



**Block 4 at  
mainstreet**  
live better.

City Commission Meeting

March 14, 2024



# Application Request – Site Plan Approval for Block 4



## Site Plan Approval for Block 4:

- 11.86 Acres
- 472 Dwelling Units Proposed (500 Max Allowed)
- 5-Story Height Proposed (8 Story Max Allowed)
- 20-foot Maximum Setback Provided along more than 40% of the Street Frontages
- 807 Parking Spaces Provided (785 Parking Spaces Required)
- 81 EV / EV Ready Spaces Provided (79 EV / EV Ready Spaces Required)
- 80 Bicycle Spaces Provided (40 Bicycle Spaces Required)



Public Greenway



# Block 4 Interior Design Team



## Interior Design by One Line Design

**Studio** Design Studio is a boutique interior design studio with a focus on the hospitality, commercial & multi-family development markets. We successfully lead our projects by infusing our passion for art, design, fashion and travel to offer unparalleled design with One Line.

Focused on the core identity of the space, we aim to tell a story with every detail, corner, curve and element, each designed visually to fulfill the character, purpose and fundamental beauty of the space.

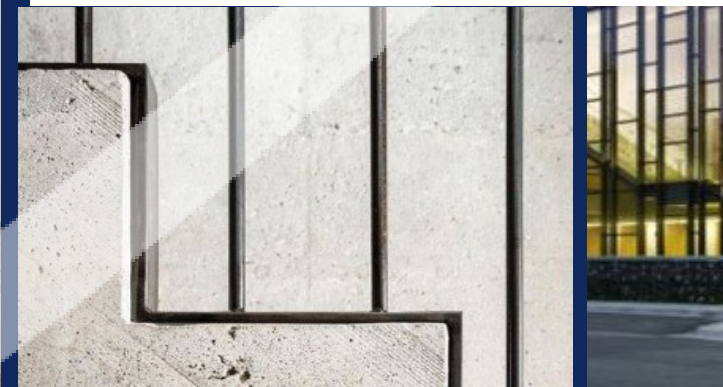
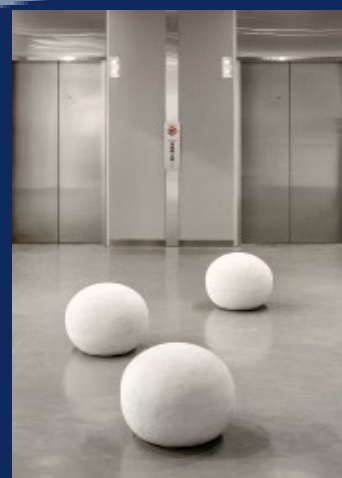
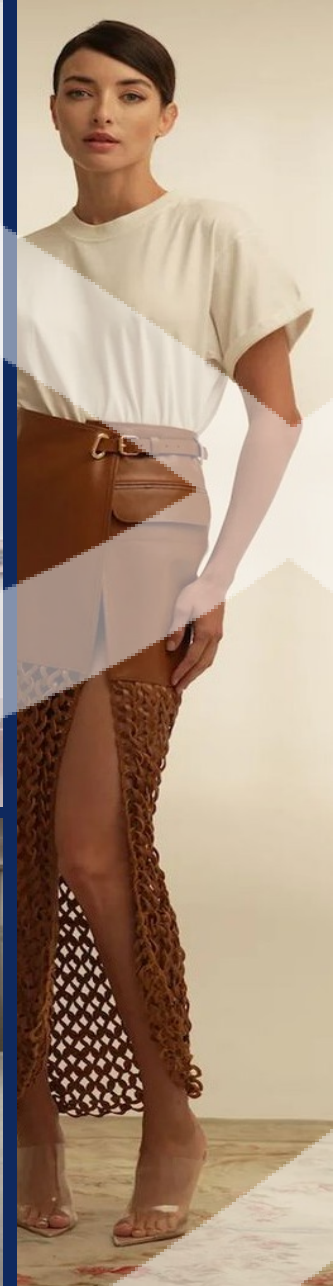
Our Co-Founders, bring their collective 35+ years of varied experience, offering a fresh approach to the evolving landscape of interior design and project development expectations. We have developed a strong foundation based on the strength of our uniquely-blended creative capital, approaching each project through the authenticity of our teams' collective lens.

It is the fusion of these dynamic creative minds that drives our approach to every project we work on, and our firm.

Our team of NCIDO Certified, LEED Certified & Florida State licensed Interior Designers use their expertise to provide creative leadership to renovation and new-build construction projects throughout the United States, Caribbean and Latin America.

One Line offers comprehensive interior design services for a myriad of projects. Our services include, programming, conceptual design, schematic design, design development, construction documentation, material selection & documentation, FF&E Selection and documentation, art placement, custom art and murals, bidding & negotiation, construction administration, and installation management.





# Block 4 Interior Design Concepts



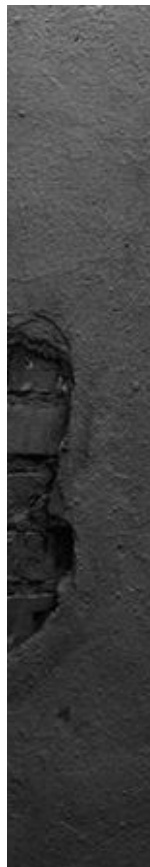


# Block 4 Interior: Lobby



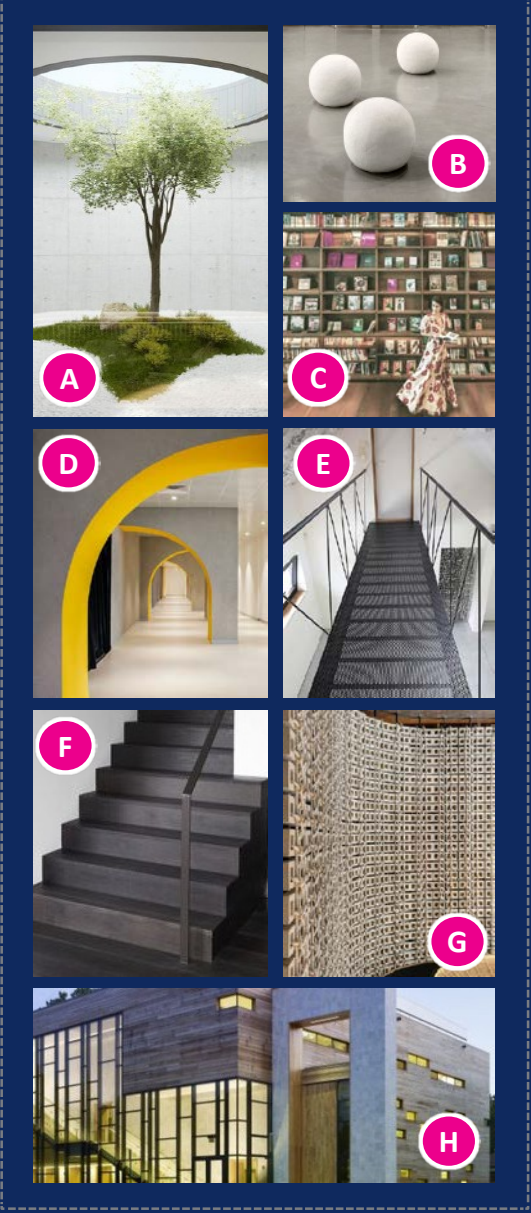


# Block 4 Interior: Great Room | Demonstration Kitchen | Private Dining





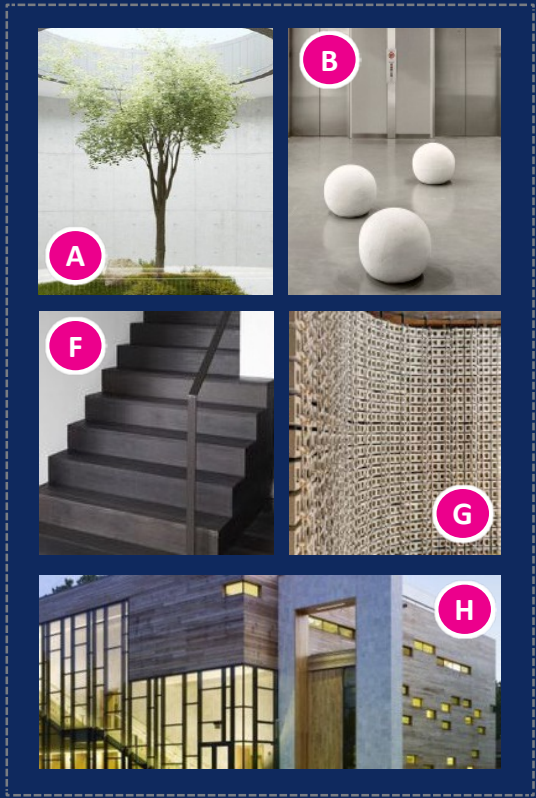
# Block 4 Interior: Lobby | Leasing | Club House



GROUND FLOOR CONCEPT IMAGES



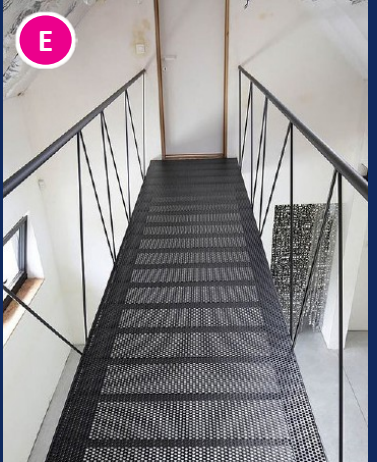
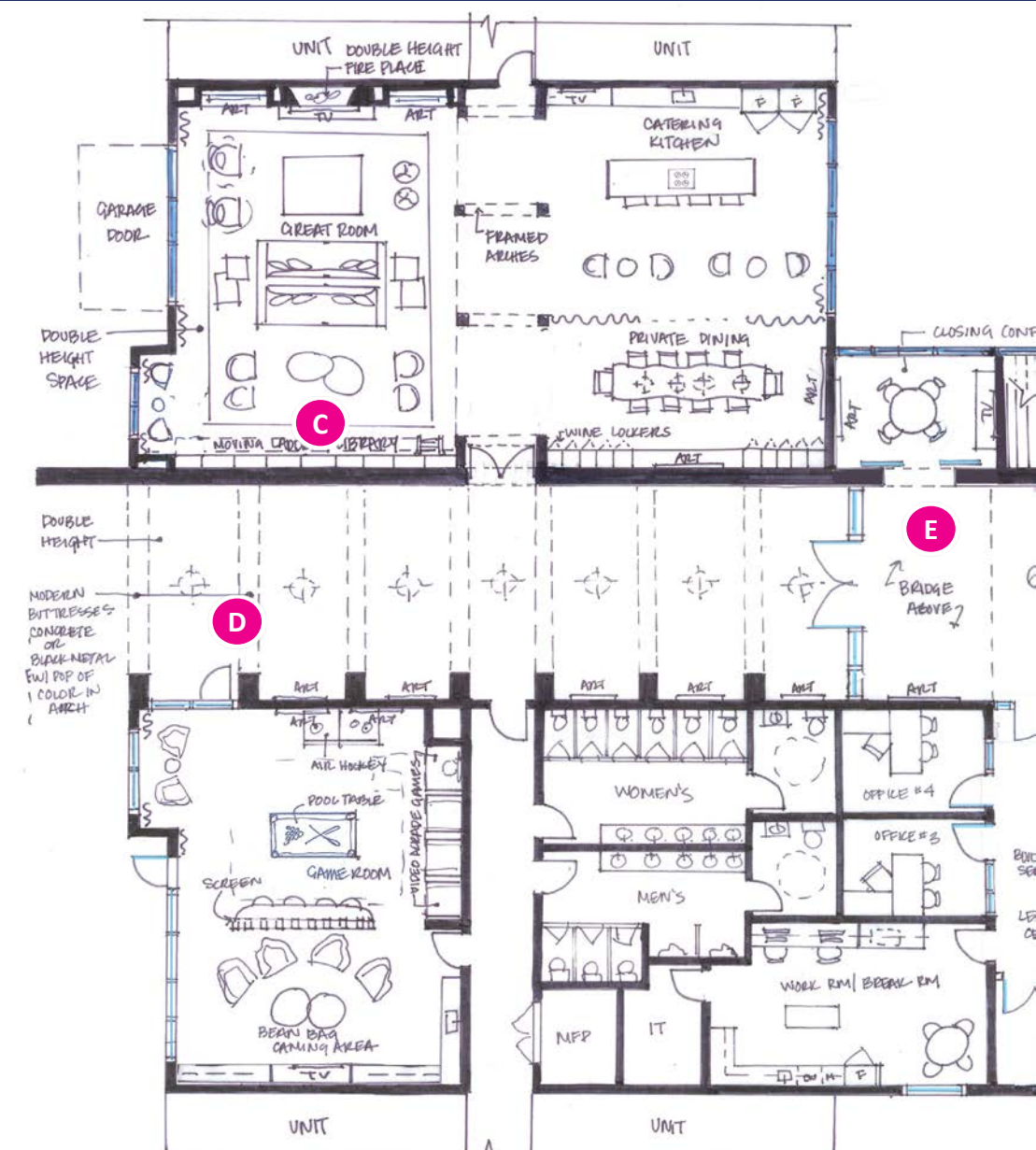
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GROUND FLOOR CONCEPT IMAGES



