

# Wendy's®

## AT CORAL CREEK US- 441 & JOHNSON ROAD COCONUT CREEK , FLORIDA

### OWNER:

**RAMCO/CORAL CREEK, LLC.**  
P.O. BOX 4900 (PT 365)  
SCOTTSDALE, AZ 85261  
(248) 592-6316  
ATTN: DANIEL FEDERSPIEL

### TENANT:

**WENDY'S PROPERTIES, LLC.**  
1145 SANCTUARY PARKWAY, SUITE 225  
ALPHARETTA, GA. 30009  
(503) 562-9680  
ATTN: VICTOR EVERINGHAM, LEED BD&C

### FRANCHISEE:

**JAE RESTAURANT GROUP, LLC.**  
1100 PARK CENTRAL BOULEVARD SOUTH  
POMPANO BEACH , FL 33064  
(561) 997-6602 X114  
ATTN: LUIS RIVERA

### ARCHITECT:

**CKE GROUP, INC.**  
15500 NEW BARN ROAD, SUITE 106  
MIAMI LAKES, FL 33014  
(305) 558-4124  
ATTN: LUIS VARGAS, LEED AP

### ENGINEER:

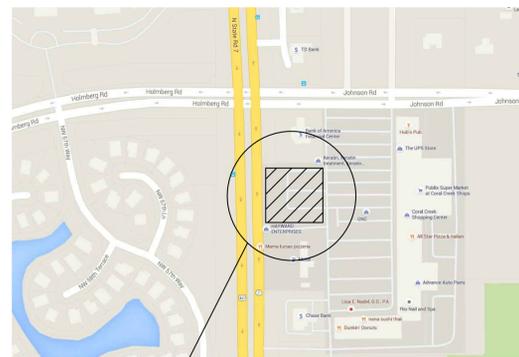
**CKE GROUP, INC.**  
15500 NEW BARN ROAD, SUITE 106  
MIAMI LAKES, FL 33014  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHÉ, P.E.

### LANDSCAPE:

**RICHARD BARTLETT LANDSCAPE, INC.**  
12773 W. FOREST HILL BLVD. SUITE 213  
WELLINGTON, FLORIDA 33414  
(561) 795-0443  
ATTN: RICHARD BARTLETT

### PLANNER/APPLICANT:

**CORPORATE PROPERTY SERVICES**  
1239 E. NEWPORT CENTER DRIVE - SUITE 113  
DEERFIELD BEACH, FL 33442  
(954) 426-5144  
ATTN: CRAIG McDONALD



JOB SITE

LOCATION PLAN   
N.T.S.

PLAN NUMBER	USB-NRE-55
LOCATION	COCONUT CREEK, FLORIDA
SITE ADDRESS	US 441 & JOHNSON ROAD
JURISDICTION	COCONUT CREEK, FLORIDA
OWNER	WENDY'S INTERNATIONAL, INC.
PROJECT No.	CKE # 1405
PLAN DATE	FEBRUARY 13, 2017

