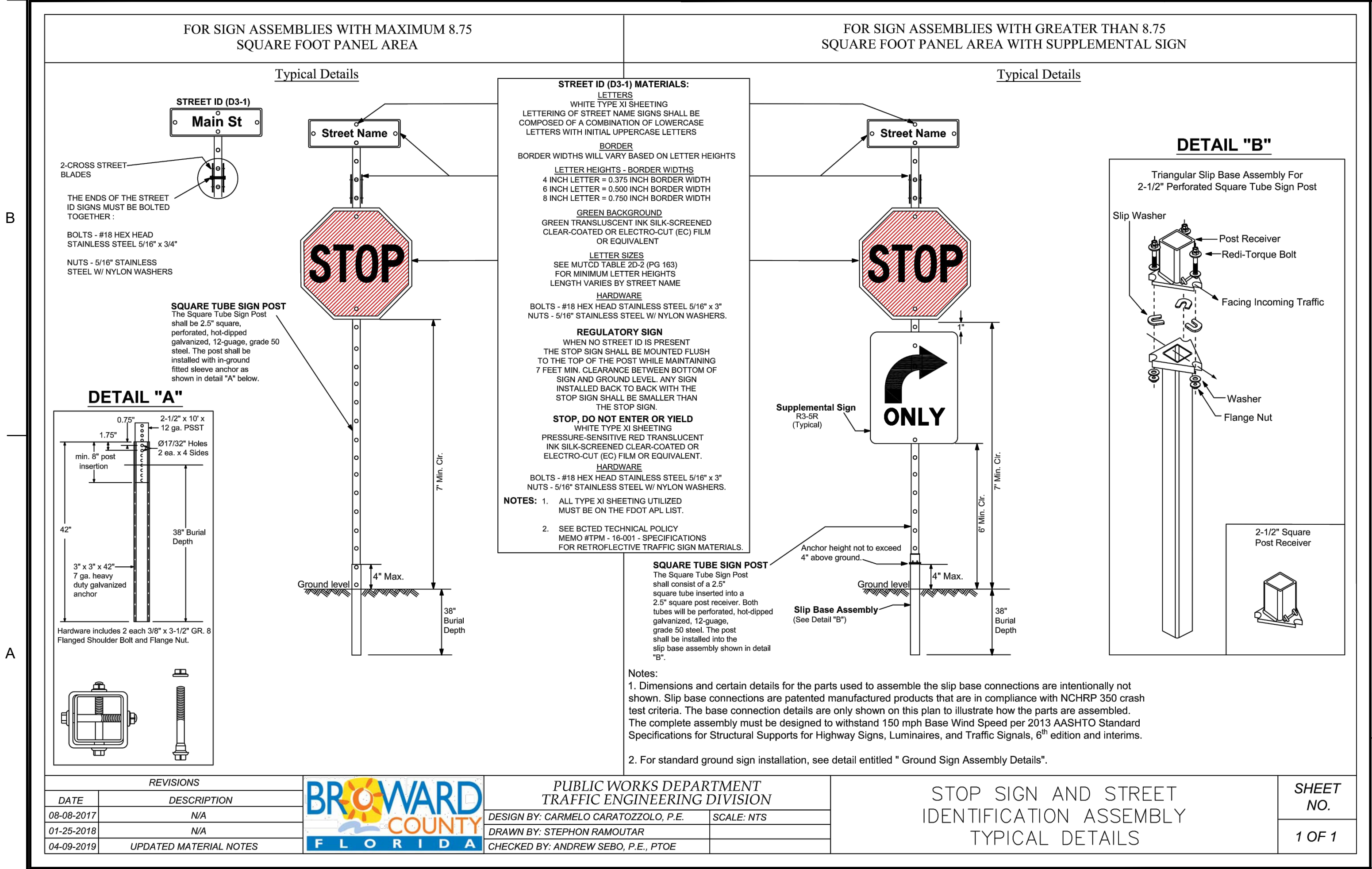
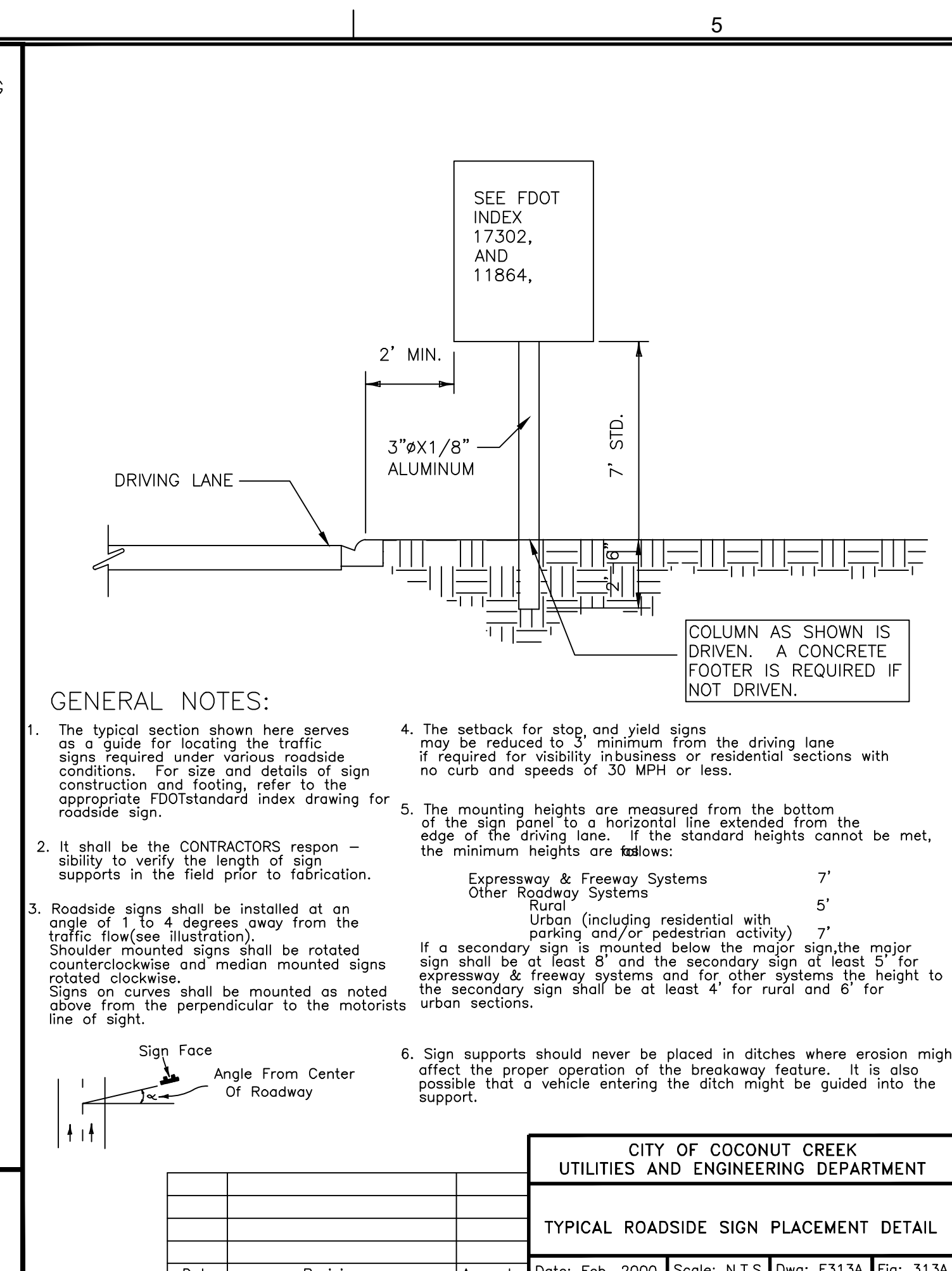