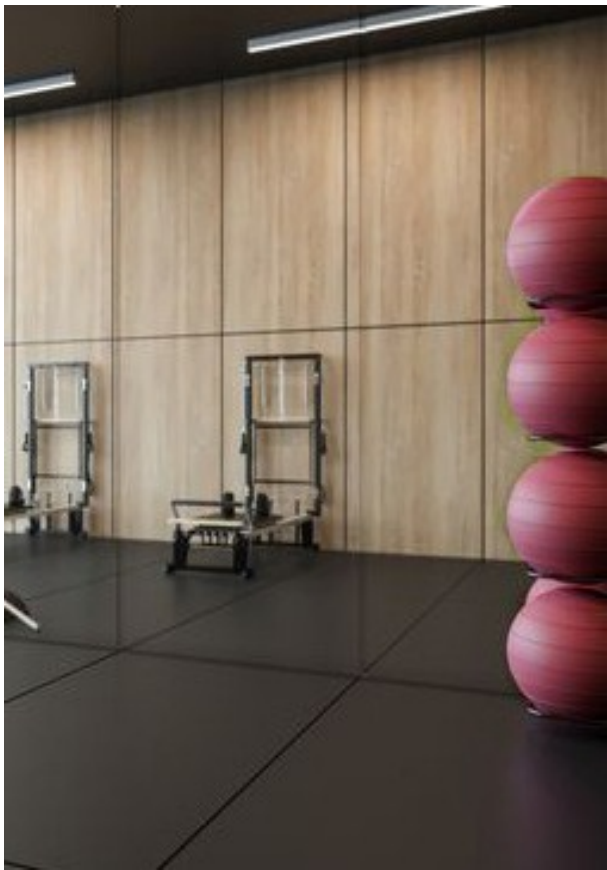
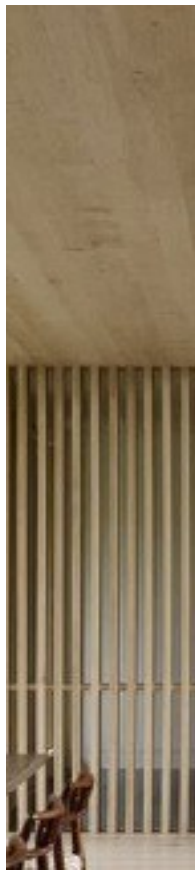
# Block 4 Interior: Lobby | Leasing | Club House



GROUND FLOOR CONCEPT IMAGES

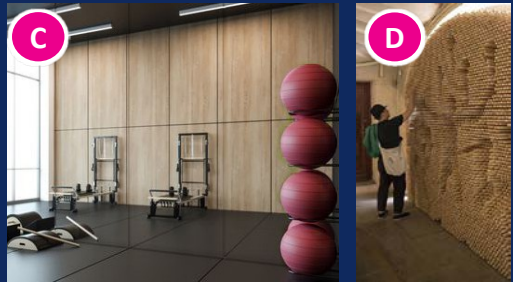
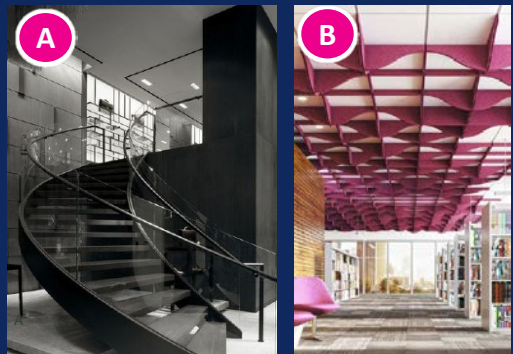
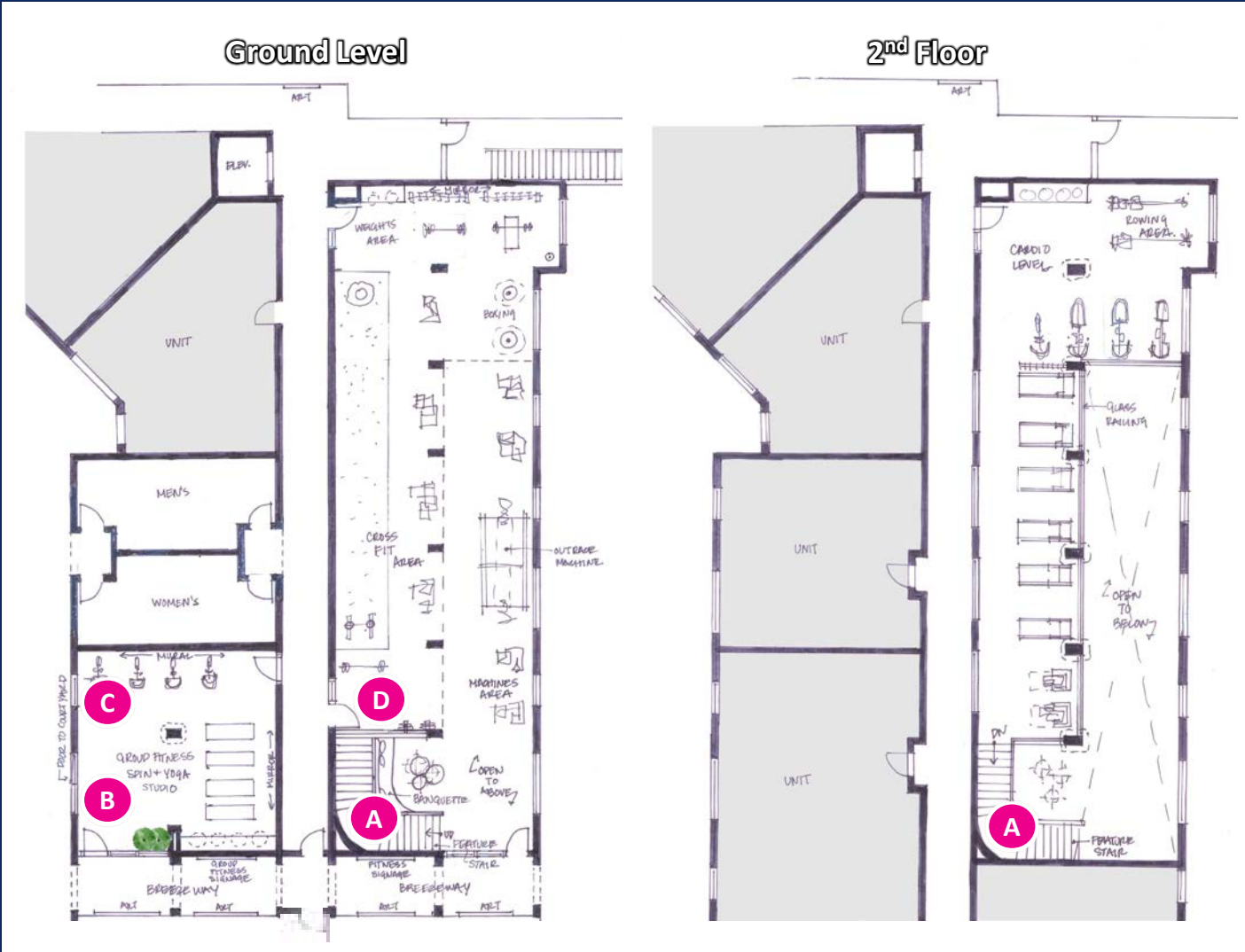


