

Cocomar Plaza
Planned Commerce District

March 2008

Revised June 2008

***regency* centers**

TABLE OF CONTENTS

1.	Introduction	1
	A. Purpose and Intent	1
	B. Definitions	2
2.	Applicant Information	2
	A. Applicant Contact Information	2
	B. Agent Contact Information	2
	C. Property Owner Contact Information	2
	D. Applicant's Rationale for the Rezoning	2
3.	Site Description	4
	A. Survey of the subject site	4
	B. Size and location	4
4.	Existing Conditions	4
	A. Land Use Plan Designations	4
	B. Zoning Designations	4
	C. Existing Improvements	5
	D. Environmental Features	5
5.	Proposed Development Plan	7
	A. Proposed Uses	7
	B. Existing Plats	9
	C. Development Standards	10
	D. Traffic and Pedestrian Circulation	10
	E. Open Space Plan	11
	F. Utilities	12
	G. Parking and Loading Standards	13
	H. Lighting and Signage Standards	14
	I. Elevations and Building Orientation	15
	J. Sustainable Development Elements	16
6.	Analysis of Public Facilities and Services	17
	A. Sanitary Sewer Analysis	17
	B. Potable Water Analysis	17
	C. Drainage Analysis	17
	D. Solid Waste Analysis	17
	E. Traffic Analysis	18
	F. Mass Transit Analysis	18
7.	Fiscal Impact Analysis	19
8.	Site Plan and Master Plan Procedures and Requirements	19
9.	Dedications	20
10.	Special Land Uses	20

EXHIBITS

- EXHIBIT A Survey
- EXHIBIT B Location Map
- EXHIBIT C Future Land Use Plan Designations Map
- EXHIBIT D Zoning Designations Map
- EXHIBIT E Local Areas of Particular Concern Map
- EXHIBIT F Wellfield Protection Zone Map
- EXHIBIT G Soils Map
- EXHIBIT H Development Plan (Preliminary Site Plan)
- EXHIBIT H-1 Parking Plan
- EXHIBIT I Development Standards
- EXHIBIT J Traffic Circulation Plan
- EXHIBIT K Open Space Plan
- EXHIBIT L Preliminary Landscape Plan and Buffer Cross-Sections
- EXHIBIT M Schematic Engineering Plan
- EXHIBIT N Preliminary Lighting Plan
- EXHIBIT O Preliminary Building Elevations and Sign Plan

1. INTRODUCTION

A. Purpose and intent

Regency Realty Group, Inc. ("Applicant") is the contract purchaser of 36+/- acres located at the northwest corner of Atlantic Boulevard and Lyons Road in the City of Coconut Creek ("Subject Property"). The Subject Property consists of the Coolidge Plat, Tilinda Plat and Parcel B of the Cocopalms Plat. Under the same contract, the Applicant is also the contract purchaser of 6 +/- acres, known as the Luland Plat which is located immediately west of the Subject Property in the City of Margate. The Applicant is proposing to develop a shopping center, Cocomar Plaza, on the Subject Property and the adjacent Luland Plat property. The major tenants in Cocomar Plaza will be Kohl's and Lowe's.

That portion of proposed Cocomar Plaza located in the City of Coconut Creek is currently zoned Planned Commerce District (PCD), B-3 and B-4. The existing Diaz PCD was adopted almost ten years ago and the City's standards for PCDs have changed since that time. Therefore, at the request of City staff, the Applicant is proposing the Cocomar Plaza PCD for the Subject Property which takes into consideration the current development pattern in the area, planning and development issues facing the City today, as well as current planning and development standards being implemented by the City. The standards and regulations established in the Cocomar Plaza PCD shall replace and supersede those adopted in the Diaz PCD.

The Luland Plat property will be developed as an integral part of proposed Cocomar Plaza consistent with the standards, regulations and requirements of the City of Margate.

This PCD document outlines specific standards and procedures required in Section 13-355 of the City of Coconut Creek Land Development Code that will guide the development of that portion of Cocomar Plaza located in the City of Coconut Creek. Implementation of this PCD will result in a planned shopping center with uniform and coordinated development standards. Through the comprehensive planning process that the City has established for PCD's and the resulting development regulations, the City will ensure that the proposed development is an asset to the City and the surrounding community.

B. Definitions

The definitions applied to the Cocomar Plaza Planned Commerce District are contained in Section 13-355(b) of the City of Coconut Creek Land Development Code.

2. APPLICANT INFORMATION

A. Name, address, telephone, and facsimile number of the applicant.

Regency Realty Group, Inc.
One Independent Drive, Suite 114
Jacksonville, FL 32202
Contact: David A. McNulty
Phone: 904-598-7612
Facsimile: 904-354-6094

B. Name, address, telephone, and facsimile number of the agent.

Dennis D. Mele, Esq.
Ruden, McClosky, Smith, Schuster & Russell, P.A.
200 East Broward Boulevard, Suite 1500
Fort Lauderdale, FL 33301
Telephone: 954-527-2409
Facsimile: 954-333-4009

C. Name, address and telephone number of the current property owner(s).

Coolidge Inc.
5541 University Drive, Suite 103
Coral Springs, Florida 33067
Contact: Paul H. Kupfer, Esq.
Kupfer, Kupfer & Skolnick, P.A.
5541 University Drive, Suite 103
Coral Springs, Florida 33067
Phone: 954-755-3600 x209
Facsimile: 954-905-2222

D. Applicant's rationale for the rezoning.

The Applicant proposes to develop a shopping center on the Subject Property that will include Kohl's, Lowe's and smaller commercial uses. The PCD provides the City with an opportunity to implement a cohesive

FTL:2210678:12

development plan for the entire site, taking into consideration the unique characteristics of this site and the surrounding properties.

The Subject Property is located at the intersection of two major arterials at the southern end of Coconut Creek: Lyons Road and Atlantic Boulevard. This location is a major gateway to the City and is currently platted for commercial use. The proposed development plan is appropriate for this gateway location and is consistent with the uses anticipated by the approved plats.

In 1988, Broward County designated approximately 12+/- acres of the Subject Property as a Local Area of Particular Concern (LAPC). The quality of the LAPC has been reduced by approximately 50% over time due to the lack of maintenance of the area and the growth of invasive species. Surrounding development as well as the Cocomar Canal bisecting the property has greatly impacted the hydrology of the wetland and upland areas of the LAPC. Currently the native wetland and upland species cannot be viewed by the public due to the dense growth of the invasive species Brazilian pepper. If left in its existing state, the exotic species will continue to out-compete the native species and further diminish the benefit of the LAPC. The Applicant will restore and enhance the remaining 50% (approximately 6+/- acres) of quality LAPC area by removing the invasive species, installing nature trees, shrubs and ground cover in open areas left by the removal of exotics, and relocating native species. The remaining LACP area, or Preserve Area, will be maintained, by the Applicant, free of exotics for a minimum of five years in order for the area to revert back to a viable native Florida habitat. The proposed restoration and maintenance plan has been discussed and submitted to Broward County for review. A conservation easement will be placed on the preserve area after the limits are approved by Broward County. The Applicant is committed to making the LAPC an environmental and aesthetic benefit to the site and the community.

The proposed shopping center will provide a substantial economic benefit for the City of Coconut Creek. This rezoning will facilitate development of a vacant property that will generate additional revenue from property tax, sales tax and permit fees. These additional revenues will help the City continue to provide quality public facilities to its residents. In addition, the development will provide new employment opportunities for City residents. A typical Kohl's of the size proposed at this location employs approximately 150 full and part-time employees. The proposed Lowe's is expected to employ 150-175 full and part-time employees.

3. SITE DESCRIPTION

A. Survey of the subject site

See EXHIBIT A.

B. Size and location

The Subject Property consists of 36+/- acres located at the northwest corner of Atlantic Boulevard and Lyons Road in the City of Coconut Creek. A location map that identifies the Subject Property in relation to major roadways in the surrounding area is provided as EXHIBIT B.

4. EXISTING CONDITIONS

A. Current land use plan designation(s) for the site and surrounding area.

The current land use plan designation for the Subject Property, as shown on the City of Coconut Creek Land Use Plan, is Commercial. The current land use plan designations in the surrounding area are provided below and depicted in EXHIBIT C:

- North: Residential L-5, Residential (5.04 du/acre), Park and Recreation
- West: Commercial
- South: Commercial, Residential (13 du/acre) and Community Facilities
- East: Parks and Recreation, Residential (10 du/acre)

B. Current zoning designation(s) for the subject site and surrounding area.

The current zoning designations on the Subject Property are PCD, B-3 and B-4. The zoning designations in the surrounding area are provided below and depicted in EXHIBIT D.

- North PUD, RS-4, P
- West B-2
- South B-2, CF-1 and PUD
- East PUD and RM-10

C. Existing Improvements

A portion of the West Cocomar Canal traverses the Subject Property. Along the eastern portion of the property are FP&L transmission and distribution lines. There are no buildings on the property.

D. Environmental Features.

In October 1988 Broward County designated approximately 12+/- acres of the Subject Property as Environmentally Sensitive Lands (ESL) and portions of it were designated as a Local Area of Particular Concern (LAPC). See EXHIBIT E. The LAPC designation is given to property that contains native habitats that are in good condition (contain little or no exotics) or with some maintenance could remain in good condition and provide a viable habitat for native birds and mammals. The condition of the LAPC has been degraded due to the growth of exotics since the designation in 1988.

This LAPC is split by the Cocomar drainage canal that runs north to south through the area. The native vegetation on each side of the LAPC is described below.

LAPC Area – West

The LAPC west of the Cocomar drainage canal is made up of a red maple wetland forest and a mixed oak upland forest. The wetland forest area consists of red maple (*Acer rubrum*) and cabbage palm (*Sabal palmetto*) in the canopy, shoebutton ardisia (*Ardisia elliptica*) in the midstory and ground cover of leather fern (*Acrostichum aureum*), royal fern (*Osmunda regalis*) and swamp fern (*Blechnum serrulatum*).

The upland forest consists of a canopy of live oak and laurel oak (*Quercus virginiana* and *Q. laurifolia*), cabbage palm, strangler fig (*Ficus aurea*). Simpson stopper (*Myrcianthes fragrans*) and wild coffee (*Psychotria nervosa*) are found in the midstory with a ground cover of swamp fern and shield fern (*Thelypteris* spp.).

LAPC Area – East

The east side of the LAPC consists of an upland and wetland forest. The wetland forest consists of a canopy of bald cypress and pond cypress (*Taxodium distichum* and *T. ascendens*), red maple, strangler fig, cabbage palm, laurel oak, and pond apple (*Annona glabra*). Ground cover is made up of leather fern, royal fern, and swamp fern.

The upland forest is made up of strangler fig, cabbage palm and red maple in the canopy. Midstory consists of wild coffee, marlberry (*Ardisia escallonioides*) and firebush (*Hamelia patens*) with ground cover of swamp fern and shield fern.

In 1988 when this property was designated as an LAPC the native habitats were relatively free of exotics. There were more native tree, shrub, and herbaceous species present than invasive exotics which made them good quality native habitats worthy of the LAPC designation and worthy of preserving. Currently, the entire LAPC area is extremely infested with the exotic species Brazilian pepper and bishopwood (*Bischofia trifoliata*) in all three strata: canopy, midstory, and ground cover. Brazilian pepper especially is very thick and has out-competed native species in all three strata.

The Applicant has submitted an application for Environmental Impact Review (EIR) to Broward County that outlines the proposed development plan for Cocomar Plaza as well as mitigation and restoration plan for the LAPC. Due to the heavy infestation of Brazilian pepper, this LAPC cannot be enjoyed by the community. The Applicant has developed a plan to make this LAPC an environmental and aesthetic benefit to the overall site and the community. Approximately 6+/- acres of the LAPC are proposed to be restored to their natural condition, enhanced with native species, and preserved through a conservation easement. The proposed development plan and site plan identify the proposed preserve area. Following review and approval of the EIR by Broward County, the limits of the preserve area will be identified in a recorded conservation easement. The Applicant proposes a pedestrian way along the south end of the preserve and public viewing areas, subject to Broward County approval. In addition, the landscape plan has been designed with trees and other landscape materials that blend with the existing features of the LAPC and continue the natural elements of the LAPC throughout the Subject Property.

The Subject Property is not located within a wellfield protection zone. See EXHIBIT F.

According to the National Cooperative Soil Survey, the soils on the Subject Property are Hallandale fine sand and Margate fine sand. See EXHIBIT G. These soil types cover a large part of Broward County. In order to comply with drainage requirements, fill will be required to be placed over the surface of the Subject Property.

5. PROPOSED DEVELOPMENT PLAN

A. Proposed Uses

As indicated above, the land use plan designation on the Subject Property is Commercial. The allowable uses in the PCD are those that are permitted in the Commercial land use plan designation as follows:

- Retail uses
- Office and business uses
- Hotels, motels and similar lodging
- Community facilities

The proposed use and intensity for the PCD are provided below.

Proposed PCD	
Use	Intensity
Commercial	340,000

The PCD development plan for the Subject Property is provided as EXHIBIT H and it includes Kohl's, Lowe's and commercial outparcels with drive-throughs. A proposed site plan is being processed concurrent with this PCD for the Kohl's and Lowe's. If the major tenants of the development change, a PCD and site plan amendment would be required prior to construction. The site plan for each outparcel shall be reviewed and approved by the Planning and Zoning Board consistent with the outparcel development standards provided below. The site plan review shall include approval of the location and orientation of any drive-throughs on the outparcel sites.

The following uses shall be considered permitted uses in the PCD:

- Animal grooming (no overnight boarding)(2)
- Apparel and accessory stores
- Arts, crafts and drafting supplies
- Auctioneers
- Automobile parts (no service or installation)(1)
- Automobile and truck rental agency (office only)(5)
- Automobile tag agency
- Bake shop and delicatessen
- Bank with drive-through
- Barbershops, beauty/nail salons and tanning salons
- Kohl's and Lowe's "Big Box" retail over 75,000 sq. ft.
- Building materials
- Business services
- Dance, musical instruction and martial art studios

FTL:2210678:12

Detective and security agencies
Drug stores and pharmacies, with drive-through, as freestanding or in-line bay
Dry cleaners, with drive-through, as freestanding or in-line bay
Employment agencies
Financial institutions, with drive-through, as free standing or in-line bay
Mortgage and stockbrokers
Florists
General Offices
General retail not otherwise specified
Government offices
Gyms and exercise clubs
Hardware stores
Household equipment rental(4)
Jewelry shops with repair (no smelting)
Lawn and garden supplies and equipment
Liquor Stores
Maid, valet and janitorial services
Medical laboratories
Medical offices and clinics
News stands (1)
Pet stores(2)
Photographic and artist studios
Printing, lithograph and reproduction
Professional offices not otherwise specified
Real estate office
Repair shops for small household appliances and locksmiths(4)
Restaurants, carry-out snack shops, etc., with drive-through
Secretarial, data processing and temporary staffing services
Shoe repair
Trade, technical and business schools(3)
Travel agencies
Video stores

- (1) Permitted use when occupying an in-line bay. Freestanding units are special land uses.
- (2) Must conduct business wholly within a building.
- (3) No motor vehicle or marine repair.
- (4) No outside storage or display of equipment or supplies.
- (5) Parking spaces for business vehicles must be provided in excess of the required number for the use.

Specific uses for outparcels will be determined, consistent with the uses listed above, at the time of site plan approval. The outparcels will be approved under separate site plans and they will be consistent with the architectural theme established in the PCD. Due to the significant amount of invasive species on the Subject Property, the outparcels will be cleared concurrent with the clearing that is necessary to accommodate development shown on the Cocomar Plaza site plan. The outparcels will be hydro-seeded after clearing. All outparcels will meet the following development standards:

- parking spaces shall be provided at a minimum of 1 space per 300 square feet of gross leaseable area unless shared parking is provided
- all landscaping in vehicular use areas on outparcels shall be provided according to the City Code requirements
- drive-through windows shall not face Atlantic Boulevard
- four stacking spaces shall be provided for each drive-through bay
- pedestrian connectivity shall be maintained as indicated on the Cocomar Plaza site plan
- all signage for outparcels shall be designed consistent with the approved Master Sign Plan for Coconut Plaza
- minimum 10 foot setback from outparcel boundary shall be provided; however, said setback shall be increased to accommodate any drive-through facilities
- building architecture shall include elements that are consistent with the overall design of the Cocomar Plaza

The areas for outdoor display of merchandise are identified in Exhibit H. Any outdoor display of merchandise in the areas identified in Exhibit H shall require seasonal/promotional sales event permit approval, as applicable.

B. Existing Plats

The Cocomar PCD includes three plats: Coolidge Plat, Tilinda Plat and Cocopalm Plat. The Coolidge Plat covers the majority of the Subject Property and is restricted to single story commercial uses. Lowe's and smaller commercial uses are proposed on this plat. A plat note amendment is not needed for the Coolidge Plat. The Tilinda Plat covers the western portion of the Cocomar PCD and is also restricted to single story commercial uses. A two-story Kohl's is proposed for the Tilinda Plat. Therefore, a plat note amendment is required to accommodate

FTL:2210678:12

Kohl's. The plat note amendment application has been submitted to Broward County; however, it has not yet been scheduled for County Commission Approval. The PCD also includes Parcel B of the Cocopalm Plat which is restricted to no development. The proposed site plan does not locate any buildings within Parcel B of the Cocopalm Plat; therefore, it complies with the existing plat restriction and no amendment is required.

C. Development Standards

The development standards that apply to the permitted uses are provided in EXHIBIT I.

D. Traffic and Pedestrian Circulation

The on-site traffic circulation system has been developed to ensure safe and adequate circulation for both vehicles and pedestrians as shown in EXHIBIT J. Onsite signage and elevated stamped pavement is provided at key locations as traffic calming measures to reduce the length of continuous drive aisles.

All proposed buildings in the PCD have access to the regional roadway network from Atlantic Boulevard and Lyons Road via platted access points on the Coolidge and Tilinda Plats. Due to the fact that the Applicant is also the contract purchaser of the Luland Plat property, cross-access will be provided through the Luland Plat giving the PCD access to Banks Road as well.

Sidewalks currently exist along Atlantic Boulevard and Lyons Road. An internal pedestrian system is provided to connect all the buildings in the PCD, the preserve area and the public sidewalks. To further enhance the pedestrian connectivity and the aesthetics on the site, the Applicant has incorporated a pedestrian boardwalk on the south side of the outparcels that are adjacent to a lake. This boardwalk includes seating areas, landscape areas and outlooks onto the lake. See EXHIBIT J.

The Applicant evaluated several alternatives for connecting the Subject Property to the City's Greenway Master Plan. One option that was considered is a pedestrian path through the northern landscape buffer, continuing along the back side of Lowe's, and ending at the southern end of the preserve. This option is depicted as the Alternate Pedestrian Design in EXHIBIT J. The second option as shown in EXHIBIT J of the PCD is an enhanced pedestrian walkway from Lyons Road, connecting to the proposed boardwalk along the lake, and ending at the southern end of the preserve. The second option is the Applicant's preferred option as it

avoids the rear truck loading areas of Lowe's and leaves the northern buffer area fully intact. This proposed route also provides pedestrians with a pleasant walking experience adjacent to the lake and natural areas being created on the site. The proposed design incorporates seating areas along the path, trellises and a pedestrian bridge connection to Atlantic Boulevard. See EXHIBIT J.

The location of curb cuts and turning movements at driveway locations are consistent with those approved during the platting process. If changes to the driveway locations or turning movements are approved by FDOT and Broward County, EXHIBIT J may be amended without the need to amend the PCD provided the criteria in Section 8 Site Plan and Master Plan Procedures and Requirement of this PCD are met.

E. Open Space Plan

The PCD regulations require that a minimum of 20% of the site be devoted to open space. EXHIBIT K depicts the proposed open space program for the Subject Property which was designed with landscape areas that enhance the site and the surrounding community. The open space plan incorporates enhanced environmental areas, lake areas, foundation plantings, landscape buffers and vehicular use area landscaping to provide open space in excess of the 20% minimum requirement.

As mentioned earlier, the Subject Property contains an area designated by Broward County as an LAPC. Currently, the entire LAPC area is extremely infested with the exotic species including Brazilian pepper and bishopwood. Brazilian pepper especially is very thick and has out-competed native species throughout the LAPC. The Applicant proposes to preserve and enhance approximately 6+/- acres of the LAPC. Preservation of the LAPC will involve removal of all exotics and replanting of native tree, shrub, and herbaceous species in large open spaces. Approximately 240 exotic trees have been identified thus far will be removed from the site. In addition 2.4 acres of exotic tree canopy within the area to be preserved will be removed. The Applicant will also transplant viable native species into the preserve area and maintain the preservation area for five (5) years following exotic removal which is the typical maintenance period required by Broward County. This maintenance period will allow the area to convert back into a viable native Florida habitat and be a sustainable preserve. The preservation and enhancement of the higher quality portions of the LAPC will result in a long term benefit to the environment of the City and the region.

The Applicant also proposes to add preserve viewing areas that will create a pleasant environment to observe the flora and fauna in the preserve. These viewing areas are subject to approval by Broward County.

The open space program incorporates the natural elements of the LAPC throughout the PCD. For example, lake areas are incorporated into the perimeter buffers by including appropriate plantings at the edges of some of the lake areas. These areas will create interest along the water edges by providing pleasing vistas and attract water birds to the site. The grasses and other plant materials used throughout the buffers are similar to and compatible with the species located in the preserve.

The Applicant is currently working with the utility companies and consultants to determine if there are facilities located or planned in the utility easement located on the northern property line. If the utility easements are not needed, the Applicant will submit applications to abandon those easements and will relocate the proposed wall in the buffer closer to the northern property line to accommodate the concerns of the adjoining residents.

The preliminary landscape plan and perimeter buffer cross-sections are attached as EXHIBIT L.

F. Utilities

An FP&L transmission line currently exists on the east side of the property. These facilities are exempt from the regulations of Ordinance 2005-032 regarding underground utilities. An FP&L distribution line is co-located on the same poles. No other above-ground utilities currently exist on or adjacent to the subject property. Concurrent with this PCD application, the Applicant is requesting a waiver of the requirement to bury the FP&L distribution line currently located on the east side of the property that are subject to Ordinance 2005-032. All other utilities within the PCD will be installed underground.

Transformers shall be placed on the ground and contained within pad mounts, enclosures or vaults. Adequate landscaping including shrubs and plants shall screen all utility facilities permitted above ground. Final plans will reflect coordination with landscape designs to avoid future maintenance problems, where possible. No permanent structures shall be in conflict with proposed water main(s) and/or sanitary sewer facilities. In addition, light poles shall be located so as to not conflict with any proposed utilities or landscaping. All light poles shall be in compliance

with Florida Building Code, latest edition including the ability to sustain 140 MPH wind loads.

The schematic engineering plan is provided as EXHIBIT M.

G. Parking and Loading Standards

The proposed development plan includes a shopping center in excess of 250,000 square feet. Therefore, all uses in the PCD will provide a minimum of one parking space for every 300 square feet of gross leasable area, unless shared parking is identified. A portion of the required parking for the Cocomar PCD is provided on the adjacent Luland Plat located in the City of Margate. That portion of the parking in the City of Margate is shown for informational purposes on the Cocomar Plaza site plan that is being processed concurrent with this PCD; however, this parking will be reviewed and permitted by the City of Margate. The parking located in the City of Margate will be constructed concurrent with Kohl's and will be maintained by the Applicant to meet the number of parking spaces required by the City of Coconut Creek. If any changes to the number of parking spaces are proposed to the parking area in the City of Margate after approval of the Cocomar Plaza site plan, the Applicant will consult with the City of Coconut Creek prior to approval of these changes by the City of Margate.

Any buildings developed on the Luland Plat will be provided with sufficient parking to meet the City of Margate requirements.

The development plan includes a variety of parking space sizes to reduce the amount of asphalt used, increase landscape areas and conserve energy. See EXHIBIT H-1. Parking spaces located along the eastern perimeter of the parking field are those farthest away from the Lowe's entrance. These spaces are the ones that customers are least likely to use. These spaces are intended to be used by employees on a long term basis during a work shift. Generally, there would be less traffic in and out of these spaces during the course of a day than would occur in the parking spaces closer to the building entrance. Therefore, these spaces are one foot narrower than the spaces closest to the building entrances or 9 feet by 20 feet, including a 2 foot overhang. Parking spaces located nearest to Lowe's that would have the highest demand from customers and contractors are 10 feet by 20 feet, including a 2 foot overhang. Those spaces located in the middle portion of the parking field are 9.5 feet by 20 feet, including a 2 foot overhang. The overhangs are not counted to meet landscape requirements.

Bicycle parking spaces are also provided throughout the site in excess of the requirements of Section 13-406 of the Land Development Code.

Loading spaces are provided according to code to serve Kohl's, Lowe's and the future outparcel uses.

Onsite signage and elevated stamped pavement are provided at key locations as traffic calming measures to reduce the length of continuous drive aisles.

H. Lighting and Signage Standards

All proposed lighting has been designed according to the requirements in Section 13-374 and Subdivision IV of Division 4 of the City Code. Trees have been located so as to not conflict with proposed light poles in the parking field. Decorative lighting features have been added to the development plan. Please refer to the lighting details submitted with the site plan application. The poles provided comply with Florida Building Code requirements as provided above. See EXHIBIT N for proposed lighting plan.

All signs in the PCD shall be architecturally consistent with the applicable building, in accordance with a Master Sign Plan. The Applicant is proposing two (2) primary monument signs with tenant identification spaces. Each primary monument sign shall be no more than 150 square feet and will identify the shopping center name, Kohl's and Lowe's, and two of the outparcel tenants to be determined at the time of site plan approval for the respective outparcel, provided that the outparcel tenant does not require secondary monument signage. These primary monument signs will also include the site address. All other secondary monument signs will comply with the requirements in Section 13-458(e)(1) of the City Code.

Two walls sign will be provided for Kohl's as reflected in EXHIBIT O. The Applicant proposes that these wall signs shall not exceed 5 feet in height and 39 feet in length for a maximum sign area of 195 square feet. This wall sign will extend no more than 13 inches from the building face. All wall signs consist of individual internally illuminated letters.

One primary wall sign and directional signs for the garden center and indoor lumber yard will be provided for Lowe's as reflected in EXHIBIT O. The Applicant proposes that the primary wall sign shall not exceed 8 feet in height and 31 feet in length for a maximum sign area of 248 square

FTL:2210678:12

feet. The Applicant also proposes that the two directional wall signs shall not exceed 53 and 81 square feet, respectively. These wall signs will extend no more than 13 inches from the building face and will be consist of individually internally illuminated letters.

The exact dimensions and area of proposed signage is reflected on the building elevations, sign plan and site plan. See EXHIBITS H and O. The Signage Plan is provided in EXHIBIT O and will be approved as part of the site plan.

Façade signs for each outparcel will be included in the site plan application for each outparcel when the tenants are identified.

I. Elevations and Building Orientation

Elevations for the proposed buildings are provided in EXHIBIT O. The Applicant and consultant team have worked to design a development that balances the City's vision for the area, the requirements of the tenants and the unique conditions on the site and the surrounding area.

The Applicant recognizes that the Subject Property is located at the southern gateway to the City and that Lyons Road is the major north/south arterial in the City. In order to protect the visual aspects of the Lyons Road corridor, the Lowe's building is set back 370 feet from Lyons Road and an attractive roadway buffer is provided. Although the City's Land Development Code would permit up to seven outparcels on the perimeter of the property, the Applicant has limited the number of outparcels to a maximum of four and they are located along the Atlantic Boulevard frontage, not the Lyons Road frontage.

The Applicant, Lowe's, and Kohl's ("Approving Parties"), have agreed that all buildings within Cocomar Plaza will be constructed with an architecturally compatible theme, as reflected in the proposed building elevations contained in EXHIBIT O ("Theme"). In order to insure compliance with this Theme, each outparcel user shall be required to submit construction plans depicting the proposed building and materials to be used at the premises to the Approving Parties for review and approval prior to submittal to the City of Coconut Creek. If an Approving Party rejects the construction plans for not complying with the established Theme, the submitting party and the Approving Parties shall consult to discuss and agree upon revisions to the proposed plans. Once approved, no material deviations shall be made to the approved plans without approval from the Approving Parties and the City of Coconut Creek. This process shall also

FTL:2210678:12

apply to any proposed major additions, reconstruction or other modifications that will modify the building's exterior after site plan approval.

J. Sustainable Development Elements

Green building concepts have been included in the plans for this development to satisfy the requirements of Section 13-320 of the City of Coconut Creek Land Development Code. The specific green building elements that will be included in each building will be identified at the time of site plan approval. The green building elements for each building may include but are not limited to the following:

Kohl's

- Energy Star Roof
- Water Efficient Landscaping (front planters)
- Water Use Reduction
- Optimize Energy Performance
- Measurement and Verification of Mechanical Systems
- Construction Waste Management Recycled Content
- Regional Materials (need to confirm location of steel supplier)
- Construction IAQ Management Plan, during construction
- Low-Emitting Materials
- Innovation in Design
- LEED A.P.

Lowe's

- Construction Activity Pollution Prevention – Erosion and Sedimentation Control
- Storage and collection of recyclables
- Regional material – 10% extracted processed and manufactured locally
- Environmental tobacco smoke control

The Applicant will make future outparcel tenants aware of the City's sustainable development regulations. Each outparcel tenant will identify the specific sustainable development elements of their buildings at the time of site plan submittal.

6. ANALYSIS OF PUBLIC FACILITIES AND SERVICES

A. Sanitary Sewer Analysis

The Subject Property is located in the City of Margate service area. A schematic engineering plan that depicts the sewer connection points and a preliminary layout of the sewer lines serving the site is provided as EXHIBIT M. Approximately 4,000 linear of 8" City of Margate public force main will be constructed by the Applicant from the existing connection point on Lyons Road through the project to Banks Road as requested by the City of Margate Utilities Division. This estimate may change after the utility plans are reviewed by the City of Margate. The sanitary sewer system on the Subject Property will include a gravity sewer systems connecting to a lift station that will connect into the City of Margate 8" force main that traverses the site. The exact location, size and service points will be determined at the time of site plan approval.

B. Potable Water Analysis

The City of Margate provides potable water service to the Subject Property. A schematic engineering plan that depicts the potable water connection points and a preliminary layout of the potable water lines serving the site is provided as EXHIBIT M. A stub out to the site is provided on Lyons Road and a water main is located in the Atlantic Boulevard right-of-way adjacent to the site. The exact location, size and service points will be determined at the time of site plan approval.

C. Drainage Analysis

The Subject Property is located within the Cocomar Water Control District. A combination of dry-pretreatment areas and exfiltration trenches will be constructed on site for pretreatment of stormwater. Stormwater will be directed to Cocomar canal that runs through the site. The elevation of the subject site will be raised to comply with the requirements of the City of Coconut Creek, Broward County and SFWMD. The specific on-site drainage improvements will be identified during the site plan approval process.

D. Solid Waste Analysis

The City of Coconut Creek is served by the Wheelabrator North Broward, Inc. solid waste facility. This facility produces power by incineration and sells it to local utilities.

All Service Refuse provides waste collection service in the City. Dumpster locations are provided on the Development Plan, EXHIBIT H. The final locations will be identified on the approved site plan and will provide adequate solid waste collection locations on the site.

E. Traffic Analysis

The traffic impacts of the Subject Property were evaluated during the platting process and restrictive notes were placed on the property to identify the vested development. Parcel B of Cocopalms Plat is restricted to no development. The Coolidge and Tilinda Plats are restricted to single story commercial uses with no square footage limits. Based on a 25% building coverage ratio approximately 98,000 square feet of single-story commercial use could be built on the Tilinda Plat and approximately 294,000 square feet of single-story commercial use could be built on the Coolidge Plat for a total building area of 392,000 square feet. The proposed development plan for the PCD will be limited to no more than 340,000 square feet, not including canopies and overhangs that may be counted as building area for TRIPS purposes by Broward County. Even with any canopies and overhangs, the proposed development plan will not exceed the 392,000 square feet of commercial use vested during the platting process. Therefore, the proposed development results in a decrease in the amount of traffic generated from the Subject Property.

F. Mass Transit Analysis

Transit service to the site is provided along Lyons Road and Atlantic Boulevard. Broward County Transit Route 42 travels Atlantic Boulevard from U.S. 1 to University Drive. Route 31 travels along Lyons Road between Hillsboro Boulevard and N.W. 19 Street. At the north end Route 31 continues west to State Road 7, and at the south end the route travels through Fort Lauderdale to the Central Terminal on Broward Boulevard. The proposed development will increase the number of potential mass transit trips generated by the subject site. There is adequate capacity on all the transit routes that serve the subject site. As a condition of plat approval, the Applicant is required to construct a bus bay on Atlantic Boulevard. This bus bay will be constructed in a bus bay easement located on the Luland Plat in the City of Margate. Sidewalks will be provided for pedestrian connectivity between Cocomar Plaza and the bus stop.

7. FISCAL IMPACT ANALYSIS

The proposed use will generate an additional tax base to the City of Coconut Creek. The current millage rate for the City of Coconut Creek is 5.3408. The total millage rate for all taxing entities within the City of Coconut Creek is 22.2501. Based on the estimated value of the building and land of approximately \$55 million, the City's estimated ad valorem tax benefit will be approximately \$293,744. The estimated tax benefit for other governmental entities would be approximately \$930,011.

8. SITE PLAN AND MASTER PLAN PROCEDURES AND REQUIREMENTS

Proposed site plans for the building, located on the Subject Property, shall be reviewed by the City Development Services Department and approved by the City Planning and Zoning Board pursuant to the development standards and permitted uses provided for in this PCD document.

The procedures and requirements for site plan approval for the Subject Property are as follows:

1. All information required by Article III, Division 5, Site Plan Review Requirements of the City Zoning Regulations shall be prepared for the area of the Building Parcel.
2. Common architectural elements shall be incorporated throughout the project.

Any site plan amendments for the Subject Property that fall within the criteria below shall not require amendment to the Cocomar Plaza PCD.

1. The modification does not substantially alter the intent and character of an approved site plan;
2. Any additional structures contemplated by any modification shall clearly be accessory to a principal use or structure;
3. Any modification shall not generate additional off-street parking or intrude into approved off-street parking areas on the Subject Property;
4. Any modification shall not substantially alter approved on or off-site schematic engineering.

- 5. Enhancement landscape plans that do not substantially alter the intent and character of an approved landscape plan.
- 6. Changes to architectural features or design that do not substantially alter the intent and overall character of the site plan or PCD.
- 7. Relocation of the wall closer to the north property line and any modification to the buffer plantings required to accommodate this shift.

9. DEDICATIONS

Land dedications and easements required for plat approval are identified on the recorded plats. Additional dedications required by the City, County or other governmental entities will be provided by separate instrument prior to the issuance of a certificate of occupancy for the Subject Property.

