

**OWNER**  
 NORTH BROWARD  
 PREPARATORY SCHOOL  
 7600 LYONS ROAD  
 COCONUT CREEK, FL 33073  
 [T] 954.247.0011  
 [F] 954.247.0012

**ARCHITECT**  
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 791 PARK OF COMMERCE BLVD.  
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**PROJECT TITLE**  
 NORTH BROWARD  
 PREPARATORY SCHOOL  
 RESIDENTIAL VILLAGE

**PROJECT NUMBER**  
 R1002487.00

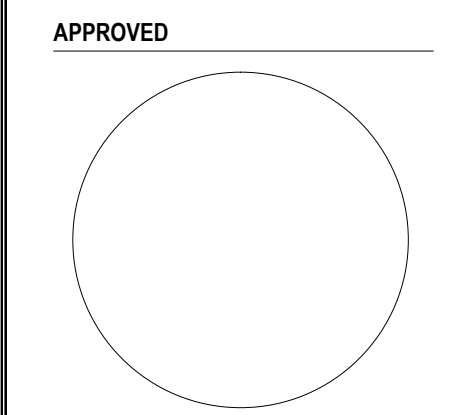
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**DATE OF ISSUE**  
 JUNE 20, 2017

**REVISIONS**  
 AUGUST 1, 2017

**DESIGNER**  
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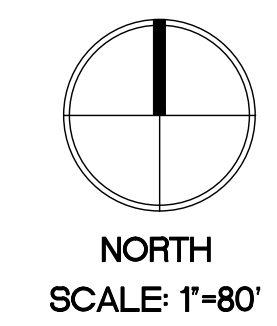
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**SHEET TITLE**  
 OVERALL  
 LANDSCAPE PLAN