### CKE GROUP, INC.

CA # 0004432

engineering • architecture • planning

**(305) 558-4124**

**15500 New Barn Road #106  
Miami Lakes, Florida 33014**

ANA A. GONZALEZ-VALDEZ ARCHITECT - AR-0097769  
EDUARDO CARCACHÉ ENGINEER - PE 31914



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COVER SHEET

**CS-1**

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LAND DEVELOPMENT code section 13-320 Green Building Construction	
GREEN STANDARDS	DESCRIPTION
13-320(b)(1)	
LEED Accredited Professional	LUIS VARGAS LEED COORDINATOR, VICTOR EVERINGHAM, LEED BD&C
<b>SUSTAINABLE SITE DEVELOPMENT</b>	
Construction Pollution Prevention	Wind screen to be provided - Site will be watered to minimize dust during construction. Filter fabric provided at catch basin inlets
Construction site materials recycling	Contractor shall dispose of 75% minimum of all appropriate construction material with qualified C & D recycling facility. Verification will be required.
Stormwater management	Utilizing exfiltration trench and reducing the amount of asphalt on the current site to reduce stormwater runoff from this parcel.
Alternative transportation	1 bicycle parking rack provided.
Minimizing heat island effect	Roof is white, highly reflective.
<b>WATER EFFICIENT</b>	
Innovative water technologies	Water source & methods comply with Florida friendly Landscape Nine Principles. Low flow restroom fixtures. At least 80% of landscape is drought tolerant. Native plants are provided needing less irrigation.
Water efficient	Rain sensor/timer is provided for landscape irrigation. Irrigation water source is a well. Low flow restroom fixtures provided.
<b>ENERGY EFFICIENCY</b>	
Minimum energy performance	Building lighting will be high efficiency, LED fixtures. Site parking lot lighting will be high efficiency LED fixtures.
On-site renewable energy	N/A
Indoor environmental quality	N/A
Indoor air quality	Interior to be low VOC products
<b>MATERIALS &amp; RECYCLING</b>	
Recycling of demolition waste	Contractor shall dispose of 75% minimum of all appropriate construction material with qualified C & D recycling facility.
Storage & collection of recyclables post occupancy	Recycling dumpster provided for operator to use & all cardboard from delivery will be recycled.
Building re-use	N/A
Regional materials	Regional materials will be used as much as possible
<b>13-320(b)(3)</b>	
Acknowledgement to maintain the green building components for the life of the building	JAE Restaurant Group, LLC
<b>GREEN ACTION ITEMS</b>	
ACTION ITEMS	DESCRIPTION
<b>Action 1.6</b> - Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic and environmental value.	N/A
<b>Action 2.1</b> - Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public & private land by 2020.	Provide 40% of parcel
<b>Action 2.2</b> - Achieve 40% greenroof coverage for new construction in MainStreet. Project area & 10% greenroof coverage for new construction for areas outside of MainStreet. (i.e. high albedo paint on roof).	White roof membrane incorporated
<b>Action 5.1</b> - Increase recycling throughout the City by 25% BY 2014 & 50% BY 2020.	Enclosure for recycling provided
<b>Action 5.3</b> - Require all construction & demolition debris to divert 75% of waste from landfills.	Will coordinate with Republic Services
<b>Action 6.2</b> - Bicycle parking on site	Bicycle rack will be provided.
<b>Action 6.4</b> - Alternative vehicle parking.	N/A
<b>NOTE: All responses to this checklist are to reflect efforts ABOVE minimum code requirements</b>	

PLAN NUMBER	USB-NRE-55
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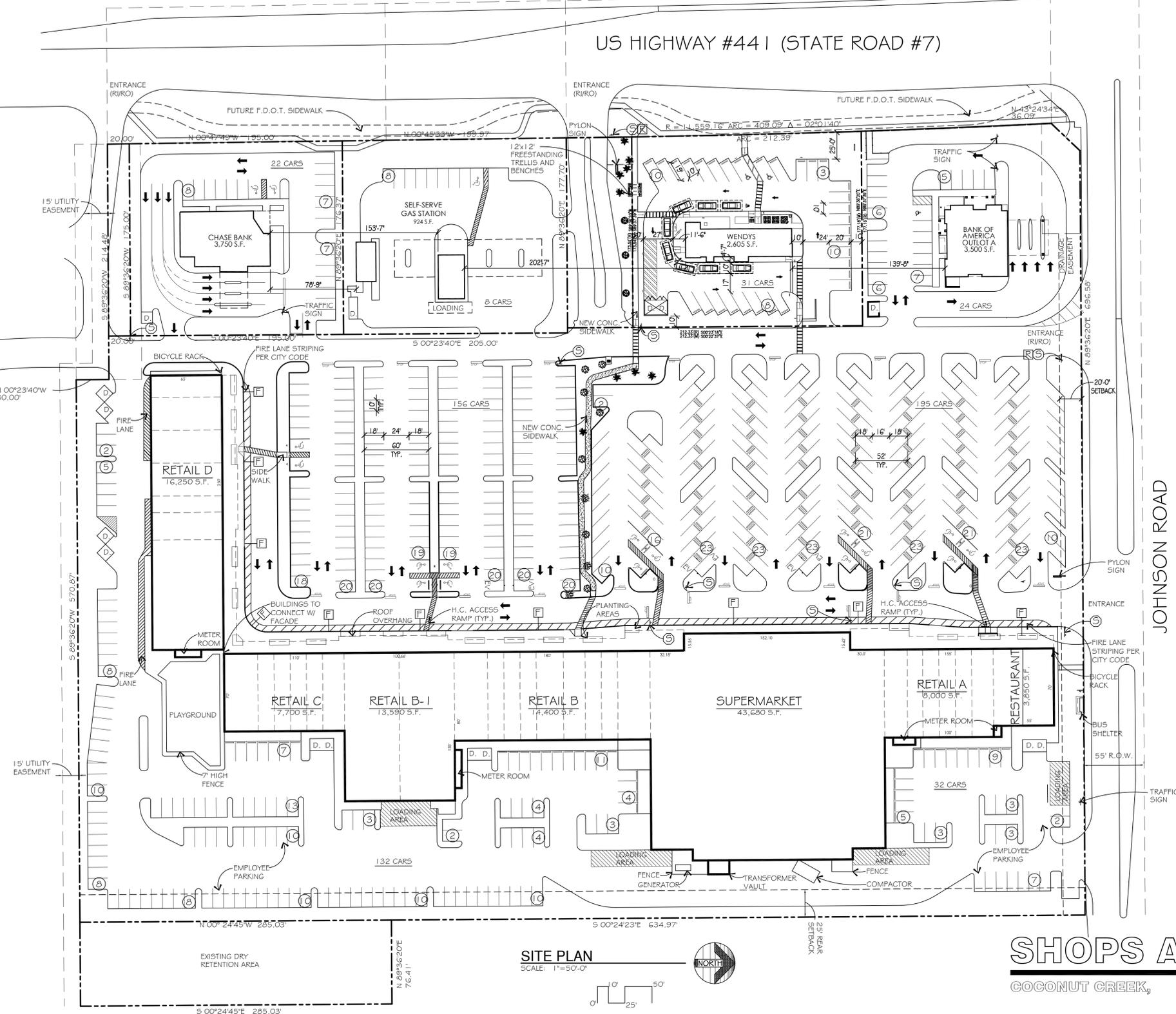
<b>CKE GROUP, INC.</b>	CA # 0004432
engineering • architecture • planning	
<b>(305) 558-4124</b>	
<b>15500 New Barn Road #106</b>	
<b>Miami Lakes, Florida 33014</b>	
ANA A. GONZALEZ-VALDEZ ARCHITECT - AR-0097769	EDUARDO CARCACHE ENGINEER - PE 31914