10. SPECIAL LAND USES

The Cocomar Plaza PCD includes major tenants that exceed 75,000 square feet and outparcels with drive-throughs. The analysis below is provided to demonstrate the steps that have been taken to ensure that these uses are consistent and compatible with the surrounding properties and zoning districts.

A. Setbacks in Excess of Those Required

The required PCD setback is 25'. Additional setbacks have been provided for all uses in the PCD as follows:

North:	98'
East:	89'
South:	33'
West:	40'

The above dimensions are measured from the respective adjacent right-of-way line or property line. They represent the setback for the closest building to the respective adjacent right-of-way or property line. However, the setback for the other buildings along Atlantic Boulevard and Lyons Road area much greater than the minimums listed above. For example the east setback line of 89' is for the one outparcel that is adjacent to Lyons Road. Lowe's represents a large percentage of the building frontage along Lyons Road and it is set back in excess of 300' from Lyons Road. In addition, because the right-of-way line for Atlantic Boulevard is set at an angle to the adjacent building faces, the southern

setback line varies for each of the buildings. The greatest setback is along Atlantic Boulevard could be as much as 200'.

B. Enhanced Landscaping

The Applicant will make a significant contribution to the natural environment in the City by agreeing to restore and enhance the LAPC on the Subject Property. This LAPC has been degraded since its designation due to the heavy growth of invasive species. Left unchecked, the invasive species could out-compete the native vegetation and the environmental benefits of the LAPC would be lost. The Application will make a substantial investment in restoring and enhancing the quality of the wetland and upland areas of the LAPC so that all the residents of the City can enjoy this natural area.

A number of enhanced landscape features have been included in the site. The City's PCD regulations require 20% open space throughout the site. In fact, the proposed landscape plan exceeds the 20% open space throughout the site. The roadway landscape buffer includes more shrubs than required and the number of trees, shrubs and ground cover provided in the foundation planting areas all exceed the code requirements. The exact numbers and percentages are reflected on the proposed site plan.

Particular attention was given to the northern buffer adjacent to the existing residential. A wall and continuous hedge are provided to buffer the adjacent residential development. The Applicant has added native grasses in planting beds along the north side of the wall. The Code requires trees to be located 30' on center and the Applicant has included trees in this buffer that exceed this requirement. The number of sable palms also exceeds the Code requirements. These additional plants as well as Pines and Dahoon Holly all carry the natural landscape theme through the residential buffer.

The Code requires 40% of all plant material to be native species. The plan provides a minimum of 70% native trees, native palms and native shrubs. Although this feature may not result in additional plant material on the site, the additional native species will help to reduce the amount of water required to maintain the required landscaping.

The Applicant is committed to maintaining as much of the existing vegetation on site as possible. Rather than removing all the unprotected vegetation and paying into the City's tree mitigation fund, the Applicant has identified sable palms that that can be retained on the property. These palms will either remain in their existing location or will be transplanted

on the site. The Applicant's consultant team has not yet inspected all the trees on the Subject Property. It is possible that additional trees can be relocated or retained on the Subject Property if they are in good condition and it is feasible to relocate them.

C. Signage Consistent with Approved Master Sign Plans and Appropriate City Sign Codes

A master sign plan is included in this PCD application. The proposed signage for Kohl's and Lowe's is included in this master sign plan except for miscellaneous informational and directional signs which will be provided at a later date, pursuant to Code requirements.

Ground and wall signage for outparcels will be submitted as part of the site plan approval package for each outparcel. Outparcel signage will be designed to be consistent with the signage for the major tenants. Primary monument signs will identify two outparcels on each sign provided that the outparcel tenants do not require separate, secondary monument signage.

D. Safe and Proper Access

The Subject Property is located adjacent to Atlantic Boulevard and Lyons Road. Access to the site is provided from both of these roadways. This site does not have direct access to any City streets. Therefore, the proposed uses will not have a negative impact on local streets in the area.

Access to the Subject Property is provided via platted openings on Atlantic Boulevard and Lyons Road. Cross access through the adjacent property to the west will also provide access to Banks Road. The turning movements proposed at each driveway are consistent with the approved plats. Access to the outparcels is provided via the internal circulation system on site.

E. Consistent and Acceptable Esthetic and Architectural Design

The building elevations provided in EXHIBIT O demonstrate the steps that the Applicant has taken to enhance the esthetics of the building elevations and provide pleasing architectural design throughout the site. In addition, the Applicant will establish an architectural review process as discussed previously in the PCD for all outparcel tenants to ensure that all future site plans submitted to the City will be consistent with the esthetics and architectural design established in the Cocomar Plaza site plan.

The Applicant has located lake areas along Atlantic Boulevard in order to increase the setback between the outparcels and Atlantic Boulevard. In addition the Applicant proposes to enhance the pedestrian connectivity between the outparcels through the use of outdoor seating, pedestrian walkways and benches as shown in EXHIBIT J. The view and interest of the lake area from the outparcels will be enhanced with appropriate plantings along the lake edge that will attract fish and birds.

F. Nuisance Abatement (noise, odor, visual)

The proposed department store, home improvement store and drive-throughs are typical nonresidential uses that are located along major roadway corridors in the City. These uses will not create excessive noise, glare, smoke, odor or other undesirable impacts that would be a nuisance to the community. The proposed uses shall comply will all nuisance abatement regulations of the City Code.

G. Proper Security Measures.

On-site security measures will be implemented to protect the customers and inventory. These measures include property lighting, access control devices, and inventory control devices that deter crime and reduce the need for public safety services on the site.

H. Public Safety Issues (lighting, flammability, hours of operation)

A complete lighting plan is included with the proposed site plan. The lighting plan meets the code requirements of City and also includes light shields along the entire perimeter of the site. The outparcels will also comply with all applicable lighting requirements.

Kohl's, Lowe's and drive-throughs and are not anticipated to utilize any flammable or hazardous materials other than those that would typically be associated with any of the permitted uses in the PCD.

For these reasons, the proposed department store, home improvement store and drive-throughs will not demand greater municipal public safety services than that resulting from any of the other uses permitted in the PCD or the surrounding area.

I. Proper location and stacking capability of any drive-through facility.

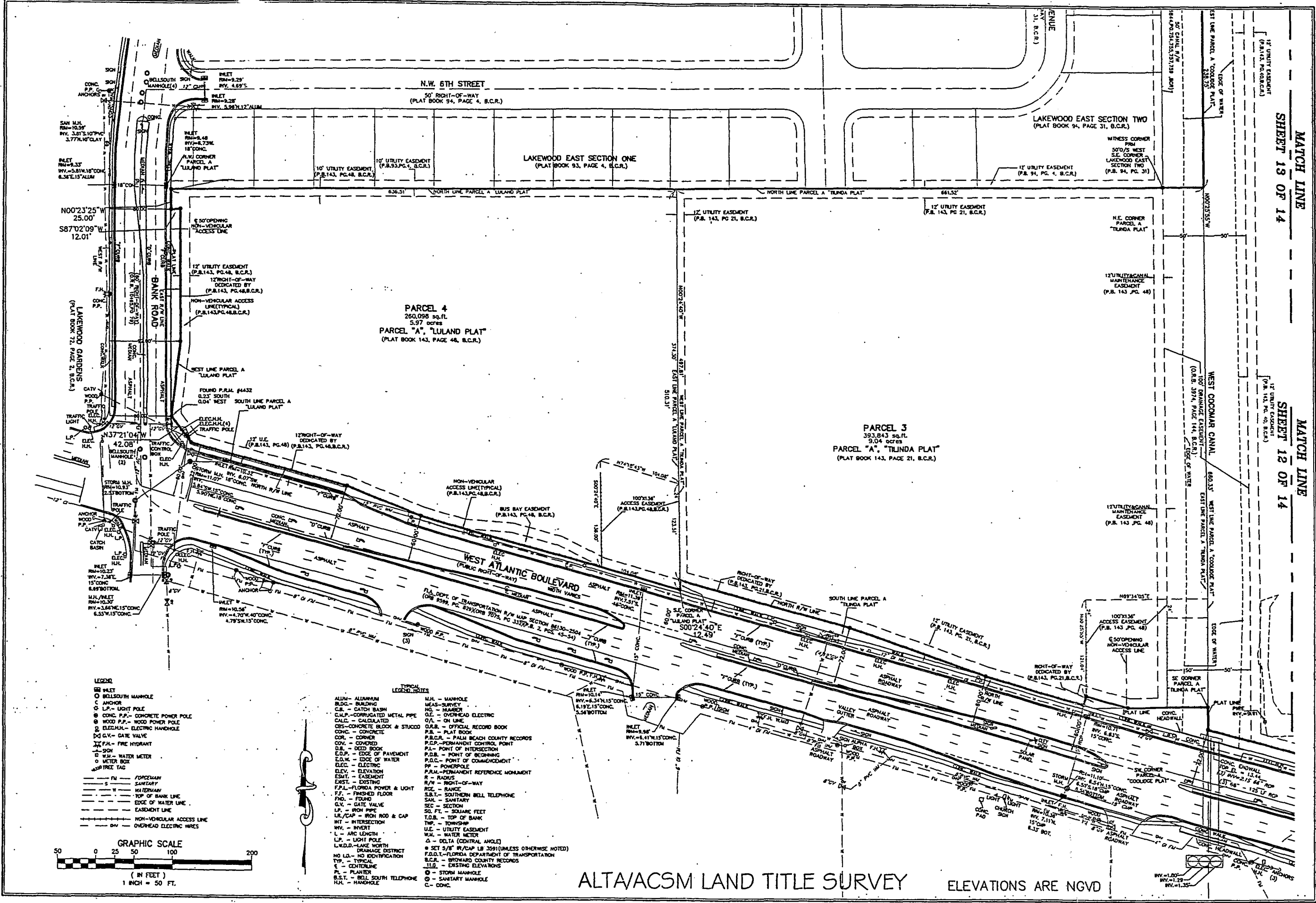
The proposed drive-through facilities will be reviewed and evaluated during site plan approval to determine compliance with all applicable

FTL:2210678:12

standards established in this PCD. The site plan review will ensure that the drive-throughs are properly located on the site and that there is adequate stacking capability for each facility. No drive through windows shall be located on building elevations facing Atlantic Boulevard.

FTL:2210678:12

EXHIBIT "A"



BY	
DATE	
REVISIONS	
FILE NAME	5251001.DWG

CAULFIELD & WHEELER, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 7301A W. PALMETTO PARK ROAD - SUITE 100A
 BOCA RATON, FLORIDA 33433
 PHONE (561) 392-1991 / FAX (561) 392-1504-452

**COOLIDGE-LULAND PROPERTY
 ALTA/ACSM LAND TITLE SURVEY
 UTILITY LOCATIONS**

DATE 1/11/08
 DRAWN BY CE
 F.B./PG. ELEC.
 SCALE AS SHOWN

JOB # 5251
 SHEET NO. 11
 OF 14 SHEETS

LEGEND

- INLET
- BELLSOUTH MANHOLE
- ANCHOR
- CONC. P.F. - CONCRETE POWER POLE
- WOOD P.F. - WOOD POWER POLE
- ELEC. H.H. - ELECTRIC HANDHOLE
- G.V. - GATE VALVE
- F.H. - FIRE HYDRANT
- SON - WATER METER
- METER BOX
- FORCE MAIN
- SANITARY
- WATER MAIN
- TOP OF BANK LINE
- EDGE OF WATER LINE
- EASEMENT LINE
- NON-VEHICULAR ACCESS LINE
- OVERHEAD ELECTRIC WIRES

TYPICAL LEGEND NOTES

- ALUM. - ALUMINUM
- BLDG. - BUILDING
- C.B. - CATCH BASIN
- C.C.P. - CORRUGATED METAL PIPE
- CALC. - CALCULATED
- CONC. - CONCRETE
- CONC. BLOCK & STUCCO
- CONC. - CONCRETE
- COR. - CORNER
- CONV. - COVERED
- D.B. - DEED BOOK
- E.P. - EDGE OF PAVEMENT
- E.W. - EDGE OF WATER
- ELEC. - ELECTRIC
- ELEV. - ELEVATION
- EMT. - EASEMENT
- EXST. - EXISTING
- F.P. - FLORIDA POWER & LIGHT
- F.F. - FINISHED FLOOR
- FO. - FOUND
- GV. - GATE VALVE
- IP. - IRON PIPE
- LR/CAP. - IRON ROD & CAP
- INT. - INTERSECTION
- INVT. - INVERT
- L. - ARC LENGTH
- LP. - LIGHT POLE
- L.M.D.D. - LAKE NORTH DRAINAGE DISTRICT
- NO. ID. - NO. IDENTIFICATION
- TY. - TYPICAL
- C. - CENTERLINE
- PL. - PLANTER
- S.T. - BELL SOUTH TELEPHONE
- H.H. - HANDHOLE
- M.H. - MANHOLE
- MEAS. - SURVEY
- NO. - NUMBER
- O.E. - OVERHEAD ELECTRIC
- O/L. - ON LINE
- P.B. - PLAT BOOK
- P.B.C.R. - PALM BEACH COUNTY RECORDS
- P.C.P. - PERMANENT CONTROL POINT
- P.I. - POINT OF INTERSECTION
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- PP. - POWERPOLE
- P.M. - PERMANENT REFERENCE MONUMENT
- R. - RADIUS
- R/W. - RIGHT-OF-WAY
- RGE. - RANGE
- S.B.T. - SOUTHERN BELL TELEPHONE
- SAN. - SANITARY
- SEC. - SECTION
- SQ. FT. - SQUARE FEET
- T.O.B. - TOP OF BANK
- TWP. - TOWNSHIP
- U.E. - UTILITY EASEMENT
- W.M. - WATER METER
- Δ - DELTA (CENTRAL ANGLE)
- SET 5/8" W/CAP LB 3591 (UNLESS OTHERWISE NOTED)
- F.D.O.T. - FLORIDA DEPARTMENT OF TRANSPORTATION
- B.C.R. - BROWARD COUNTY RECORDS
- ILL. - EXISTING ELEVATIONS
- - STORM MANHOLE
- - SANITARY MANHOLE
- C. - CONC.

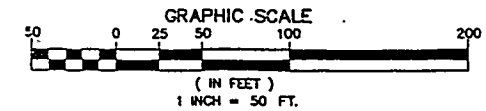
GRAPHIC SCALE
 50 0 25 50 100 200
 (IN FEET)
 1 INCH = 50 FT.

ALTA/ACSM LAND TITLE SURVEY ELEVATIONS ARE NGVD

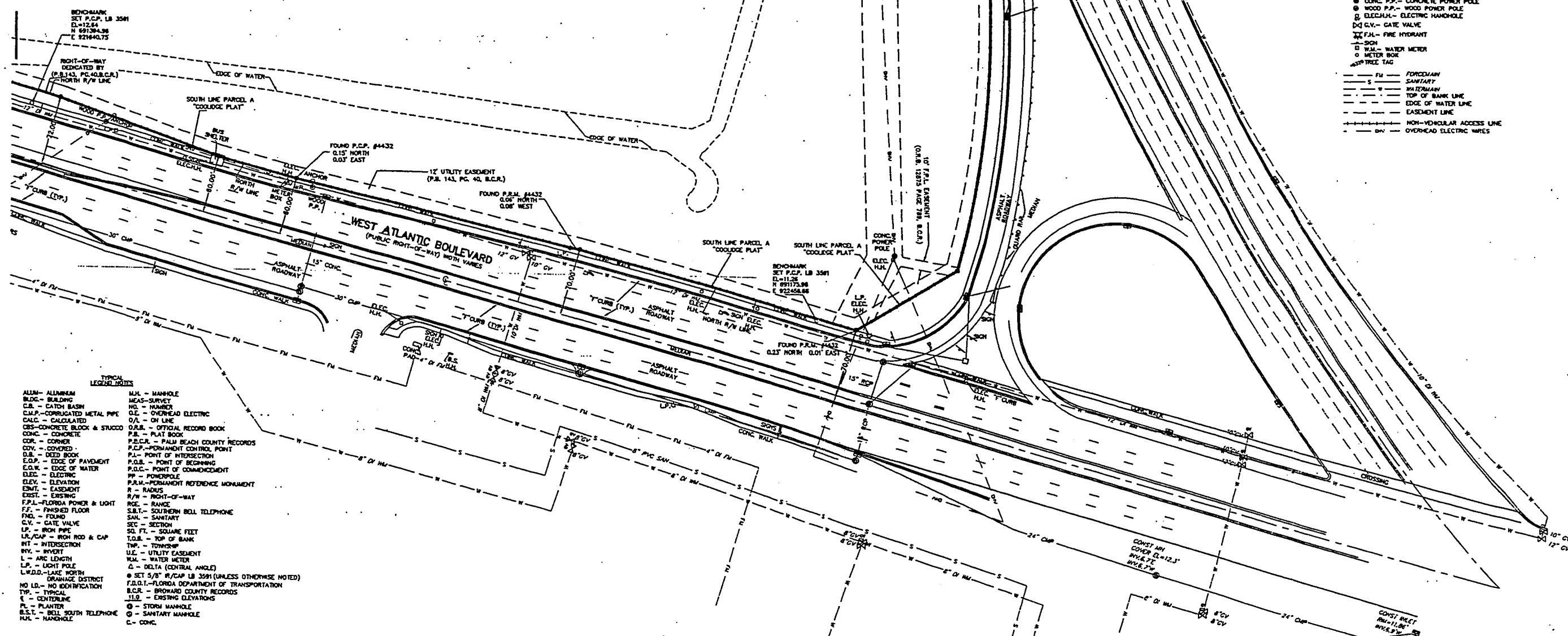
MATCH LINE
SHEET 13 OF 14

MATCH LINE
SHEET 11 OF 14

PARCEL 2
1,138,655 sq.ft.
26.14 acres
PARCEL "A", "COOLIDGE PLAT"
(PLAT BOOK 143, PAGE 40, B.C.R.)



- LEGEND
- INLET
 - BELLSOUTH MANHOLE
 - ANCHOR
 - LP - LIGHT POLE
 - CONC. P.P. - CONCRETE POWER POLE
 - WOOD P.P. - WOOD POWER POLE
 - ELEC.H.H. - ELECTRIC HANDHOLE
 - G.V. - GATE VALVE
 - F.H. - FIRE HYDRANT
 - SH - SIGN
 - WM - WATER METER
 - METER BOX
 - TREE TAG
 - FM - FOREDMAN
 - S - SANITARY
 - W - WATERMAIN
 - TOP OF BANK LINE
 - EDGE OF WATER LINE
 - EASEMENT LINE
 - NON-VEHICULAR ACCESS LINE
 - OVERHEAD ELECTRIC WIRES



- TYPICAL LEGEND NOTES
- ALUM - ALUMINUM
 - BLDG - BUILDING
 - C.B. - CATCH BASIN
 - C.M.P. - CORRUGATED METAL PIPE
 - CALC. - CALCULATED
 - CSB - CONCRETE BLOCK & STUCCO
 - CONC. - CONCRETE
 - COR. - CORNER
 - COV. - COVERED
 - D.B. - DEED BOOK
 - E.P. - EDGE OF PAVEMENT
 - E.O.W. - EDGE OF WATER
 - ELEC. - ELECTRIC
 - ELEV. - ELEVATION
 - EMT. - EASEMENT
 - EXIST. - EXISTING
 - F.P.L. - FLORIDA POWER & LIGHT
 - FF. - FINISHED FLOOR
 - FOUL. - FOUND
 - GV. - GATE VALVE
 - LP. - IRON PIPE
 - LR/CAP - IRON ROD & CAP
 - INT. - INTERSECTION
 - IRV. - IRVING
 - L. - ARC LENGTH
 - LP. - LIGHT POLE
 - L.W.D. - LAKE WORTH DRAINAGE DISTRICT
 - NO I.D. - NO IDENTIFICATION
 - TR. - TYPICAL
 - CL. - CENTERLINE
 - PL. - PLANTER
 - B.S.T. - BELL SOUTH TELEPHONE
 - M. - MANHOLE
 - M.H. - MANHOLE
 - MEAS - SURVEY
 - NO. - NUMBER
 - O.E. - OVERHEAD ELECTRIC
 - O/L. - ON LINE
 - O.R.B. - OFFICIAL RECORD BOOK
 - P.B. - PLAT BOOK
 - P.C.R. - PALM BEACH COUNTY RECORDS
 - P.C.P. - PERMANENT CONTROL POINT
 - P.I. - POINT OF INTERSECTION
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCEMENT
 - P.R.M. - PERMANENT REFERENCE MONUMENT
 - R. - RADIUS
 - R/W. - RIGHT-OF-WAY
 - RGE. - RANGE
 - S.B.T. - SOUTHERN BELL TELEPHONE
 - SAN. - SANITARY
 - SEC. - SECTION
 - SQ. FT. - SQUARE FEET
 - T.O.B. - TOP OF BANK
 - TRP. - TOWNSHIP
 - U.E. - UTILITY EASEMENT
 - WM. - WATER METER
 - Δ - DELTA (CENTRAL ANGLE)
 - © SET 5/8" R/CAP LB 3591 (UNLESS OTHERWISE NOTED)
 - F.L.D.T. - FLORIDA DEPARTMENT OF TRANSPORTATION
 - B.C.R. - BROWARD COUNTY RECORDS
 - 11.5. - EXISTING ELEVATIONS
 - ⊙ - STORM MANHOLE
 - ⊙ - SANITARY MANHOLE
 - C. - CONC.

ALTA/ACSM LAND TITLE SURVEY

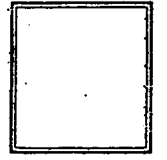
ELEVATIONS ARE NGVD

REVISIONS	DATE	BY

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND SURVEYING
7301A W. PALMETTO PARK ROAD - SUITE 900A
BOCA RATON, FLORIDA 33433
PHONE (561) 392-9991 / FAX (561) 500-4432

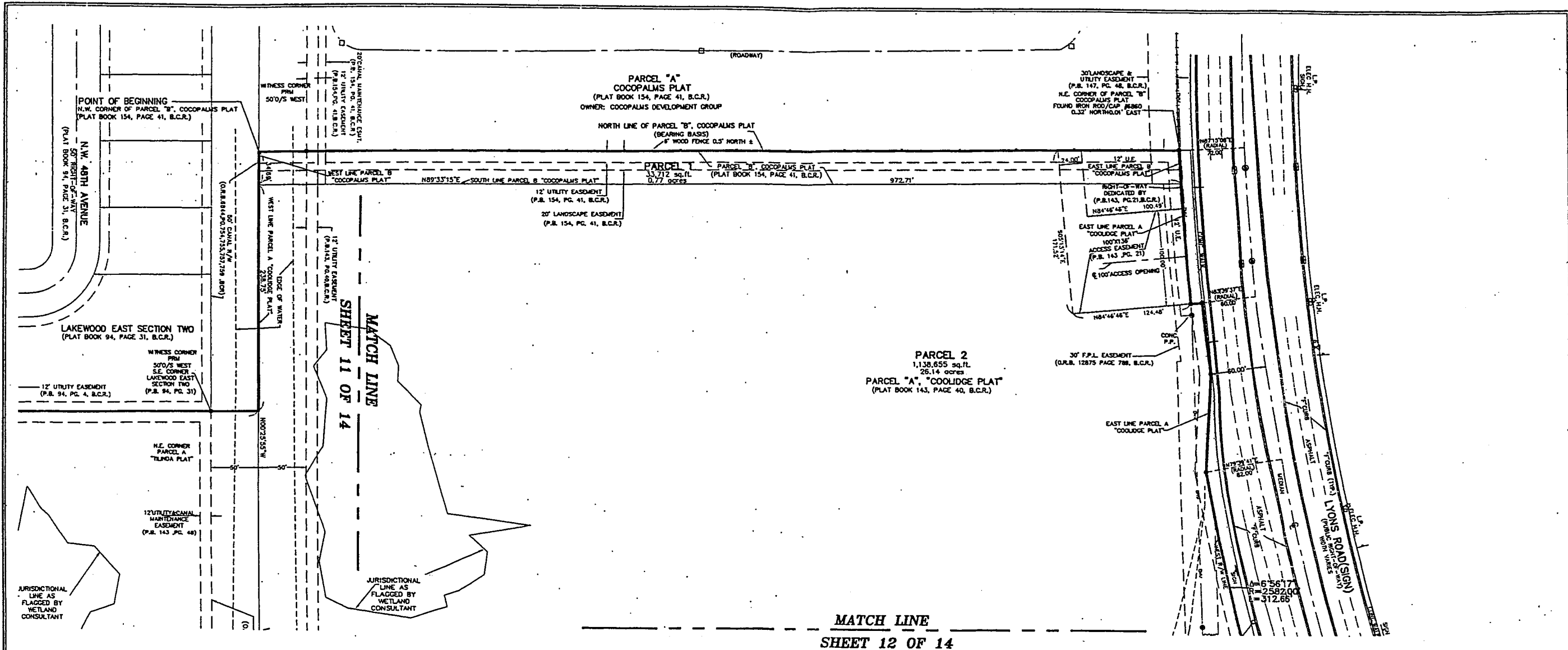
COOLIDGE-LULAND PROPERTY
ALTA/ACSM LAND TITLE SURVEY
UTILITY LOCATIONS

DATE 1/11/08
DRAWN BY CF
F.B./ PG. ELEC.
SCALE AS SHOWN



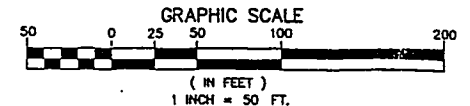
JOB # 5251
SHT. NO.
12
OF 14 SHEETS

01/16/2008



- TYPICAL LEGEND SYMBOLS**
- ALUM - ALUMINUM
 - BLDG - BUILDING
 - C.B. - CATCH BASIN
 - C.M.P. - CORRUGATED METAL PIPE
 - CALC. - CALCULATED
 - CB - CONCRETE BLOCK & STUCCO
 - CONC - CONCRETE
 - COR. - CORNER
 - COV. - COVERED
 - D.B. - DEED BOOK
 - E.O.P. - EDGE OF PAVEMENT
 - E.O.W. - EDGE OF WATER
 - ELEC. - ELECTRIC
 - ELEV. - ELEVATION
 - ESMT. - EASEMENT
 - EXIST. - EXISTING
 - F.P.L. - FLORIDA POWER & LIGHT
 - F.F. - FINISHED FLOOR
 - FND. - FOUND
 - G.V. - GATE VALVE
 - I.P. - IRON PIPE
 - I.R./CAP - IRON ROD & CAP
 - INT. - INTERSECTION
 - INV. - INVERT
 - L. - ARC LENGTH
 - L.P. - LIGHT POLE
 - L.W.D. - LAKE WORTH DRAINAGE DISTRICT
 - NO ID. - NO IDENTIFICATION
 - TP. - TYPICAL
 - E. - CENTERLINE
 - PL - PLANTER
 - B.S.T. - BELL SOUTH TELEPHONE
 - M. - MANHOLE
 - M.H. - MANHOLE
 - MEAS. SURVEY
 - NO. - NUMBER
 - O.E. - OVERHEAD ELECTRIC
 - O/L - ON LINE
 - D.R.B. - OFFICIAL RECORD BOOK
 - P.B. - PLAT BOOK
 - P.B.C.R. - PALM BEACH COUNTY RECORDS
 - P.C.P. - PERMANENT CONTROL POINT
 - P.I. - POINT OF INTERSECTION
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCEMENT
 - PP - PIONEER
 - P.R.M. - PERMANENT REFERENCE MONUMENT
 - R - RADIUS
 - R/W - RIGHT-OF-WAY
 - RCE. - RANGE
 - S.B.T. - SOUTHERN BELL TELEPHONE
 - SAN. - SANITARY
 - SEC. - SECTION
 - SQ. FT. - SQUARE FEET
 - T.O.B. - TOP OF BANK
 - TWP. - TOWNSHIP
 - U.E. - UTILITY EASEMENT
 - W.M. - WATER METER
 - W. - WATER MAIN
 - Δ - DELTA (CENTRAL ANGLE)
 - SET 5/8" I.R./CAP LB 3591 (UNLESS OTHERWISE NOTED)
 - F.D.D.T. - FLORIDA DEPARTMENT OF TRANSPORTATION
 - B.C.R. - BROWARD COUNTY RECORDS
 - ILL. - DISTING ELEVATIONS
 - - STORM MANHOLE
 - ⊙ - SANITARY MANHOLE
 - C - CONC.

- LEGEND**
- IN - INLET
 - BSM - BELL SOUTH MANHOLE
 - C - ANCHOR
 - LP - LIGHT POLE
 - CONC P.P. - CONCRETE POWER POLE
 - WOOD P.P. - WOOD POWER POLE
 - ELEC.H.M. - ELECTRIC HANDHOLE
 - G.V. - GATE VALVE
 - F.H. - FIRE HYDRANT
 - SI - SIGN
 - W.M. - WATER METER
 - M.B. - METER BOX
 - TR - TREE TAG
 - FM - FORCE MAIN
 - S - SANITARY
 - W - WATER MAIN
 - TOP OF BANK LINE
 - EDGE OF WATER LINE
 - EASEMENT LINE
 - NV - NON-VEHICULAR ACCESS LINE
 - OE - OVERHEAD ELECTRIC WIRES

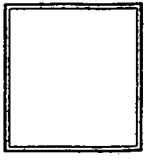


REVISIONS	DATE	BY

CAULFIELD & WHEELER, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 7301A W. PALMETTO PARK ROAD - SUITE 100A
 BOCA RATON, FLORIDA 33433
 PHONE (561) 392-1991 / FAX (561) 750-1452

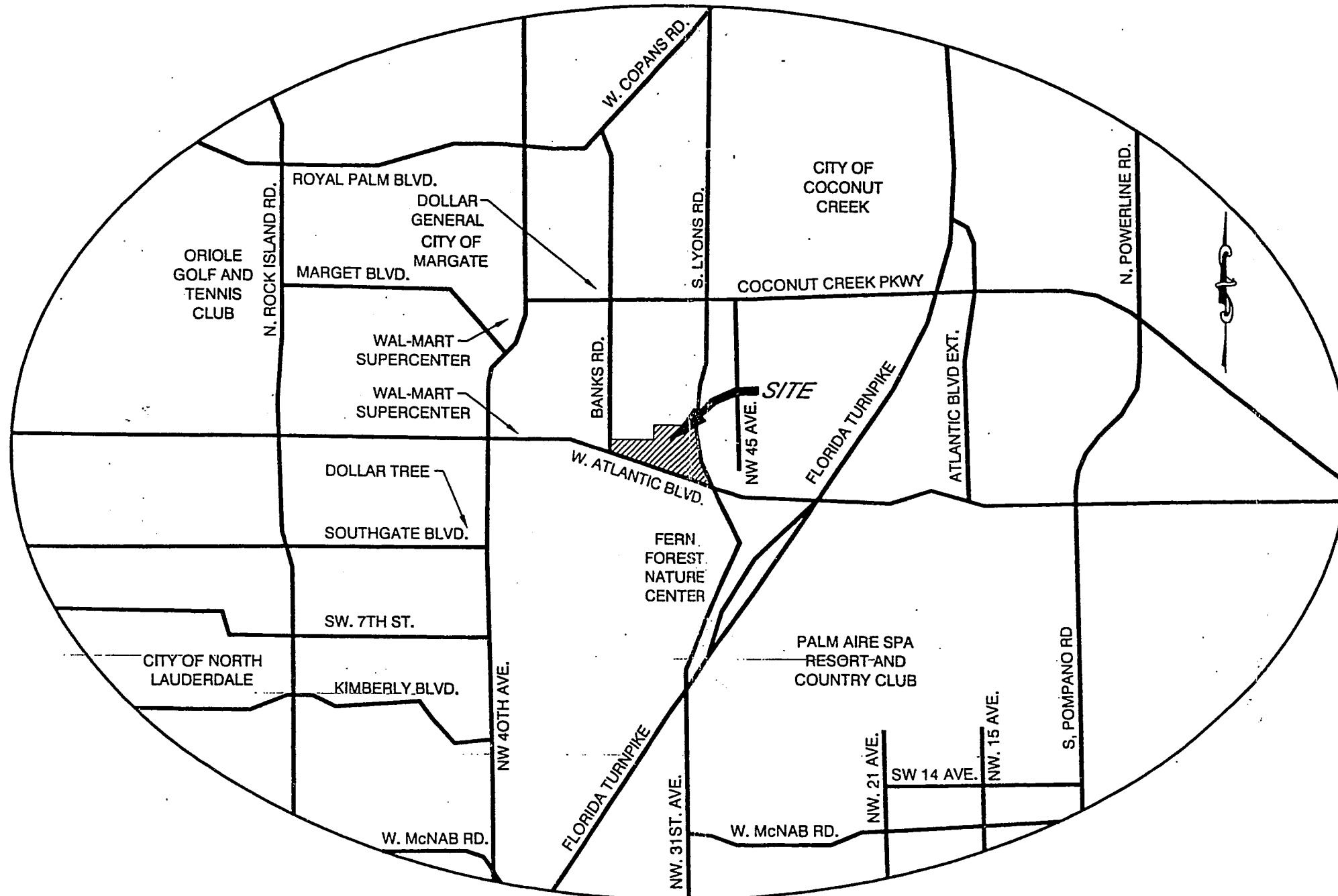
**COOLIDGE - LULAND PROPERTY
 ALTA/ACSM LAND TITLE SURVEY
 UTILITY LOCATIONS**

DATE 1/11/08
 DRAWN BY CE
 F.B./PG. ELEC.
 SCALE AS SHOWN



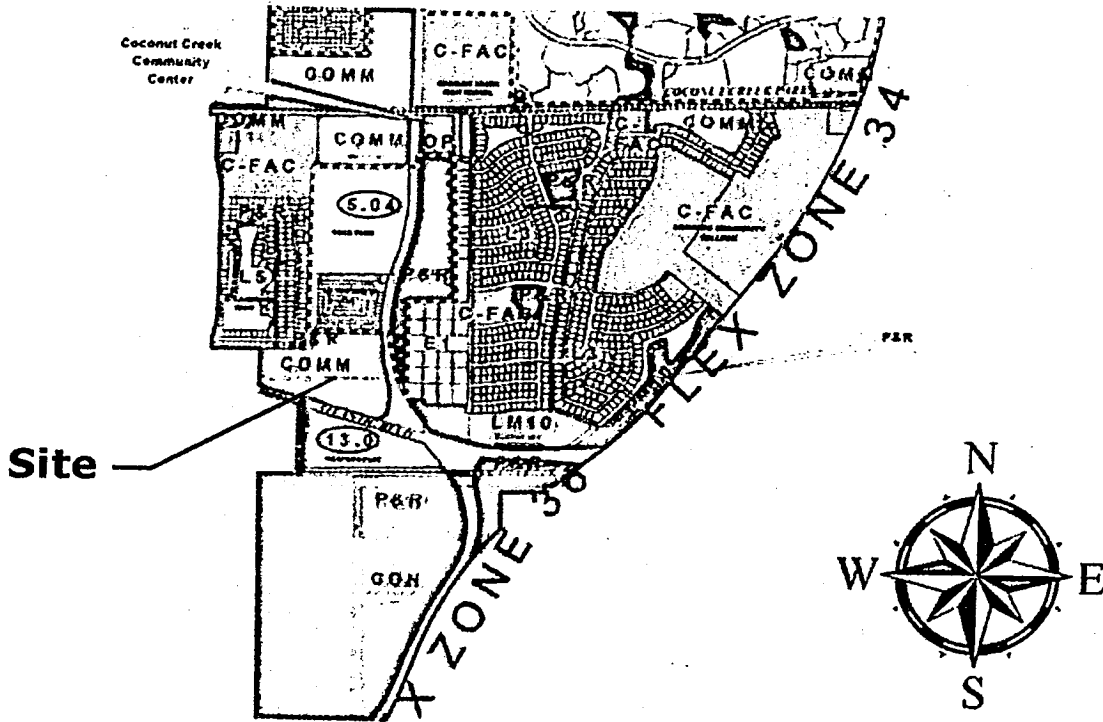
JOB # 5251
 SHEET
13
 OF 14 SHEETS

EXHIBIT "B"



VICINITY MAP - NOT TO SCALE

EXHIBIT "C"



City of
Coconut Creek
Future Land Use Map

Legend	
LAND USE	
[Symbol]	EST 1.0 Residential Estate 1 DU/Ac
[Symbol]	LOW 3.0 Residential 3 DU/Ac
[Symbol]	LOW 5.0 Residential 5 DU/Ac
[Symbol]	LOW 8.0 Residential 8 DU/Ac
[Symbol]	LOW-MED 10.0 Residential 10 DU/Ac
[Symbol]	LOW-MED 15.0 Residential 15 DU/Ac
[Symbol]	RAC Regional Activity Center
[Symbol]	C-OMM (C) Commercial Medium Density
[Symbol]	IND Industrial
[Symbol]	OP Office/Professional
[Symbol]	EC Employment Center
[Symbol]	P&R Parks & Recreation
[Symbol]	CON Conservation
[Symbol]	COM REC Commercial Recreation
[Symbol]	COM FAC Community Facilities
[Symbol]	U Utilities
[Symbol]	T Transportation (Major)
[Symbol]	R Residential (Major)
[Symbol]	CITY BOUNDARY
[Symbol]	UNINCORPORATED BROWARD COUNTY
[Symbol]	FLEX ZONE BOUNDARY

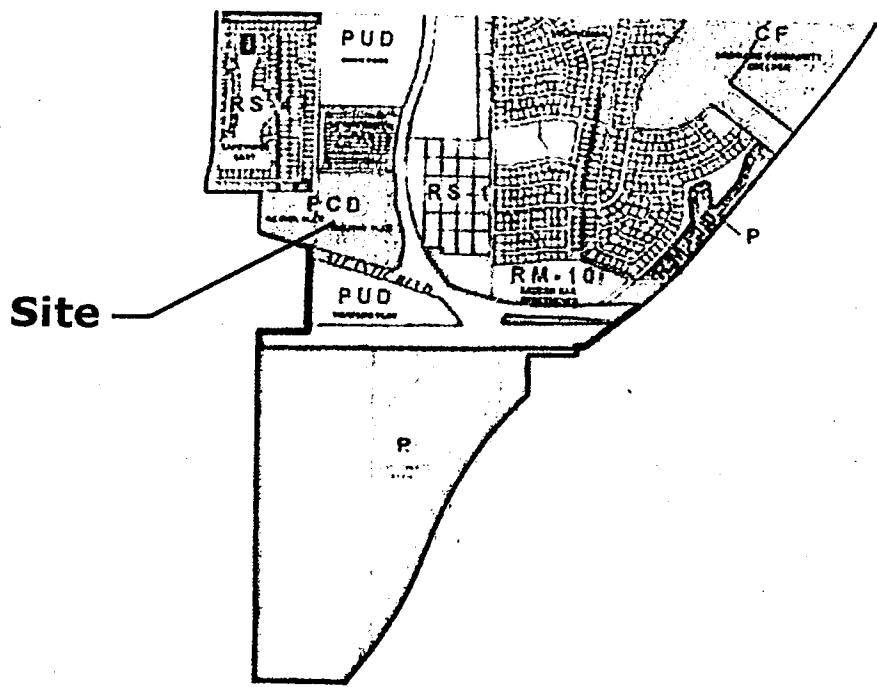
Future Land Use Map
City of Coconut Creek

Copyright © Giffels-Webster Engineers, Inc.
 No reproduction or use without the prior
 written consent of Giffels-Webster Engineers, Inc.