# Block 4 Interior: Wellness



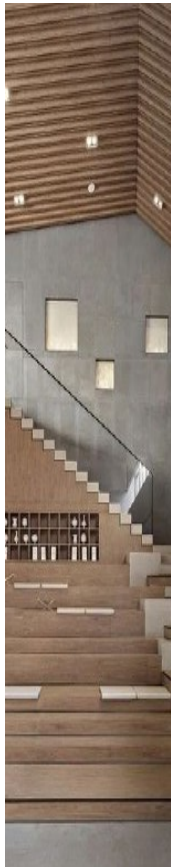


# Block 4 Interior: Wellness



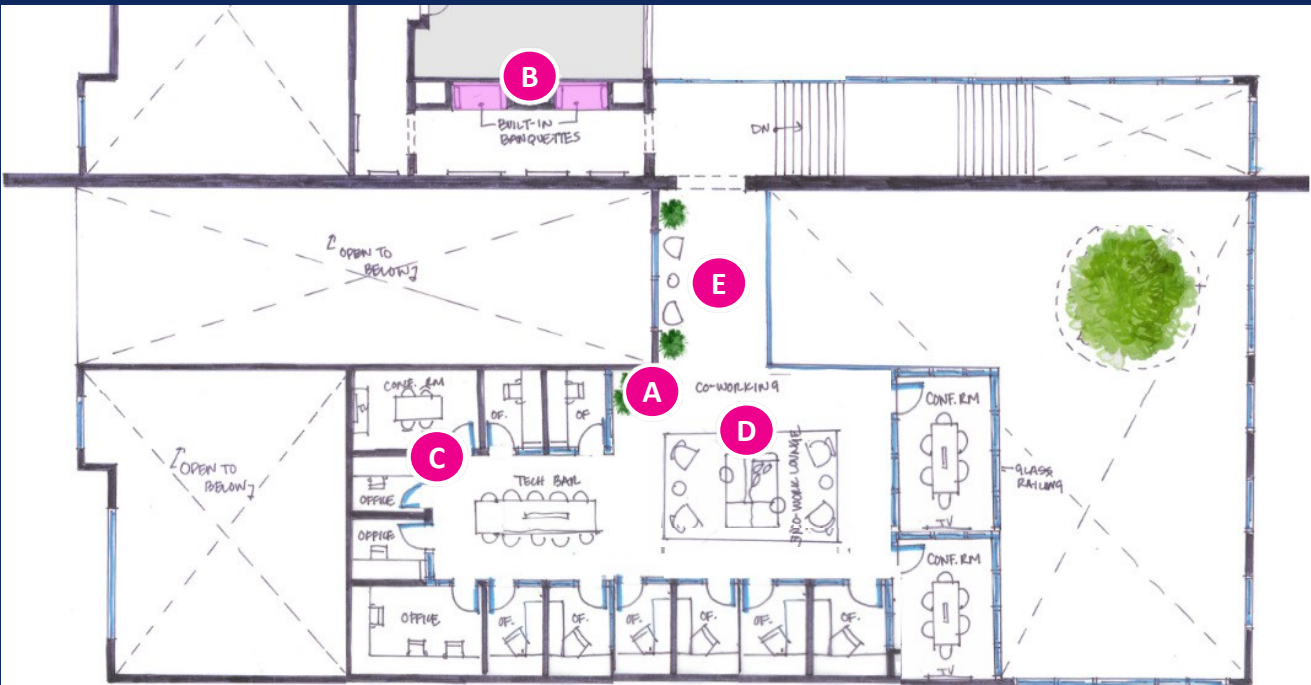


# Block 4 Interior: Co-Work





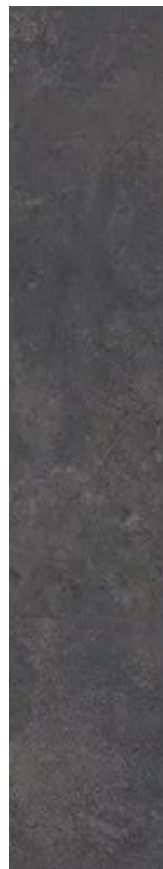
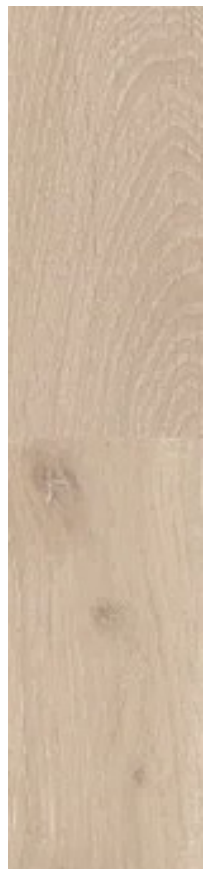
# Block 4 Interior: Co-Work on Second Level



CO-WORK CONCEPT IMAGES

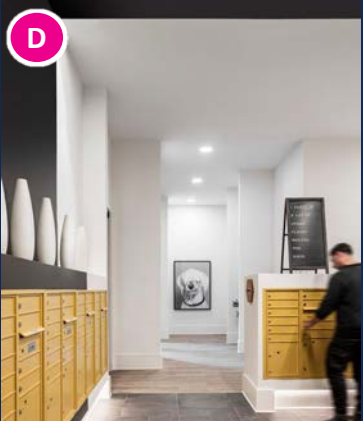
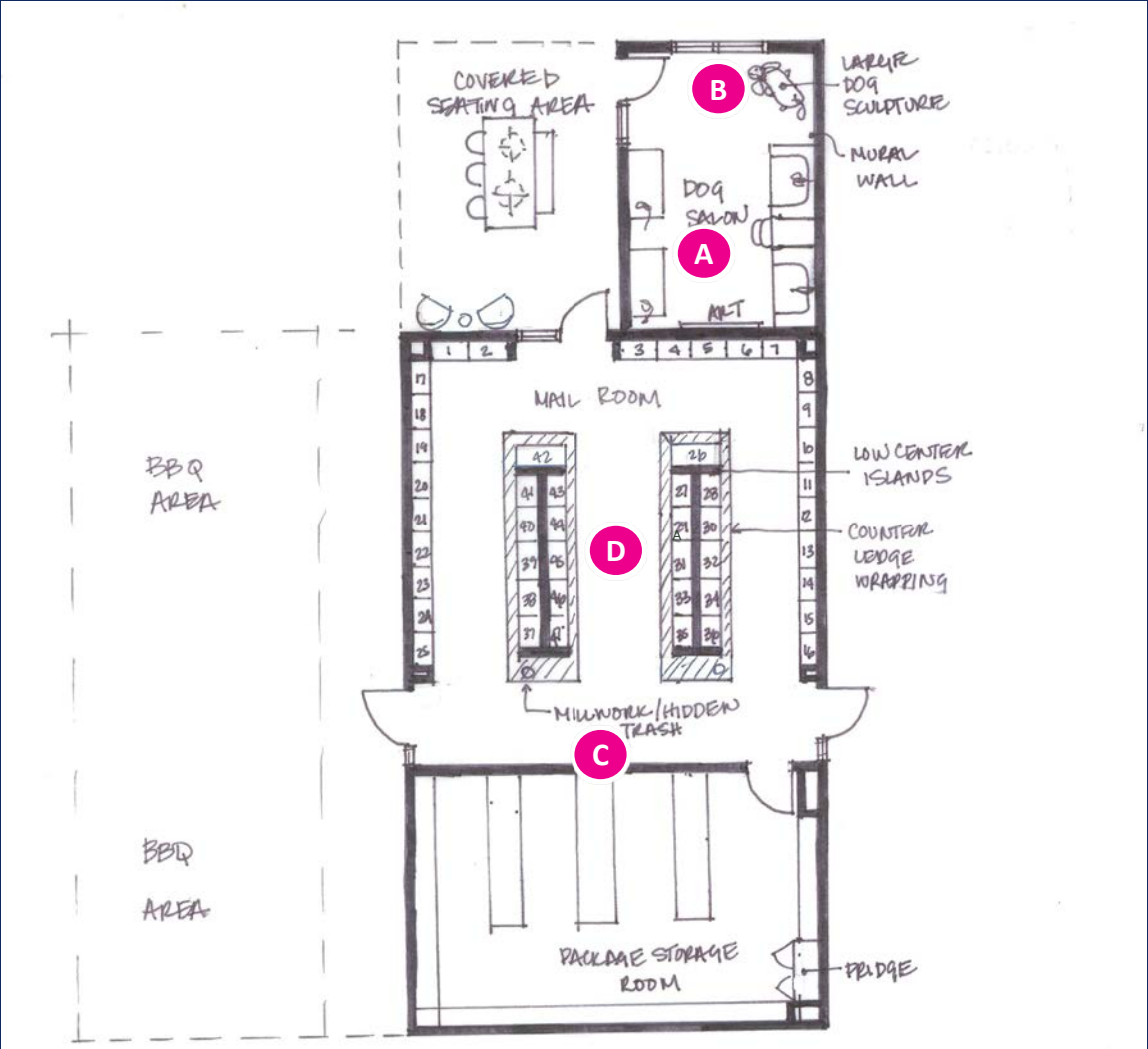


# Block 4 Interior: Dog Salon and Mailroom





# Block 4 Interior: Dog Salon and Mailroom



MAILROOM / DOG SALON CONCEPT IMAGES

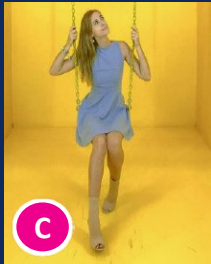
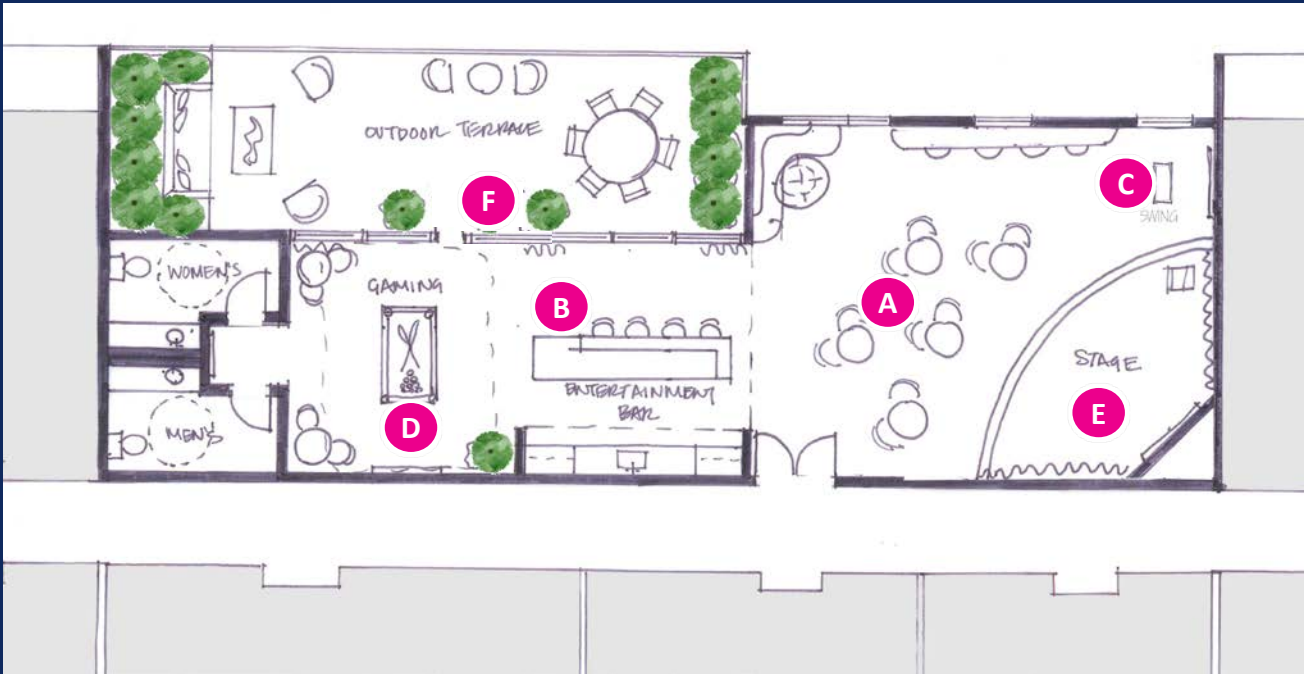