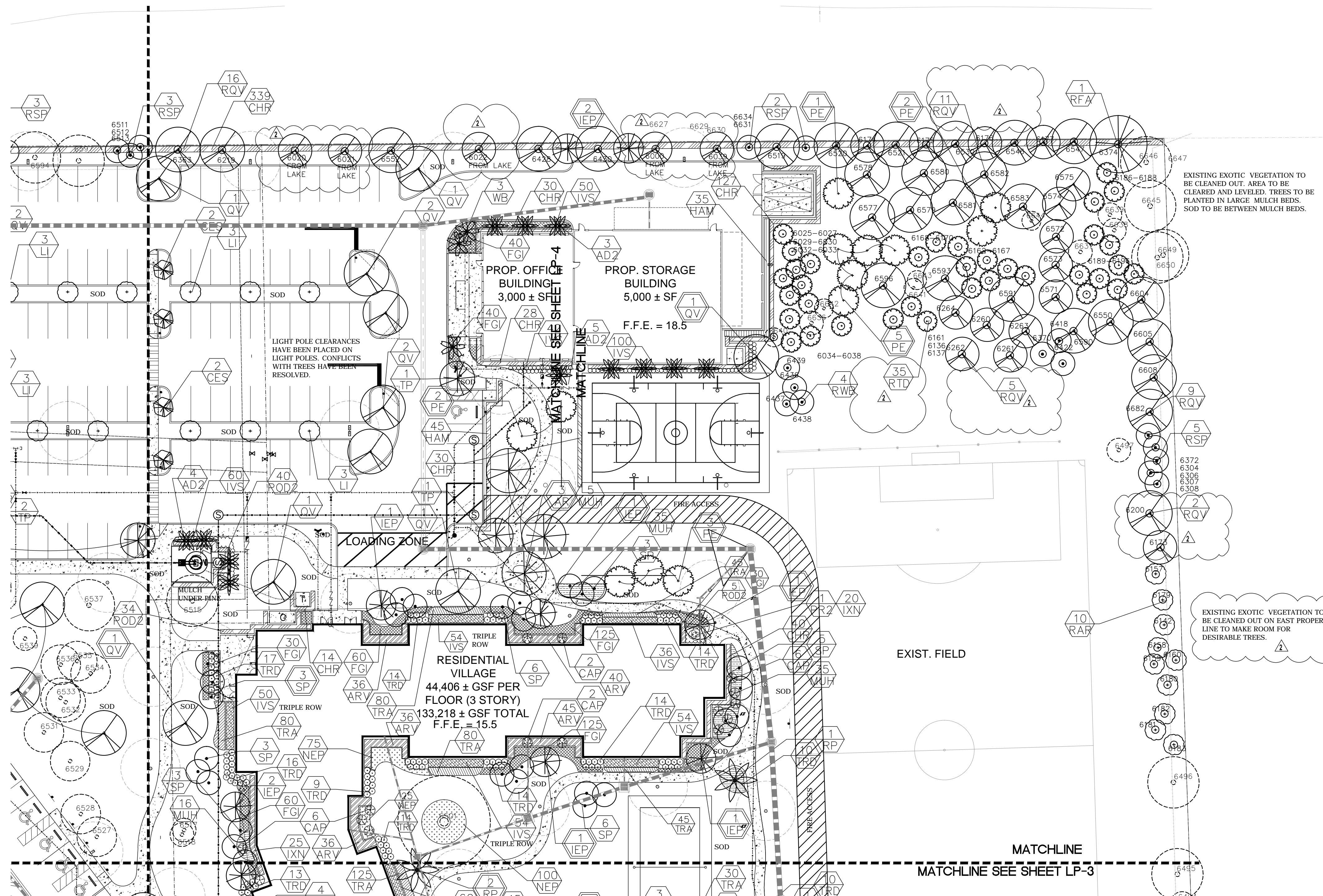
**SHEET NUMBER**  
 LP-1

**EXISTING TREE KEY**  
 ○ EXISTING TREE TO REMAIN  
 SEE SHEET TR-1 THRU TR-7  
 FOR EXISTING TREE DATA AND DISPOSITION  
 SEE LANDSCAPE PLANS SHEETS LP-1 THRU LP-6  
 FOR PROPOSED PLANT SPECIES, QUANTITIES AND LOCATIONS.

SEE SHEET LP-4A  
 FOR NEW AND RELOCATED  
 TREE LOCATIONS







LIGHT POLE CLEARANCES  
HAVE BEEN PLACED ON  
LIGHT POLES. CONFLICTS  
WITH TREES HAVE BEEN  
RESOLVED.

EXISTING EXOTIC VEGETATION TO  
BE CLEANED OUT. AREA TO BE  
CLEARED AND LEVELED. TREES TO BE  
PLANTED IN LARGE MULCH BEDS.  
SOD TO BE BETWEEN MULCH BEDS.

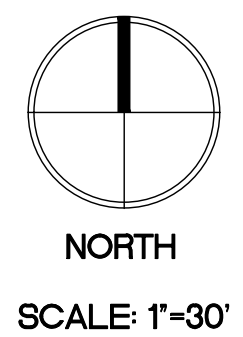
EXISTING EXOTIC VEGETATION TO  
BE CLEANED OUT ON EAST PROPERTY  
LINE TO MAKE ROOM FOR  
DESIRABLE TREES.