Giffels-Webster Engineers, Inc.
 ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 2871 BOND STREET, ROCHSTER HILLS, MI 48309
 (248) 852-3100

DATE: 1-17-07	CHECKED BY	DATE	SCALE: NTS
DRAWN:			SHEET:
DESIGN:			JOB No:
SECTION:			

EXHIBIT "D"



**City of
Coconut Creek
2006 Zoning Map**
updated January, 2007

Legend	
	ZONING
	A-1 Agricultural District
	RS-1 Residential Single-Family Detached - 1 DU/Ac
	RS-3 Residential Single-Family Detached - 3 DU/Ac
	RS-4 Residential Single-Family Detached - 4 DU/Ac
	RS-5 Residential Single-Family Detached - 5 DU/Ac
	RC-3 Residential Cluster - 5 DU/Ac
	RC-8 Residential Attached - 8 DU/Ac
	RM-10 Residential Medium-Density - 10 DU/Ac
	PUD Planned Unit Development
	MH-1 Mobile Home Park
	O-2 Local Office
	O-3 Regional Office
	B-2 Convenience Shopping
	B-3 Community Shopping
	B-4 Regional Shopping
	PMDD Planned Mainstreet Development District
	PCD Planned Commerce District
	IO-1 Industrial Office
	IM-1 Industrial Manufacturing
	GC Golf Course District
	CF Community Facility District
	P Parks and Recreation District
	PRESERVE Preserve
	ROAD Road
	S2-1 Special Zoning Overlay Area No. 1
	SU Special Utility Overlay Area

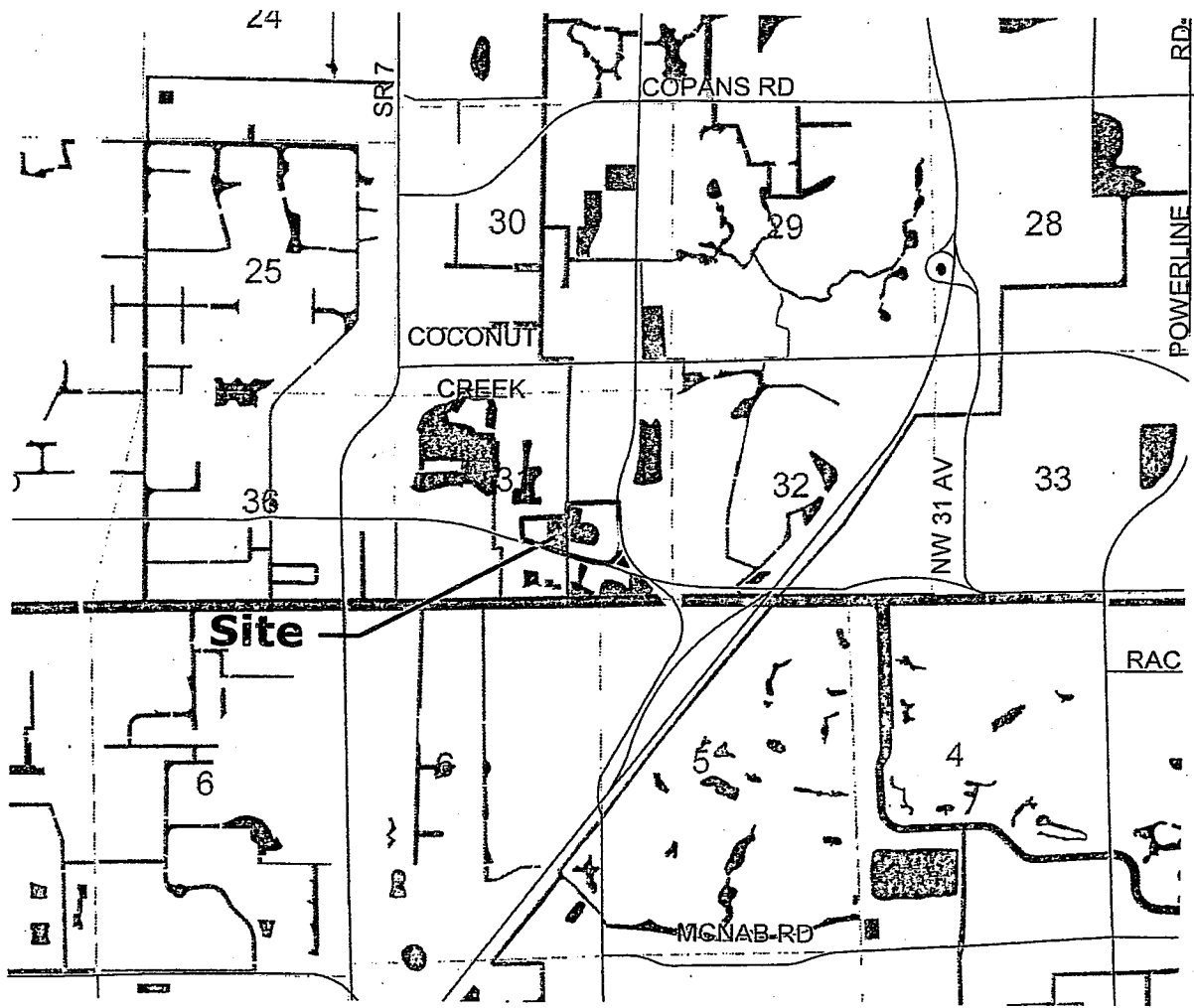
**Current Zoning Map
City of Coconut Creek**

Copyright © 2007 Giffels-Webster Engineers, Inc.
 No reproduction or use without the prior written consent of Giffels-Webster Engineers, Inc.

GWE
Giffels-Webster Engineers, Inc.
 ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 2871 HOND STREET, ROCHESTER HILLS, MI. 48309
 (248) 852-3100

DATE: 1-17-08	CHECKED BY	DATE	SCALE: NTS
DRAWN:			SHEET:
DESIGN:			JOB No:
SECTION:			

EXHIBIT "E"



- Local Area of Particular Concern
- Upland Tree Resources
- Natural Resource Area
- Environmentally Sensitive Land
- Environmentally Sensitive Land/
Local Area of Particular Concern


NOTES

1. Local Areas of Particular Concern (LAPC's) are subject to the requirements of Section 5-182(a) and Section 5-196(f) of the Broward County Land Development Code.
2. Environmentally Sensitive Lands (ESL's) are shown as established pursuant to the Environmentally Sensitive Lands Bond Issue of 1988. Areas depicted include Pinecrest State and Atlantic Professional Park Sites.
3. Natural Resource Areas (NRAs) are subject to the requirements of Section 5-182(c) of the Broward County Land Development Code.
4. Tree Resources are areas of significant native tree canopy in areas where the Broward County Tree Preservation Ordinance (Section 27-540 Natural Resource Protection Code) is enforced. This includes the municipalities of Tamarac, North Lauderdale, Lutz Lake, Wilton Manors, Hillside Beach, Lighthouse Point and Lauderdale-by-the-Sea, as well as unincorporated Broward County Areas which fall under ordinance regulations are not included.
5. This map does not conform to National Map Accuracy Standards.



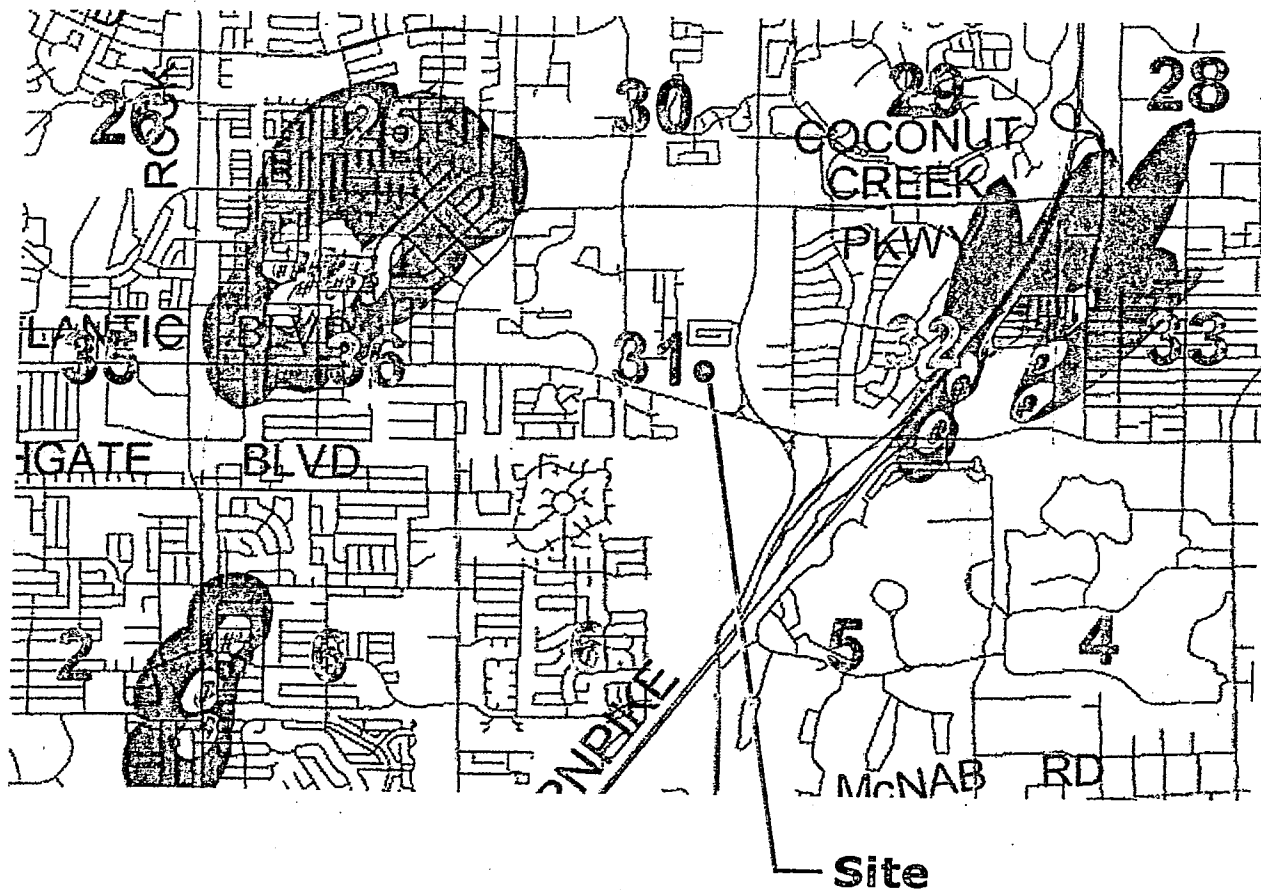
Broward County LAPC's, ESL's, NRA's and Tree Resources

Copyright © 2008 Giffels-Webster Engineers, Inc.
 No reproduction or transmission in any form or by any means
 without the prior written consent of Giffels-Webster Engineers, Inc.


Giffels-Webster Engineers, Inc.
 ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 2871 BOND STREET, ROCHESTER HILLS, MI. 48309
 (248) 852-3100

DATE: 1-17-08	CHECKED BY	DATE	SCALE: NTS
DRAWN:			SHEET:
DESIGN:			JOB No:
SECTION:			

EXHIBIT "F"



Legend

- Township/Section/Range
- Supply Wells
- Zones of Protection
 - Zone 1
 - Zone 2
 - Zone 3

Broward County Wellfield Map

As approved by the Broward County Board of County Commissioners on 11/14/00 and approved by the State of Florida Department of Community Affairs' final order on 2/16/01



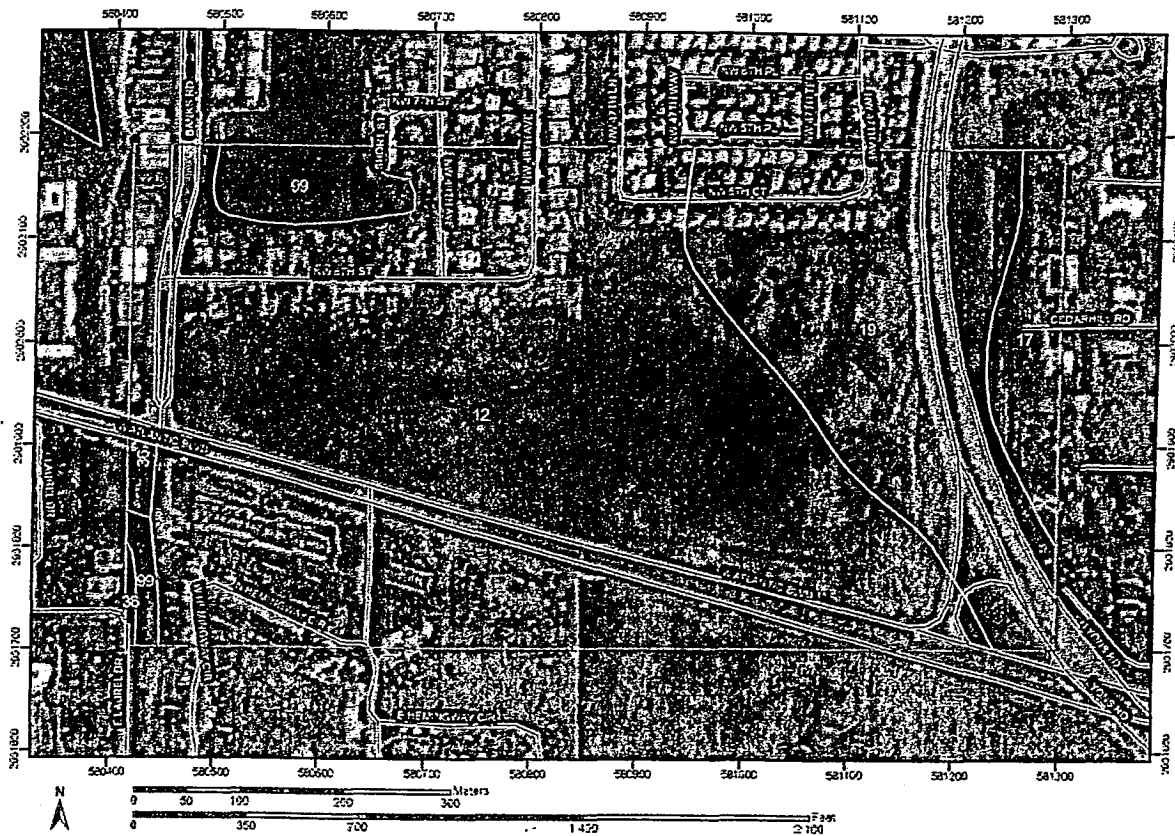
Giffels-Webster Engineers, Inc.
 ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 2871 BOND STREET, ROCHESTER HILLS, MI. 48309
 (248) 852-3100

DATE: 1-17-08	CHECKED BY	DATE	SCALE: NTS
DRAWN:			SHEET:
DESIGN:			JOB No:
SECTION:			

Copyright © 2008 Giffels-Webster Engineers, Inc. All rights reserved. No part of this map may be reproduced without the prior written consent of Giffels-Webster Engineers, Inc.

EXHIBIT "G"

Soil Map-Broward County Florida East Part



USDA
Natural Resources
Conservation Service

Web Soil Survey 2.0
National Cooperative Soil Survey

1/17/2008
Page 1 of 3

Map Unit Legend

Broward County, Florida, East Part (FL605)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
12	Hollandale fine sand	70.8	69.9%
17	Immokalee-Urban land complex	4.8	4.3%
19	Margate fine sand	23.7	22.4%
38	Udorthents	3.1	2.9%
99	Water	3.7	3.5%
Totals for Area of Interest (AOI)		105.9	100.0%

National Cooperative
Soil Survey

GWE
Giffels-Webster Engineers, Inc.
ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
2871 BOND STREET, ROCHESTER HILLS, MI. 48309
(248) 852-3100

DATE: 1-17-08	CHECKED BY	DATE	SCALE: NTS
DRAWN:			SHEET:
DESIGN:			JOB No:
SECTION:			

Copyright © 2008, Giffels-Webster Engineers, Inc.
 No reproduction or translation allowed without the prior written consent of Giffels-Webster Engineers, Inc.

EXHIBIT "H"

SIGN LEGEND

	STOP
	ONE WAY (RIGHT)
	ONE WAY (LEFT)
	ACCESSIBLE PARKING SIGN
	PENALTY SIGN
	VAN ACCESSIBLE SIGN
	PEDESTRIAN CROSSING SIGN
	ARROW TO FACE PROPER DIRECTION IN CONJUNCTION WITH W11-2
	NO PARKING - FIRE LANE SIGN (TO BE LOCATED EVERY 60' ALONG FRONTAGE)
	RIGHT TURN ONLY
	DO NOT ENTER SIGN
	NO PARKING - BUS STOP SIGN
	NO PARKING - LOADING ZONE SIGN
	EMPLOYEE PARKING SIGN

LEGEND

	PROP. LIGHT POLES
	PARKING STALL COUNTS
	SIDEWALK RAMP SEE SHEET SP-08.3 FOR DETAIL
	STOP BAR SEE SHEET SP-08.2 FOR DETAIL
	PROPOSED 20' WIDE LAKE MAINTENANCE EASEMENT

SITE DATA TABLE - COCONUT CREEK

CATEGORY	REQUIRED	PROVIDED
KOHL'S GROSS FLOOR AREA		100,780
KOHL'S PARKING (1sp/300sf)	336	370 TOTAL
(SUBTOTAL IN MARGATE = 325)		
(SUBTOTAL IN COCONUT CREEK = 45)		
LOWE'S GROSS FLOOR AREA (INCL. GARDEN CTR)	171,089 SF	
LOWE'S PARKING (1sp/300sf)	571	596
KOHL'S ADA	8	12
LOWE'S ADA	13	14
TOTAL	21	26
KOHL'S BICYCLE PARKING	11	11
LOWE'S BICYCLE PARKING	18	18
BUILDING SETBACKS:		
NORTH	25	98
SOUTH	25	178.64
EAST	25	310.01
WEST	0	41.70

CLEAR SIGHT TRIANGLE NOTE:

1. CLEAR SIGHT TRIANGLE SHALL BE UNOBSTRUCTED FROM 30 INCHES TO 6 FEET ABOVE GRADE.

STATEMENT OF INTEREST:

REGENCY CENTERS, INC. IS CONTRACTED TO PURCHASE THE SUBJECT PROPERTY.

PLAT NOTE:

1. APPLICANT INTENDS TO AMEND THE CURRENTLY APPROVED PLAT.

EXISTING LAND USE:

- THE SITE IS VACANT
- SOUTH OF THE SITE IS COMMERCIAL AND MULTI FAMILY RESIDENTIAL
- NORTH OF THE SITE IS SINGLE AND MULTI FAMILY RESIDENTIAL
- EAST OF THE SITE IS SINGLE FAMILY RESIDENTIAL
- WEST OF THE SITE IS VACANT (COMMERCIAL PROPOSED)

SIGNING AND MARKING NOTE:

1. PAVEMENT MARKING AND SIGNING MATERIAL SHALL BE FULL REFLECTORIZED WITH HIGH INTENSITY MATERIALS.
2. STOP BARS AND DOUBLE YELLOWS TO BE THERMOPLASTIC.

UTILITIES NOTE:

1. ALL PROPOSED UTILITIES ARE TO BE LOCATED UNDERGROUND.

TIME SCHEDULE:

- CONSTRUCTION START 11/2008
- CONSTRUCTION FINISH 11/2009

SITE LIGHTING NOTE:

1. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SITE AREA TABLE:

ZONING:	P.C.D.	S.F.	ACRES	%
TOTAL AREA:		1,596,417	35.98	100
LOWE'S (FOOTPRINT)		171,089	6.44	
KOHL'S (FOOTPRINT)		100,780	10.92	
TOTAL BUILDING AREA:		271,849	17.36	
GREEN SPACE(M/A):		813,290	39.15	
IMPERVIOUS AREA:		650,879	41.55	
SIDEWALKS:		30,399	1.94	

EXISTING STRIP CENTER

ZONED: B-2

OUTPARCEL SIGN NOTE:

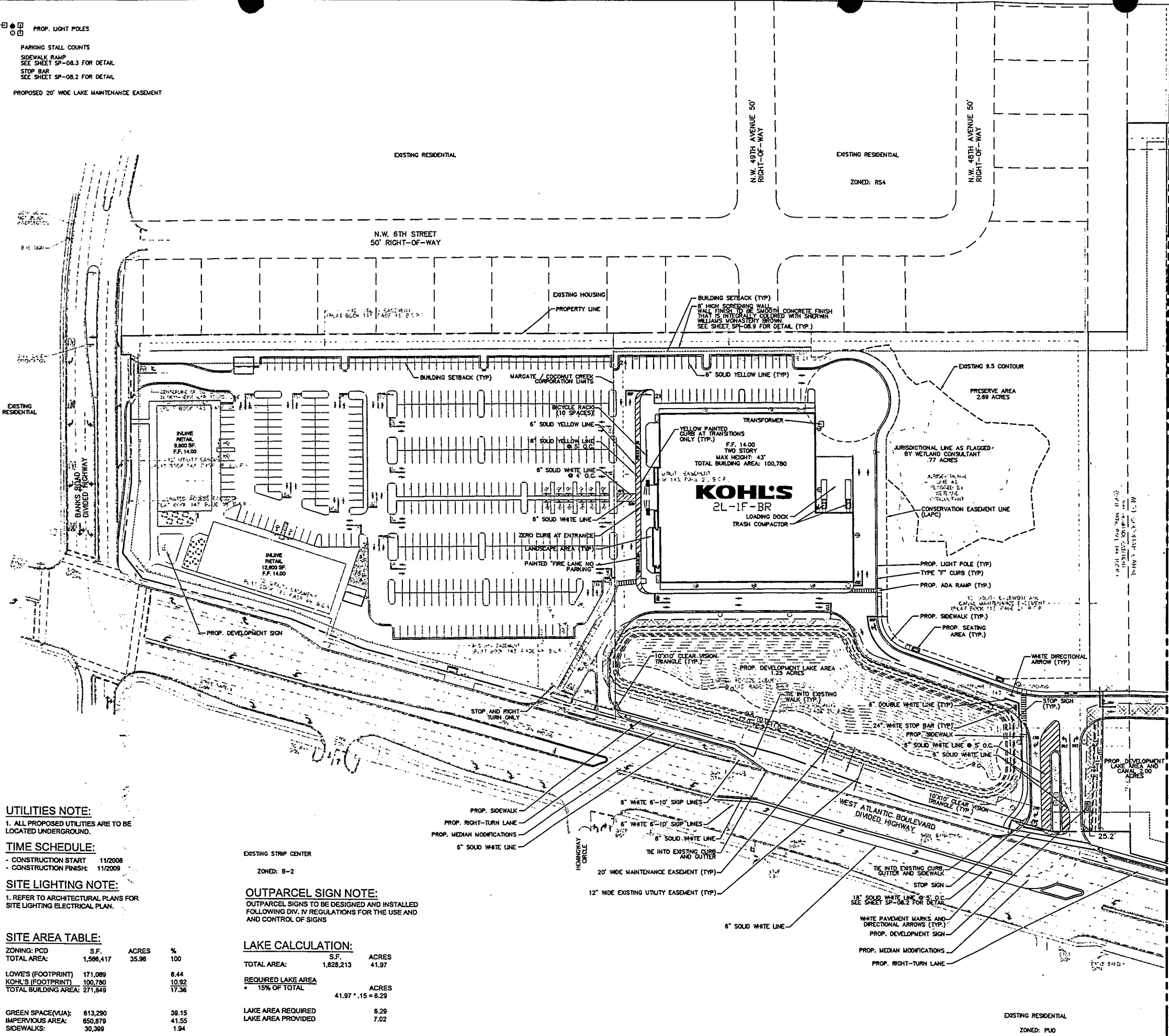
OUTPARCEL SIGNS TO BE DESIGNED AND INSTALLED FOLLOWING DIV. IV REGULATIONS FOR THE USE AND CONTROL OF SIGNS

LAKE CALCULATION:

TOTAL AREA:	S.F.	ACRES
TOTAL AREA:	1,828,213	41.97
REQUIRED LAKE AREA		
15% OF TOTAL	41.97 * .15 = 6.29	
LAKE AREA REQUIRED		6.29
LAKE AREA PROVIDED		7.02



PRELIMINARY NOT FOR CONSTRUCTION



REVISIONS

DATE	DESCRIPTION
11/2008	SITE PLAN SUBMITTAL
11/2008	SITE PLAN SUBMITTAL REVISED PER CITY COMMENTS
11/2008	SITE PLAN SUBMITTAL REVISED PER CITY COMMENTS

Terms and Conditions for Electronic Data:
 The Applicant is required to submit a hard copy of the information provided to the City of Jacksonville, Florida, in accordance with the provisions of the City Code, Chapter 222, Section 222.01, and the provisions of the City Code, Chapter 222, Section 222.02. The Applicant shall be responsible for the accuracy and completeness of the information provided. The Applicant shall be responsible for the accuracy and completeness of the information provided. The Applicant shall be responsible for the accuracy and completeness of the information provided.

PRINCIPAL: E.L.
PROJ. MNGR: D.L.
DESIGN: R.S.
DRAWN: A.C.
IND. REVIEW: D.L.

DEVELOPED FOR: REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster Engineers, Inc.
 ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS
 2871 BOND STREET
 ROCHESTER HILLS, MI 48069
 PHONE (248) 852-3100
 FAX (248) 852-8372
 487 E. FORT STREET, SUITE 800
 DETROIT, MI 48226
 PHONE (313) 962-4442
 FAX (313) 962-2968
 6363 26 WILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8950
 FAX (586) 781-8851
 E-MAIL info@giffelswebster.com
 www.giffelswebster.com

SHEET TITLE:
 SITE PLANS
 SITE LAYOUT PLAN

COCOMAR PLAZA
COCONUT CREEK, BROWARD CO., FL.

DATE: 12/19/2007
SCALE: 1" = 60 FEET
SHEET: SP-02.1
JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc. No reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, PE # 57848
 PROFESSIONAL SEAL

SIGN LEGEND

- STOP SIGN
- ONE WAY (RIGHT)
- ONE WAY (LEFT)
- ACCESSIBLE PARKING SIGN
- PENALTY SIGN
- VAN ACCESSIBLE SIGN
- PEDESTRIAN CROSSING SIGN
- ARROW TO FACE PROPER DIRECTION
- NO PARKING - FIRE LANE SIGN (TO BE LOCATED EVERY 60' ALONG FRONTAGE)
- RIGHT TURN ONLY
- DO NOT ENTER SIGN
- NO PARKING - BUS STOP SIGN
- NO PARKING - LOADING ZONE SIGN
- EMPLOYEE PARKING SIGN

MATCH LINE SEE THIS SHEET
SCALE: 1"=60'

SITE DATA TABLE - COCONUT CREEK

CATEGORY	REQUIRED	PROVIDED
KOHL'S GROSS FLOOR AREA		100,780
KOHL'S PARKING (1sp/300sf)	336	370 TOTAL
(SUBTOTAL IN MARGATE = 325)		
(SUBTOTAL IN COCONUT CREEK = 45)		
LOWE'S GROSS FLOOR AREA (INCL. GARDEN CTR)	171,069 SF	
LOWE'S PARKING (1sp/300sf)	571	596
ADA		
KOHL'S ADA	8	12
LOWE'S ADA	13	14
TOTAL	21	26
BICYCLE PARKING		
KOHL'S BICYCLE PARKING	11	11
LOWE'S BICYCLE PARKING	18	18
BUILDING SETBACKS:		
NORTH	25	98
SOUTH	25	178.64
EAST	25	310.01
WEST	0	41.70

UTILITIES NOTE:

1. ALL PROPOSED UTILITIES ARE TO BE LOCATED UNDERGROUND.

TIME SCHEDULE:

- CONSTRUCTION START: 11/2008
- CONSTRUCTION FINISH: 11/2009

SITE LIGHTING NOTE:

1. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SITE AREA TABLE:

ZONING:	S.F.	%
PCD	1,568,417	100
LOWE'S (FOOTPRINT)		
	171,069	6.44
KOHL'S (FOOTPRINT)		
	100,780	10.92
TOTAL BUILDING AREA:		
	271,849	17.38
GREEN SPACE (VIA):		
	813,290	39.15
IMPERVIOUS AREA:		
	850,879	41.55
SIDEWALKS:		
	30,399	1.94

CLEAR SIGHT TRIANGLE NOTE:

1. CLEAR SIGHT TRIANGLE SHALL BE UNOBSTRUCTED FROM 30 INCHES TO 6 FEET ABOVE GRADE.

LAKE CALCULATION:

	S.F.	ACRES
TOTAL AREA:	1,828,213	41.87
REQUIRED LAKE AREA		
15% OF TOTAL	41.97 * .15 = 6.29	
LAKE AREA PROVIDED		
	6.29	7.02

OUTPARCEL SIGN NOTE:

OUTPARCEL SIGNS TO BE DESIGNED AND INSTALLED FOLLOWING DIV. IV REGULATIONS FOR THE USE AND CONTROL OF SIGNS

CLEAR SIGHT TRIANGLE NOTE:

1. CLEAR SIGHT TRIANGLE SHALL BE UNOBSTRUCTED FROM 30 INCHES TO 6 FEET ABOVE GRADE.

STATEMENT OF INTEREST:

- REGENCY CENTERS, INC. IS CONTRACTED TO PURCHASE THE SUBJECT PROPERTY.