# Block 4 Interior: Speakeasy





# Block 4 Interior: Speakeasy



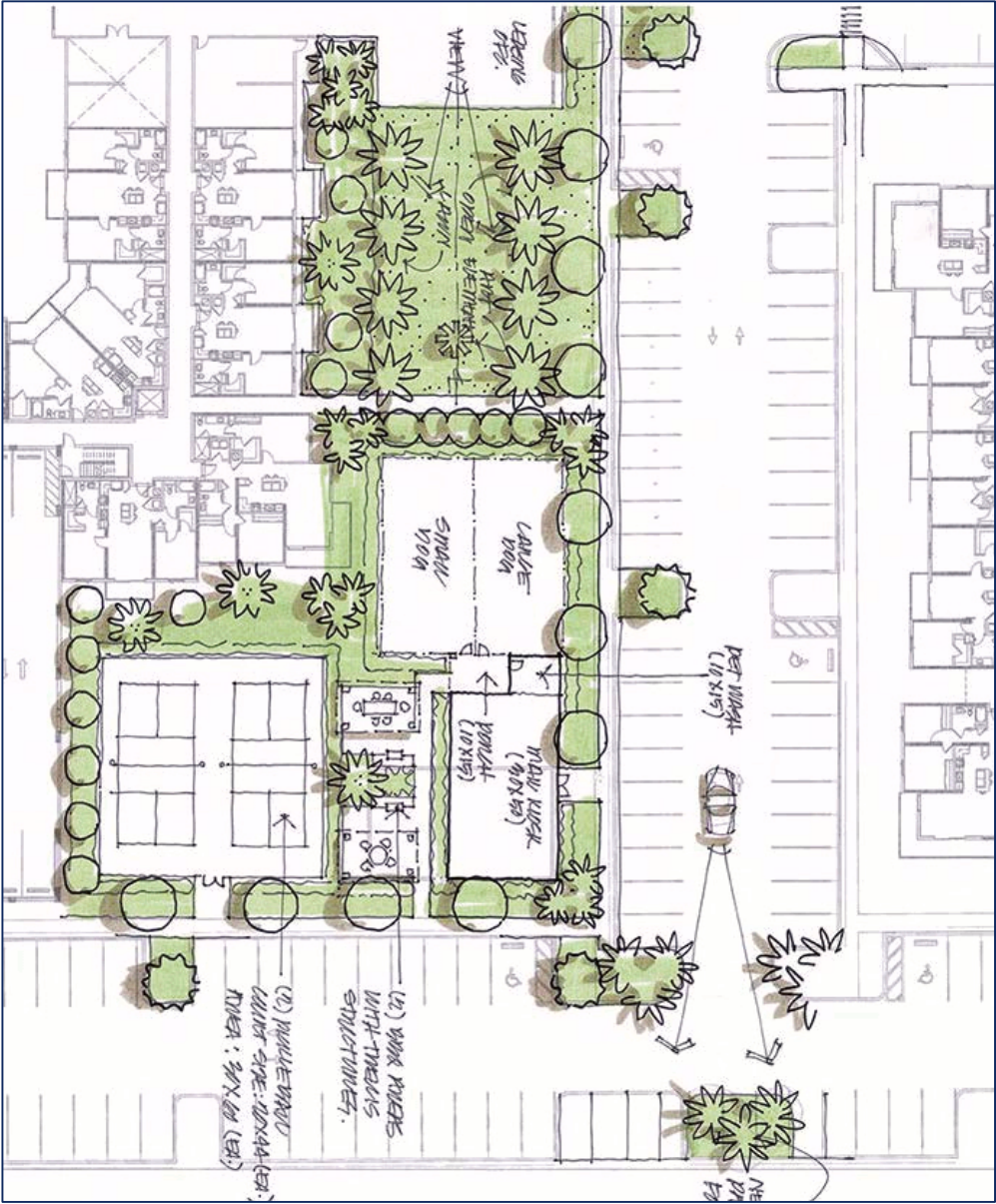
SPEAKEASY CONCEPT IMAGES





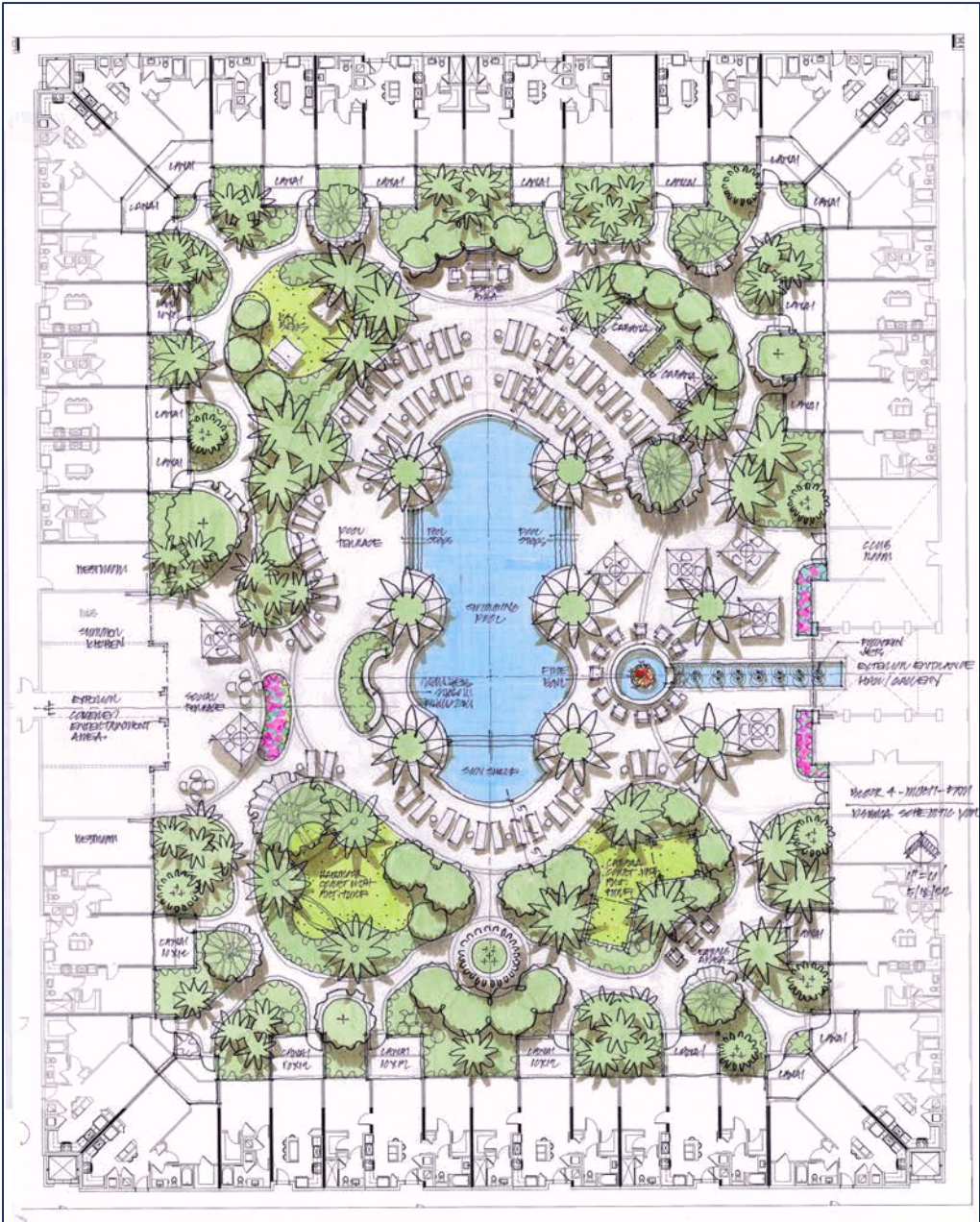


# Block 4 Amenities: Dog Park and Pickleball





# Block 4 Amenities: Resort Style Pool



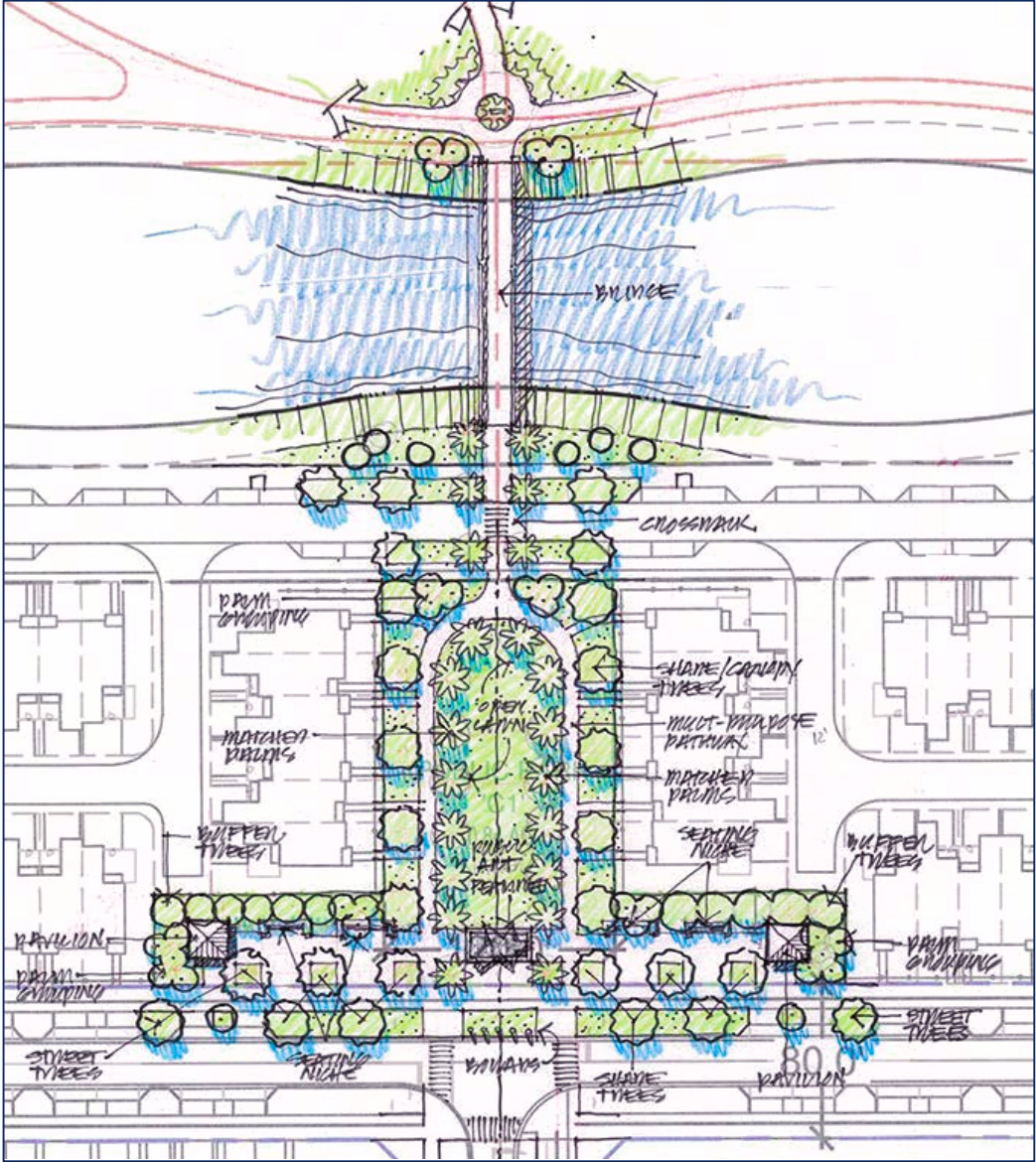
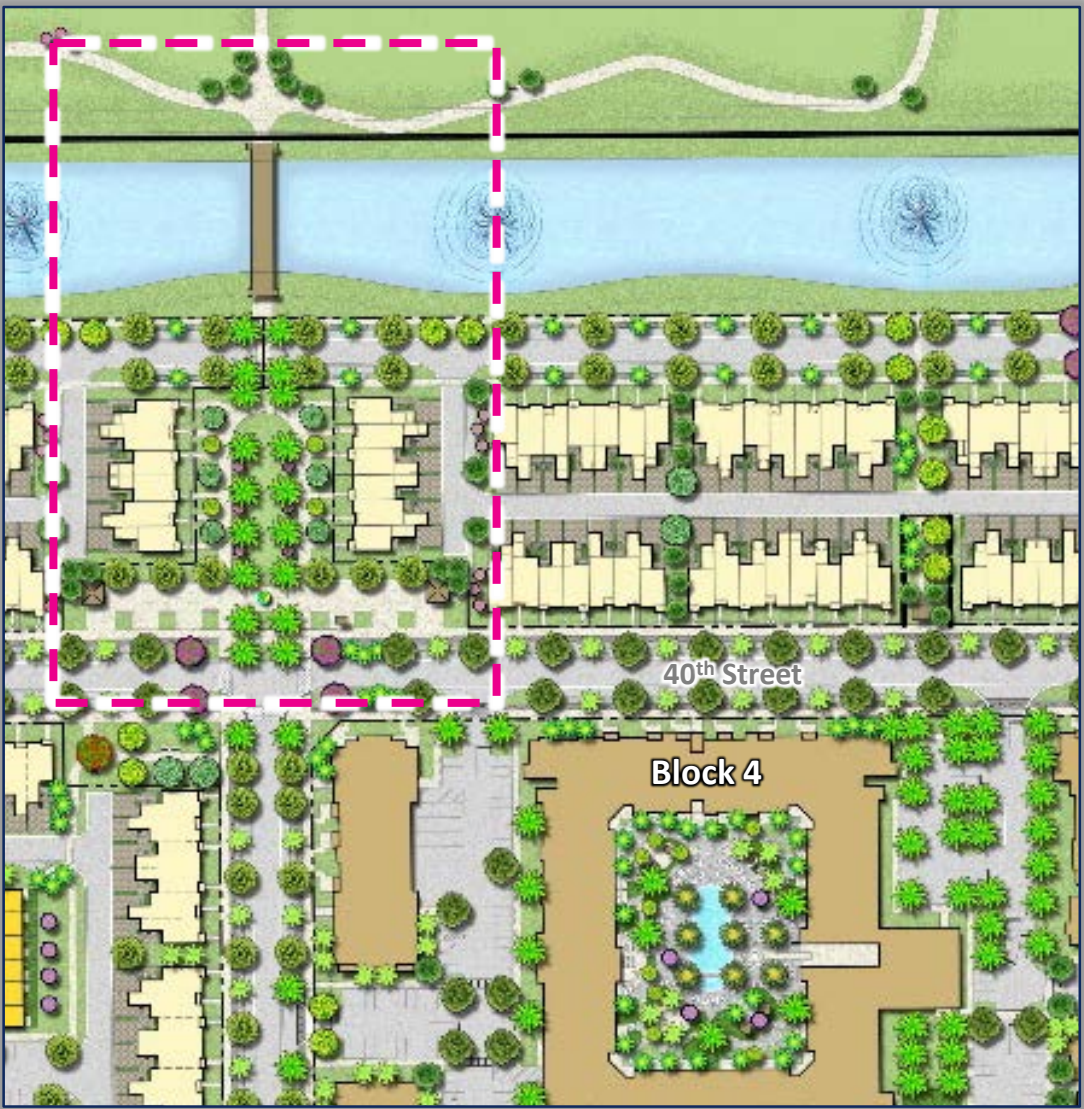