NEW BUTLER ROAD

ACCESS ROAD

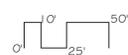
US HIGHWAY #44 I (STATE ROAD #7)

JOHNSON ROAD



SITE PLAN

SCALE: 1"=50'-0"



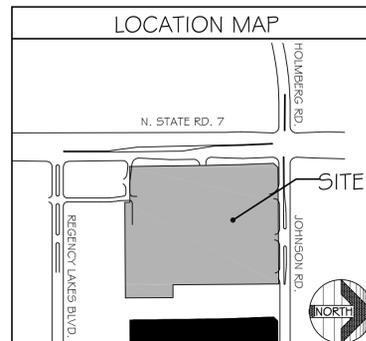
SHOPS AT CORAL CREEK

COCONUT CREEK,

FLORIDA

SITE PLAN LEGEND	
	DUMPSTER ENCLOSURE (10X20)
	REGULAR PARKING SPACE (10X20)
	HANDICAP PARKING SPACE (12X20) PAVEMENT SYMBOL TO BE PAINTED BLUE

TRAFFIC SIGNAGE & STRIPING	
	PAINTED DIRECTIONAL ARROW
	PAINTED BAR & "STOP"
	STOP SIGN
	FIRE LANE SIGN
	"RIGHT TURN ONLY" SIGN
	FIRE LANE STRIPING
	INDICATES TRAFFIC DIRECTION (FOR PLAN REVIEW INFORMATION)
	DESIGNATED PARKING SPACE FOR ALTERNATIVE FUEL OR HYBRID VEHICLES WITH SIGN ON SIGN POST



**RAMCO GERSHENSON PROPERTIES TRUST**  
31500 NORTHWESTERN HIGHWAY, SUITE 300  
 FARMINGTON HILLS, MICHIGAN 48334  
 PHONE: 248.350.9900 FAX: 248.350.9925