PLAT NOTE:

1. APPLICANT INTENDS TO AMEND THE CURRENTLY APPROVED PLAT.

EXISTING LAND USE:

- THE SITE IS VACANT
- SOUTH OF THE SITE IS COMMERCIAL AND MULTI FAMILY RESIDENTIAL
- NORTH OF THE SITE IS SINGLE AND MULTI FAMILY RESIDENTIAL
- EAST OF THE SITE IS SINGLE FAMILY RESIDENTIAL
- WEST OF THE SITE IS VACANT (COMMERCIAL PROPOSED)

SIGNING AND MARKING NOTE:

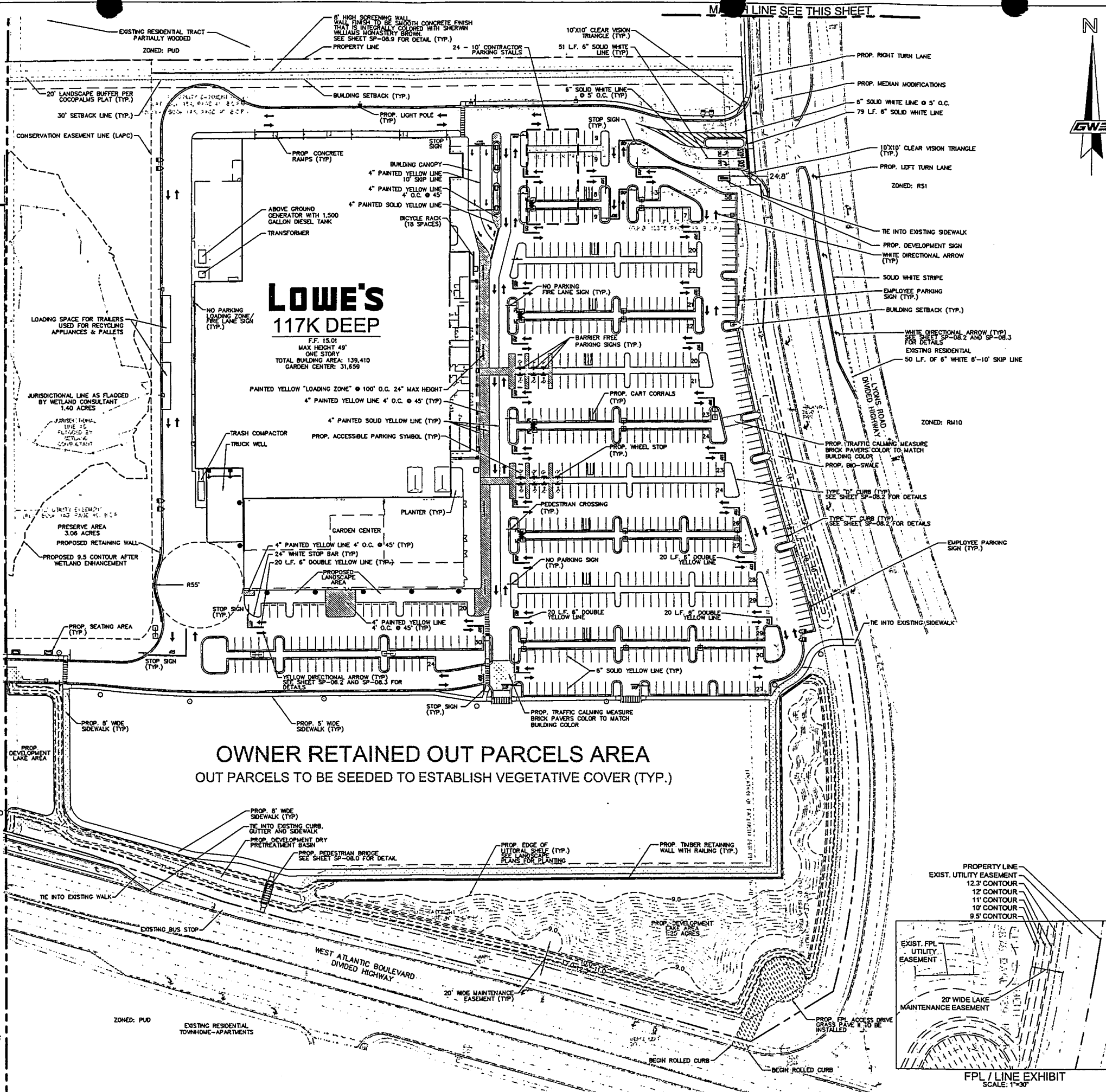
1. PAVEMENT MARKING AND SIGNING MATERIAL SHALL BE FULL REFLECTORIZED WITH HIGH INTENSITY MATERIALS.
2. STOP BARS AND DOUBLE YELLOWS TO BE THERMOPLASTIC.



LEGEND

- PROP. LIGHT POLES
- PARKING STALL COUNTS
- SIDEWALK RAMP (SEE SHEET SP-08.3 FOR DETAIL)
- STOP BAR (SEE SHEET SP-08.2 FOR DETAIL)
- PROPOSED 20' WIDE LAKE MAINTENANCE EASEMENT

PRELIMINARY NOT FOR CONSTRUCTION



DATE	BY	REVISION
11/2008	SP-02.00	SUBMITTAL
11/2008	SP-02.00	REVISION
11/2008	SP-02.00	REVISION

DATE: 11/2008
BY: SP-02.00
REVISION: SUBMITTAL

Terms and Conditions for Electronic Data:
This document is prepared in electronic format for the convenience of the user. It is the user's responsibility to ensure that the data is accurate and complete. The user agrees to hold the provider harmless for any errors or omissions. The provider makes no warranty, expressed or implied, for the accuracy or completeness of the data. The user agrees to indemnify and hold the provider harmless for any damages, including reasonable attorneys' fees, arising from the use of the data. The user agrees to keep the data confidential and not to disclose it to any third party without the prior written consent of the provider. The user agrees to use the data for the purpose intended and not to use it for any other purpose. The user agrees to delete the data from their system when it is no longer needed. The user agrees to delete the data from their system when it is no longer needed.

PRINCIPAL: E.L.
PROJ. MGR: D.L.
DESIGN: R.S.
DRAWN: A.C.
IND. REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER

One Independent Drive
Suite 114
Jacksonville
Florida, 32202
904-598-7308 Office
904-354-6094 Fax

GWE
Giffels-Webster
Engineers, Inc.
ENGINEERS-LAND SURVEYORS
PLANNERS-LANDSCAPE ARCHITECTS
2871 BOND STREET
ROCHESTER HILLS, MI 48309
PHONE (248) 852-3100
FAX (248) 852-6372
487 E. FORT STREET, SUITE 600
DETROIT, MI 48226
PHONE (313) 962-4442
FAX (313) 962-5068
6303 26 WILE ROAD, SUITE 100
WASHINGTON, MI 48094
PHONE (586) 781-8950
FAX (586) 781-8951
EMAIL: info@gweflwebster.com
www.gweflwebster.com

SHEET TITLE:
SITE PLANS
SITE LAYOUT PLAN

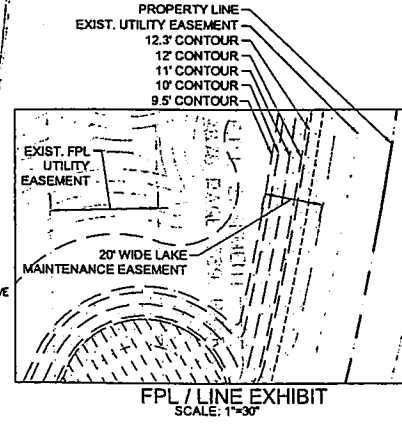
COCOMAR PLAZA

COCONUT CREEK,
BROWARD CO., FL.

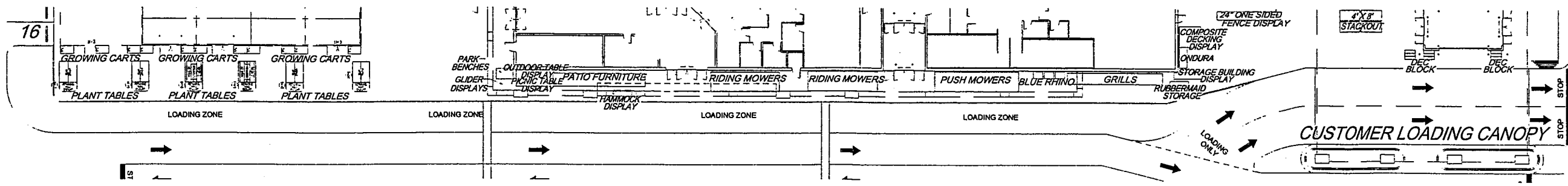
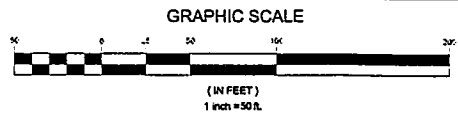
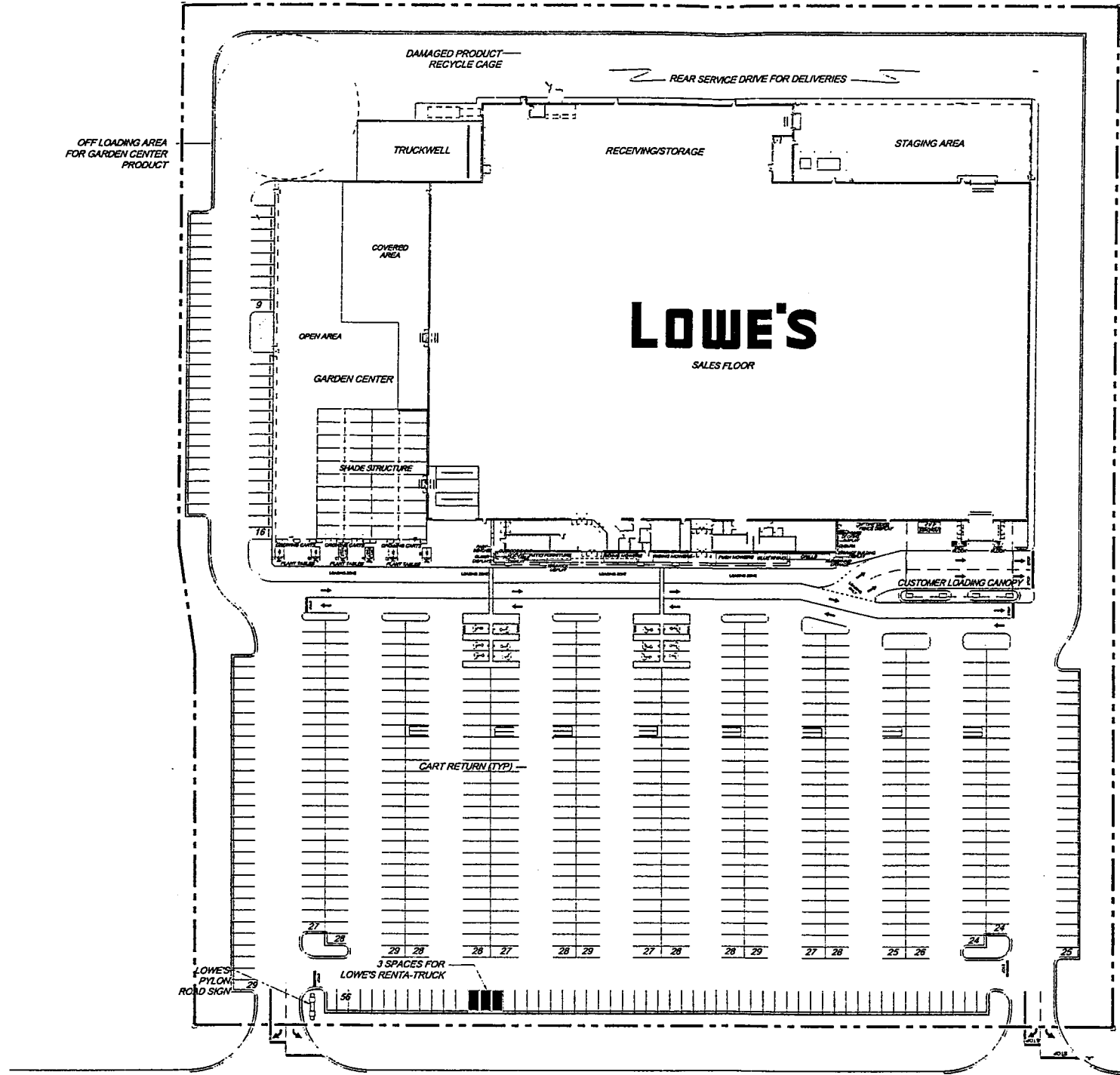
DATE: 12/19/2007
SCALE: 1" = 60 FEET
SHEET: SP-02.0
JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc.
No reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, PE # 67848
PROFESSIONAL SEAL

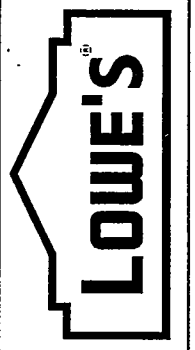


FPL / LINE EXHIBIT
SCALE: 1"=30'



REVISIONS	
DATE	DESCRIPTION

LOWE'S HOME CENTERS, INC.
 HWY. 288 EAST, EAST DOCK
 N. WILKESBORO, NC 28659
 336.658.4000 (V) 336.658.3257 (F)
THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF LOWE'S HOME CENTERS, INC. COPYRIGHT 2003 ALL RIGHTS RESERVED.



STORE OPERATIONS PLAN
 117K DEEP RH 115GC
 LOWE'S OF
 CITY AND STATE
 PROJECT No: _____ DRAWN BY: _____ CHECKED BY: _____

ORIGINAL
 ISSUE DATE: 03.01.06
 PERMIT SET
 ISSUE DATE:
 CONSTRUCTION SET
 ISSUE DATE:
 DRAWING NUMBER:
SP-0



REVISION:	
SITE PLAN SUBMITTAL	
SITE PLAN SUBMITTAL/REVISED PER CITY COMMENTS	
SITE PLAN SUBMITTAL/REVISED PER CITY COMMENTS	

DATE:	
12/20/08	
5/12/2008	
5/29/2008	

Terms and Conditions for Electronic Data:
 The user is granted a license to use the information contained herein for the purpose of the project only. The user shall not be permitted to reproduce, distribute, or otherwise use the information for any other purpose without the prior written consent of Giffels-Webster Engineers, Inc. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall indemnify and hold GWE harmless for any and all claims, damages, losses, and expenses, including reasonable attorneys' fees, that may be incurred by GWE as a result of the user's use of the information. This license shall terminate if the user fails to comply with any of the terms and conditions of this license. The user shall not be permitted to use the information for any purpose other than the project for which it was provided. The user shall not be permitted to use the information for any purpose other than the project for which it was provided. The user shall not be permitted to use the information for any purpose other than the project for which it was provided.

PRINCIPAL:	E.L.
PROJ. MNGR:	D.L.
DESIGN:	R.S.
DRAWN:	A.C.
IND. REVIEW:	D.L.

DEVELOPED FOR:
REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster
Engineers, Inc.
 ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS
 2871 BOND STREET
 ROCHESTER HILLS, MI 48309
 PHONE (248) 862-3100
 FAX (248) 852-6372
 497 E. FORT STREET, SUITE 600
 DETROIT, MI 48226
 PHONE (313) 862-4442
 FAX (313) 962-5058
 6303 26 MILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8850
 FAX (586) 781-8851
 EMAIL: info@giffelswebster.com
 www.giffelswebster.com

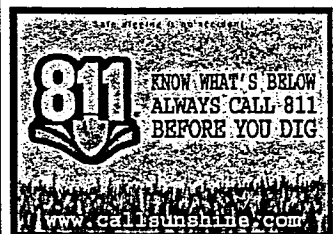
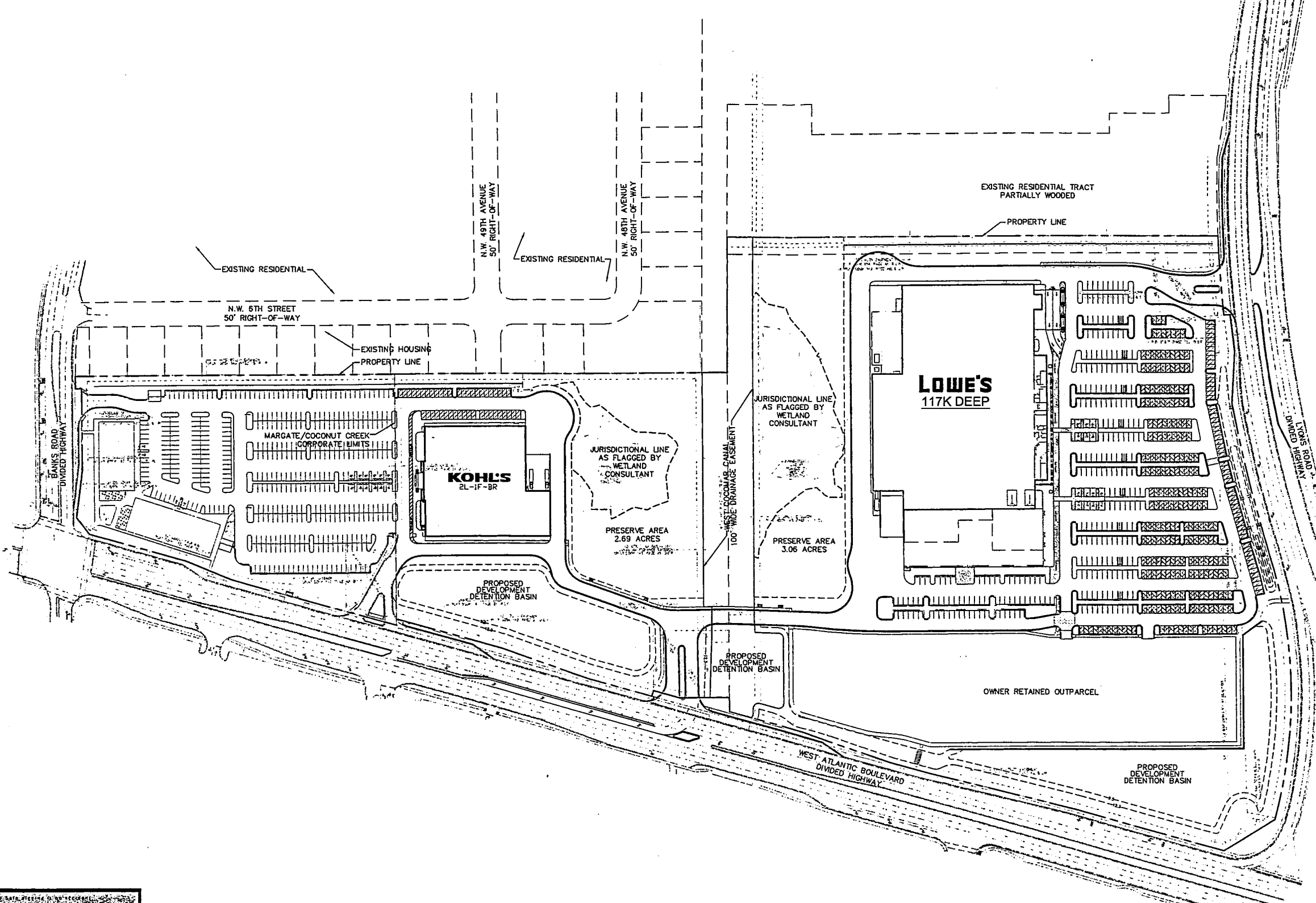
SHEET TITLE:
SITE PLANS
PARKING STALL
PLAN
 COCOMAR PLAZA
 COCONUT CREEK,
 BROWARD CO., FL.

DATE:	12/19/2007
SCALE:	1" = 100 FEET
SHEET:	SP-02.2
JOB:	17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc.
 No reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, PE # 67848
 PROFESSIONAL SEAL

- LEGEND:**
- 10' x 20' PARKING STALLS
 - 9.5' x 20' PARKING STALLS
 - 8' x 20' PARKING STALLS
 - 12' x 20' HANDICAP PARKING STALLS
 - 10' x 20' PARKING STALLS WITH CART CORRAL
- ***DIMENSIONS INCLUDE 2' V.O.***



PRELIMINARY
NOT FOR CONSTRUCTION

EXHIBIT "I"

Exhibit I Cocomar Plaza Site Specific Design Standards

Max. Building Area (Sq. Ft.)	340,000
Min. Parcel Area (acres)	.9
Max. Building Height (Feet)	32
Max. Height of Nonhabitable Architectural Features	50
Max. Bldg Coverage (% of gross area)	40
Max. Number of Outparcels	4
Min. Outparcel Width (Feet)	To be determined at Site Plan Approval
Min. Setbacks for All Buildings (Feet):	
From Atlantic Boulevard	33
From Lyons Road	89
From North Property Line	98
From West Property Line	40
Min. PCD Perimeter Landscape Buffer Including Utility Easement (Feet) ¹	
Along Atlantic Avenue	30
Along Lyons Avenue	30
Along North Property Lines	30
Along West Property Line	0
Min. Open Space (% of Gross PCD area) ²	20
Min. Area of Foundation Plantings (Sq. Ft.)	13,503
Number of Loading Spaces	Outparcels: 1 space per outparcel, Kohl's: 4 spaces, Lowe's: 5 spaces
Min. Width of Sidewalk (Feet)	5
Allowable Parking Space Size (Feet)	10 X 20, 9.5 x 20, 9 x 20 (some parking areas include 2' overhang) ³
Min. Parking Space Requirement	1 space per 300 sq.ft of GLA ⁴
Min. Bicycle Parking	31
Max. Width of Driveway Openings (Feet)	145
Minimum Building Separation Between Outparcels (Feet)	20
Wall Height in Perimeter Buffer (Feet)	8

¹ Perimeter buffers to be designed in conformance with the typical cross-sections provided in Exhibit L.

² Including lake and preserve area.

³ Overhang areas are not counted to meeting landscaping requirements.

⁴ Unless shared parking is provided.

EXHIBIT "J"



REVISION	DATE
SITE PLAN SUBMITTAL	12/22/08
SITE PLAN SUBMITTAL/REVISED PELOTTY COMMENTS	5/12/09

Terms and Conditions for Electronic Data:
 The design is provided to electronic format for the information of the client. It is not to be used for construction purposes. The design is provided to electronic format for the information of the client. It is not to be used for construction purposes. The design is provided to electronic format for the information of the client. It is not to be used for construction purposes.

PRINCIPAL: E.L.
 PROJ. MNGR: D.L.
 DESIGN: R.S.
 DRAWN: A.C.
 IND. REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 (Office)
 904-354-6094 (Fax)

GWE
 Giffels-Webster
 Engineers, Inc.
 ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS
 2871 BOND STREET
 ROCHESTER HILLS, MI 48069
 PHONE (248) 862-3100
 FAX (248) 862-6372
 497 E. FORT STREET, SUITE 600
 DETROIT, MI 48226
 PHONE (313) 962-4442
 FAX (313) 962-5968
 6303 26 MILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8950
 FAX (586) 781-8951
 EMAIL info@giffelswebster.com
 www.giffelswebster.com

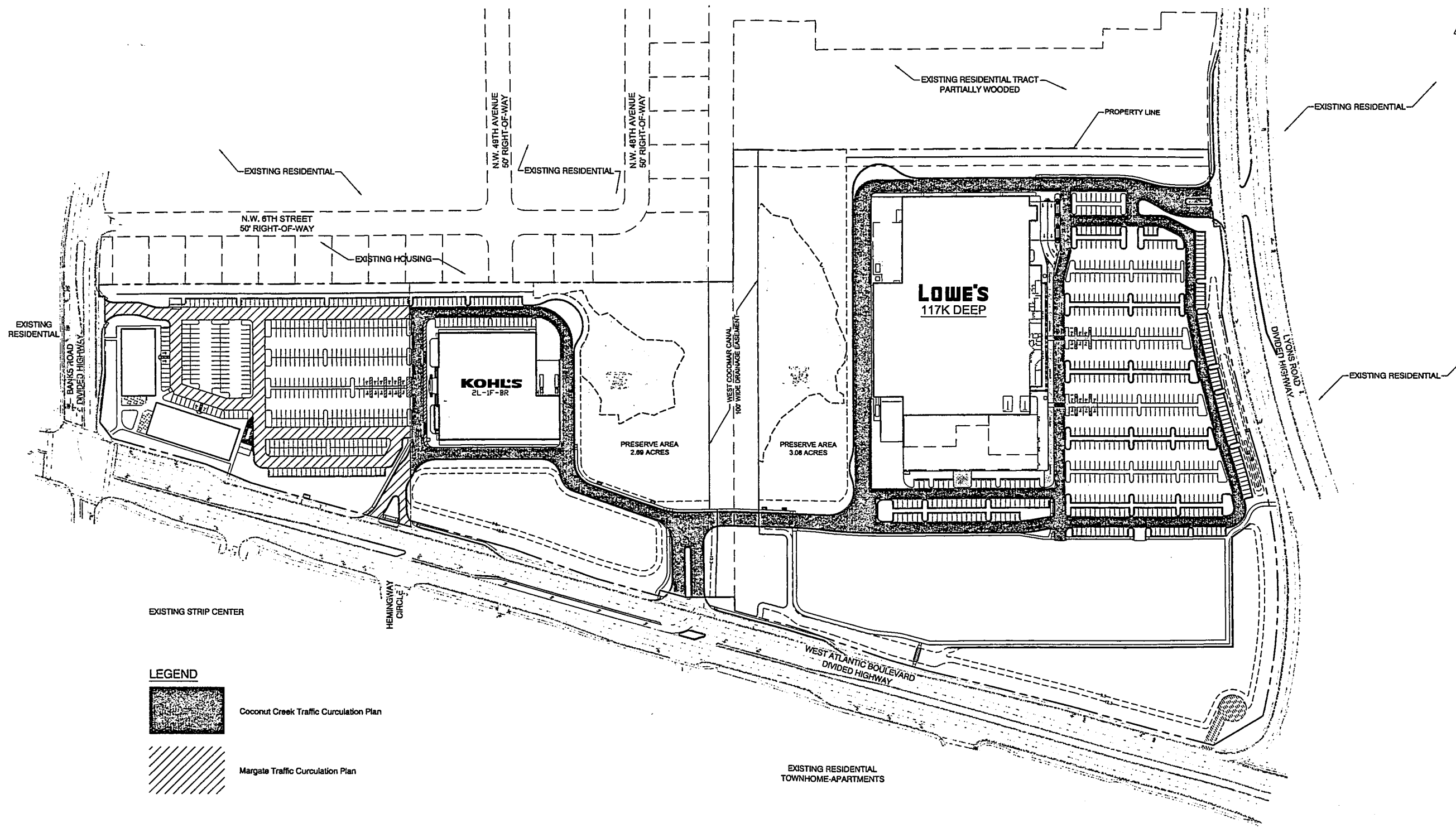
SHEET TITLE:
**CONSTRUCTION PLANS
 TRUCK PATH**

COCOMAR PLAZA
**COCONUT CREEK,
 BROWARD CO., FL.**

DATE: 12/19/2007
 SCALE: 1" = 100 FEET
 SHEET: TP-01.0
 JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc.
 No reproduction shall be made without the prior
 written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, PE # 67848
 PROFESSIONAL SEAL

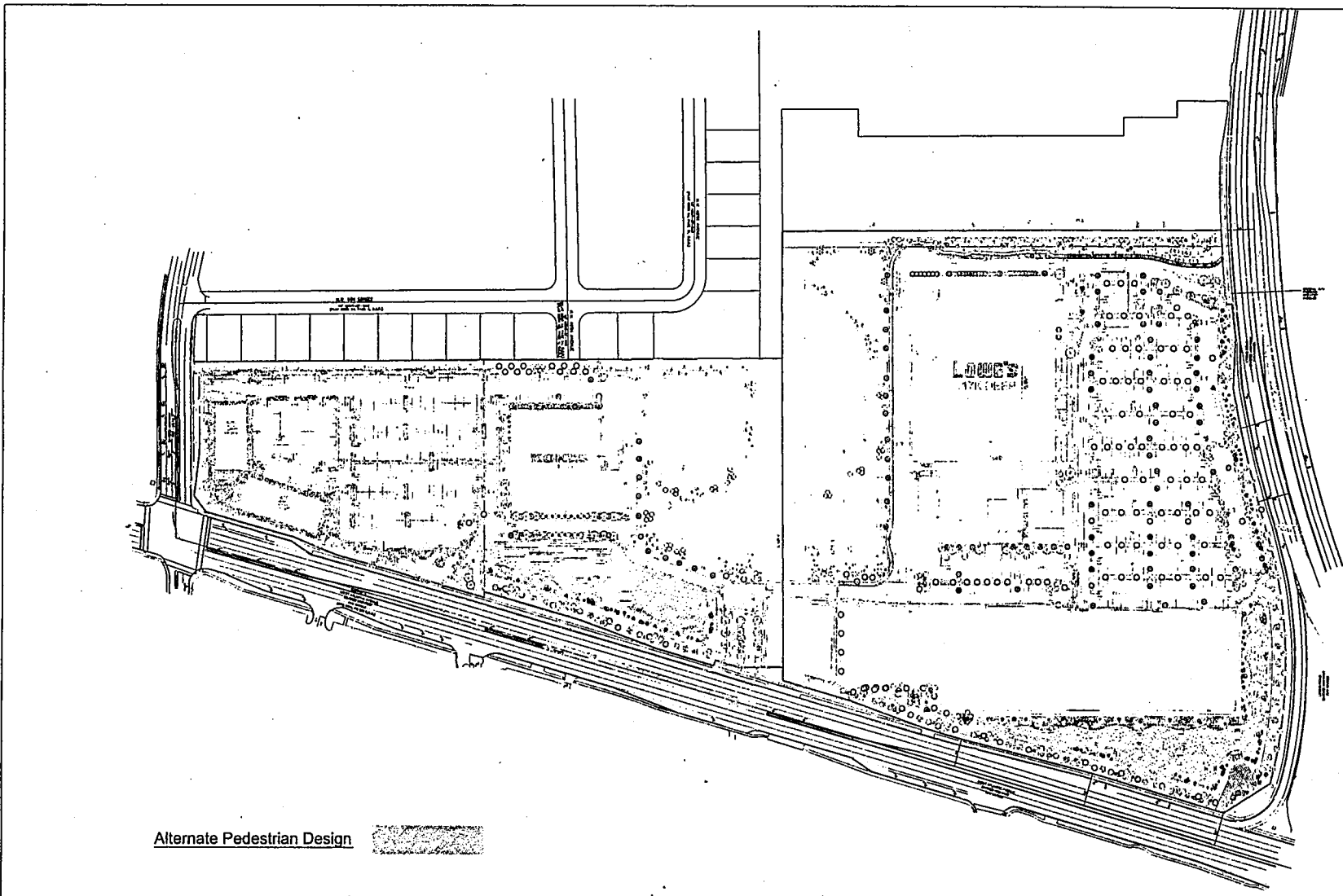


LEGEND

Coconut Creek Traffic Circulation Plan

Margate Traffic Circulation Plan

811
 KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 www.callsunshine.com



Alternate Pedestrian Design

PRELIMINARY
NOT FOR CONSTRUCTION



DATE	12/19/2007
SCALE	1" = 100 FEET
SHEET	17512.00
JOB	17512.00

Legend and Contours for Reference Only
 This drawing is a preliminary design and is not intended for construction. It is provided for informational purposes only. The design is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The design is based on the information provided by the client and is not a guarantee of performance. The design is not a contract and does not constitute an offer of insurance or any other financial product. The design is not a recommendation and does not constitute an endorsement of any product or service. The design is not a warranty and does not constitute a guarantee of any kind. The design is not a license and does not constitute an authorization of any kind. The design is not a trademark and does not constitute a service mark of any kind. The design is not a copyright and does not constitute a trademark of any kind. The design is not a patent and does not constitute a trademark of any kind. The design is not a trademark and does not constitute a service mark of any kind. The design is not a copyright and does not constitute a trademark of any kind. The design is not a patent and does not constitute a trademark of any kind.

PRINCIPAL: E.L.
 PROJECT MGR: D.L.
 DESIGN: K.S.
 DRAWING: A.C.
 END REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster
Engineers, Inc.
 ENGINEERS - LAND SURVEYORS
 PLANNERS - LANDSCAPE ARCHITECTS
 4075 BROAD STREET
 JACKSONVILLE, FL 32216
 PHONE (904) 861-8100
 FAX (904) 861-8171
 401 E. PARK STREET, SUITE 200
 DEERFIELD, FL 32915
 PHONE (352) 862-1114
 FAX (352) 862-0643
 1301 N. WOOD STREET, SUITE 100
 TALLAHASSEE, FL 32304
 PHONE (904) 781-1200
 FAX (904) 781-0981
 EMAIL: info@GWE.com
 www.gwe.com

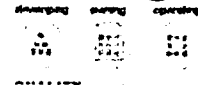
PROJECT NO.
SITE PLANS
 COCOMAR PLAZA
 COCONUT CREEK,
 BROWARD CO., FL.

DATE	12/19/2007
SCALE	1" = 100 FEET
SHEET	17512.00
JOB	17512.00

Copyright © 2007 Giffels-Webster Engineers, Inc.
 All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Giffels-Webster Engineers, Inc.

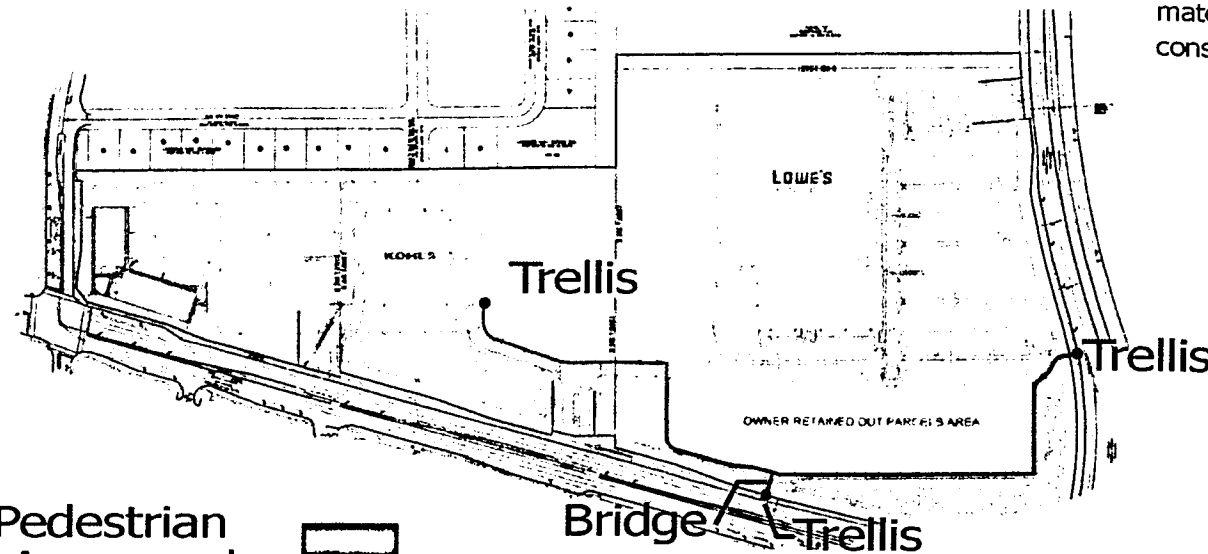
Greenway Connection
 JASON D. MAYER, P.E. # 67846
 PROFESSIONAL SEAL

1" = 100 FEET
 PCD



Enhanced Pedestrian Landscape Areas and Path

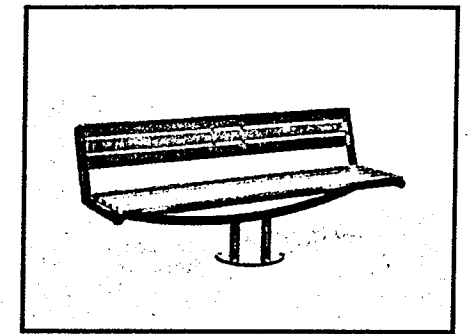
Note: Design, materials and structures shown are conceptual. The exact specs. for design, materials and structures will be included in the construction plans.