# Block 4 Amenities: Johns Park





# Block 4 Amenities: Main Plaza







## **Staff Recommendation:**

City staff finds, subject to the conditions of approval, that the site plan application complies with the MainStreet at Coconut Creek PMDD, the City's Land Development Code, the MainStreet Design Standards, and it is consistent with the applicable goals, objectives, and policies of the City's Comprehensive Plan. City staff also finds that the site plan application, subject to the conditions of approval, complies with the site plan review requirements in Section 13-548 of the City of Coconut Creek Land Development Code and recommends approval with these conditions:

1. Outstanding DRC comments remain effective throughout the development review process and must be addressed prior to building permit issuance or as otherwise stated therein.
2. Prior to the issuance of a Certificate of Occupancy, the developer shall design, construct, and receive acceptance by the City for the entire roadway segment of City Market Avenue as shown on the Roadway Site Plan. The City Market Avenue streetscape infrastructure improvements identified in the PMDD may be reduced for the roadway segment adjacent to the Marbella and Monarch Station development parcels provided that a minimum of a two (2) -lane roadway with all of the required drainage, pavement, lighting, signage and pavement markings be constructed and accepted by the City.
3. Prior to the issuance of a Certificate of Occupancy, the developer shall design, construct, and receive acceptance by the Florida Department of Transportation (FDOT) for the westbound Sample Road deceleration right-turn lane onto City Market Avenue as shown on Roadway Site Plan.
4. This approval is subject to Public School Concurrency determination and mitigation required by the Broward County School Board and pursuant to the Regional Activity Center Educational Mitigation Agreement.
5. This approval shall not be effective until the later of: 1) the adoption of the MainStreet at Coconut Creek PMDD ordinance; 2) the adoption of the MainStreet at Coconut Creek Development of Regional Impact (DRI) Amended Development Order Ordinance; or 3) the effective date of the MainStreet at Coconut Creek Development Agreement.



# Anticipated Approval Schedule & Approvals Required



- ✓ DRI Amendment
- ✓ PMDD Rezoning
- ✓ Master Plan

Fall 2023

Site Plan Approvals:

- Block 1
- Block 2
- Block 3
- **Block 4**

Winter 2024

Site Plan Approvals:

- Block 8
- Block 9
- Block 15B
- Block 16

Summer 2024

Winter 2024

Development Agreement  
Master Roadway Site Plan  
Master Greenspace Site Plan

Spring 2024

Site Plan Approvals:

- Block 5
- Block 6
- Block 11

Fall 2024

Site Plan Approvals:

- Block 10
- Block 15A



Thank You!



# Partners & Consultants



13th FLOOR  
HOMES

SCHMIER  
PROPERTY  
GROUP

GILES  
CAPITAL GROUP



DSBOCA  
design studio boca

landscape architects  
and planners



ONE LINE  
DESIGN STUDIO

Conway+

Kimley»»Horn





# Projects Completed by Development Team





# Property History



## MainStreet Design Standards

- Adopted: December 9, 2004
- Amended: November 13, 2008

## RAC Adopted: December 20, 2005

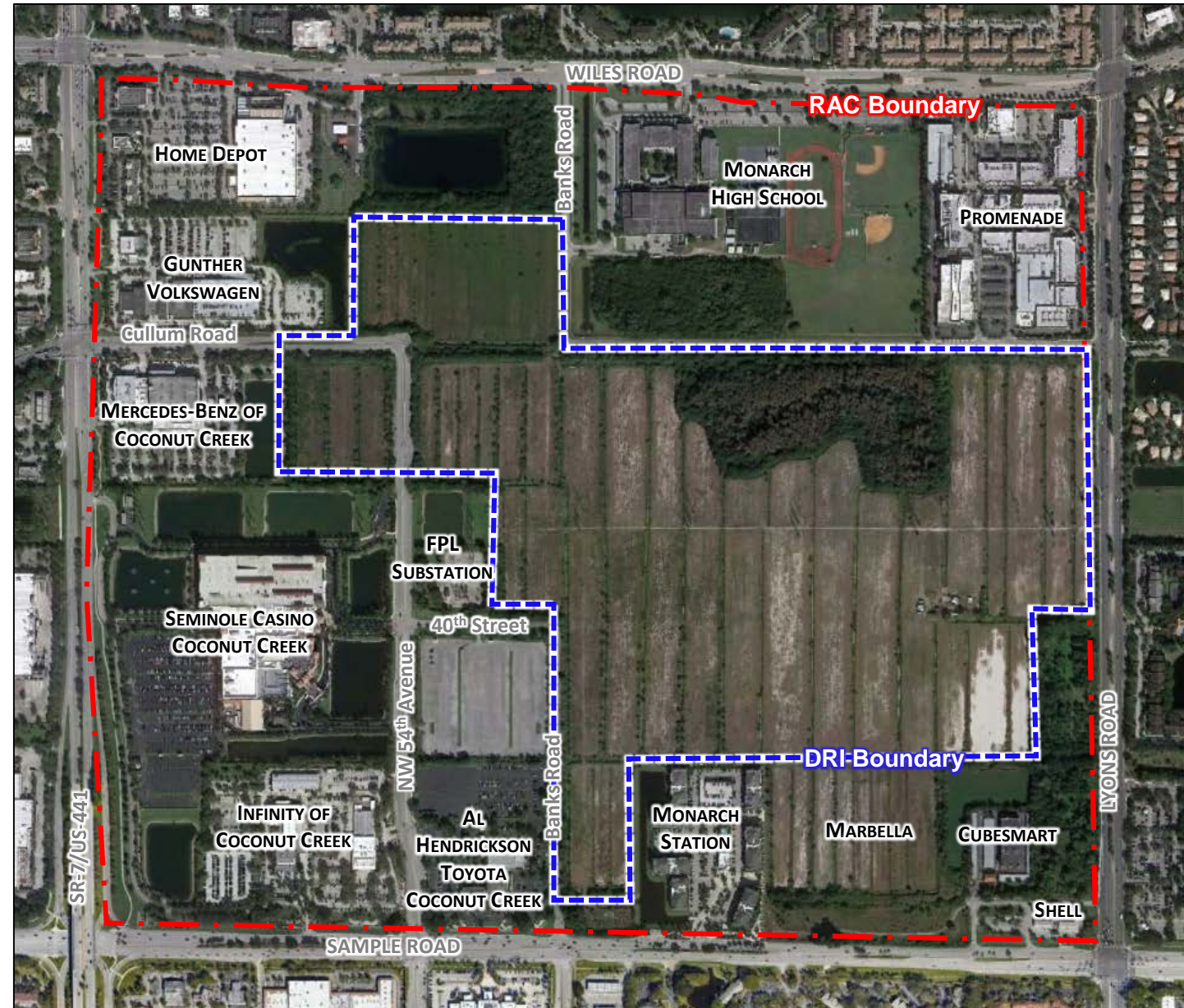
- 2,700 Multifamily Dwelling Units
- 1,250,000 SF Commercial/Office use
- 303,000 SF Community Facilities
- 1,300 Hotel Rooms
- 14.7 acres Conservation
- 5.0 acres Min. Recreation and Open Space Land Uses

## DRI Adopted: August 26, 2010

- 3,750 Residential Dwelling Units
- 1,625,000 SF Commercial Use
- 525,000 SF Office Use

## RAC Amended: September 21, 2010

- 6,450 Multifamily Dwelling Units
- 3,300,000 SF Commercial Use
- 1,094,500 SF Office Use
- 303,000 SF Community Facilities
- 1,300 Hotel Rooms
- 14.7 acres Conservation
- 5.0 acres Min. Recreation and Open Space Land Uses







# MainStreet Overview



	COMMERCIAL
	CIVIC
	PRIVATE RECREATIONAL
<b>RESIDENTIAL</b>	
	MULTIFAMILY APARTMENTS
	MULTIFAMILY CONDOMINIUM
	TOWNHOMES
	VILLAS