**PLANT KEYS**

- QUANTITY
- SPECIES ABBREVIATION
- QUANTITY
- SPECIES ABBREVIATION USED FOR MITIGATION

**EXISTING TREE KEY**

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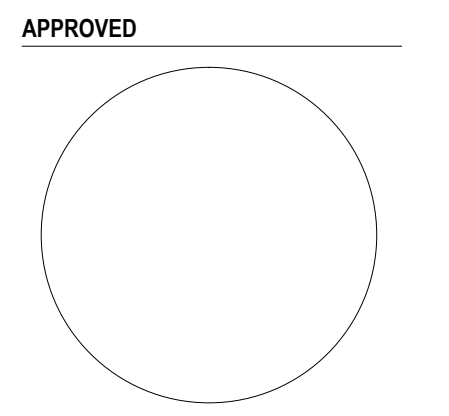
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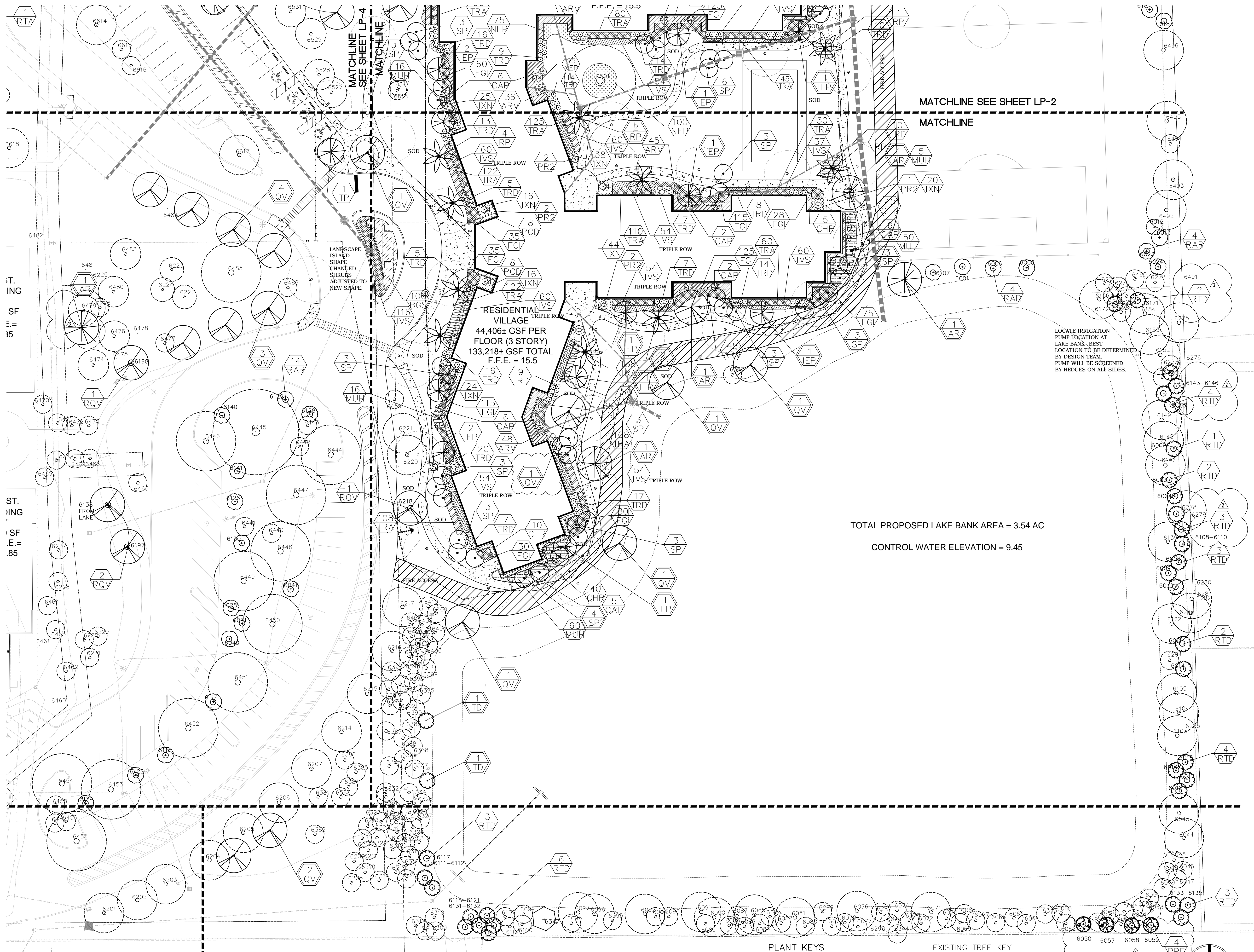


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**SHEET TITLE**  
ENLARGEMENT  
N.E. SIDE  
LANDSCAPE PLAN

**SHEET NUMBER**  
LP-2





**RESIDENTIAL VILLAGE**  
 44,406± GSF PER FLOOR (3 STORY)  
 133,218± GSF TOTAL  
 F.F.E. = 15.5

TOTAL PROPOSED LAKE BANK AREA = 3.54 AC  
 CONTROL WATER ELEVATION = 9.45

LOCATE IRRIGATION PUMP LOCATION AT LAKE BANK. BEST LOCATION TO BE DETERMINED BY DESIGN TEAM. PUMP WILL BE SCREENED BY HEDGES ON ALL SIDES.

ST. ING  
 SF  
 E. = .85

**PLANT KEYS**

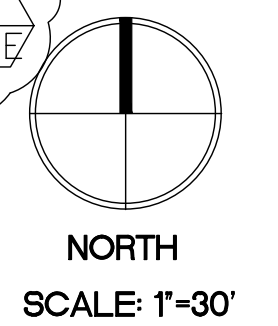
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**APPROVED**

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 LP-3