Pedestrian Bridge

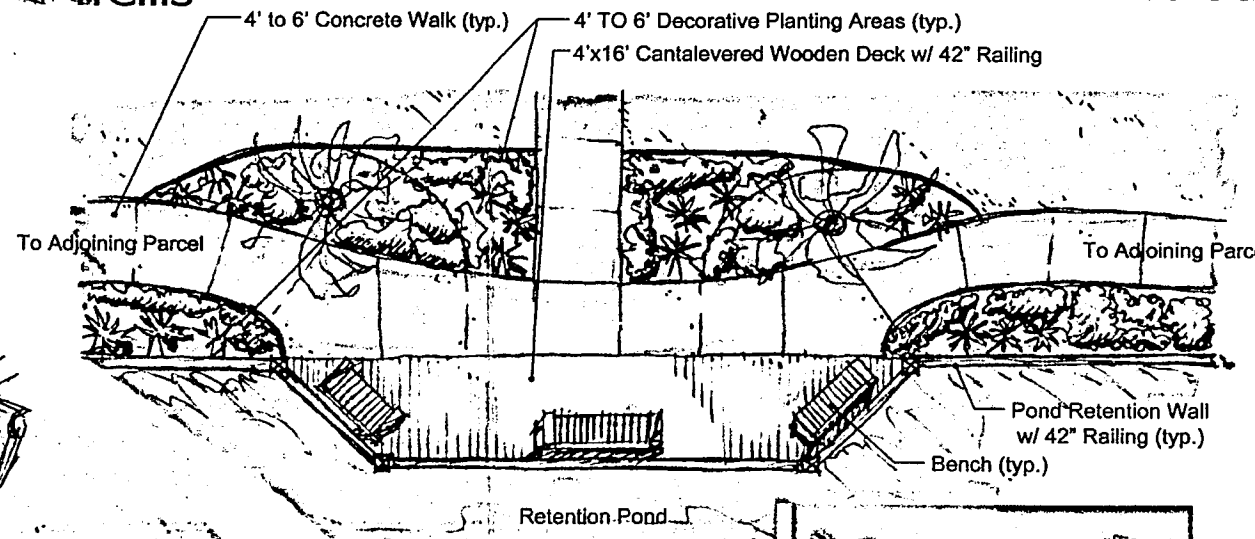


Decorative Trellis



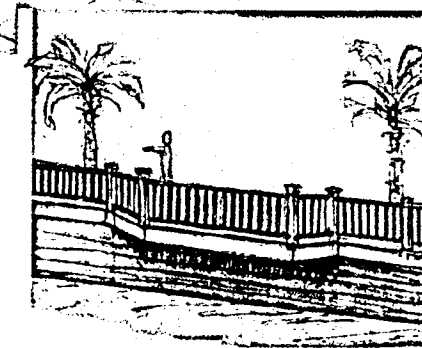
Decorative Bench

Enhanced Pedestrian Landscape Areas and Path

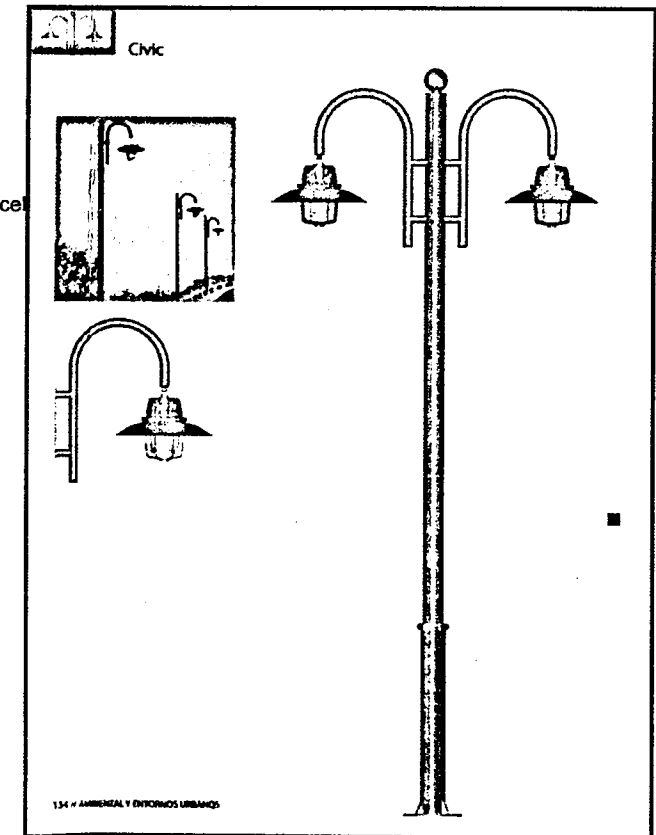


Decorative Bench

Decorative Light Poles

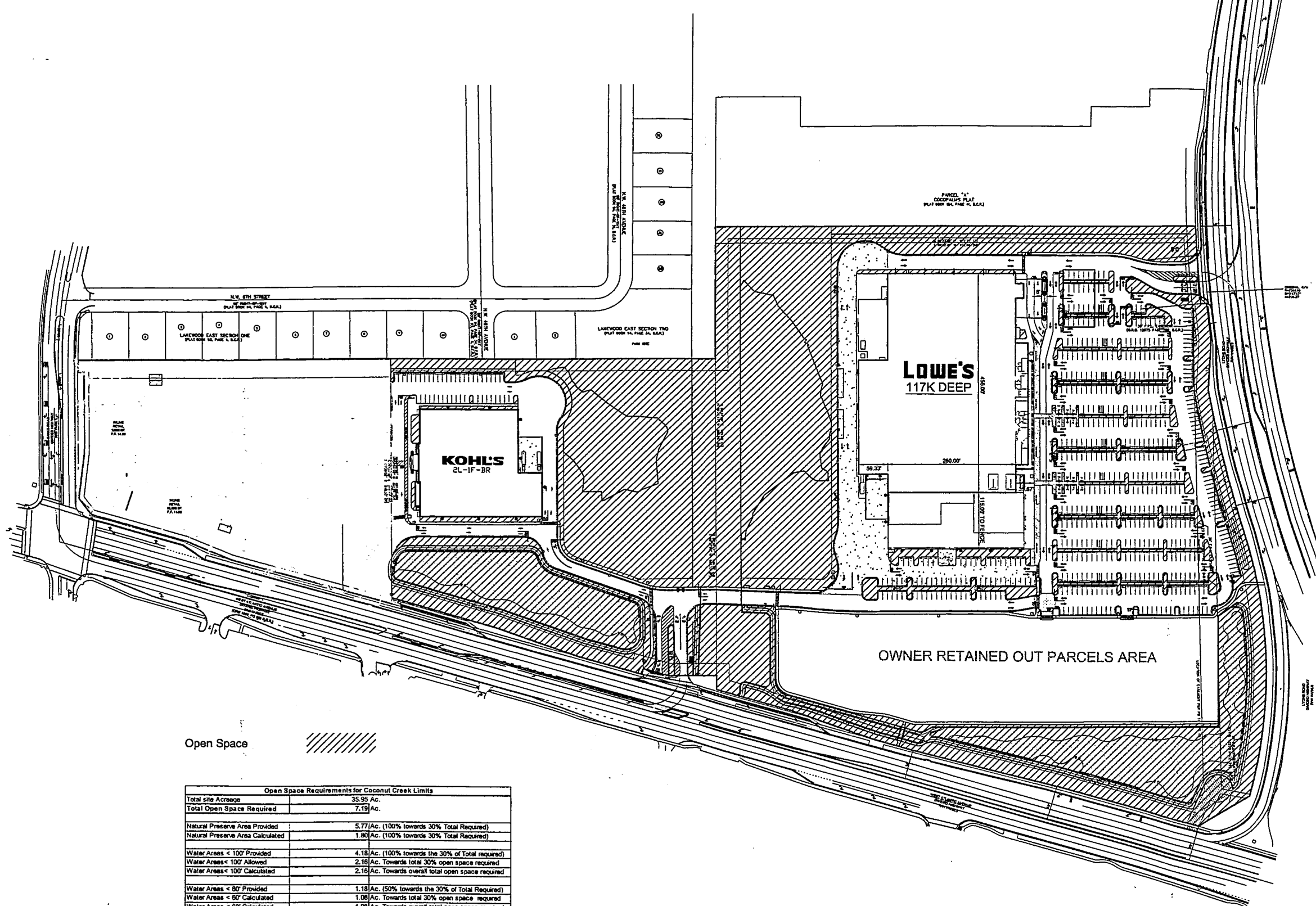


LOOKOUT SKETCH



Decorative Light Poles

EXHIBIT "K"



REVISION:	SITE PLAN SUBMITTAL
DATE:	12/19/2007
	5/12/2008
	SITE PLAN SUBMITTAL/REVISED PRELIMINARY COMMENTS

Terms and Conditions for Electronic Data:
 The document is provided in electronic format by the submittal of this plan. It is the responsibility of the user to ensure that the document is properly displayed and printed. The user agrees to hold the submittal firm harmless for any errors or omissions in the electronic format. The submittal firm is not responsible for any errors or omissions in the electronic format. The submittal firm is not responsible for any errors or omissions in the electronic format.

PRINCIPAL: E.L.
 PROJ. MNGR: D.L.
 DESIGN: R.S.
 DRAWN: A.C.
 IND. REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster
Engineers, Inc.
 ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS
 2871 BOND STREET
 ROCHESTER HILLS, MI 48309
 PHONE (248) 962-5100
 FAX (248) 962-5272
 407 E. FORT STREET, SUITE 600
 DETROIT, MI 48226
 PHONE (313) 962-4442
 FAX (313) 962-5048
 6303 26 MILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8950
 FAX (586) 781-8551
 EMAIL info@gjfw.com
www.gjfw.com

SHEET TITLE:
SITE PLANS
 COCOMAR PLAZA
 COCONUT CREEK,
 BROWARD CO., FL.

DATE: 12/19/2007
 SCALE:
 SHEET:
 JOB: 17512.00

Copyright © 2006 Giffels-Webster Engineers, Inc.
 No reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

OPEN SPACE PLAN

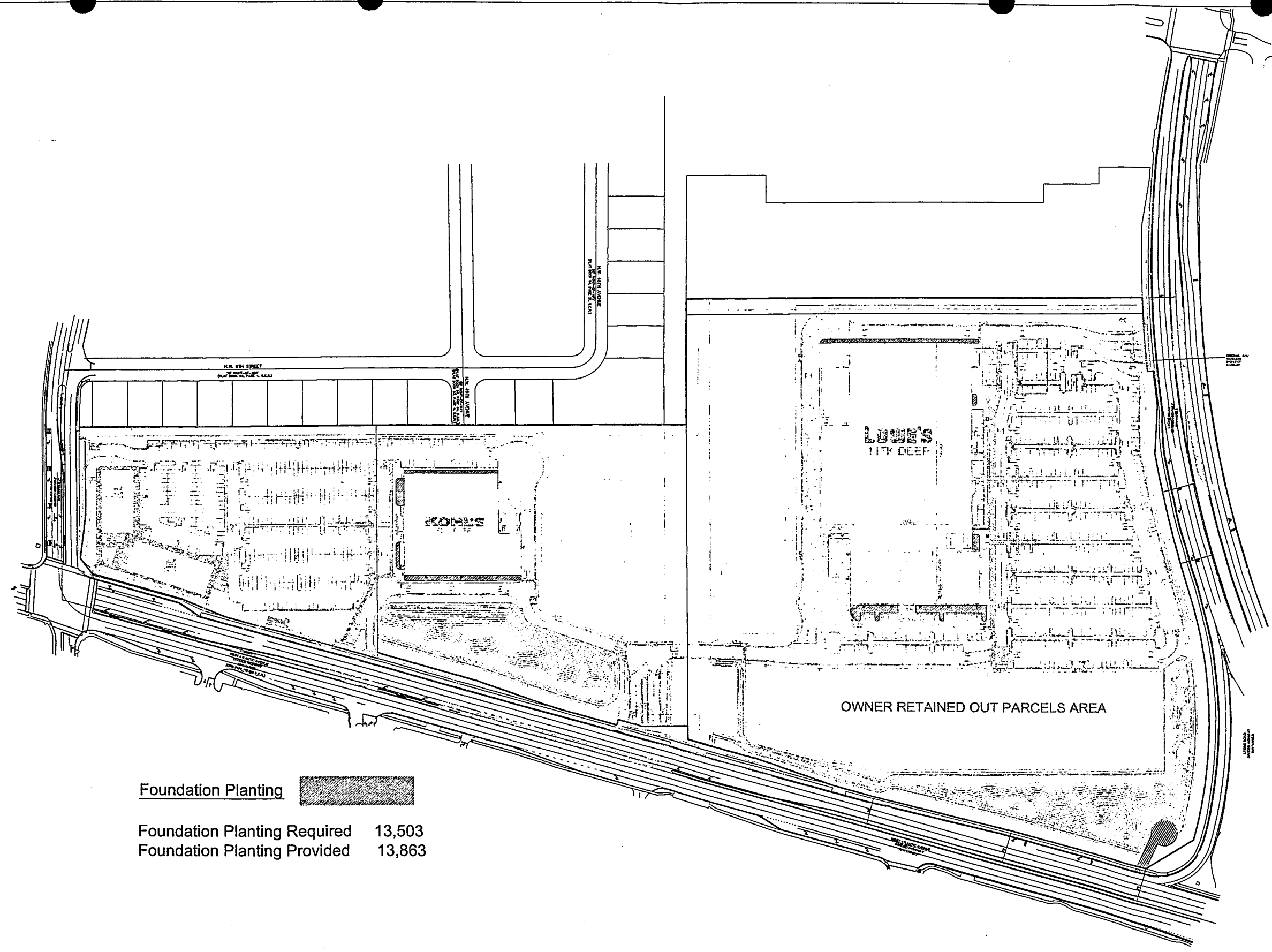
Open Space

Open Space Requirements for Coconut Creek Limits	
Total Site Acreage	35.95 Ac.
Total Open Space Required	7.19 Ac.
Natural Preserve Area Provided	5.77 Ac. (100% towards 30% Total Required)
Natural Preserve Area Calculated	1.80 Ac. (100% towards 30% Total Required)
Water Areas < 100' Provided	4.18 Ac. (100% towards the 30% of Total required)
Water Areas < 100' Allowed	2.16 Ac. Towards total 30% open space required
Water Areas < 100' Calculated	2.16 Ac. Towards overall total open space required
Water Areas < 80' Provided	1.18 Ac. (50% towards the 30% of Total Required)
Water Areas < 80' Calculated	1.06 Ac. Towards total 30% open space required
Water Areas < 60' Calculated	1.06 Ac. Towards overall total open space required
Landscape Areas	5.61 Ac. (100% towards the 100% of Total Required)
Total Area Provided	10.64 Ac.

PRELIMINARY
NOT FOR CONSTRUCTION

1" = 100 FEET
 PCD

JASON D. MAYER, PE # 67848
 PROFESSIONAL SEAL



Foundation Planting

Foundation Planting Required 13,503
 Foundation Planting Provided 13,863



REVISION:	
SITE PLAN SUBMITTAL	
SITE PLAN SUBMITTAL/REVISED PER CITY COMMENTS	
DATE:	
12/2008	
3/2008	

Terms and Conditions for Electronic Draw:
 This document is provided in electronic format for the convenience of the user. It is not intended to be a substitute for the original drawing. The user is responsible for ensuring that the electronic drawing is a true and accurate representation of the original drawing. The user is not to be held responsible for any errors or omissions in the electronic drawing. The user is not to be held responsible for any damages or losses resulting from the use of the electronic drawing. The user is not to be held responsible for any copyright infringement or other legal actions resulting from the use of the electronic drawing. The user is not to be held responsible for any other actions resulting from the use of the electronic drawing. The user is not to be held responsible for any other actions resulting from the use of the electronic drawing.

PRINCIPAL:	E.L.
PROJ. MNGR:	D.L.
DESIGN:	R.S.
DRAWN:	A.C.
IND. REVIEW:	D.L.

DEVELOPED FOR:
REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster
Engineers, Inc.
 ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS
 2871 BOND STREET
 ROCHESTER HILLS, MI 48309
 PHONE (248) 862-3100
 FAX (248) 862-6372
 407 E. FORT STREET, SUITE 600
 DETROIT, MI 48226
 PHONE (313) 962-6442
 FAX (313) 962-5068
 6303 28 MILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8250
 FAX (586) 781-8251
 EMAIL: info@giffelswebster.com
 www.giffelswebster.com

SHEET TITLE
SITE PLANS

COCOMAR PLAZA
COCONUT CREEK,
BROWARD CO., FL.

DATE:	12/19/2007
SCALE:	
SHEET:	
JOB:	17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc.
 No reproduction or use is permitted without the prior
 written consent of Giffels-Webster Engineers, Inc.

Foundation Planting

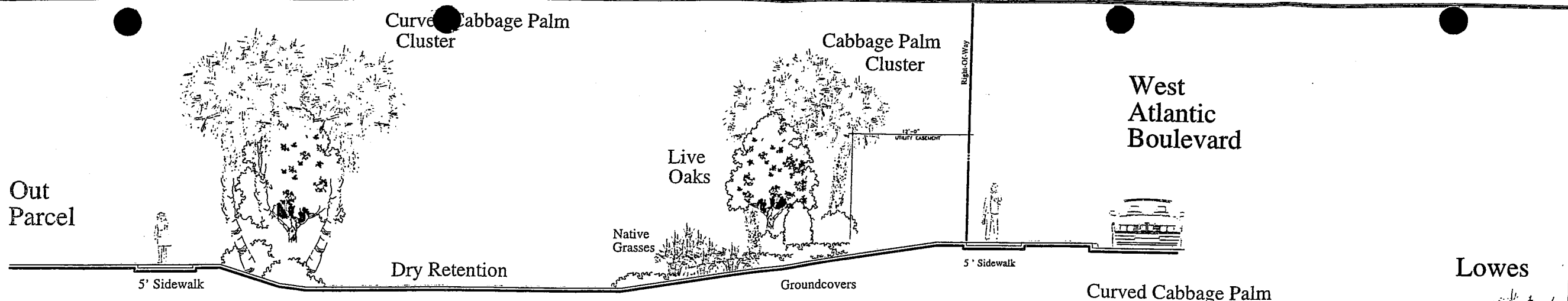
PRELIMINARY
 NOT FOR CONSTRUCTION

1" = 100 FEET
 PCD

JASON D. MAYER, PE # 67848
 PROFESSIONAL SEAL

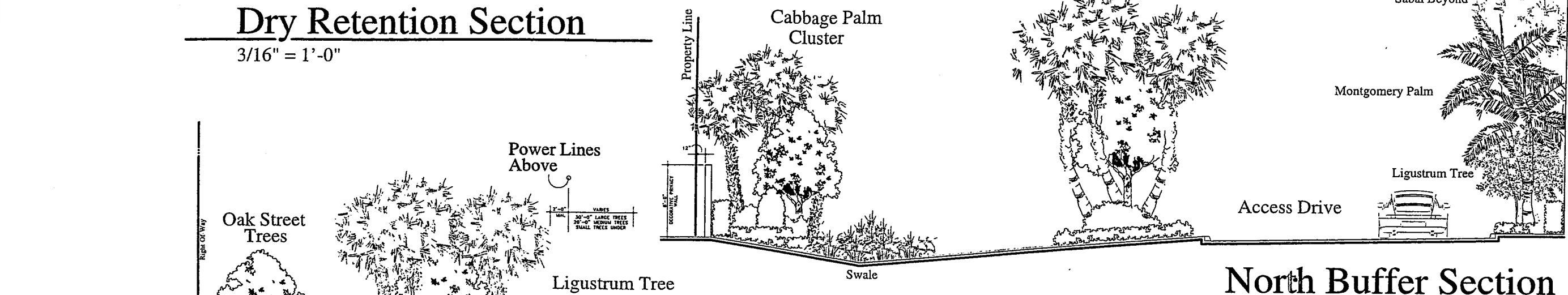
EXHIBIT "L"

Landscape Architecture

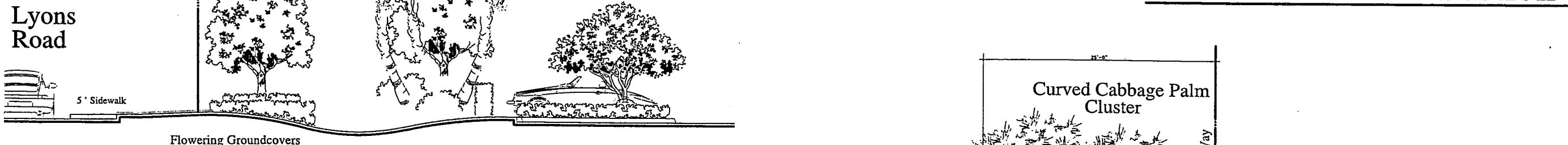


Dry Retention Section

3/16" = 1'-0"

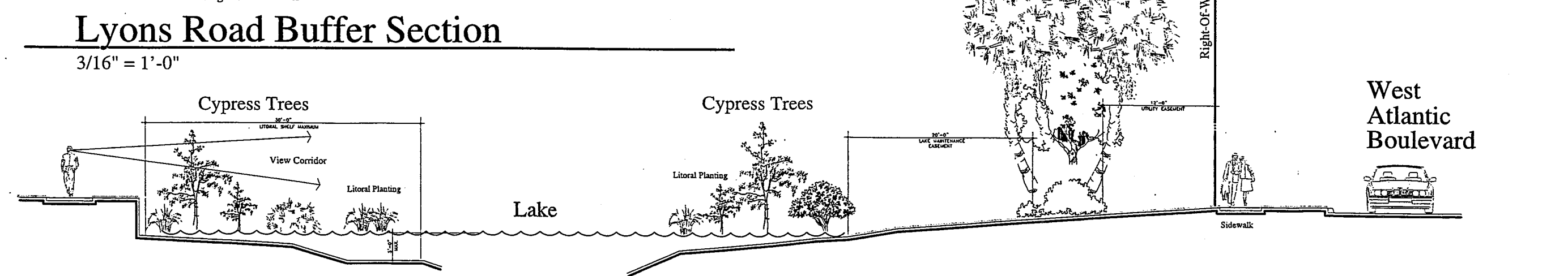


North Buffer Section



Lyons Road Buffer Section

3/16" = 1'-0"



Atlantic Buffer Section

3/16" = 1'-0"

Landscape Architecture
Site Planning

INTUITIVE
IDG
DESIGN GROUP

4247 SW High Meadows Ave.
Palm City, Florida 34990
Phone: 772.220.9711
Fax: 772.781.1040
Email: idg@idgdesign.com
www.intuitivedesigngroup.com

Buffer Sections
Cocomar Plaza
Coconut Creek, Florida

Date:
May 9, 2008
July 1, 2008

Sheet:
LP-8

Of: Eight

Landscape Architecture Site Planning

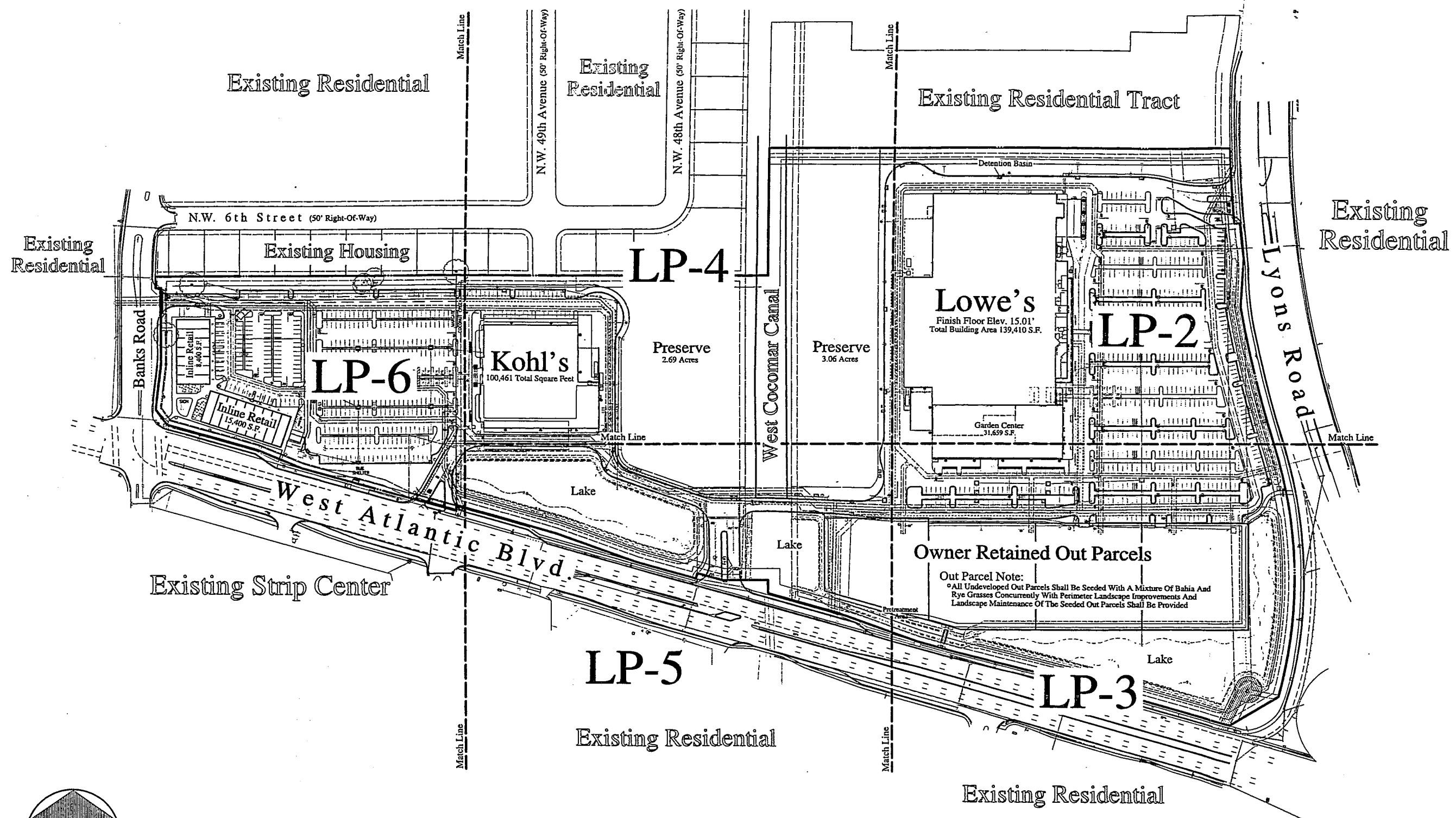
Landscape Architecture
Site Planning

INTUITIVE
IDG
DESIGN GROUP

4247 SW High Meadows Ave.
Palm City, Florida 34990

Phone: 772.220.9711
Fax: 772.781.1040

Email: info@intuitiveidg.com
www.intuitiveidg.com



Landscape Key Plan

Cocomar Plaza

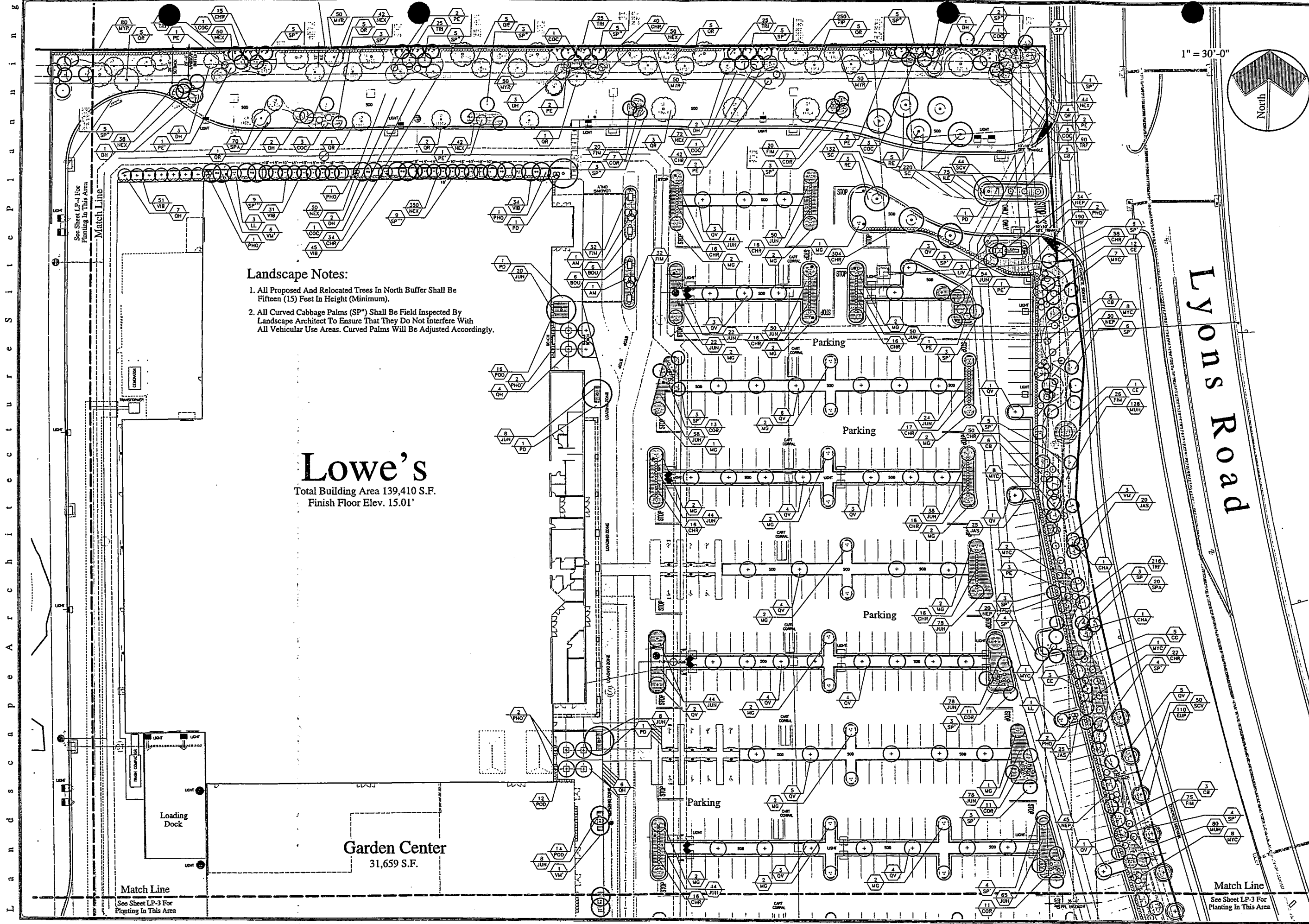
Coconut Creek, Florida

Date:
March 25, 2008
May 9, 2008
May 29, 2008
July 1, 2008

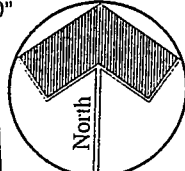
Sheet:

LP-1

Of Eight



1" = 30'-0"



- Landscape Notes:**
1. All Proposed And Relocated Trees In North Buffer Shall Be Fifteen (15) Feet In Height (Minimum).
 2. All Curved Cabbage Palms (SP⁺) Shall Be Field Inspected By Landscape Architect To Ensure That They Do Not Interfere With All Vehicular Use Areas. Curved Palms Will Be Adjusted Accordingly.

Lowe's
 Total Building Area 139,410 S.F.
 Finish Floor Elev. 15.01'

Garden Center
 31,659 S.F.

Lyons Road

INTUITIVE
IDG
 DESIGN GROUP
 4247 SW High Meadows Ave.
 Palm City, Florida 34990
 Phone: 772.220.9711
 Fax: 772.781.1040
 Email: info@intuitiveidg.com
www.intuitiveidg.com

Landscape Plan
Cocomar Plaza
 Coconut Creek, Florida

Date:
 March 25, 2008
 May 9, 2008
 May 29, 2008
 July 1, 2008

Sheet:
LP-2

Of: Eight

See Sheet LP-4 For Planting In This Area

Match Line

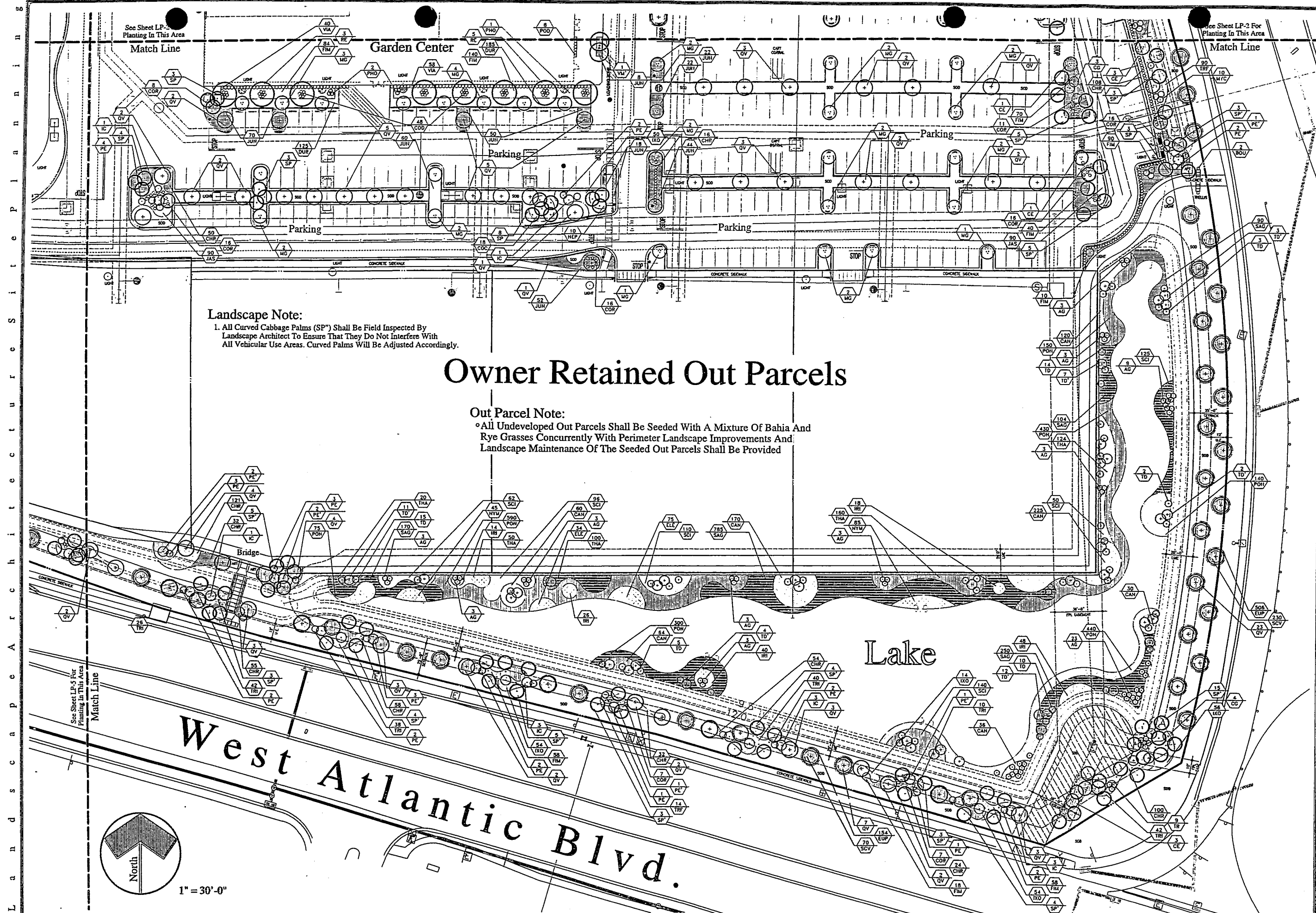
Match Line

See Sheet LP-3 For Planting In This Area

Match Line

See Sheet LP-3 For Planting In This Area

Landscape Architectural Site Planning



See Sheet LP-2 For Planting In This Area

See Sheet LP-2 For Planting In This Area

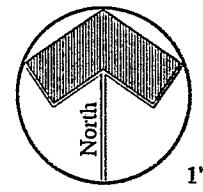
Match Line

Match Line

Landscape Note:
 1. All Curved Cabbage Palms (SP) Shall Be Field Inspected By Landscape Architect To Ensure That They Do Not Interfere With All Vehicular Use Areas. Curved Palms Will Be Adjusted Accordingly.