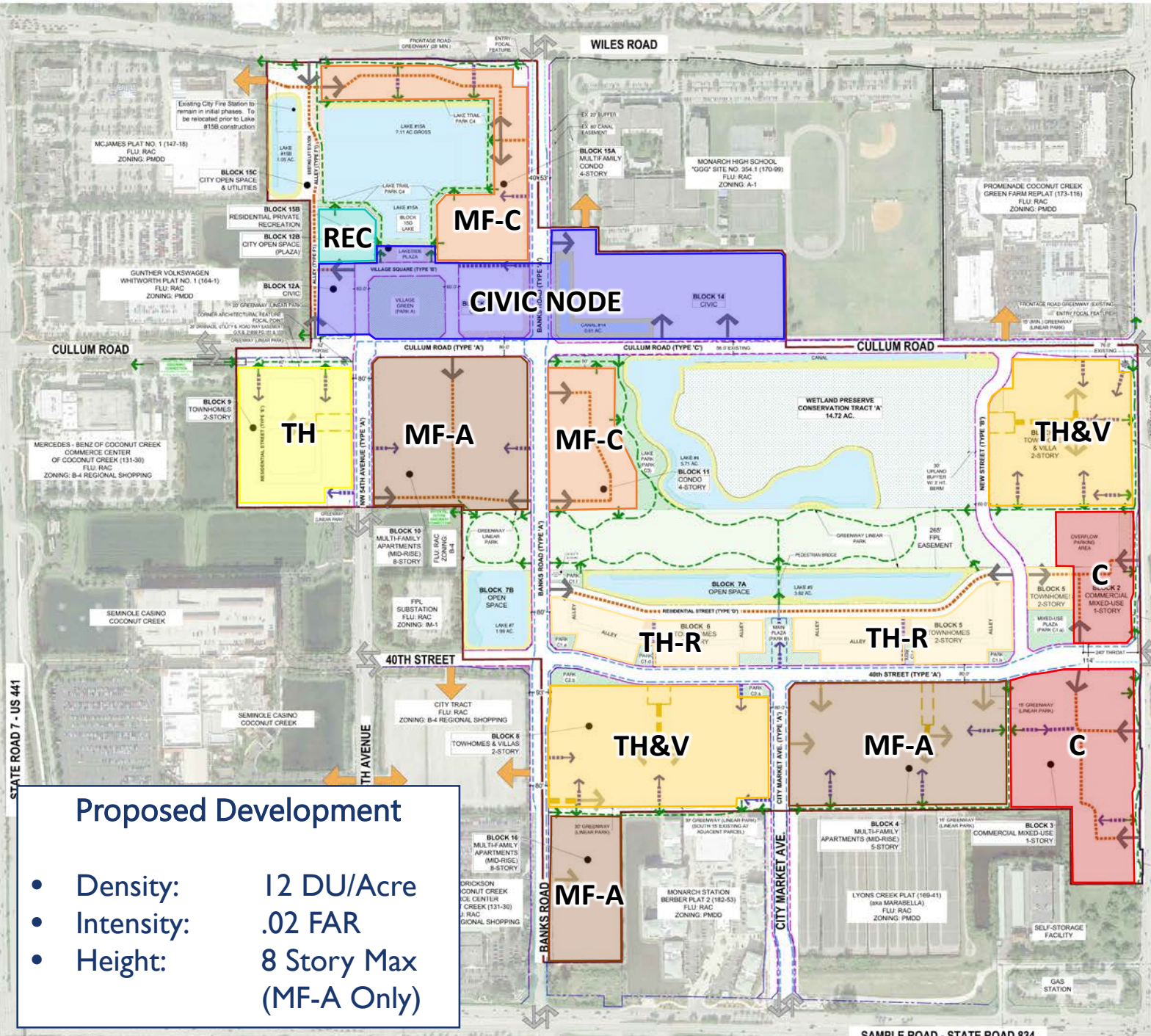
# Master Zoning Plan: Block 4 Location

## Zoning Legend

- C** Commercial
- MF-A** Multifamily Apartments
- MF-C** Multifamily Condominiums
- TH&V** Townhomes and Villas
- TH-R** Rear Load Townhomes
- TH** Front and Rear Load Townhomes
- REC** Private Recreation
- Civic Node** Civic Node

## Proposed Development

- Density: 12 DU/Acre
- Intensity: .02 FAR
- Height: 8 Story Max (MF-A Only)



BLOCK ID	ACREAGE	USE	MAX. HEIGHT	MAX. DWELLING UNITS	MAX. COMMERCIAL INTENSITY
1	8.82	Townhomes / Villas	2 story	120	0
2	2.02	Commercial	1 story	0	15,000
3	9.76	Commercial	1 story	0	90,000
4	11.98	Multifamily Apartments	2 story	500	0
5	2.46	Townhomes	2 story	90	0
6	5.63	Townhomes	2 story	70	0
8	11.95	Townhomes / Villas	2 story	160	0
9	7.11	Townhomes	2 story	100	0
10	10.73	Multifamily Apartments	2 story	700	0
11	4.83	Condominiums	4 story	150	0
15A	7.38	Condominiums	4 story	230	0
15B	1.43	Private Recreation (Clubhouse / 25,000 SF)	2 story	0	0
15	4.49	Multifamily Apartments	2 story	175	0
7A	5.73	Open Space (Lake)			
7B	2.44	Open Space (Lake)			
15D	0.83	Open Space (Lake)			
LAPC	8.23	Open Space (Lake/Canal)			
PARKING	1.67	Overflow Parking within FPL Easement			
UTILITY	0.10	Regional Wastewater Lift Station Easement			
12A	1.15	Civic (City Parking)	TBD	0	TBD
12B	0.45	Open Space (City Plaza)	TBD	0	TBD
13	2.39	Civic (City Fitness Complex)	TBD	0	TBD
14	8.36	Civic (City Public Safety Complex)	TBD	0	TBD
15C	10.00	Open Space & Utility (City Lake & Lift Station)	n/a	0	TBD
<b>TOTAL</b>	<b>135.80</b>			<b>2,295</b>	<b>105,000</b>
		Maximum Density/Commercial Intensity		2,360	225,000
		Remaining Density/ Commercial Intensity		65	120,000
PARK A	2.10	DRI SEC. 5.a (VILLAGE GREEN)			
PARK B	0.98	DRI SEC. 5.b (MAIN PLAZA)			
PARK C	5.98	DRI SEC. 5.c (PUBLIC PARKS/PLAZAS)			
CONSERVATION	14.72	WETLAND PRESERVE (CONSERVATION TRACT 'A')			
GREENWAY	5.30	FRONTAGE ROAD & PERIMETER GREENWAYS			
FPL	15.32	FPL EASEMENT (PASSIVE LINEAR PARK)			
ROW	21.78	PUBLIC STREET RIGHT-OF-WAY (approx.)			
<b>GROSS</b>	<b>200.98</b>	<b>GREEN LAND AREA</b>			

## MASTER ZONING PLAN LEGEND

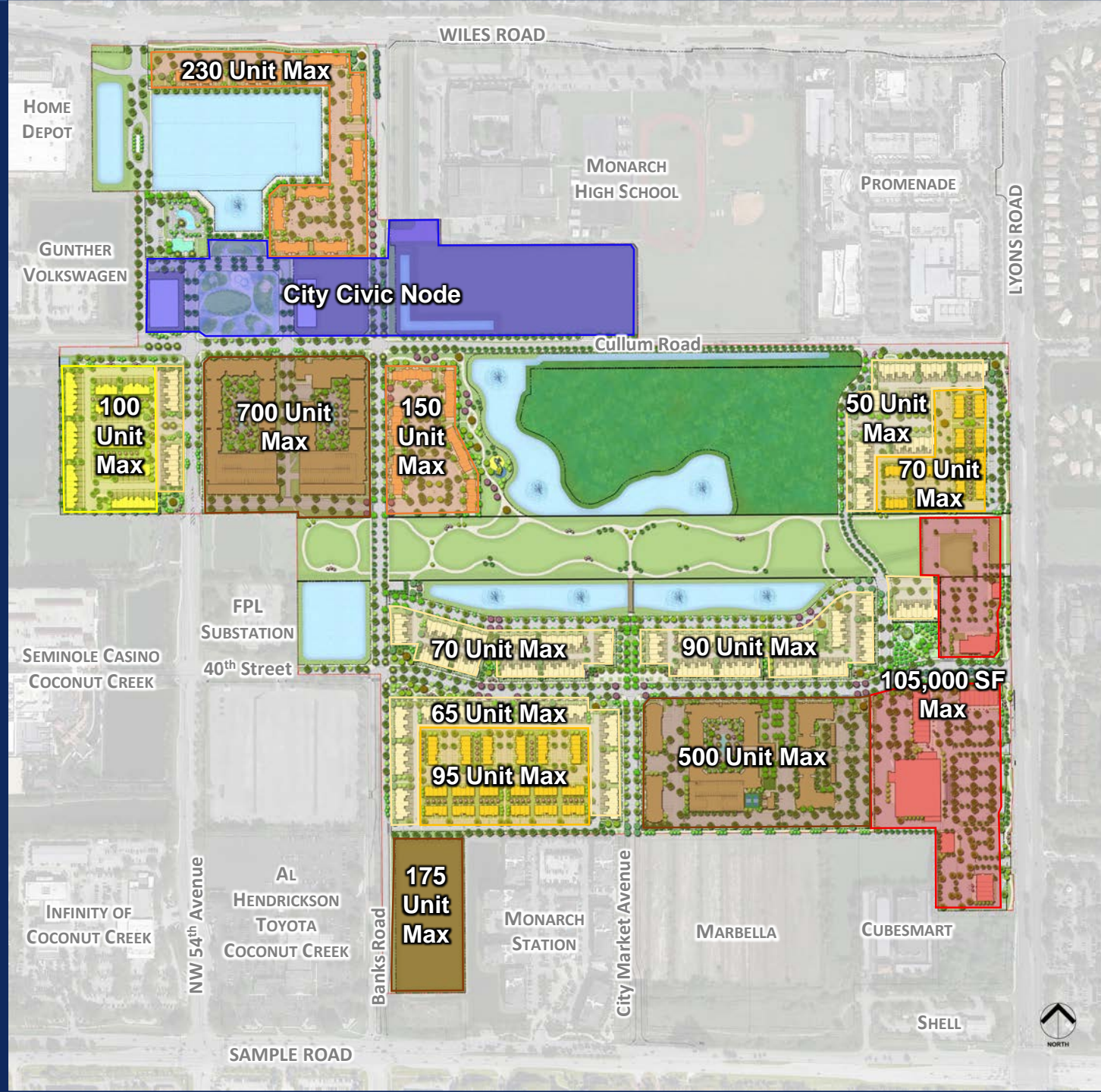
- ### GREENSPACE
- DRI LAND DEDICATIONS (REFER TO SHEET GSP-1 MASTER PUBLIC GREENSPACE PLAN)
  - PUBLIC GREENSPACE AREAS A, B & C
  - MSOS GREENSPACE (REFER TO SHEET GSP-2 MSOS GREENSPACE PLAN)
  - CONSERVATION EASEMENT (WETLAND PRESERVE & BUFFER)
  - GREENWAYS, LINEAR PARKS & BUFFERS
  - LAKE BANKS
  - PUBLIC PARKS / PLAZAS / GATHERING AREAS
- ### CONNECTIVITY
- ← OPPORTUNITY FOR CROSS CONNECTIVITY TO ADJACENT PROJECTS WITHIN THE RAC (VEHICULAR &/OR PEDESTRIAN)
  - COMMUNITY STREET NETWORK (STREET TYPE A, B, C)
  - COMMUNITY STREET SIDEWALK GRID
  - BUFFERED BIKE PATH
  - ON STREET BIKE LANE
- ### BLOCK CIRCULATION NETWORK
- 1) VEHICULAR & PEDESTRIAN ACCESS
    - PUBLIC ACCESS
    - GATED ACCESS (RESIDENTIAL USE ONLY)
  - 2) ENHANCED PEDESTRIAN PASSAGE
    - RESIDENTIAL USE (MIN. 15' WIDE OPEN SPACE W/ MIN. 6' SIDEWALK); OR
    - NON-RESIDENTIAL USE (MIN. 8' WIDE SIDEWALK)
  - 3) GREENWAY TRAIL
    - MIN. 8'-12' WIDE PAVED WALKWAY
    - PEDESTRIAN CONNECTION TO GREENWAY
- NOTE: THE GREENWAY TRAIL ALONG THE FOLLOWING ROADWAYS SHALL BE A MINIMUM 12' WIDE AND PAVED WITH COLORED CONCRETE (B&S VENEZIAN RED):
- LYONS ROAD
  - WILES ROAD

SAMPLE ROAD - STATE ROAD 834





# Proposed Master Conceptual Site Plan





# Block 4 Residential: View from 40<sup>th</sup> Street





# Block 4 Residential: Main Entry View from 40<sup>th</sup> Street





# Block 4 Residential: Elevations for Building Type I



ELEVATION LEGEND		
NO.	DESCRIPTION	NOTE
1	PAINTED STUCCO FINISH (A)	
2	PAINTED STUCCO FINISH (B)	
3	PAINTED STUCCO FINISH (C)	
4	PAINTED STUCCO FINISH (D)	
5	IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	
6	42" H. ALUMINUM RAILING (BLACK E.S.P. FINISH)	
7	METAL DOOR AT STAIRS	
8	STUCCO SCORELINE	
9	IMPACT ALUMINUM FRAME STOREFRONT DOOR AND OR WINDOW SYSTEM (BLACK E.S.P. FINISH)	
10	IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	
11	6" STUCCO BAND	
12	LOUVERED AWNINGS	
13	GLASS RAILING	
14	PARAPET FLAT ROOF	
15	BLACK-LIT ALUMINUM SIGNAGE 24" H.	
16	SOLAR PANEL AWNINGS	
17	"EGGCRATE" SCREEN	
18	FRENCH DOOR	
19	CONCRETE EYEBROW WITH STUCCO FINISH	
20	TRASH ROOM	
21	MEP ROOM	
22	GARAGES	
23	30° LOW ASCENT PRIVACY WALL SEE LANDSCAPE FOR DETAILS	
24	SIDELIGHTS	

TRIM NOTES	
1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENT AND IN ACCORDANCE WITH FBC REQUIREMENTS.	3. ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40" SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.
2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE & EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND EMBED INTO FIELD STUCCO.	4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40" SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.