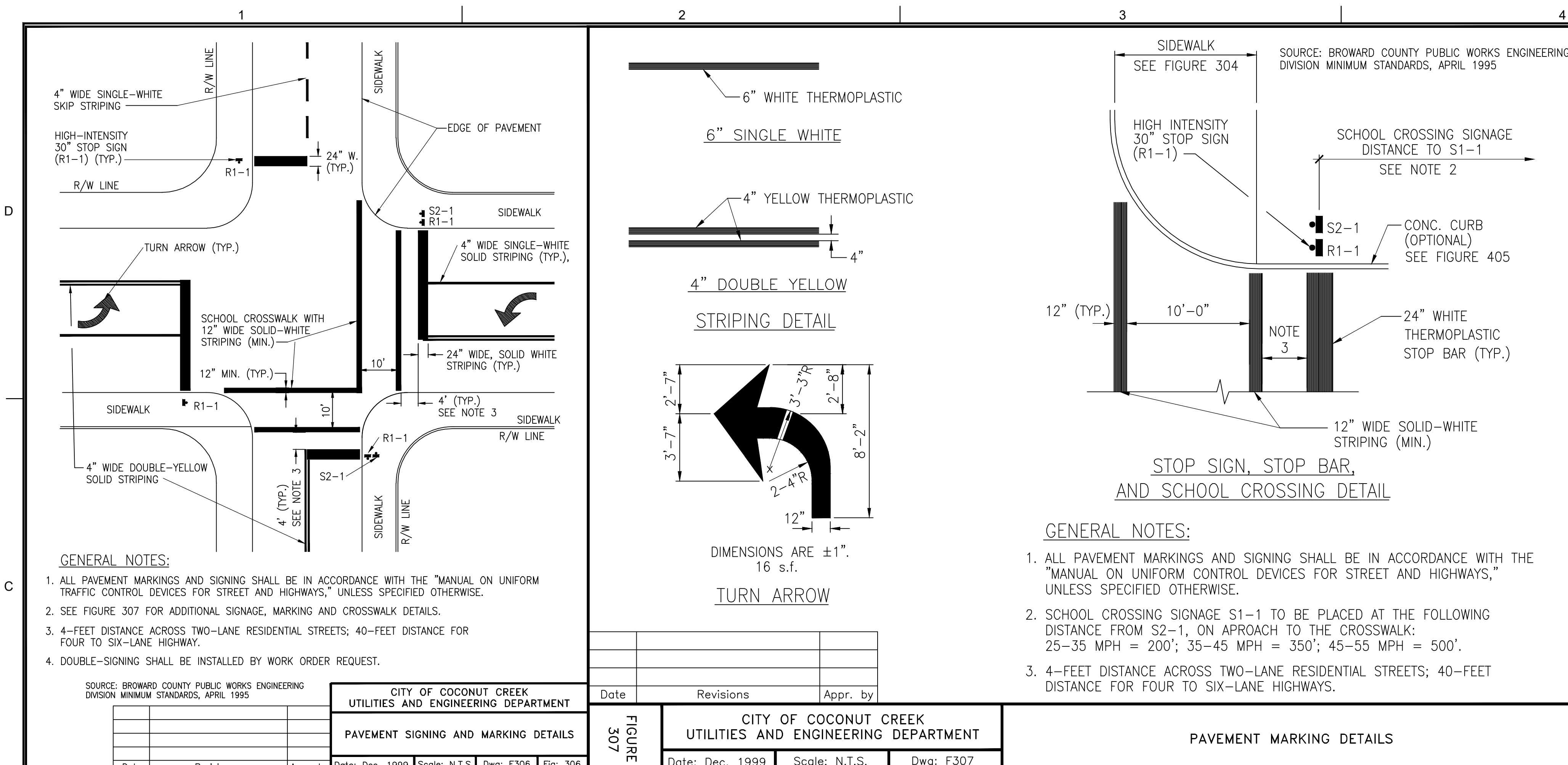
PAVEMENT MARKING AND SIGNAGE PLAN

SHEET NUMBER

CM-101

PROJECT NO. **09725.64**

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