Owner Retained Out Parcels

Out Parcel Note:
 All Undeveloped Out Parcels Shall Be Seeded With A Mixture Of Bahia And Rye Grasses Concurrently With Perimeter Landscape Improvements And Landscape Maintenance Of The Seeded Out Parcels Shall Be Provided



1" = 30'-0"

Landscape Architects
 Site Planning
INTUITIVE
IDG
 DESIGN GROUP
 4247 SW High Meadows Ave.
 Palm City, Florida 34990
 Phone: 772.220.9711
 Fax: 772.781.1040
 Email: idg@intuitivedesign.com
 www.intuitivedesign.com

Landscape Plan
Cocomar Plaza
 Coconut Creek, Florida

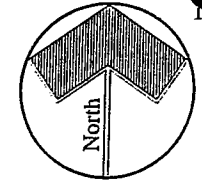
Date:
 March 25, 2008
 May 9, 2008
 May 29, 2008
 July 1, 2008

Sheet:
LP-3

Of: Eight

Landscape Architectural Site Planning

See Sheet LP-3 For Planting In This Area



1" = 30'-0"

Existing Residential

Existing Residential

Landscape Notes:

1. All Proposed And Relocated Trees In North Buffer Shall Be Fifteen (15) Feet In Height (Minimum).
2. All Curved Cabbage Palms (SP) Shall Be Field Inspected By Landscape Architect To Ensure That They Do Not Interfere With All Vehicular Use Areas. Curved Palms Will Be Adjusted Accordingly.

Existing Housing

Existing Housing

Kohl's
100,461 Square Feet

Preserve Area
2.69 Acres

Preserve Area
3.06 Acres

West Cocomar Canal

Match Line
See Sheet LP-2 For Planting In This Area

Match Line
See Sheet LP-5 For Planting In This Area

Landscape Architectural Site Planning

INTUITIVE IDG DESIGN GROUP

 4247 SW High Meadows Ave.

 Palm City, Florida 34990

 Phone: 772.220.9711

 Fax: 772.781.1040

 Email: idg@idgdesign.com

 www.intuitiveidgdesign.com

Landscape Plan

Cocomar Plaza

 Coconut Creek, Florida

Date:

 March 25, 2008

 May 9, 2008

 May 29, 2008

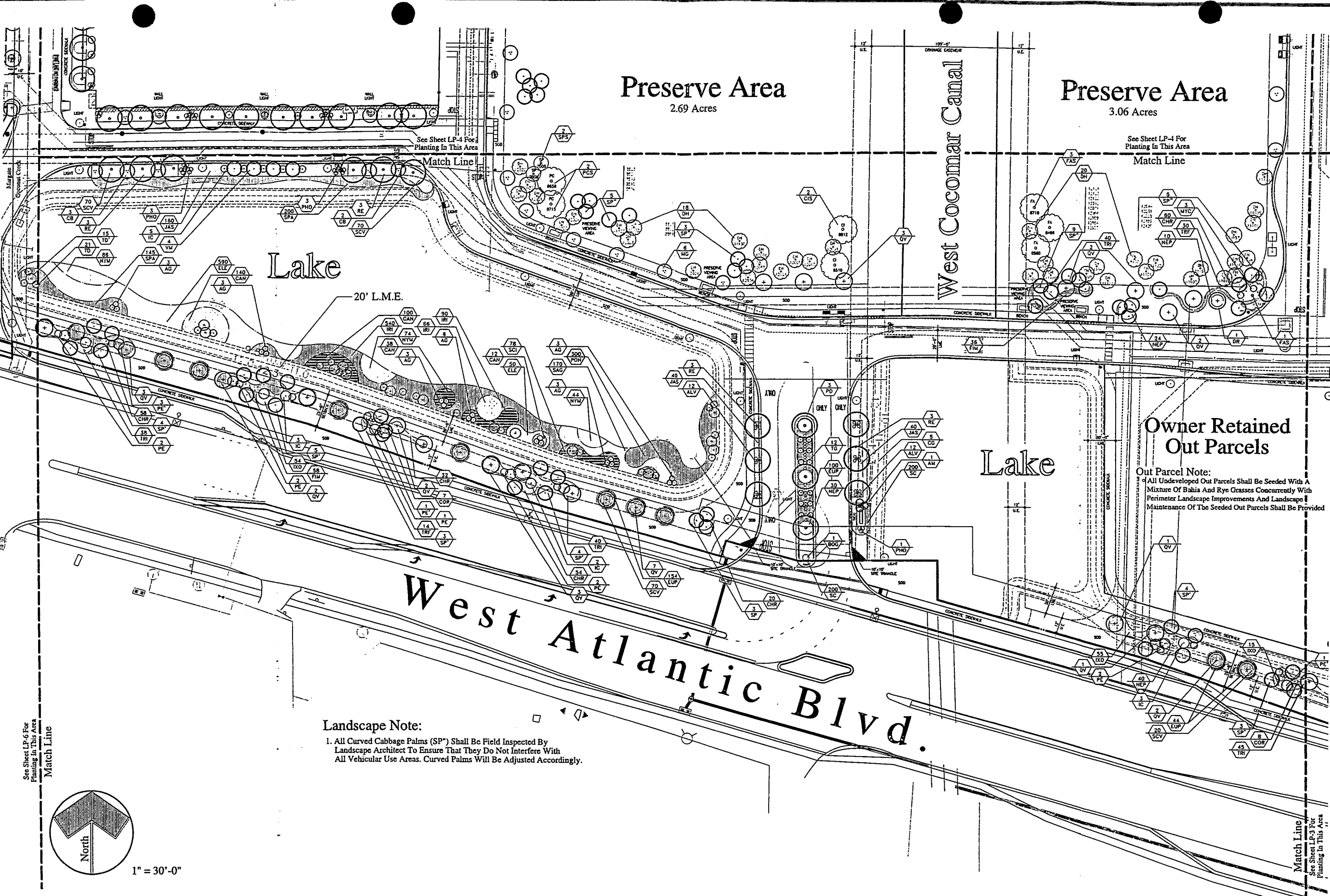
 July 1, 2008

Sheet:

LP-4

Of Eight

L a n d s c a p e A r c h i t e c t u r e S i t e P l a n



Preserve Area

2.69 Acres

Preserve Area

3.06 Acres

Lake

20' L.M.E.

Lake

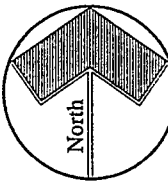
West Atlantic Blvd.

West Cocomar Canal

Owner Retained Out Parcels

Out Parcel Note:
All Undeveloped Out Parcels Shall Be Seeded With A Mixture Of Bahia And Rye Grasses Concurrently With Perimeter Landscape Improvements And Landscape Maintenance Of The Seeded Out Parcels Shall Be Provided

Landscape Note:
1. All Curved Cabbage Palms (SP") Shall Be Field Inspected By Landscape Architect To Ensure That They Do Not Interfere With All Vehicular Use Areas. Curved Palms Will Be Adjusted Accordingly.



1" = 30'-0"

INTUITIVE
IDG
 DESIGN GROUP
 4247 SW High Meadows Ave.
 Palm City, Florida 34990
 Phone: 772.220.9711
 Fax: 772.781.1040
 Email: idg@intuitive.com
 www.intuitivedesigngroup.com

Landscape Plan
Cocomar Plaza
Coconut Creek, Florida

Date:
March 25, 2008
May 9, 2008
May 29, 2008
July 1, 2008

Sheet:
LP-5

Of: Eight

Landscape Architecture Plan

Existing Housing

6' Decorative Wall

Match Line
See Sheet LP-4 For
Planting In This Area

Banks Road

Inline Retail

Inline Retail

Parking

Parking

Parking

Parking

Parking

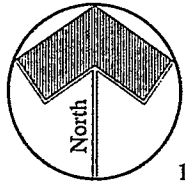
Kohl's
100,461 Square Feet

20' L.M.E.

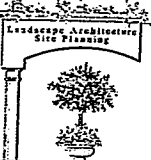
Lake

West Atlantic Blvd.

Match Line
See Sheet LP-5 For
Planting In This Area



1" = 30'-0"


INTUITIVE
IDG
 DESIGN GROUP
 4247 SW High Meadows Ave.
 Palm City, Florida 34990
 Phone: 772.220.9711
 Fax: 772.781.1040
 Email: idg@bellouth.net
 www.intuitivedesigngroup.com

Landscape Plan
Cocomar Plaza
 Coconut Creek, Florida

Date:
 March 25, 2008
 May 9, 2008
 May 29, 2008
 July 1, 2008

Sheet:
LP-6

Of: Eight

Landscape Tabular

Table with columns for Development Area Landscaping, Plot Area Landscaping, and Building Foundation Landscape, listing Required and Provided quantities for various plant types.

Lowes And Garden Center table listing Required and Provided quantities for 19x1 Trees, 19x20 Shrubs, 19x30 Groundcovers, 616 L.P., 16x1 Trees, 16x20 Shrubs, and 16x30 Groundcovers.

Interior Landscape Req. For Vehicular Use Area table listing Required and Provided quantities for 642 Parking Spaces/10=64 Trees and 2480 L.P./40=62 Trees.

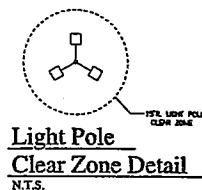
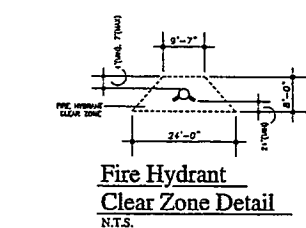
North Property Line table listing Required and Provided quantities for 3 Trees and 5 Shrubs per 100 Linear Feet.

Street Trees table listing Required and Provided quantities for 1 Tree per 40 L.F. at various locations like Banks Road, West Atlantic Avenue, and Lyons Road.

Native Landscape Percentages table listing Required and Provided quantities for Shade / Canopy Trees, Total Shade Canopy Trees, Total Native Shade / Canopy Trees, and various Shrub types.

Tree Specie Category table listing Required and Provided quantities for Total Trees / Palms, Low Palms, Total Trees / Eligible Palms, and various Shade / Canopy Trees and Intermittent Trees.

Roadway Landscape Buffer table listing Required and Provided quantities for 1 Tree per 2,000 S.F. and 40 Shrubs per 2,000 S.F. Groundcovers.



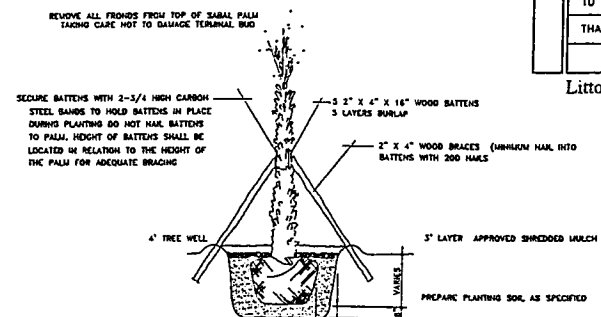
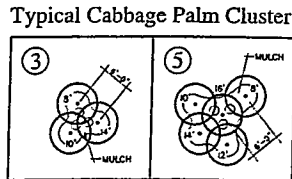
Littoral Zone Plant List

Littoral Zone Plant List table with columns: Key Qty., Scientific/Common Name, Ht. Spr., Remarks. Lists plants like ANNONA GLABRA, CALINA SPECIES, ELEOCHARIS CELLULOSA, etc.

Littoral Zone plant quantities are not included in Tabular Calculations except for TD

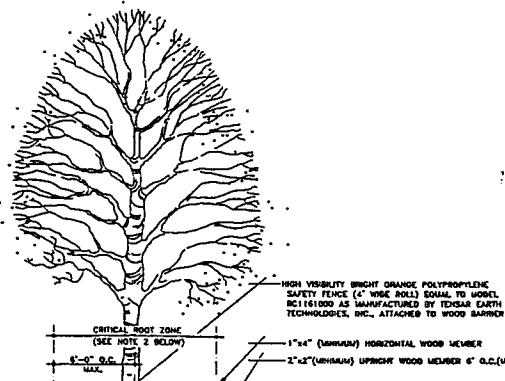
General Planting Requirements

1. ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED IN THE CITY OF COCOAHUTCH... 2. ALL PLANTING MATERIAL SHALL MEET OR EXCEED FLORIDA GRADE #1 AS SPECIFIED...



Sabal Palm Planting Detail

Not To Scale



NOTES: 1. BARRIERS SHALL BE ERRECTED AT OR BEYOND THE LIMITS OF THE CRITICAL ROOT ZONE (CRZ) OF ALL EXISTING TREES TO REMAIN...

Tree Protection Barrier Detail

Not To Scale



PROVIDE 1 CUBIC YARD OF AN APPROVED TOPSOIL PER 50 SHRUBS AND ACQUIFORM PLANTING TABLETS (OR THIS EQUIVALENT) IN EACH APPROXIMATE TO MANUFACTURERS RECOMMENDATIONS

Shrub Planting Detail

Not To Scale

Plant List

Plant List table with columns: Key Qty., Scientific/Common Name, Ht. Spr., Remarks. Lists plants like ADONDIS MERNLII, CORDIA BOISSIERII, COHOCAERUS ERECTUS, etc.

Plant List table with columns: Key Qty., Scientific/Common Name, Ht. Spr., Remarks. Lists plants like ALPHIA ZERUMBET, BOUGAINVILLEA CRISPATA, BOUGAINVILLEA STANLEARD, etc.

* 78 DH and 117 SP* are NOT included in Plant Quantities for Tabular Calculations. Asterick denotes all plant quantities used in Tabular Calculations.

Logo and contact information for IDG DESIGN GROUP, including address, phone, and website.

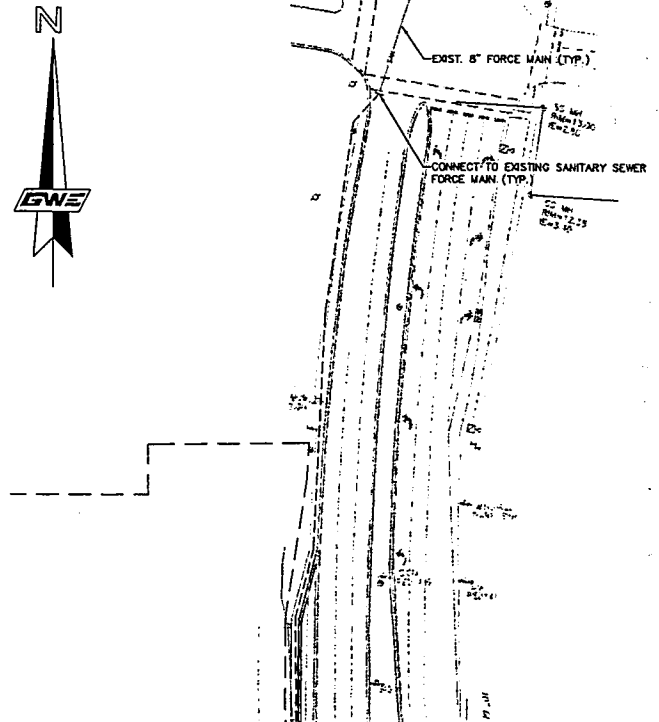
Large vertical text: Plant List/Details Cocomar Plaza Coconut Creek, Florida

Date: March 25, 2008 May 9, 2008 May 29, 2008 July 1, 2008 Sheet: LP-7 Of: Eight

EXHIBIT "M"

GENERAL NOTES FOR ENTIRE MINIMUM STANDARDS

1. ALL MATERIALS SHALL BE NEW AND UNUSED.
2. ALL PERMITS SHALL BE ISSUED PRIOR TO CONSTRUCTION.
3. FOR THE PURPOSE OF STANDARDIZATION, MATERIALS SHALL MEET AWWA/ANSI STANDARDS.
4. ALL UTILITY CONSTRUCTION SHALL ADHERE TO CITY OF COCONUT CREEK DESIGN STANDARDS (LATEST EDITION) CONTRACTOR TO OBTAIN.
5. CONTRACTOR TO PROVIDE AS-BUILTS IN COMPLIANCE WITH CITY OF COCONUT CREEK STANDARD FOR SUBMITTAL OF RECORD DRAWINGS.
6. CONTRACTOR TO REQUEST ALL CITY OF COCONUT CREEK INSPECTIONS A MINIMUM OF 48 HOURS IN ADVANCE.
7. HEAVY LANDSCAPING, WALLS, FENCES, ENTRANCE FEATURES, BERMS AND SIGNS THAT MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF UTILITIES WILL NOT BE PLACED WITHIN A UTILITY EASEMENT, WITHIN 7.5 FEET OF A WATER LINE, FIRE HYDRANT OR FORCE MAIN OR WITHIN 10 FEET OF A SANITARY OR STORM SEWER.
8. THE MAXIMUM DEFLECTION OF THE WATER MAIN SHALL BE NO MORE THAN 50% THAT OF THE MANUFACTURER'S RECOMMENDATION.
9. THE MAXIMUM LONGITUDINAL DEFLECTION OF THE SANITARY SEWER SYSTEM SHALL BE NO MORE THAN 50% THAT OF A MANUFACTURER'S RECOMMENDATION AND 1/4 INCH FOR VERTICAL DEFLECTION. THE SANITARY SEWER SYSTEM WILL BE INSPECTED BY TV MONITORING AND WILL NOT ACCEPT ANY DEVIATIONS FROM THESE DEFLECTIONS LIMITS.
10. LEAKING TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURE FOR RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE BY UNI-BELL PVC PIPE ASSOCIATION (LATEST EDITION) OR EQUIVALENT.
11. NO VALVES, METER, FIRE HYDRANTS, CLEANOUTS, MANHOLES OR OTHER UTILITY APPURTENANCES ARE TO BE PLACED IN OR ADJACENT TO SIDEWALKS, CURBS, PARKING SPACES OR OTHER SITE FEATURES SO AS TO PRESENT A HAZARD OR RESTRICT THE MAINTENANCE OR OPERATION OF THE UTILITY INFRASTRUCTURES.
12. A HYDROSTATIC TEST SHALL BE PERFORMED AT 150 PSI FOR NOT LESS THAN TWO (2) HOURS, TEST SECTIONS SHALL NOT EXCEED 2,000 L.F. AND SHALL MEET AWWA SPECIFICATIONS. THIS TEST SHALL NOT BE PERFORMED UNTIL THE CITY HAS RECEIVED AND APPROVED AS-BUILT DRAWINGS AND THE TRENCHES HAVE BEEN BACKFILLED AND PROPERLY COMPACTED.
13. SEWER MANHOLES SHALL RECEIVE TWO (2) COATS OF KOPPERS 300-M OR POLYMER COATING, ONE (1) RED AND ONE (1) BLACK INSIDE AND OUTSIDE.
14. ON RECORD DRAWINGS TOP OF PIPE ELEVATIONS FOR THE WATER MAIN SHALL BE PROVIDED NO LESS THAN 100 FEET AND AT EVERY VALVE AND CHANGE OF DIRECTION.
15. THE FINISH RIMS, INVERTS AND ASPHALT GRADE ELEVATIONS SHALL NOT DEVIATE MORE THAN 0.10' FROM ORIGINAL DESIGN ELEVATIONS.
16. NO THRUST BLOCKS ALLOWED.
17. CONTRACTOR TO HOLD PRE-CONSTRUCTION MEETING WITH FPL & BELLSOUTH PRIOR TO STARTING CONSTRUCTION TO COORDINATE UNDERGROUND RELOCATION WORK.
18. MINIMUM COVER FOR PVC SHALL BE 36 INCHES, MINIMUM COVER FOR D.I.P. SHALL BE 30 INCHES.
19. DISINFECTION OF WATER MAIN TO COMPLY WITH ANSI/AWWA C811-05.

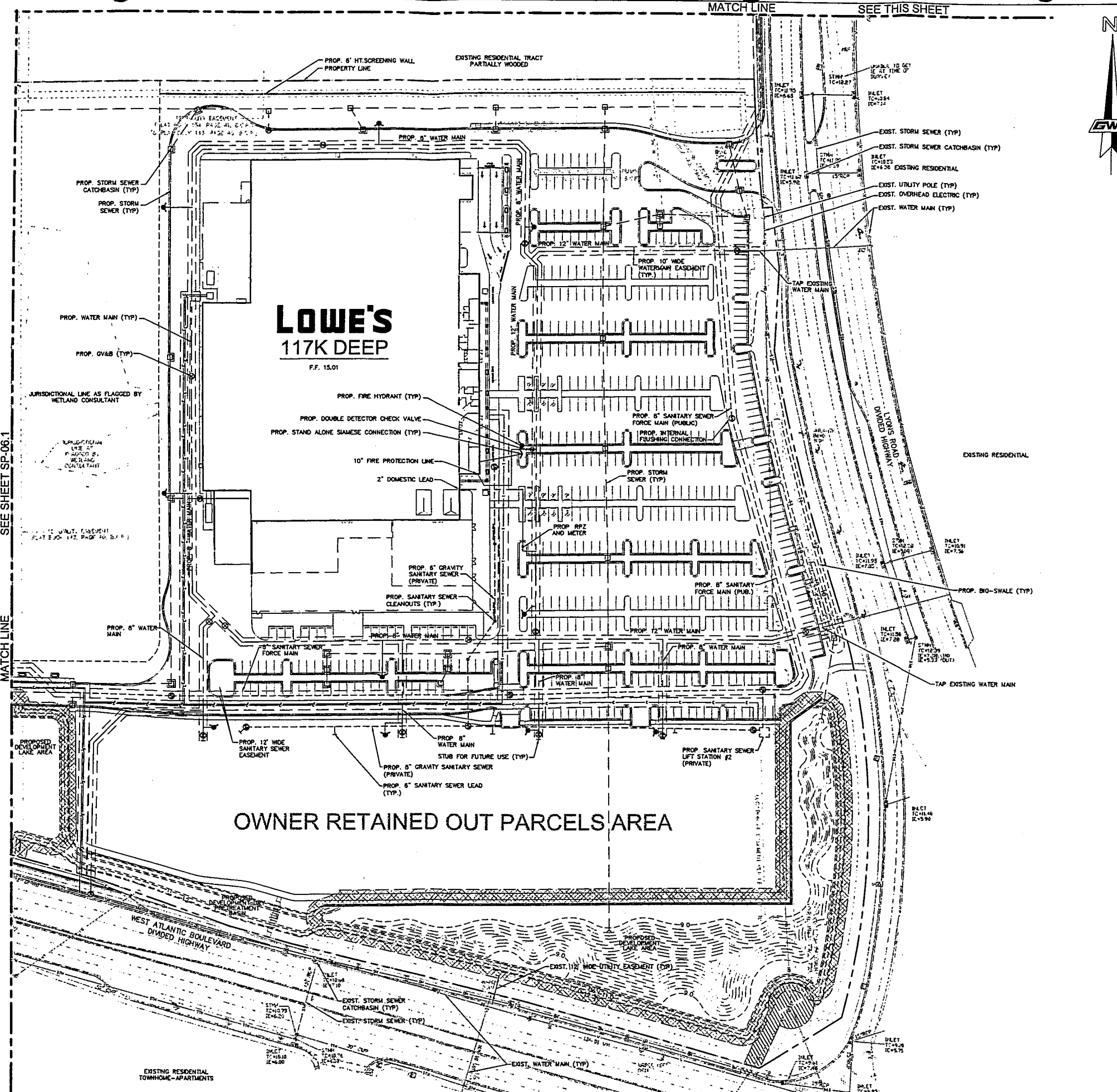


LEGEND

	PROP. CLEANOUT
	PROP. SANITARY GATE VALVE
	PROP. SANITARY SEWER
	PROP. METER AND METER BOX
	PROP. DOUBLE DETECTOR CHECK VALVE
	PROP. GATE VALVE AND BOX
	PROP. HYDRANT ASSEMBLY W/ SHUT OFF
	PROP. STAND ALONE SIAMESE CONNECTION
	PROP. WATER MAIN
	PROP. STORM SEWER CATCHBASIN
	PROP. STORM SEWER MANHOLE
	PROP. STORM SEWER END SECTION
	PROP. STORM SEWER
	PROP. TELEPHONE LINE
	PROP. ELECTRICAL LINE
	PROPOSED 20' WIDE LAKE MAINTENANCE EASEMENT



PRELIMINARY NOT FOR CONSTRUCTION



DATE	DESCRIPTION

PRINCIPAL: E.L.
PROJ. MGR: D.L.
DESIGN: R.S.
DRAWN: A.C.
IND. REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster Engineers, Inc.
 ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS
 2871 BOND STREET
 ROCHESTER HILLS, MI 48069
 PHONE (248) 862-3100
 FAX (248) 862-6372
 407 E. FORT STREET, SUITE 600
 BIRMINGHAM, MI 38226
 PHONE (313) 862-4442
 FAX (313) 962-5688
 6303 26 MILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8258
 FAX (586) 781-8561
 EMAIL: info@giffelswebster.com
 www.giffelswebster.com

SHEET TITLE:
 SITE PLANS
 UTILITY PLAN

COCOMAR PLAZA
COCONUT CREEK, BROWARD CO., FL.

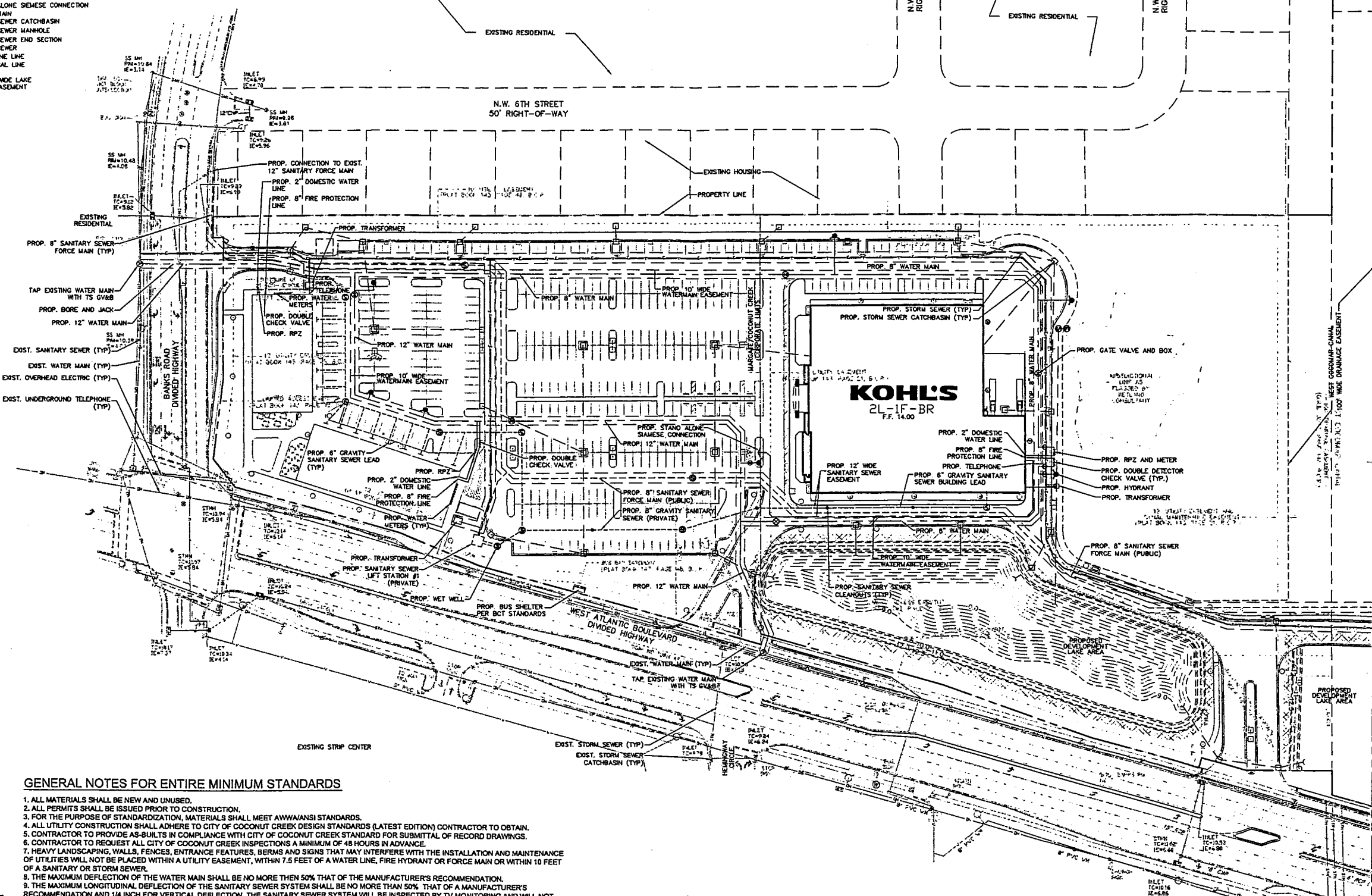
DATE: 12/19/2007
SCALE: 1" = 60 FEET
SHEET: SP-06.0
JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc. No reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, PE # 67848
 PROFESSIONAL SEAL

LEGEND

- PROF. CLEANOUT
- PROF. SANITARY GATE VALVE
- PROF. SANITARY SEWER
- PROF. RPZ AND METER
- PROF. DOUBLE DETECTOR CHECK VALVE
- PROF. GATE VALVE AND BOX
- PROF. HYDRANT ASSEMBLY W/ SHUT OFF
- PROF. STAND ALONE SIEMSE CONNECTION
- PROF. WATER MAIN
- PROF. STORM SEWER CATCHBASIN
- PROF. STORM SEWER MANHOLE
- PROF. STORM SEWER END SECTION
- PROF. STORM SEWER
- PROF. TELEPHONE LINE
- PROF. ELECTRICAL LINE
- PROPOSED 20' WIDE LAKE MAINTENANCE EASEMENT



GENERAL NOTES FOR ENTIRE MINIMUM STANDARDS

1. ALL MATERIALS SHALL BE NEW AND UNUSED.
2. ALL PERMITS SHALL BE ISSUED PRIOR TO CONSTRUCTION.
3. FOR THE PURPOSE OF STANDARDIZATION, MATERIALS SHALL MEET AWWA/ANSI STANDARDS.
4. ALL UTILITY CONSTRUCTION SHALL ADHERE TO CITY OF COCONUT CREEK DESIGN STANDARDS (LATEST EDITION) CONTRACTOR TO OBTAIN.
5. CONTRACTOR TO PROVIDE AS-BUILTS IN COMPLIANCE WITH CITY OF COCONUT CREEK STANDARD FOR SUBMITTAL OF RECORD DRAWINGS.
6. CONTRACTOR TO REQUEST ALL CITY OF COCONUT CREEK INSPECTIONS A MINIMUM OF 48 HOURS IN ADVANCE.
7. HEAVY LANDSCAPING, WALLS, FENCES, ENTRANCE FEATURES, BERMS AND SIGNS THAT MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF UTILITIES WILL NOT BE PLACED WITHIN A UTILITY EASEMENT, WITHIN 7.5 FEET OF A WATER LINE, FIRE HYDRANT OR FORCE MAIN OR WITHIN 10 FEET OF A SANITARY OR STORM SEWER.
8. THE MAXIMUM DEFLECTION OF THE WATER MAIN SHALL BE NO MORE THAN 50% THAT OF THE MANUFACTURER'S RECOMMENDATION.
9. THE MAXIMUM LONGITUDINAL DEFLECTION OF THE SANITARY SEWER SYSTEM SHALL BE NO MORE THAN 50% THAT OF A MANUFACTURER'S RECOMMENDATION AND 1/4 INCH FOR VERTICAL DEFLECTION. THE SANITARY SEWER SYSTEM WILL BE INSPECTED BY TV MONITORING AND WILL NOT ACCEPT ANY DEVIATIONS FROM THESE DEFLECTIONS LIMITS.
10. LEAKING TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURE FOR RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE BY LIN-BELL PVC PIPE ASSOCIATION (LATEST EDITION) OR EQUIVALENT.
11. NO VALVES, METER, FIRE HYDRANTS, CLEANOUTS, MANHOLES OR OTHER UTILITY APPURTENANCES ARE TO BE PLACED IN OR ADJACENT TO SIDEWALKS, CURBS, PARKING SPACES OR OTHER SITE FEATURES SO AS TO PRESENT A HAZARD OR RESTRICT THE MAINTENANCE OR OPERATION OF THE UTILITY INFRASTRUCTURES.
12. A HYDROSTATIC TEST SHALL BE PERFORMED AT 150 PSI FOR NOT LESS THAN TWO (2) HOURS, TEST SECTIONS SHALL NOT EXCEED 2,000 L.F. AND SHALL MEET AWWA SPECIFICATIONS. THIS TEST SHALL NOT BE PERFORMED UNTIL THE CITY HAS RECEIVED AND APPROVED AS-BUILT DRAWINGS AND THE TRENCHES HAVE BEEN BACKFILLED AND PROPERLY COMPACTED.
13. SEWER MANHOLES SHALL RECEIVE TWO (2) COATS OF KOPERS 300-M OR POLYMER COATING, ONE (1) RED AND ONE (1) BLACK INSIDE AND OUTSIDE.
14. ON RECORD DRAWINGS TOP OF PIPE ELEVATIONS FOR THE WATER MAIN SHALL BE PROVIDED NO LESS THAN 100 FEET AND AT EVERY VALVE AND CHANGE OF DIRECTION.
15. THE FINISH RIMS, INVERTS AND ASPHALT GRADE ELEVATIONS SHALL NOT DEVIATE MORE THAN 0.10' FROM ORIGINAL DESIGN ELEVATIONS.
16. NO THRUST BLOCKS ALLOWED.
17. CONTRACTOR TO HOLD PRE-CONSTRUCTION MEETING WITH FPL & BELLSOUTH PRIOR TO STARTING CONSTRUCTION TO COORDINATE UNDERGROUND RELOCATION WORK.
18. MINIMUM COVER FOR PVC SHALL BE 36 INCHES, MINIMUM COVER FOR D.I.P. SHALL BE 30 INCHES.
19. DISINFECTION OF WATER MAIN TO COMPLY WITH ANS/AWWA C851-05.