**COLOR SCHEME**

A	B	C	D
PAINTED STUCCO FINISH (A)	PAINTED STUCCO FINISH (B)	PAINTED STUCCO FINISH (C)	PAINTED STUCCO FINISH (D)
IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	42" H. ALUMINUM RAILING (BLACK E.S.P. FINISH)	METAL DOOR AT STAIRS	STUCCO SCORELINE
IMPACT ALUMINUM FRAME STOREFRONT DOOR AND OR WINDOW SYSTEM (BLACK E.S.P. FINISH)	IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	6" STUCCO BAND	LOUVERED AWNINGS
GLASS RAILING	PARAPET FLAT ROOF	BLACK-LIT ALUMINUM SIGNAGE 24" H.	SOLAR PANEL AWNINGS
"EGGCRATE" SCREEN	FRENCH DOOR	CONCRETE EYEBROW WITH STUCCO FINISH	TRASH ROOM
MEP ROOM	GARAGES	30° LOW ASCENT PRIVACY WALL SEE LANDSCAPE FOR DETAILS	SIDELIGHTS

**BUILDING TYPE I - ELEVATIONS**  
SCALE: 1/8"=1'-0"



# Block 4 Residential: Elevations for Building Type I



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



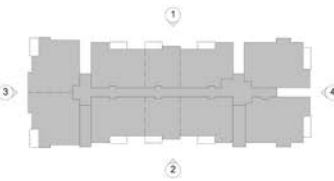
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION LEGEND		
1] PAINTED STUCCO FINISH (A)	8] IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	15] LOUVERED AWNINGS
2] PAINTED STUCCO FINISH (B)	9] 42" H. ALUMINUM RAILING (BLACK E.S.P. FINISH)	16] GLASS RAILING
3] PAINTED STUCCO FINISH (C)	10] METAL DOOR AT STAIRS	17] PARAPET FLAT ROOF
4] PAINTED STUCCO FINISH (D)	11] STUCCO SCORELINE	18] BLACK-IT ALUMINUM SIGNAGE 24" H.
5] IMPACT FRAME STOREFRONT DOOR AND/OR WINDOW SYSTEM (BLACK E.S.P. FINISH)	12] STONE CLADDING	19] SOLAR PANEL AWNINGS
6] IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	13] BRICK CLADDING	20] "EGGCRATE" SCREEN
7] 6" STUCCO BAND	14] CONCRETE EYEBROW WITH STUCCO FINISH	21] FRENCH DOOR
		22] SIDELIGHTS

TRIM NOTES	
1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENTS AND IN ACCORDANCE WITH FBC REQUIREMENTS.	3. ALL DECORATIVE FOAM TRIM PROFILES SHALL HAVE A SLOPED TOP EDGE FOR POSITIVE DRAINAGE.
2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE & EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND EMBED INTO FIELD STUCCO.	4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40' SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.

COLOR SCHEME		
A] PAINTED STUCCO FINISH (A)	B] PAINTED STUCCO FINISH (B)	C] PAINTED STUCCO FINISH (C)
D] PAINTED STUCCO FINISH (D)	E] BRICK CLADDING	F] STONE CLADDING



BUILDING TYPE I ELEVATIONS  
SCALE: 1/8" = 1'-0"



# Block 4 Residential: Elevations for Building Type II



1 FRONT ELEVATION

SCALE: 1/8" = 1'-0"



2 REAR ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION LEGEND		
1 PAINTED STUCCO FINISH (A)	8 IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	15 LOUVERED AWNINGS
2 PAINTED STUCCO FINISH (B)	9 42" H. ALUMINUM RAILING (BLACK E.S.P. FINISH)	16 CLASS RAILING
3 PAINTED STUCCO FINISH (C)	10 METAL DOOR AT STAIRS	17 PARAPET FLAT ROOF
4 IMPACT FRAME STOREFRONT DOOR AND/OR WINDOW SYSTEM	11 STUCCO SCORELINE	18 BLACK-OUT ALUMINUM SIGNAGE 24" H.
5 IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	12 STONE CLADDING	19 SOLAR PANEL AWNINGS
6 IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	13 BRICK CLADDING	20 "EGGCRATE" SCREEN
7 6" STUCCO BAND	14 CONCRETE EYEBROW WITH STUCCO FINISH	21 FRENCH DOOR
		22 SIDELIGHTS

TRIM NOTES		
1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENT AND IN ACCORDANCE WITH FBC REQUIREMENTS.	2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE & EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND EMBED INTO FIELD STUCCO.	3. ALL DECORATIVE FOAM TRIM PROFILES SHALL HAVE A SLOPED TOP EDGE FOR POSITIVE DRAINAGE.
4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40' SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.		

4

ENTRANCE

MEP

3

SEITZMAN A13

COLOR SCHEME

A	B	C
PAINTED STUCCO FINISH (A)	PAINTED STUCCO FINISH (B)	PAINTED STUCCO FINISH (C)
PAINTED STUCCO FINISH (D)	PAINTED STUCCO FINISH (E)	PAINTED STUCCO FINISH (F)

**BUILDING TYPE II-ELEVATIONS**  
SCALE: 1/8"=1'-0"

RESUBMITTAL #3 07/13/2023



# Block 4 Residential: Elevations for Building Type II



3 RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



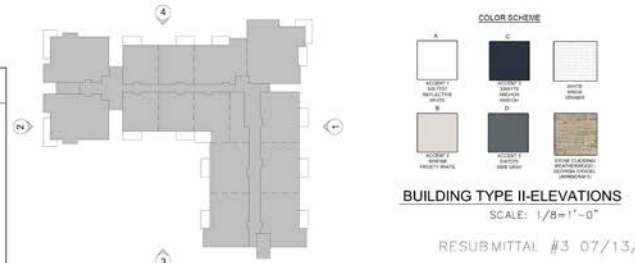
4 LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

**ELEVATION LEGEND**

11 PAINTED STUCCO FINISH (A)	8 IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	15 LOUVERED AWNINGS
2 PAINTED STUCCO FINISH (B)	9 42" H. ALUMINUM RAILING (BLACK E.S.P. FINISH)	16 GLASS RAILING
3 PAINTED STUCCO FINISH (C)	10 METAL DOOR AT STAIRS	17 PARAPET FLAT ROOF
4 PAINTED STUCCO FINISH (D)	11 STUCCO SCORELINE	18 BLACK-LIT ALUMINUM SIGNAGE 24" H.
5 IMPACT FRAME STOREFRONT DOOR AND/OR WINDOW SYSTEM	12 STONE CLADDING	19 SOLAR PANEL AWNINGS
6 IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	13 BRICK CLADDING	20 "EGGCRATE" SCREEN
7 6" STUCCO BAND	14 CONCRETE EYEBROW WITH STUCCO FINISH	21 FRENCH DOOR
		22 SIDELIGHTS

**TRIM NOTES**

1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENT AND IN ACCORDANCE WITH FBC REQUIREMENTS.
2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE & EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND EMBED INTO FIELD STUCCO.
3. ALL DECORATIVE FOAM TRIM PROFILES SHALL HAVE A SLOPED TOP EDGE FOR POSITIVE DRAINAGE.
4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40' SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.



**BUILDING TYPE II-ELEVATIONS**

SCALE: 1/8"=1'-0"



# Block 4 Residential: Elevations for Building Type III

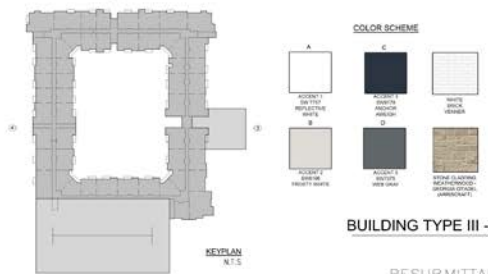


**1 FRONT ELEVATION A**  
SCALE: 3/32" = 1'-0"



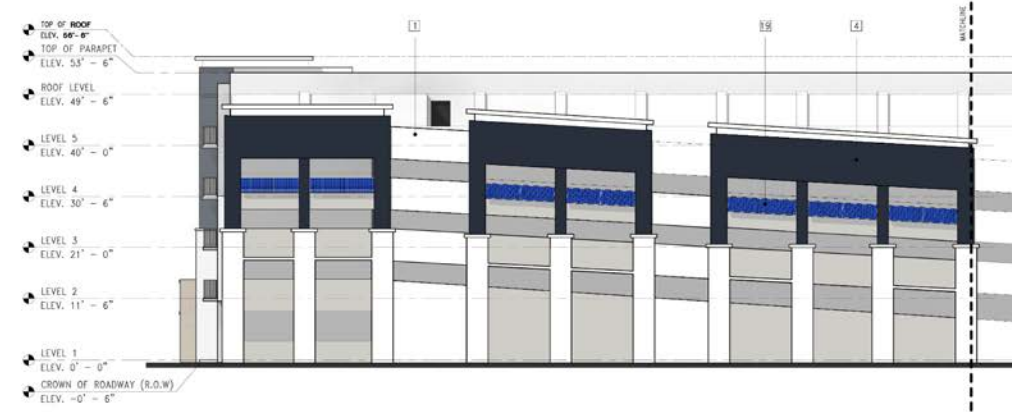
**1 FRONT ELEVATION B**  
SCALE: 3/32" = 1'-0"

ELEVATION LEGEND			TRIM NOTES	
1 PAINTED STUCCO FINISH (A)	8 IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	15 LOUVERED AWNINGS	<p>1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENT AND IN ACCORDANCE WITH FBC REQUIREMENTS.</p> <p>2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE &amp; EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND EMBED INTO FIELD STUCCO.</p> <p>3. ALL DECORATIVE FOAM TRIM PROFILES SHALL HAVE A SLOPED TOP EDGE FOR POSITIVE DRAINAGE.</p> <p>4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40' SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.</p>	
2 PAINTED STUCCO FINISH (B)	9 42" H. ALUMINUM RAILING (BLACK E.S.P. FINISH)	16 GLASS RAILING		
3 PAINTED STUCCO FINISH (C)	10 METAL DOOR AT STAIRS	17 PARAPET FLAT ROOF		
4 PAINTED STUCCO FINISH (D)	11 STUCCO SCORELINE	18 BLACK-LIT ALUMINUM SIGNAGE 24" H.		
5 IMPACT FRAME STOREFRONT DOOR AND/OR WINDOW SYSTEM (BLACK E.S.P. FINISH)	12 STONE CLADDING	19 SOLAR PANEL AWNINGS		
6 IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	13 BRICK CLADDING	20 "EGGCRATE" SCREEN		
7 6" STUCCO BAND	14 CONCRETE EYEBROW WITH STUCCO FINISH	21 FRENCH DOOR		
		22 SIDELIGHTS		