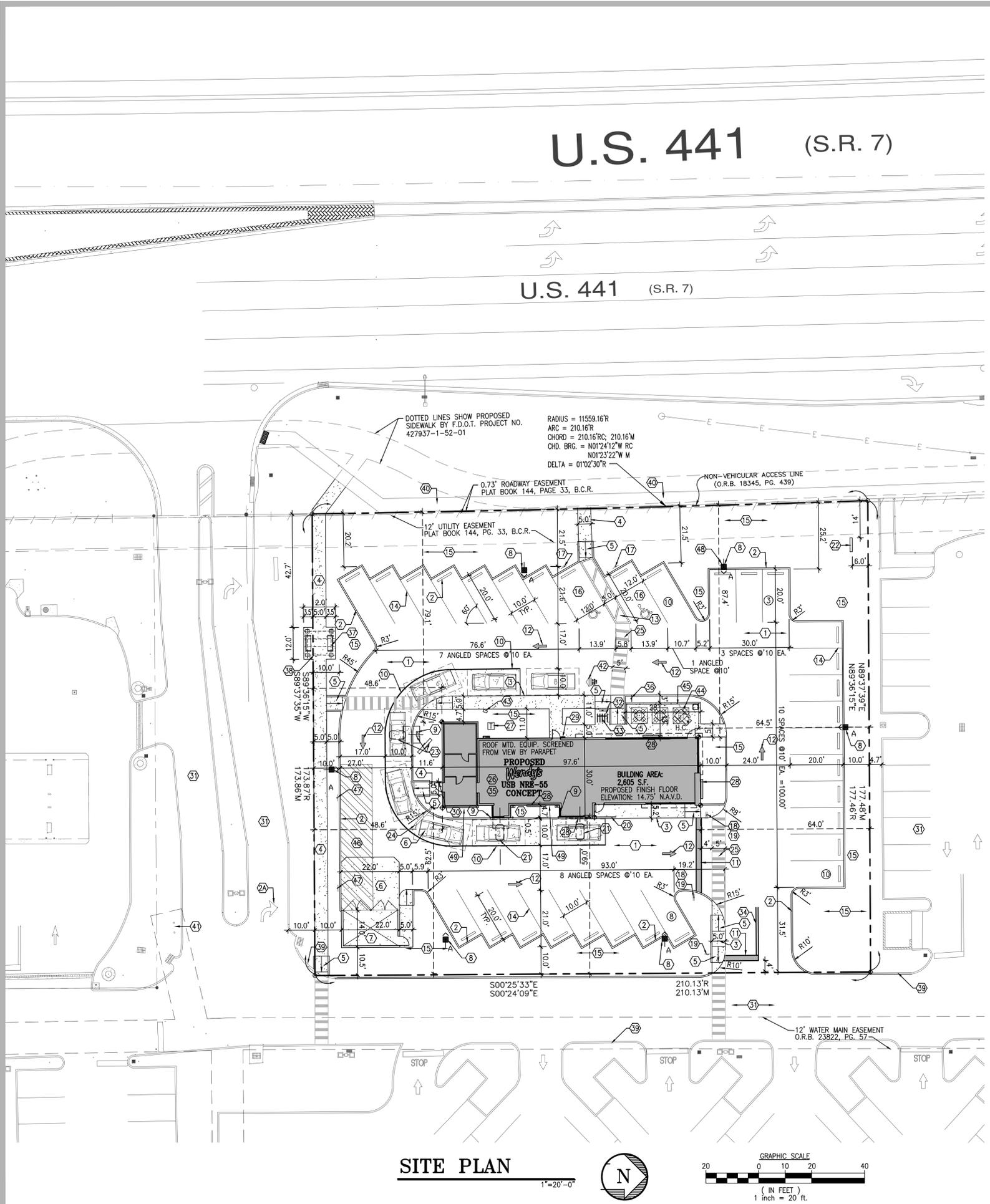


**WAH YEE ASSOCIATES ARCHITECTS & PLANNERS**  
 42400 GRAND RIVER AVENUE, SUITE 300  
 NOVI, MICHIGAN 48375  
 PHONE: 248.489.9160  
 PROJECT NO. 4889

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 PRELIMINARY  
 NOT FOR CONSTRUCTION