PRELIMINARY
NOT FOR CONSTRUCTION



DATE	DESCRIPTION

LETTER AND COMMENTS FOR ELECTRONIC DRAWING
This drawing is prepared in electronic format to be submitted to the City of Coconut Creek for review and approval. It is the responsibility of the engineer to ensure that the drawing is complete and accurate. The City of Coconut Creek reserves the right to request additional information or clarification at any time. The engineer shall be responsible for providing such information and for ensuring that the drawing is updated accordingly. The City of Coconut Creek shall not be responsible for any errors or omissions in this drawing. The engineer shall be responsible for ensuring that the drawing is in compliance with all applicable codes and standards. The City of Coconut Creek shall not be responsible for any damages or liabilities arising from the use of this drawing. The engineer shall be responsible for ensuring that the drawing is in compliance with all applicable codes and standards. The City of Coconut Creek shall not be responsible for any damages or liabilities arising from the use of this drawing.

PRINCIPAL: E.L.
PROJ. MNGR: D.L.
DESIGN: R.S.
DRAWN: A.C.
IND. REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER
One Independent Drive
Suite 114
Jacksonville
Florida, 32202
904-598-7308 Office
904-354-6094 -Fax

GWE
Giffels-Webster
Engineers, Inc.
ENGINEERS-LAND SURVEYORS
PLANNERS-LANDSCAPE ARCHITECTS
3575 BOND STREET
ROCHESTER HILLS, MI 48309
PHONE (248) 862-3100
FAX (248) 862-6372
487 E. FORT STREET, SUITE 600
DETROIT, MI 48226
PHONE (313) 962-4442
FAX (313) 962-5968
6303 25 MILE ROAD, SUITE 100
WASHINGTON, MI 48094
PHONE (248) 781-8550
FAX (586) 781-8351
EMAIL: info@giffelswebster.com
www.giffelswebster.com

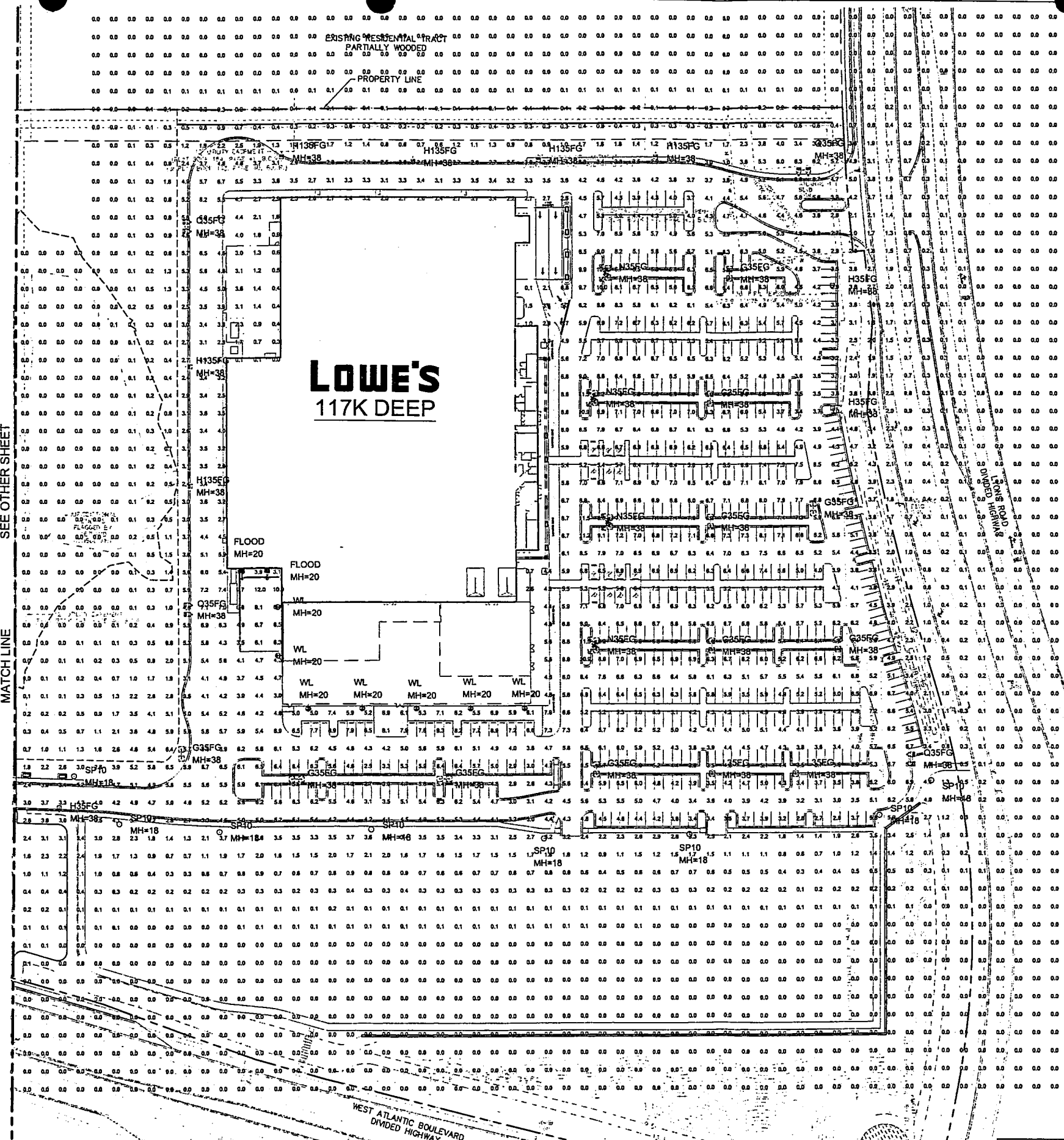
SHEET TITLE:
SITE PLANS
UTILITY PLAN
COCOMAR PLAZA
COCONUT CREEK,
BROWARD CO., FL.

DATE: 12/19/2007
SCALE: 1" = 60 FEET
SHEET: SP-06.1
JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc. All reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, PE # 67848
PROFESSIONAL SEAL

EXHIBIT "N"



NOTE:
FOR PRICING AND SUBMITTALS PLEASE CONTACT
MELESA MITCHELL OF HUBBELL LIGHTING, INC. @ 548-381-8400

Luminaire Schedule
Project: DECORATIVE FIXTURES

Label	Qty	Arrangement	Description	Lumens	LF	Filename	Watts	Total Watts
SP10	28	SINGLE	SP10-175AH (Promoted from 250W MH Source File)	13600	0.730	SP10-250AH.LEB	298	208
SP1	4	SINGLE	SP1-ANG-GR3-100AH	8300	0.730	SP1-ANG-GR3-100AH.LEB	129	129

Luminaire Schedule
Project: LOWES

Label	Qty	Arrangement	Description	Lumens	LF	Filename	Watts	Total Watts
FLOOD	2	SINGLE	HUBBELL NO: MWLOWES	38000	0.730	HP08736.LEB	480	480
Q35FG	11	BACK-BACK	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08634.LEB	1060	2160
H135FG	6	SINGLE	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08634.LEB	1060	1060
H35FG	3	SINGLE	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08637.LEB	1060	1060
L3MFG	2	SINGLE	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08635.LEB	1060	1060
H3MFG	4	GROUP	HUBBELL NO: MBV10BPSAUF0G / HUBBELL NO: MWLOWES	N/A	0.730	N/A	N/A	3000
Q3MFG	5	TWIN 180 ROTATED	HUBBELL NO: MBV10BPSAUF0G (Please Consult)	118000	0.730	HP08635.LEB	1060	2160
WL	7	SINGLE	HUBBELL NO: MWLOWES	38000	0.730	HP08644.LEB	480	480

Luminaire Schedule
Project: KOHLS PLUS OUTLOTS

Label	Qty	Arrangement	Description	Lumens	LF	Filename	Watts	Total Watts
B37FG	3	3 @ 135 DEGREES	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08635.LEB	1060	3240
Q37FG	4	BACK-BACK	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08635.LEB	1060	2160
H137FG	11	SINGLE	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08635.LEB	1060	1060
R37FG	1	TWIN 180 ROTATED	HUBBELL NO: MBV10BPSAUF0G	110000	0.730	HP08637.LEB	1060	2160
WL	8	SINGLE	HUBBELL NO: MWLOWES	38000	0.730	HP08644.LEB	480	480

Calculation Summary
Project: LOWES

Label	Avg	Min	Min	Avg/Min	Max/Min	P80/L	P80/Ts
LOWES PARKING GRID	5.88	11.5	2.5	2.28	4.86	20	20
OVERALL GRID - OUT TO ZERO FE	1.86	12.5	0.6	N/A	N/A	20	20

Calculation Summary
Project: KOHLS PLUS OUTLOTS

Label	Avg	Min	Min	Avg/Min	Max/Min	P80/L	P80/Ts
KOHL'S - OUTLOT PARKING	5.82	11.5	1.7	3.31	6.78	20	20

- SITE LIGHTING SHALL BE CONFINED TO THE SITE AND SHALL NOT BLEED OR GLARE ONTO ADJACENT RESIDENTIAL NEIGHBORHOODS. LIGHT SHIELDS WILL BE INSTALLED TO PREVENT ANY BLEED OR GLARE.
- SEE ENCLOSED PHOTOMETRIC CUTSHEETS AND BOOKS FOR FIXTURE AND POLE DETAILS.



PRELIMINARY
NOT FOR CONSTRUCTION

EXISTING RESIDENTIAL
TOWNHOME-APARTMENTS

1. THE LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREIN ARE APPROVED ONLY AS A VISUAL AID ON THE FIELD. DESIGNERS MAY SIGNIFICANTLY AFFECT PROJECT PERFORMANCE. PRIOR TO INSTALLATION, CONSULT WITH THE CONTRACTOR TO VERIFY THE LOCATION, HEIGHT, AND SPACING OF FIXTURES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS BASED ON MANUFACTURER'S DATA. OPERATING VOLTAGE AND WATTAGE MANUFACTURER'S TOLERANCES OF VOLTAGE, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

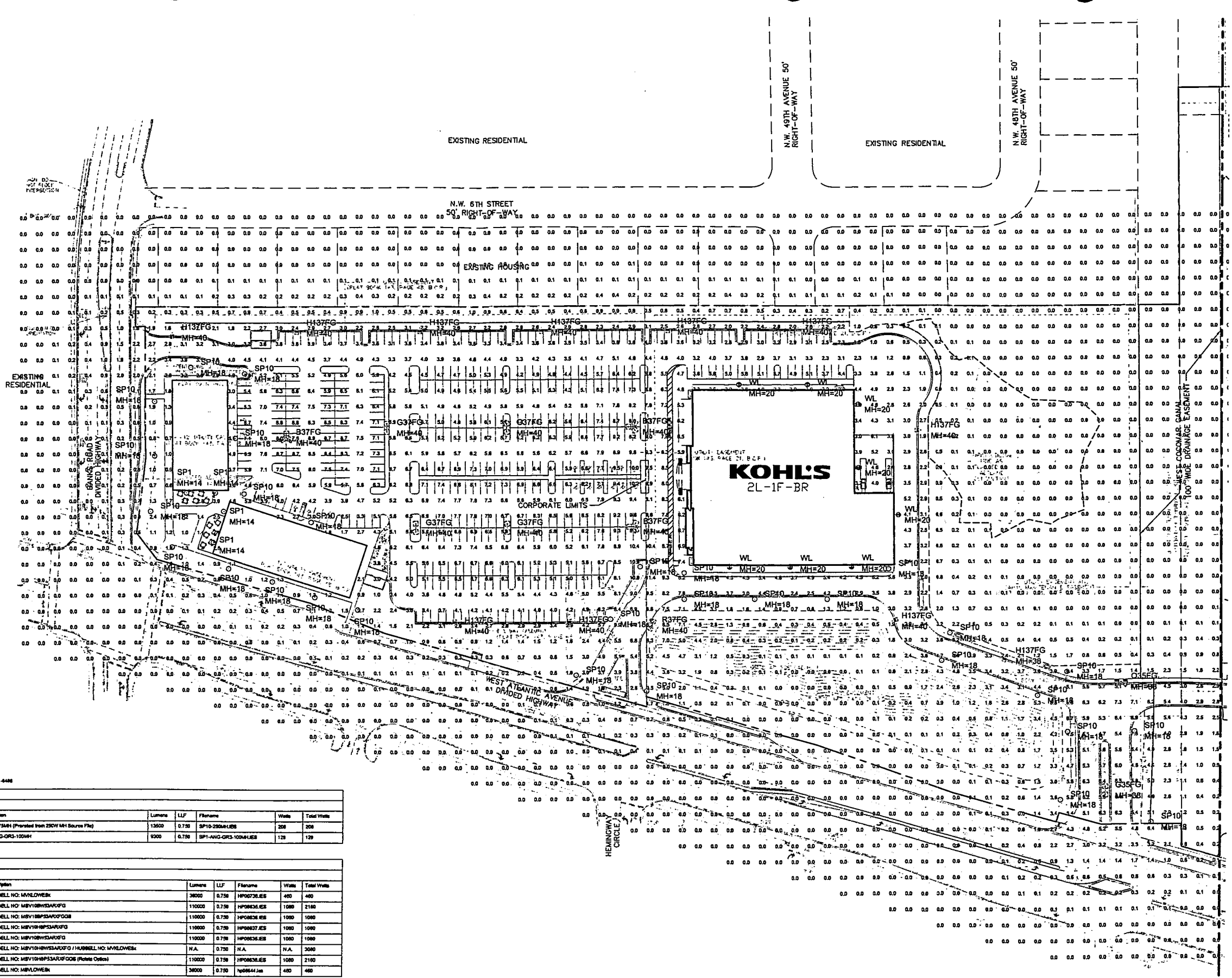
3. PERFORMANCE TO ACHIEVE CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER UNDER THE OWNER'S REPRESENTATIVE.

REVISED FROM DRAWING NUMBER	0738152	0840250	BY	YVY	DATE	12-13-07	CHK BY	N/A
	0838437		BY	YVY	DATE	05-28-08	SCALE	1" = 80'
	0839351		BY		DATE			
	0839516		BY		DATE			

SITE LIGHTING PHOTOMETRIC PLAN
LOWE'S / KOHLS / OUTLOTS
COCONUT CREEK, FL

Hubbell Lighting, Inc.
781 Melrose Blvd.
Greenville, SC 29617

PROJECT NUMBER: 0840582



- SITE LIGHTING SHALL BE CONFINED TO THE SITE AND SHALL NOT BLEED OR GLARE ONTO ADJACENT RESIDENTIAL NEIGHBORHOODS. LIGHT SHIELDS WILL BE INSTALLED TO PREVENT ANY BLEED OR GLARE.
- SEE ENCLOSED PHOTOMETRIC CUTSHEETS AND BOOKS FOR FIXTURE AND POLE DETAILS.

Calculation Summary

Project: LOWES

Label	Avg	Max	Min	Avg/ft	Max/ft	PSec/	PSec/Ts
LOWES PARKING GRD	5.86	11.3	2.3	2.28	4.80	28	20
OVERALL GRD - OUT TO 22ND Fc	1.88	12.8	0.9	N.A.	N.A.	28	28

Calculation Summary

Project: KOHL'S PLUS OUTLOTS

Label	Avg	Max	Min	Avg/ft	Max/ft	PSec/	PSec/Ts
KOHL'S - OUTLOT PARKING	5.82	11.5	1.7	2.31	8.78	28	28

NOTE:
FOR PRICING AND SUBMITTALS PLEASE CONTACT
MELISSA MITCHELL OF HUBBELL LIGHTING, INC. @ 561-381-8446

Luminaire Schedule

Project: DECORATIVE FIXTURES

Label	Qty	Arrangement	Description	Lumens	LLF	Flare	Watts	Total Watts
SP10	38	SINGLE	SP10-175461 (Provided from 250W MH Source File)	13500	0.750	SP10-250W LIES	208	208
SP1	4	SINGLE	SP1-ANG-QR3-100MH	9300	0.750	SP1-ANG-QR3-100MH LIES	128	128

Luminaire Schedule

Project: LOWES

Label	Qty	Arrangement	Description	Lumens	LLF	Flare	Watts	Total Watts
FLOOD	2	SINGLE	HUBBELL NO: MVLOWESK	38000	0.750	HP0273LES	480	480
G37FG	11	BACK-BACK	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	2160
H137FG	4	SINGLE	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	1080
H37FG	3	SINGLE	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	1080
L37FG	2	SINGLE	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	1080
R37FG	4	GROUP	HUBBELL NO: MSV10HWVSARDFG / HUBBELL NO: MVLOWESK	N.A.	0.750	N.A.	N.A.	3080
G37FG	5	TWIN 180 ROTATED	HUBBELL NO: MSV10HWVSARDFG (Pole Outlets)	110000	0.750	HP0623LES	1080	2160
WL	7	SINGLE	HUBBELL NO: MVLOWESK	38000	0.750	HP0644LES	480	480

Luminaire Schedule

Project: KOHL'S PLUS OUTLOTS

Label	Qty	Arrangement	Description	Lumens	LLF	Flare	Watts	Total Watts
B37FG	3	3 @ 120 DEGREE	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	3240
G37FG	4	BACK-BACK	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	2160
H137FG	11	SINGLE	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	1080
R37FG	1	TWIN 180 ROTATED	HUBBELL NO: MSV10HWVSARDFG	110000	0.750	HP0623LES	1080	2160
WL	8	SINGLE	HUBBELL NO: MVLOWESK	38000	0.750	HP0644LES	480	480



PRELIMINARY
NOT FOR CONSTRUCTION

1. THE LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. HUBBELL LIGHTING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. HUBBELL LIGHTING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. HUBBELL LIGHTING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

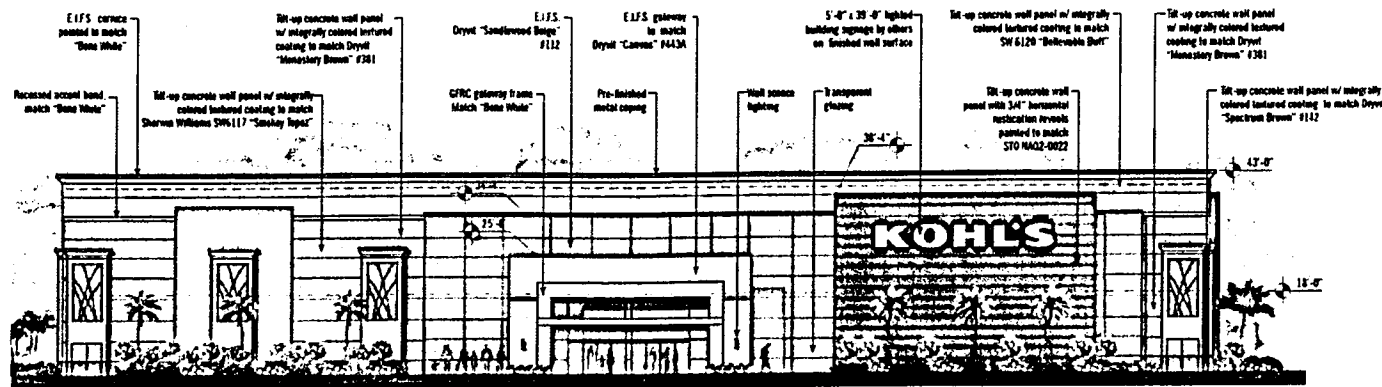
2. ILLUMINATION VALUES ARE BASED ON THE ASSUMPTIONS LISTED IN THE NOTES. ILLUMINATION VALUES ARE BASED ON THE ASSUMPTIONS LISTED IN THE NOTES. ILLUMINATION VALUES ARE BASED ON THE ASSUMPTIONS LISTED IN THE NOTES.

3. CONFORMANCE TO ALL CITY, COUNTY AND STATE REGULATIONS IS THE RESPONSIBILITY OF THE ENGINEER AND HIS REPRESENTATIVE.

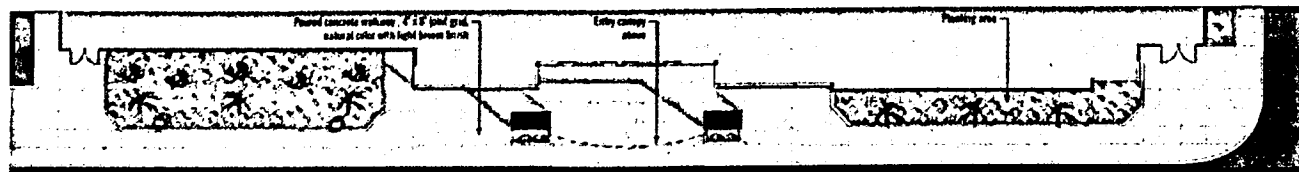
PROJECT NO:	0738152	DATE:	12-13-07
CLIENT:	0838437	DATE:	05-28-08
PROJECT:	0839351	SCALE:	1" = 60'
DATE:	0839516	PROJECT NO:	0840582

SITE LIGHTING PHOTOMETRIC PLAN
LOWE'S / KOHL'S / OUTLOTS
COCONUT CREEK, FL

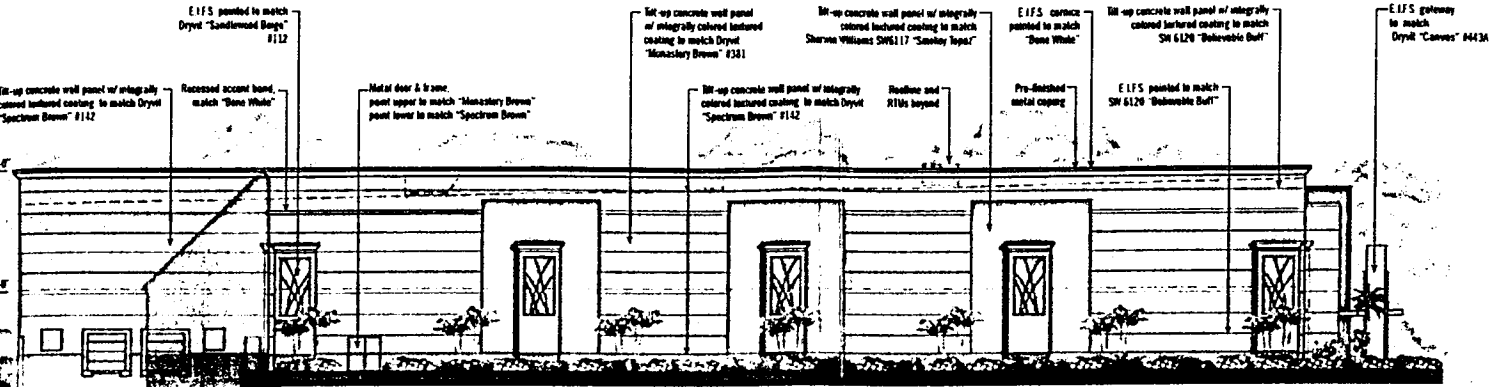
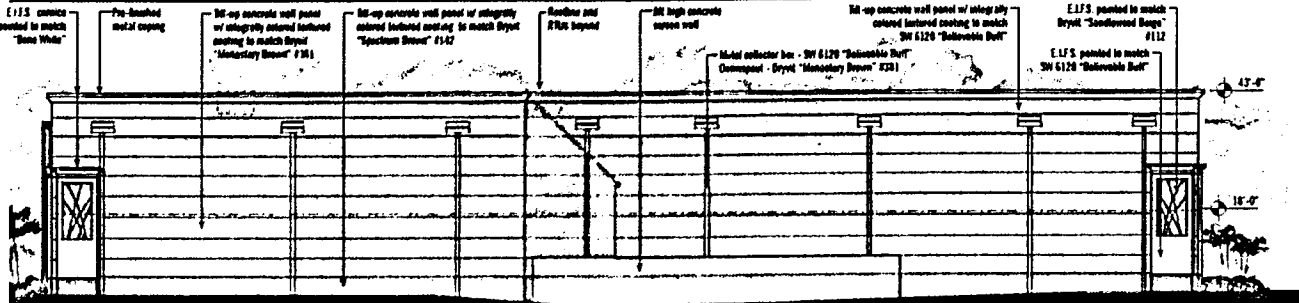
EXHIBIT "O"



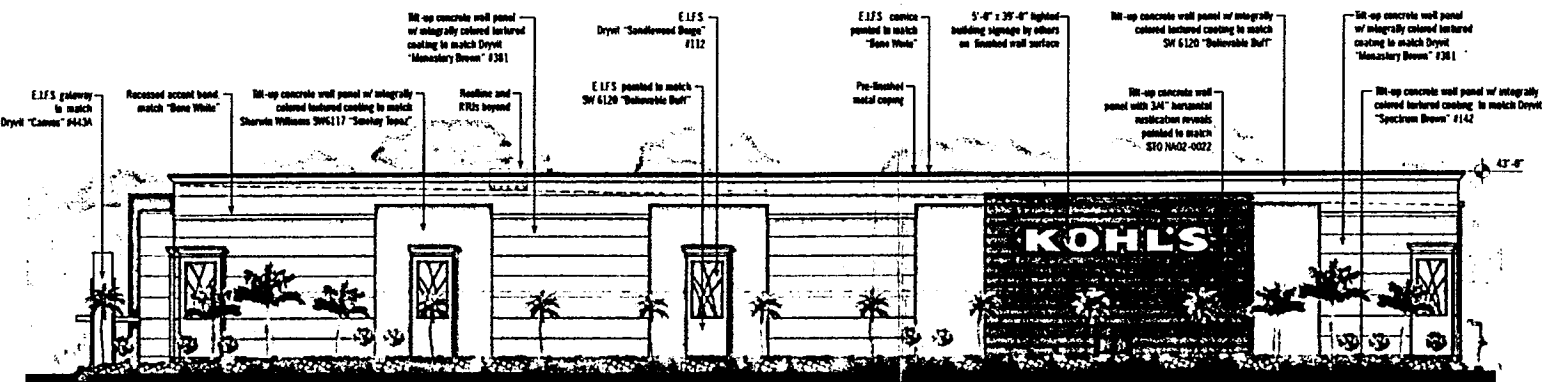
WEST ELEVATION



EAST ELEVATION



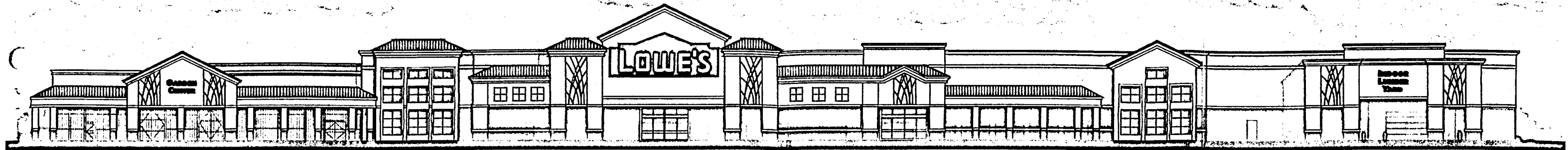
NORTH ELEVATION



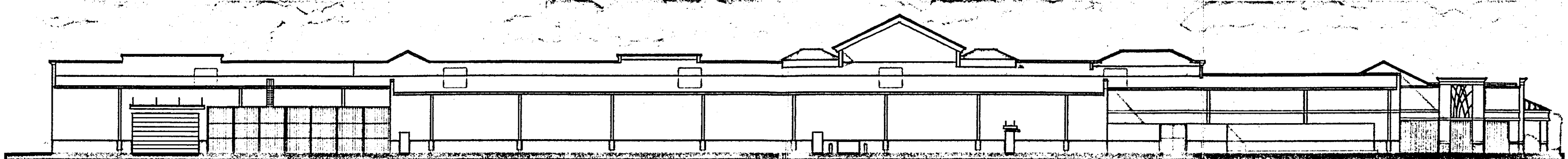
SOUTH ELEVATION

LANDSCAPE MATERIAL LEGEND

PLANT TYPE	MATURE SIZE
Dwarf Palm	6'-8' tall
Hibiscus (shrub)	
Coconut Palm	12'-16' tall
Ficus (shrub)	
Date Palm	6'-8' tall
Montgomery Palm	10'-12' tall
Cat Palm (2 headed)	8'-10' tall
Florida Palm	12'-16' tall



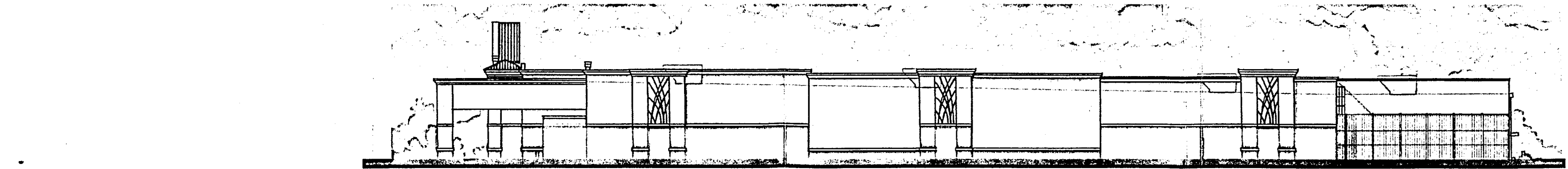
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

LOWE'S

9'-4" / 8'-0" Set Internally Lighted Lowe's Letters

9'-4" / 8'-0" Set Internally Lighted Lowe's Letters (set-contained)

2'-0" x 1'-0" Set Internally Lighted Lowe's Letters (set-contained)

Internal Dimensions by 1/4" Roundwood Sign. Standard provisions & details included with each letter. 20% of every U.S. sign.

LOWE'S

Calculation #1 348.44 Square Feet

GARDEN CENTER

GARDEN CENTER Letters (set-contained)

2'-0" x 1'-0" Set Internally Lighted Garden Center Letters (set-contained)

Internal Dimensions by 1/4" Roundwood Sign. Standard provisions & details included with each letter. 20% of every U.S. sign.

Calculation #1 52 Square Feet

INDOOR LUMBER YARD

INDOOR LUMBER YARD Letters (set-contained)

2'-0" x 1'-0" Set Internally Lighted Indoor Lumber Yard Letters (set-contained)

Internal Dimensions by 1/4" Roundwood Sign. Standard provisions & details included with each letter. 20% of every U.S. sign.

Calculation #1 80 Square Feet

COCOMAR PLAZA

at Coconut Creek, Florida

39'-0"

5'-0"

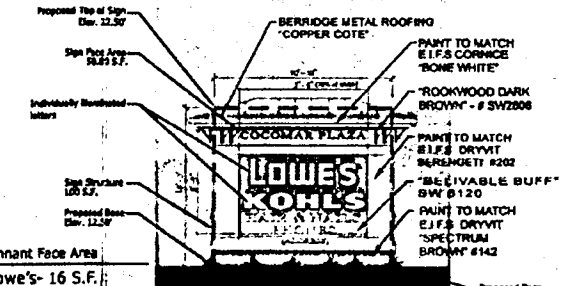
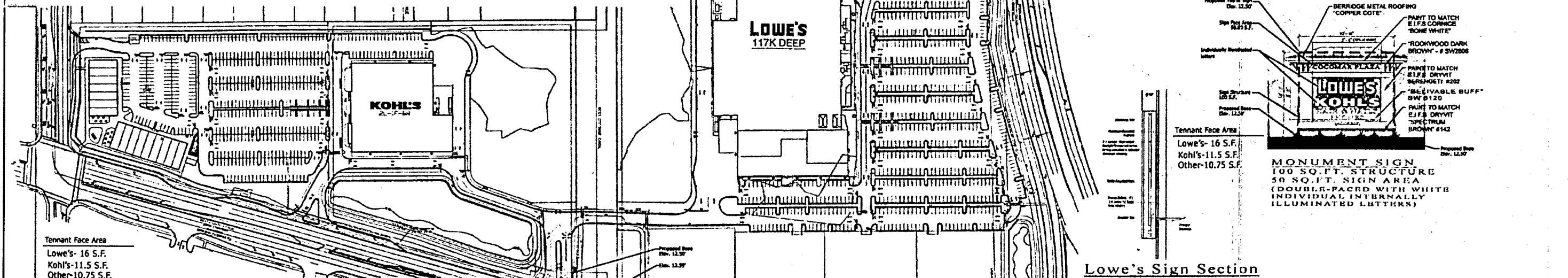
KOHL'S

195 Square Feet

5'-0" Set Internally Lighted Kohl's Letters

5'-0" Set Internally Lighted Kohl's Letters

Internal Dimensions by 1/4" Roundwood Sign. Standard provisions & details included with each letter. 20% of every U.S. sign.