# Block 4 Residential: Elevations for Building Type III



2 REAR ELEVATION A SCALE: 3/32" = 1'-0"



2 REAR ELEVATION B SCALE: 3/32" = 1'-0"

ELEVATION LEGEND		TRIM NOTES	
1 PAINTED STUCCO FINISH (A)	8 IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	15 LOUVERED AWNINGS	1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENT AND IN ACCORDANCE WITH FBC REQUIREMENTS.
2 PAINTED STUCCO FINISH (B)	9 42" H. ALUMINUM RAILING (BLACK E.S.P. FINISH)	16 GLASS RAILING	
3 PAINTED STUCCO FINISH (C)	10 METAL DOOR AT STAIRS	17 PARAPET FLAT ROOF	2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE & EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND EMBED INTO FIELD STUCCO.
4 PAINTED STUCCO FINISH (D)	11 STUCCO SCORELINE	18 BLACK-LIT ALUMINUM SIGNAGE 24" H.	
5 IMPACT FRAME STOREFRONT DOOR AND DR WINDOW SYSTEM (BLACK E.S.P. FINISH)	12 STONE CLADDING	19 SOLAR PANEL AWNINGS	3. ALL DECORATIVE FOAM TRIM PROFILES SHALL HAVE A SLOPED TOP EDGE FOR POSITIVE DRAINAGE.
6 IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	13 BRICK CLADDING	20 "EGGCRATE" SCREEN	
7 6" STUCCO BAND	14 CONCRETE EYEBROW WITH STUCCO FINISH	21 FRENCH DOOR	4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40' SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.
		22 SIDELIGHTS	

**COLOR SCHEME**

A	B	C	D	E
PAINTED STUCCO FINISH (A)	PAINTED STUCCO FINISH (B)	PAINTED STUCCO FINISH (C)	PAINTED STUCCO FINISH (D)	PAINTED STUCCO FINISH (E)
STONE CLADDING	BRICK CLADDING	CONCRETE EYEBROW WITH STUCCO FINISH	GLASS RAILING	ALUMINUM SIGNAGE

**KEY PLAN**

**BUILDING TYPE III - ELEVATIONS**  
SCALE: 3/32" = 1'-0"  
RESUBMITTAL #3 07/13/2023



# Block 4 Residential: Elevations for Building Type III



3 RIGHT ELEVATION A  
SCALE: 3/32" = 1'-0"



3 RIGHT ELEVATION B  
SCALE: 3/32" = 1'-0"

ELEVATION LEGEND		
1] PAINTED STUCCO FINISH (A)	8] IMPACT ALUMINUM SLIDER (BLACK E.S.P FINISH)	15] LOUVERED AWNINGS
2] PAINTED STUCCO FINISH (B)	9] 42" H. ALUMINUM RAILING (BLACK E.S.P FINISH)	16] GLASS RAILING
3] PAINTED STUCCO FINISH (C)	10] METAL DOOR AT STAIRS	17] PARAPET FLAT ROOF
4] PAINTED STUCCO FINISH (D)	11] STUCCO SCORELINE	18] BLACK-LIT ALUMINUM SIGNAGE 24" H.
5] IMPACT FRAME STOREFRONT DOOR AND OR WINDOW SYSTEM (BLACK E.S.P FINISH)	12] STONE CLADDING	19] SOLAR PANEL AWNINGS
6] IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P FINISH)	13] BRICK CLADDING	20] "EGGCRATE" SCREEN
7] 6" STUCCO BAND	14] CONCRETE EYEBROW WITH STUCCO FINISH	21] FRENCH DOOR
		22] SIDELIGHTS

TRIM NOTES	
1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENT AND IN ACCORDANCE WITH FBC REQUIREMENTS.	3. ALL DECORATIVE FOAM TRIM PROFILES SHALL HAVE A SLOPED TOP EDGE FOR POSITIVE DRAINAGE.
2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE & EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND EMBED INTO FIELD STUCCO.	4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40' SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.

**COLOR SCHEME**

1] STUCCO FINISH (A)  
2] STUCCO FINISH (B)  
3] STUCCO FINISH (C)  
4] STUCCO FINISH (D)

5] STONE CLADDING  
6] BRICK CLADDING  
7] CONCRETE EYEBROW WITH STUCCO FINISH

**BUILDING TYPE III - ELEVATIONS**  
SCALE: 3/32" = 1'-0"  
RESUBMITTAL #3 07/13/2023



# Block 4 Residential: Elevations for Building Type III



4 LEFT ELEVATION A  
SCALE: 3/32" = 1'-0"



4 LEFT ELEVATION B  
SCALE: 3/32" = 1'-0"

ELEVATION LEGEND		TRIM NOTES	
1 PAINTED STUCCO FINISH (A)	8 IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	15 LOUVERED AWNINGS	1. ADHERE AND/OR MECHANICALLY FASTEN DECORATIVE FOAM TRIM PROFILES TO MASONRY SUBSTRATE PER MANUFACTURER'S REQUIREMENT AND IN ACCORDANCE WITH FBC REQUIREMENTS.
2 PAINTED STUCCO FINISH (B)	9 42" H. ALUMINUM BALING (BLACK E.S.P. FINISH)	16 GLASS RAILING	
3 PAINTED STUCCO FINISH (C)	10 METAL DOOR AT STAIRS	17 PARAPET FLAT ROOF	2. ALL DECORATIVE FOAM TRIM TO RECEIVE A SMOOTH TEXTURED SYNTHETIC STUCCO FINISH, EMBED FIBERGLASS REINFORCING MESH IN SYNTHETIC STUCCO OVER ENTIRE FOAM PROFILE & EXTEND A MINIMUM OF 6" ABOVE AND BELOW FOAM TRIM AND ENMGD INTO FIELD STUCCO.
4 PAINTED STUCCO FINISH (D)	11 STUCCO SCORLINE	18 BLACK-LIT ALUMINUM SIGNAGE 24" H.	
5 IMPACT FRAME STOREFRONT DOOR AND/OR WINDOW SYSTEM (BLACK E.S.P. FINISH)	12 STONE CLADDING	19 SOLAR PANEL AWNINGS	3. ALL DECORATIVE FOAM TRIM PROFILES SHALL HAVE A SLOPED TOP EDGE FOR POSITIVE DRAINAGE.
6 IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)	13 BRICK CLADDING	20 "EGGCRATE" SCREEN	
7 6" STUCCO BAND	14 CONCRETE EYEBROW WITH STUCCO FINISH	21 FRENCH DOOR	4. ANY AND ALL DECORATIVE FOAM TRIM PROFILES ABOVE 40' SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS TO COMPLY WITH SECTION 1406.2.2 OF THE 2020 FBC.
		22 SODGLIGHTS	

**COLOR SCHEME**

A	C	E
PAINTED STUCCO FINISH (A)	STONE CLADDING	IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)
B	D	F
PAINTED STUCCO FINISH (B)	IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	IMPACT ALUMINUM FRAME WINDOW (BLACK E.S.P. FINISH)
D	F	H
CONCRETE EYEBROW WITH STUCCO FINISH	IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)	IMPACT ALUMINUM SLIDER (BLACK E.S.P. FINISH)

**BUILDING TYPE III - ELEVATIONS**  
SCALE: 3/32" = 1'-0"  
RESUBMITTAL #3 07/13/2023



# Block 4 Perspective from 40<sup>th</sup> Street



Block 4 Apartments





# Block 4 Perspective from Block 3



Block 4 Apartments





# Block 4 Perspective from Main Plaza



Block 4 Apartments







# Block 4 Residential: Sustainability Elements

1. QR code signage that educates on sustainable products.



Codes make understanding the environment accessible and engag

2. Brochures regarding environmental education



5. Bicycle Racks



6. Electric Vehicle Charging Stations



7. Structured Parking



8. Touchless Water Filling



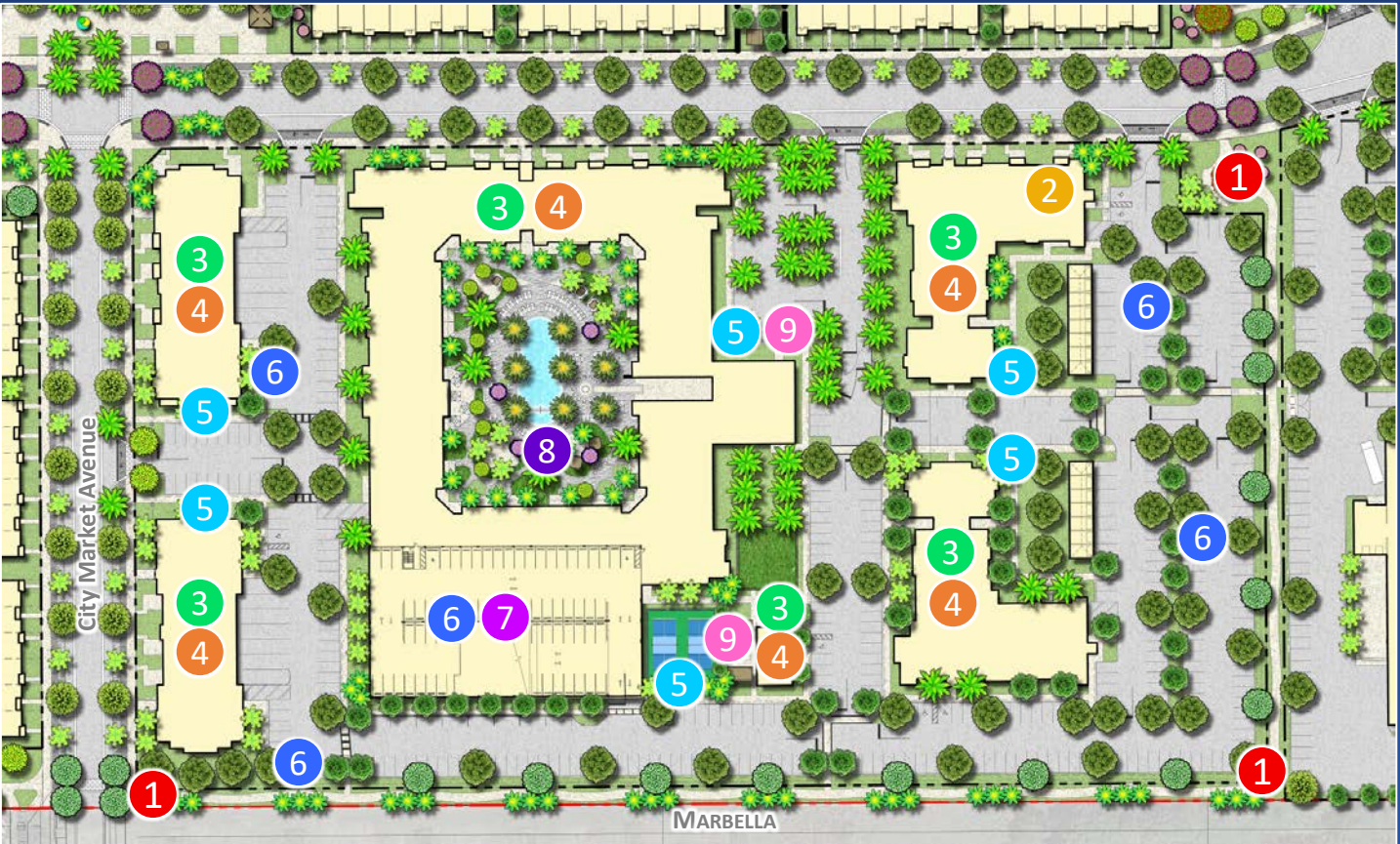
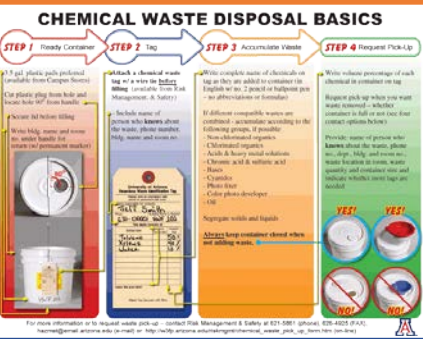
9. Solar Benches



3. Recycling System for Residential



4. Educational Signage for Disposal of Home Chemicals



\*Conceptual Sustainability Images shown for illustrative purposes only. Final selections will be made during permitting.