SP-1

PROJECT DATA		
<b>SITE DATA</b>		
NET SITE AREA	14.903 ACRES 649,175 S.F.	
<b>BUILDING DATA</b>		
<b>SHOPPING CENTER</b>		
SUPERMARKET (SALES-28,800 S.F.) (WORK AREA-14,880 S.F.)	43,680 S.F.	
RETAIL	59,940 S.F.	
RESTAURANTS	3,850 S.F.	
BUILDING SUPPORT (METER ROOMS)	700 S.F.	
<b>SUBTOTAL</b>	<b>108,170 S.F.</b>	
<b>OUT PARCELS</b>		
FINANCIAL	7,250 S.F.	
SELF-SERVE STATION	924 S.F.	
RESTAURANT	2,605 S.F.	
<b>SUB TOTAL</b>	<b>10,779 S.F.</b>	
<b>TOTAL BUILDING AREA</b>	<b>118,949 S.F.</b>	
<b>PARKING AND LOADING DATA</b>		
<b>PARKING REQUIRED</b>		
1 SPACE PER 225 S.F. OF BUILDING AREA		
<b>TOTAL REQUIRED (118,949/225)</b>	<b>529 SPACES</b>	
<b>PARKING PROVIDED</b>		
REGULAR SPACES	579 SPACES	
HANDICAP SPACES	21 SPACES	
<b>TOTAL PROVIDED</b>	<b>600 SPACES</b>	
LOADING PROVIDED	4 SPACES	
<b>SITE COVERAGE DATA</b>		
	AREA	%
BUILDING AREA	108,170 S.F.	17.7%
WALKS	16,280 S.F.	2.7%
LANDSCAPE	88,164 S.F.	14.4%
PAVING	399,715 S.F.	65.2%
<b>TOTALS</b>	<b>612,329 S.F.</b>	<b>100%</b>

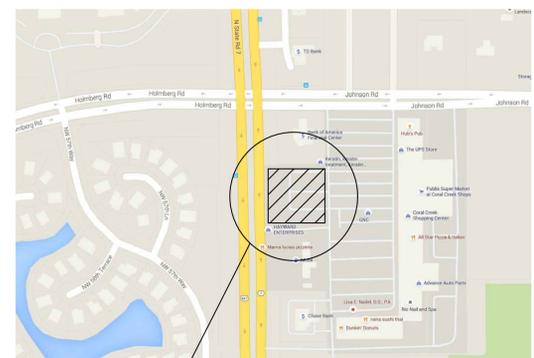


**CONSTRUCTION NOTES:**

- ① ASPHALT PAVEMENT AS PER DETAIL.
- ② 6" P.C.C. TYPE 'D' CURB AS PER DETAIL
- ②A EXISTING PAVEMENT MARKINGS
- ③ P.C.C. CURB EDGE SIDEWALK AS PER DETAIL
- ④ P.C.C. CONCRETE SIDEWALK AS PER DETAIL
- ⑤ P.C.C. HANDICAP RAMP - MAX SLOPE 1:12.
- ⑥ 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10 FEET ON CENTER. (COLOR BLACK)
- ⑦ TRASH ENCLOSURE AS PER DETAIL.
- ⑧ LED PARKING LIGHT AS PER SITE LIGHTING (PH-1)
- ⑨ STEEL BOLLARD AS PER DETAIL.
- ⑩ 215-LF 6" YELLOW. (THERMOPLASTIC)
- ⑪ 24" STOP BAR WHITE. (THERMOPLASTIC)
- ⑫ TRAFFIC ARROWS PAINTED WHITE.
- ⑬ 6" WHITE STRIPES AT 60" (PER FDOT INDEX No. 17346)
- ⑭ 4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
- ⑮ LANDSCAPE AREA
- ⑯ HANDICAP PARKING AS PER DETAIL.
- ⑰ HANDICAP SIGN 7'-0" A.F.F.
- ⑱ STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- ⑲ STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- ⑳ RAILING PAINTED BLACK
- ㉑ SENSOR LOOP AT D/T WINDOW
- ㉒ MONUMENT SIGN
- ㉓ MENU BOARD AND SENSOR LOOP W/ SPEAKER PEDESTAL
- ㉔ CLEARANCE BAR
- ㉕ PEDESTRIAN CROSSING PER F.D.O.T. INDEX No. 17346
- ㉖ PROPOSED BUILDING
- ㉗ TRANSFORMER PAD (COORDINATE LOCATION WITH FPL)
- ㉘ BUILDING SIGN
- ㉙ PROVIDE BUILDING ADDRESS "1234" WITH NUMERALS 9 INCHES HIGH. REFER TO BUILDING ELEVATION
- ㉚ PROVIDE BUILDING ADDRESS AND BUSINESS NAME ON SERVICE DOOR. REFER TO BUILDING ELEVATION ALL LETTERS TO BE CONSISTENT IN STYLE (4" HIGH)
- ㉛ EXISTING PAVEMENT
- ㉜ 'BICYCLE PARKING' SIGN
- ㉝ BICYCLE RACK BY HUNTCO-MODEL BR3 OR APPROVED EQUAL FINISH: POWDER COATED BLACK (SEE DETAIL ON SHEET SP-3)
- ㉞ 25 L.F. - 4" DOUBLE YELLOW
- ㉟ ALL ROOF MOUNTED EQUIPMENT AND ACCESSORIES SHALL BE SCREENED FROM VIEW BY PARAPET
- ㊱ PEDESTRIAN CROSSING SIGN
- ㊲ CW86 CREEKVIEW BENCH WITH BASE (SILVER) BY KEYSTONE RIDGE DESIGNS
- ㊳ 12'x12' FREE STANDING TRELLIS
- ㊴ EXIST. CURB
- ㊵ EXIST. SIDEWALK
- ㊶ EXIST. FIRE HYDRANT
- ㊷ PAVEMENT MARKINGS
- ㊸ PREVIEW MENU BOARD
- ㊹ PATIO FENCE (3' HEIGHT, MIN.)
- ㊺ PATIO FENCE (3' HEIGHT, MIN.)
- ㊻ 12'x55' LOADING ZONE
- ㊼ "NO PARKING SIGN"
- ㊽ "HYBRID PARKING ONLY" SIGN.
- ㊾ GREEN WALL, REFER TO BUILDING ELEVATIONS