MONUMENT SIGN
100 SQ. FT. STRUCTURE
50 SQ. FT. SIGN AREA
(DOUBLE-FACED WITH WHITE
INDIVIDUALLY INTERNALLY
ILLUMINATED LETTERS)

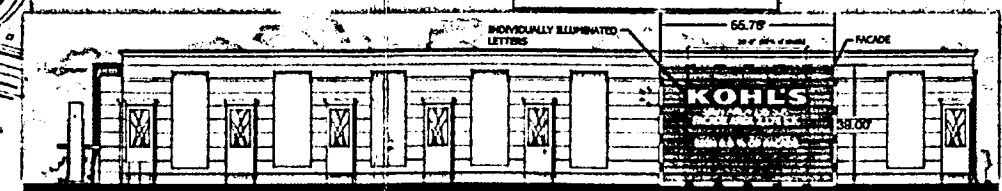
Lowe's Sign Section



PROPOSED LOWE'S ELEVATION
480 SQ. FT. TOTAL WALL SIGNAGE



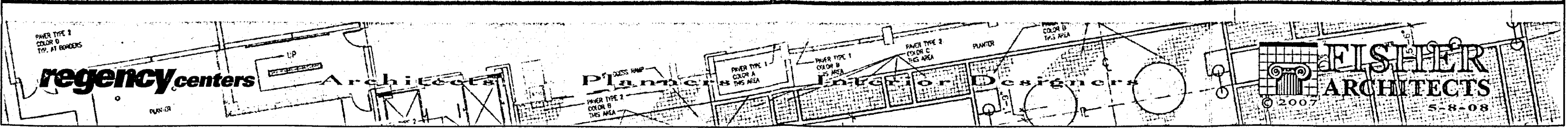
KOHL'S WEST ELEVATION
195 SQ. FT. WALL SIGNAGE



KOHL'S WEST ELEVATION
195 SQ. FT. WALL SIGNAGE

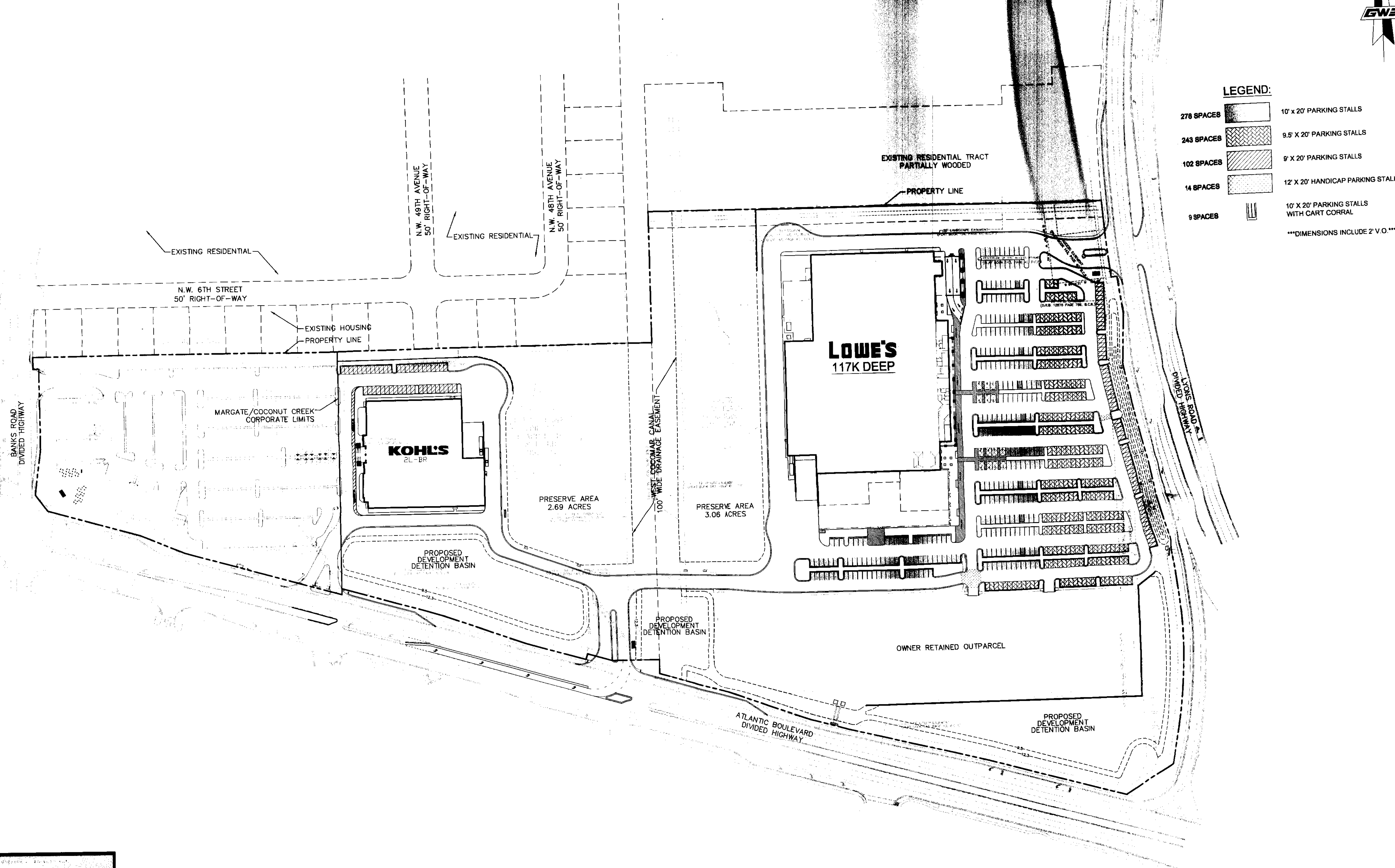
- Additional Sign Notes:**
- Signs shall be limited to 2 colors, including background colors, except for logos.
 - Outparcel signage to be consistent with subdivision V, regulations for the use and control of signs in the City's Land Development Code.
 - Fascia Sign width shall not exceed 75% of the frontage or sign panel to which it is attached.
 - One ground / monument sign shall per street frontage is permitted per project.
 - Copy on the monument sign may include major tenants based on the following, the minimum size for major tenant designation with total square footage in excess of 20,000 S.F. for developments larger than 200,000 total S.F.

SIGNAGE PLAN





REVISION:	DATE	DESCRIPTION
1	12/20/07	PRELIMINARY SITE PLAN SUBMITTAL
2	5/2/2008	REVISIONS FOR CITY COMMENTS
3	5/29/2008	REVISIONS FOR CITY COMMENTS
4	7/02/2008	REVISIONS FOR CITY COMMENTS



- LEGEND:**
- 278 SPACES [Symbol] 10' x 20' PARKING STALLS
 - 243 SPACES [Symbol] 9.5' x 20' PARKING STALLS
 - 102 SPACES [Symbol] 9' x 20' PARKING STALLS
 - 14 SPACES [Symbol] 12' x 20' HANDICAP PARKING STALLS
 - 9 SPACES [Symbol] 10' x 20' PARKING STALLS WITH CART CORRAL
- ***DIMENSIONS INCLUDE 2' V.O.***

Terms and Conditions for Electronic Data:
 The document is provided in electronic format for the convenience of the user. It is intended to be used as a reference only and does not constitute a contract. The user agrees to hold GWE harmless for any loss of data or information resulting from the use of this document. The user agrees to indemnify and hold GWE harmless for any loss of data or information resulting from the use of this document. The user agrees to hold GWE harmless for any loss of data or information resulting from the use of this document. The user agrees to hold GWE harmless for any loss of data or information resulting from the use of this document.

PRINCIPAL: E.L.
 PROJ. MGR: D.L.
 DESIGN: R.S.
 DRAWN: A.C.
 IND. REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER

One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster
Engineers, Inc.

ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS

2871 BOND STREET
 ROCHESTER HILLS, MI 48065
 PHONE (248) 852-3100
 FAX (248) 852-6372

407 K. FORT STREET, SUITE 600
 DETROIT, MI 48226
 PHONE (313) 962-4442
 FAX (313) 962-5088

6101 26 MILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8959
 FAX (586) 781-8951
 EMAIL: info@giffelswebster.com
 www.giffelswebster.com

SHEET TITLE:
SITE PLANS
PARKING STALL
PLAN

COCOMAR PLAZA
COCONUT CREEK,
BROWARD CO., FL.

DATE: 12/19/2007
 SCALE: 1" = 100 FEET
 SHEET: SP-02.2
 JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc.
 No reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, PE # 67848
 PROFESSIONAL SEAL



PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

	PROP. LIGHT POLES
	PARKING STALL COUNTS
	SIDEWALK RAMP SEE SHEET SP-08.1 FOR DETAIL
	STOP BAR SEE SHEET SP-08.3 FOR DETAIL
	PROPOSED 20' WIDE LAKE MAINTENANCE EASEMENT

CRITICAL CONSTRUCTION PHASING

- PHASE ONE OF CONSTRUCTION:
- TRAP ALL EXISTING WILDLIFE ON-SITE AND RELOCATE ACCORDINGLY.
 - CONSTRUCT 8' SCREENWALL ADJACENT TO RESIDENCES.
 - TRANSPLANT ALL PLANT MATERIAL TO BE PRESERVED ACCORDING TO LANDSCAPE ARCHITECTS SPECIFICATIONS.

SITE DATA TABLE - COCONUT CREEK

CATEGORY	REQUIRED	PROVIDED
KOHL'S GROSS FLOOR AREA		100,780
KOHL'S PARKING	336	370 TOTAL
(SUBTOTAL IN MARGATE = 325)		
(SUBTOTAL IN COCONUT CREEK = 45)		
LOWE'S GROSS FLOOR AREA (INCL. GARDEN CTR)	171,069 SF	
LOWE'S PARKING (1sp/300sf)	571	592
KOHL'S ADA	8	12
LOWE'S ADA	13	14
TOTAL	21	26
KOHL'S BICYCLE PARKING	11	11
LOWE'S BICYCLE PARKING	18	18
BUILDING SETBACKS:		
NORTH	25	98
SOUTH	25	178.64
EAST	25	310.01
WEST	0	41.70

CLEAR SIGHT TRIANGLE NOTE:

- CLEAR SIGHT TRIANGLE SHALL BE UNOBSTRUCTED FROM 30 INCHES TO 6 FEET ABOVE GRADE.

STATEMENT OF INTEREST:

REGENCY CENTERS, INC. IS CONTRACTED TO PURCHASE THE SUBJECT PROPERTY.

PLAT NOTE:

- APPLICANT INTENDS TO AMEND THE CURRENTLY APPROVED PLAT.

EXISTING LAND USE:

- THE SITE IS VACANT
- SOUTH OF THE SITE IS COMMERCIAL AND MULTI FAMILY RESIDENTIAL
- NORTH OF THE SITE IS SINGLE AND MULTI FAMILY RESIDENTIAL
- EAST OF THE SITE IS SINGLE FAMILY RESIDENTIAL
- WEST OF THE SITE IS VACANT (COMMERCIAL PROPOSED)

SIGNING AND MARKING NOTE:

- PAVEMENT MARKING AND SIGNING MATERIAL SHALL BE FULL REFLECTORIZED WITH HIGH INTENSITY MATERIALS.
- STOP BARS AND DOUBLE YELLOWS TO BE THERMOPLASTIC.

UTILITIES NOTE:

- ALL PROPOSED UTILITIES ARE TO BE LOCATED UNDERGROUND.

TIME SCHEDULE:

- CONSTRUCTION START: 11/2008
- CONSTRUCTION FINISH: 11/2009

SITE LIGHTING NOTE:

- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SITE AREA TABLE:

ZONING, PCD	S.F.	ACRES	%
TOTAL AREA:	1,566,417	35.96	100
LOWE'S (FOOTPRINT)	171,069		6.44
KOHL'S (FOOTPRINT)	100,780		10.92
TOTAL BUILDING AREA:	271,849		17.36
GREEN SPACE (VUA):	613,290		39.15
IMPERVIOUS AREA:	650,879		41.55
SIDEWALKS:	30,399		1.94

EXISTING STRIP CENTER

ZONED: B-2

OUTPARCEL SIGN NOTE:

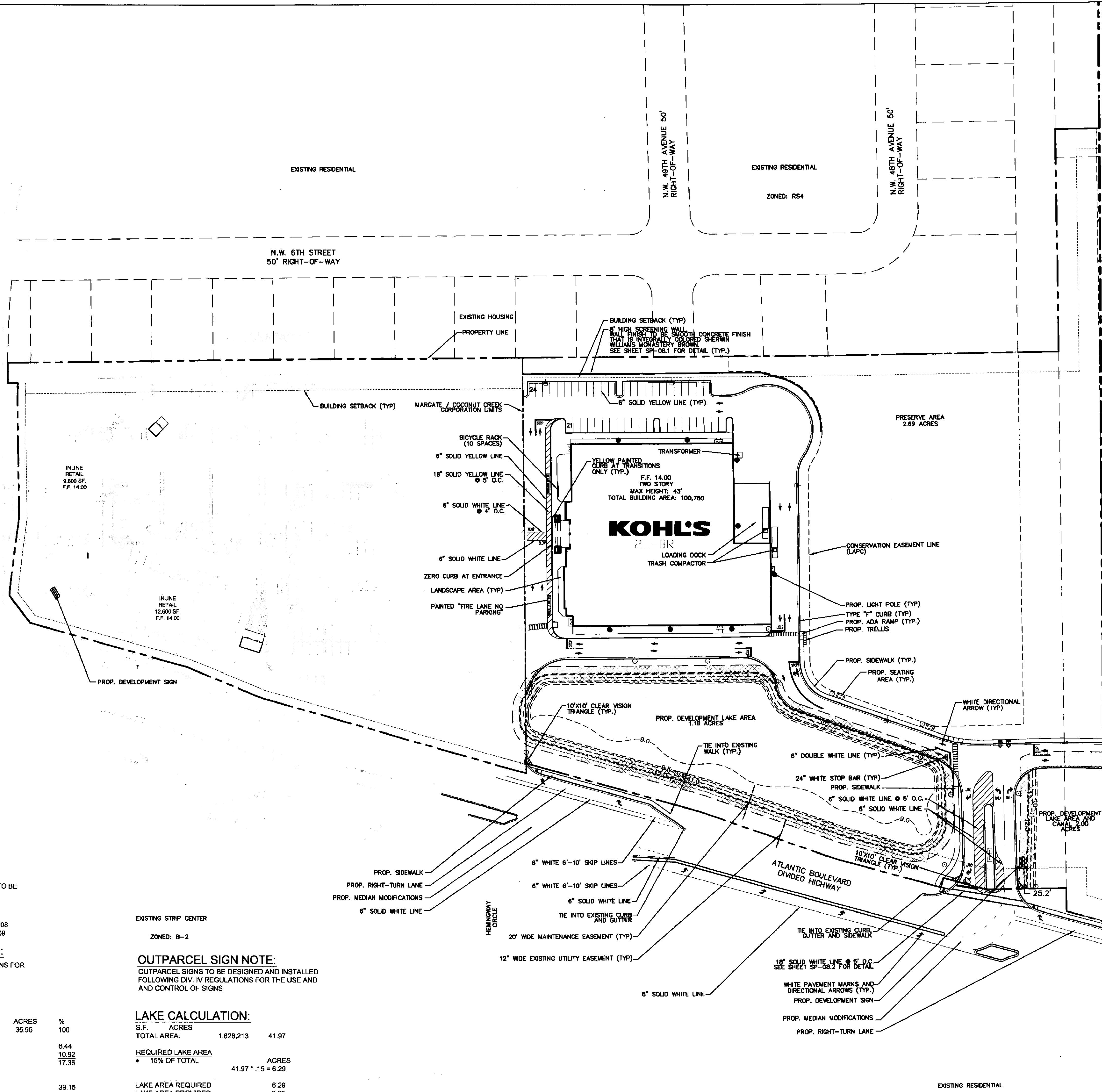
OUTPARCEL SIGNS TO BE DESIGNED AND INSTALLED FOLLOWING DIV. IV REGULATIONS FOR THE USE AND CONTROL OF SIGNS

LAKE CALCULATION:

S.F.	ACRES
TOTAL AREA:	1,828,213 41.97
REQUIRED LAKE AREA	
• 15% OF TOTAL	41.97 * .15 = 6.29
LAKE AREA REQUIRED	6.29
LAKE AREA PROVIDED	6.88



PRELIMINARY NOT FOR CONSTRUCTION



REVISION

DATE	DESCRIPTION
1/22/2008 <td>SITE PLAN SUBMITTAL</td>	SITE PLAN SUBMITTAL
5/12/2008 <td>SITE PLAN SUBMITTAL REVISION PER CITY COMMENTS</td>	SITE PLAN SUBMITTAL REVISION PER CITY COMMENTS
5/29/2008 <td>SITE PLAN SUBMITTAL REVISION PER CITY COMMENTS</td>	SITE PLAN SUBMITTAL REVISION PER CITY COMMENTS
7/02/2008 <td>SITE PLAN SUBMITTAL REVISION PER CITY COMMENTS</td>	SITE PLAN SUBMITTAL REVISION PER CITY COMMENTS

Terms and Conditions for Electronic Data:
 This document is provided in electronic format for the convenience of the user. It is not to be used as a substitute for the original hard copy. The user is responsible for ensuring the accuracy and integrity of the data. The user is not to be held liable for any errors or omissions. The user is not to be held liable for any damages or losses. The user is not to be held liable for any legal actions. The user is not to be held liable for any other actions.

PRINCIPAL: E.L.
 PROJ. MNGR: D.L.
 DESIGN: R.S.
 DRAWN: A.C.
 IND. REVIEW: D.L.

DEVELOPED FOR:
REGENCY CENTER
 One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 -Fax

GWE
Giffels-Webster
Engineers, Inc.
 ENGINEERS-LAND SURVEYORS
 PLANNERS-LANDSCAPE ARCHITECTS
 2871 HOND STREET
 ROCHESTER HILLS, MI 48069
 PHONE (248) 852-3100
 FAX (248) 852-6372
 101 E. FORT STREET, SUITE 500
 DETROIT, MI 48226
 PHONE (313) 962-4442
 FAX (313) 962-5068
 6103 26 MILE ROAD, SUITE 100
 WASHINGTON, MI 48094
 PHONE (586) 781-8950
 FAX (586) 781-8051
 EMAIL: info@giffelswebster.com
 www.giffelswebster.com

SHEET TITLE:
SITE PLANS
SITE LAYOUT PLAN

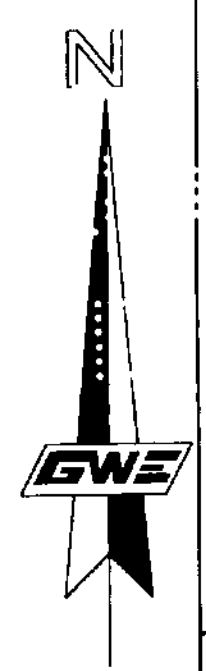
COCOMAR PLAZA
COCONUT CREEK,
BROWARD CO., FL.

DATE: 12/19/2007
 SCALE: 1" = 60 FEET
 SHEET: SP-02.1
 JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc.
 No reproduction may be made without the prior written consent of Giffels-Webster Engineers, Inc.

Jason D. Mayer
 JASON D. MAYER, PE # 67848
 PROFESSIONAL SEAL

MATCH LINE SEE THIS SHEET



REVISION:	
DATE:	
1/22/2008	1/22/2008
5/29/2008	5/29/2008
7/22/2008	7/22/2008

Terms and Conditions for Electronic Data
 This document is provided in electronic format for the convenience of the user. It is not to be used as a legal document. The user agrees to hold the provider harmless for any and all consequences of the use of this document. The provider makes no warranty, express or implied, for the accuracy, completeness, or reliability of the information contained herein. The provider shall not be liable for any damages, including consequential damages, arising from the use of this document. The user shall be responsible for the accuracy and completeness of the information provided. It is understood that the user shall be responsible for the accuracy and completeness of the information provided. It is understood that the user shall be responsible for the accuracy and completeness of the information provided.

PRINCIPAL: E.L.
 PROJ. MNGR: D.L.
 DESIGN: R.S.
 DRAWN: A.C.
 IND. REVIEW: D.L.

DEVELOPED FOR:
 REGENCY CENTER

One Independent Drive
 Suite 114
 Jacksonville
 Florida, 32202
 904-598-7308 Office
 904-354-6094 Fax

GWE
Giffels-Webster
Engineers, Inc.
 ENGINEERS - LAND SURVEYORS
 PLANNERS - LANDSCAPE ARCHITECTS
 2071 HIVE STREET
 ROCHESTER HILLS, MI 48309
 PHONE (248) 852-3100
 FAX (248) 852-6372
 107 E. FORT STREET, SUITE 500
 DETROIT, MI 48226
 PHONE (313) 962-1442
 FAX (313) 962-5068
 6301 26 MILE ROAD, SUITE 100
 WASHINGTON, MI 48394
 PHONE (586) 781-8900
 FAX (586) 781-8951
 EMAIL: info@giffelswebster.com
 www.giffelswebster.com

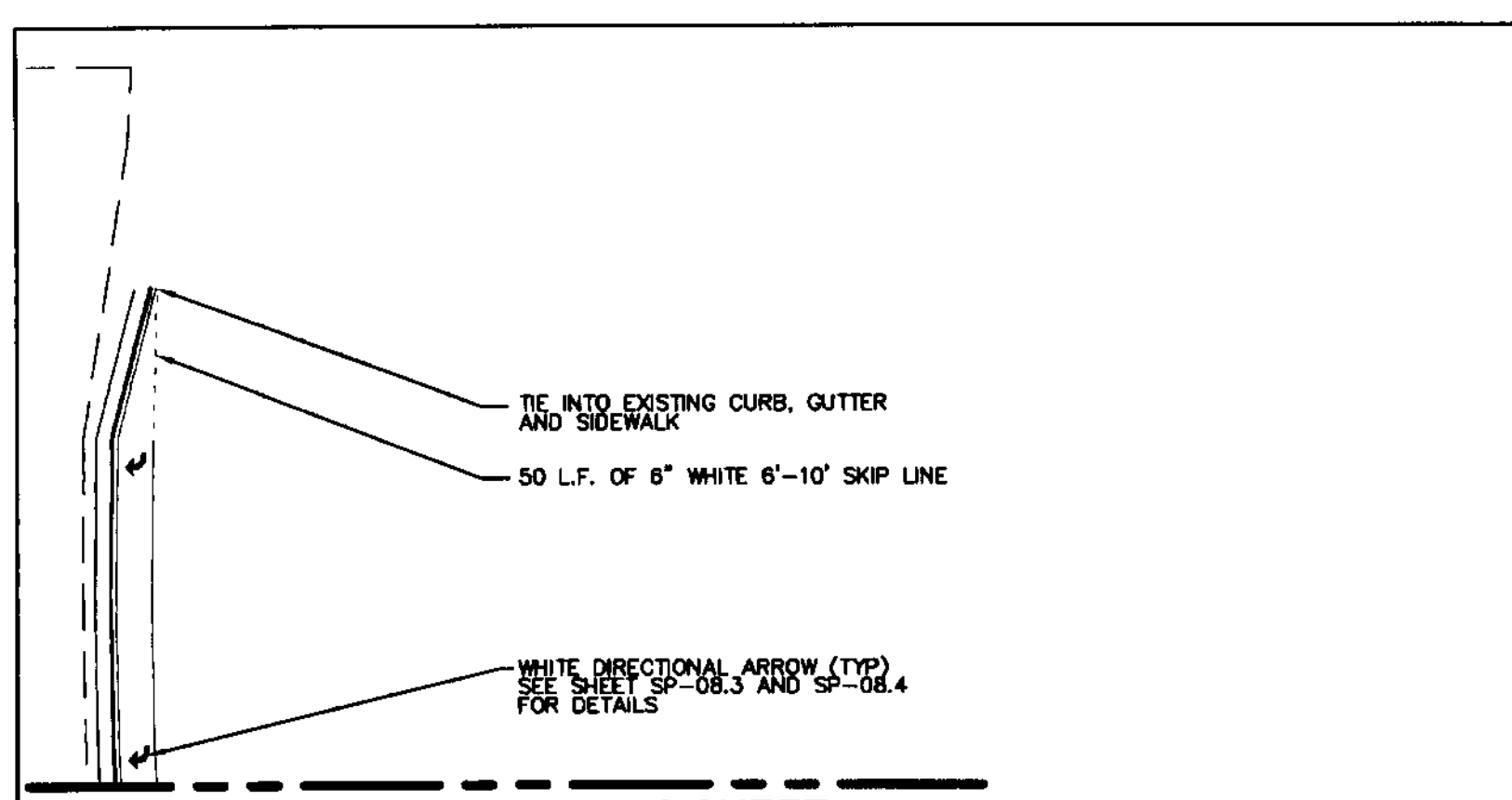
SHEET TITLE:
 SITE PLANS
 SITE LAYOUT PLAN

COCOMAR PLAZA
 COCONUT CREEK,
 BROWARD CO., FL.

DATE: 12/19/2007
 SCALE: 1" = 60 FEET
 SHEET: SP-02.0
 JOB: 17512.00

Copyright © 2008 Giffels-Webster Engineers, Inc.
 No reproduction shall be made without the prior written consent of Giffels-Webster Engineers, Inc.

JASON D. MAYER, P.E.
 PROFESSIONAL SEAL



MATCH LINE SEE THIS SHEET
 SCALE: 1"=60"

CRITICAL CONSTRUCTION PHASING

- PHASE ONE OF CONSTRUCTION:
- TRAP ALL EXISTING WILDLIFE ON-SITE AND RELOCATE ACCORDINGLY.
 - CONSTRUCT 8' SCREENWALL ADJACENT TO RESIDENCES.
 - TRANSPLANT ALL PLANT MATERIAL TO BE PRESERVED ACCORDING TO LANDSCAPE ARCHITECTS SPECIFICATIONS.

SITE DATA TABLE - COCONUT CREEK

CATEGORY	REQUIRED	PROVIDED
KOHL'S GROSS FLOOR AREA		100,780
KOHL'S PARKING	336	370 TOTAL
(SUBTOTAL IN MARGATE = 325)		
(SUBTOTAL IN COCONUT CREEK = 45)		
LOWE'S GROSS FLOOR AREA (INCL. GARDEN CTR) 171,069 SF		
LOWE'S PARKING (1sp/300sf)	571	592
KOHL'S ADA	8	12
LOWE'S ADA	13	14
TOTAL	21	26
KOHL'S BICYCLE PARKING	11	11
LOWE'S BICYCLE PARKING	18	18
BUILDING SETBACKS:		
NORTH	25	98
SOUTH	25	178.64
EAST	25	310.01
WEST	0	41.70

CLEAR SIGHT TRIANGLE NOTE:

1. CLEAR SIGHT TRIANGLE SHALL BE UNOBSTRUCTED FROM 30 INCHES TO 6 FEET ABOVE GRADE.

STATEMENT OF INTEREST:

- REGENCY CENTERS, INC. IS CONTRACTED TO PURCHASE THE SUBJECT PROPERTY.

PLAT NOTE:

1. APPLICANT INTENDS TO AMEND THE CURRENTLY APPROVED PLAT.

EXISTING LAND USE:

- THE SITE IS VACANT
- SOUTH OF THE SITE IS COMMERCIAL AND MULTI FAMILY RESIDENTIAL
- NORTH OF THE SITE IS SINGLE AND MULTI FAMILY RESIDENTIAL
- EAST OF THE SITE IS SINGLE FAMILY RESIDENTIAL
- WEST OF THE SITE IS VACANT (COMMERCIAL PROPOSED)

SIGNING AND MARKING NOTE:

1. PAVEMENT MARKING AND SIGNING MATERIAL SHALL BE FULL REFLECTORIZED WITH HIGH INTENSITY MATERIALS.
 2. STOP BARS AND DOUBLE YELLOWS TO BE THERMOPLASTIC.



PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

	PROP. LIGHT POLES
	PARKING STALL COUNTS
	SIDEWALK RAMP SEE SHEET SP-08.1 FOR DETAIL
	STOP BAR SEE SHEET SP-08.3 FOR DETAIL
	PROPOSED 20' WIDE LAKE MAINTENANCE EASEMENT

UTILITIES NOTE:

1. ALL PROPOSED UTILITIES ARE TO BE LOCATED UNDERGROUND.

TIME SCHEDULE:

- CONSTRUCTION START 11/2008
- CONSTRUCTION FINISH: 11/2009

SITE LIGHTING NOTE:

1. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SITE AREA TABLE:

ZONING:	S.F.	%
PCD	1,566,417	100
LOWE'S (FOOTPRINT)	171,069	6.44
KOHL'S (FOOTPRINT)	100,780	10.92
TOTAL BUILDING AREA:	271,849	17.36
GREEN SPACE(VUA):	613,290	39.15
IMPERVIOUS AREA:	650,879	41.55
SIDEWALKS:	30,399	1.94

CLEAR SIGHT TRIANGLE NOTE:

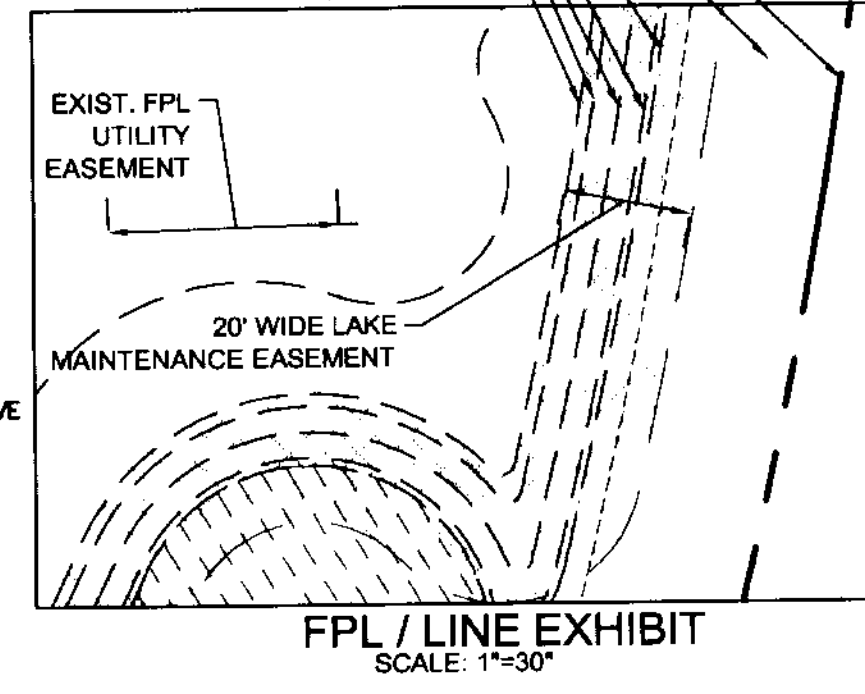
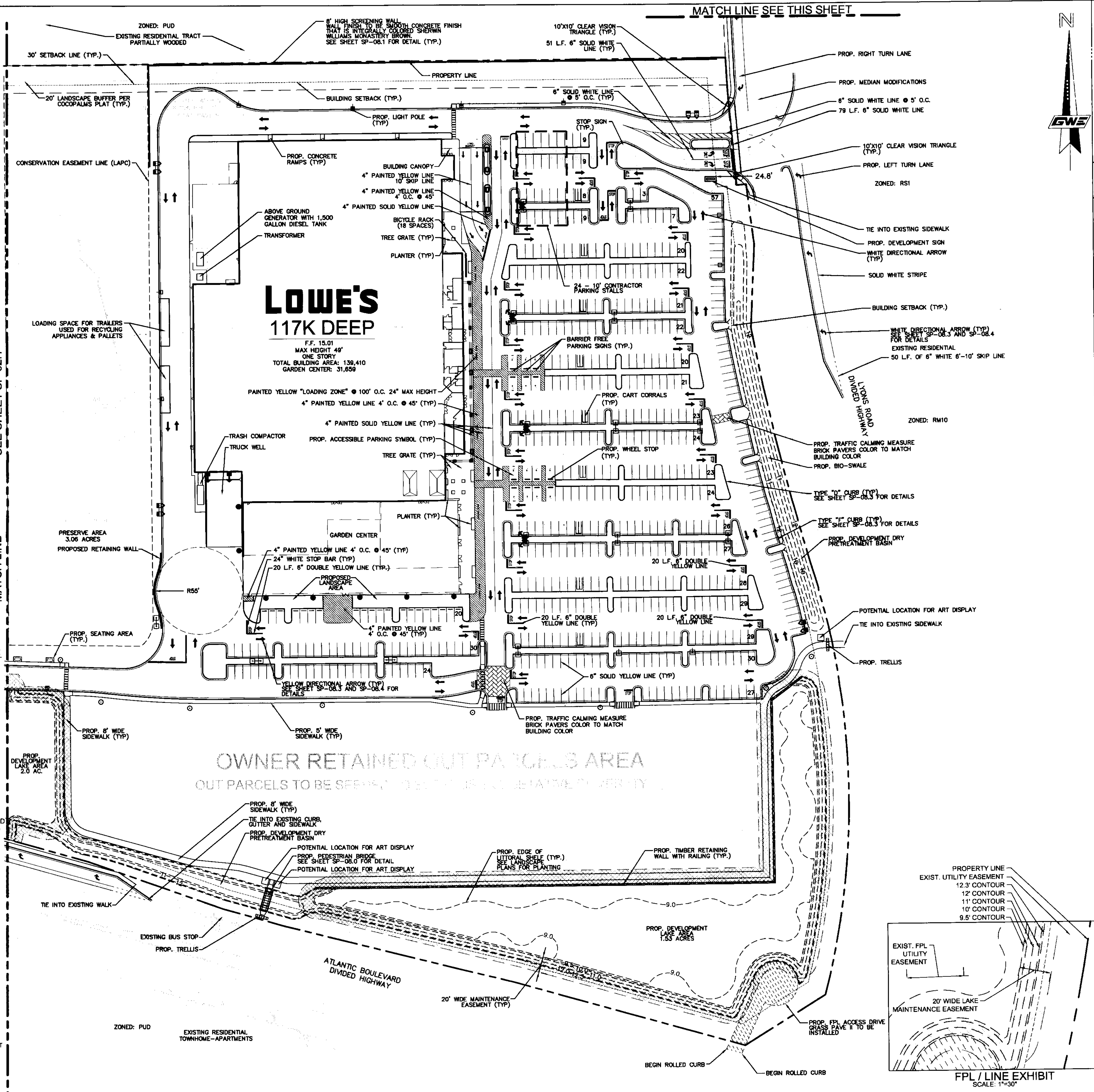
1. CLEAR SIGHT TRIANGLE SHALL BE UNOBSTRUCTED FROM 30 INCHES TO 6 FEET ABOVE GRADE.

LAKE CALCULATION:

S.F.	ACRES	%
TOTAL AREA:	1,628,213	41.97
REQUIRED LAKE AREA		
• 15% OF TOTAL	41.97 * .15 = 6.29	
LAKE AREA REQUIRED	6.29	
LAKE AREA PROVIDED	6.88	

OUTPARCEL SIGN NOTE:

- OUTPARCEL SIGNS TO BE DESIGNED AND INSTALLED FOLLOWING DIV. IV REGULATIONS FOR THE USE AND CONTROL OF SIGNS



SEE SHEET SP-02.1

MATCH LINE

MATCH LINE