**NOTES**

1. ALL PAVEMENT MARKINGS ARE TO COMPLY WITH BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS/MUTCD.
2. ALL MARKINGS EXCEPT PARKING SPACE LINES SHALL BE THERMOPLASTIC AND 6" WIDE.
3. ALL SIGNS BY SEPARATE PERMIT.
4. ALL RADII AND DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
5. THE ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM N.G.S. CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.) "MIAMI WAAS 1 CORS ARP", "MIAMI TNT CORS ARP" AND "WEST PALM CORS ARP" USING THE ONLINE POSITIONING USER SERVICE (O.P.U.S.) ON APRIL 26, 2016. TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929), ADD 1.55 FEET.
6. ALL SIDEWALKS SHALL BE A MIN. OF 5 FEET IN WIDTH.



**LOCATION PLAN**  
 N.T.S.

**LEGAL DESCRIPTION**

A PORTION OF TRACT "A", SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCING AT THE WESTERLY NORTHWEST CORNER OF SAID TRACT "A", SAID POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 7) AS SHOWN ON SAID PLAT AND ON THE ARC OF A CURVE CONCAVE WESTERLY TO WHICH A RADIAL LINE BEARS NORTH 87°12'47" EAST; THENCE SOUTHERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, ON THE WESTERLY LINE OF SAID TRACT "A" AND ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,559.16 FEET, A CENTRAL ANGLE OF 0°51'46", FOR AN ARC DISTANCE OF 174.06 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°36'15" EAST ON A NON-RADIAL LINE 177.46 FEET; THENCE SOUTH 00°25'33" EAST 210.13 FEET; THENCE SOUTH 89°36'15" WEST ON A LINE NON-RADIAL TO THE FOLLOWING DESCRIBED CURVE 173.87 FEET TO THE INTERSECTION WITH THE AFORESAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 7); SAID WESTERLY LINE OF TRACT "A" AND A POINT ON SAID CURVE CONCAVE WESTERLY, TO WHICH A RADIAL LINE BEARS NORTH 89°07'03" EAST; THENCE NORTHERLY ON THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 11,559.16 FEET, A CENTRAL ANGLE OF 1°02'30", FOR AN ARC DISTANCE OF 210.16 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 36,846 SQUARE FEET (0.8459 ACRES), MORE OR LESS.

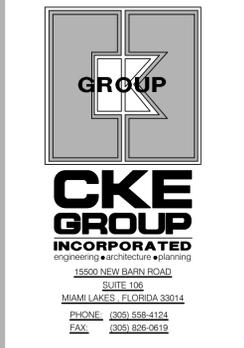
**ZONING: B-3 COMMUNITY SHOPPING DISTRICT**  
**LAND USE: COMMERCIAL**  
**BUILDING HEIGHT: 26-9 1/2"**  
**SITE ANALYSIS**

	EXISTING	PROPOSED
TOTAL LAND AREA:	36,846.00 SQ. FT. ( 0.846± ACRES )	36,846.00 SQ. FT. ( 0.846± ACRES )
TOTAL BUILDING COVERAGE:	-	2,605.00 SQ. FT. ( 7.07 % )
TOTAL LANDSCAPED AREA:	8,056.38 SQ. FT. ( 21.87 % )	12,914.80 SQ. FT. ( 35.05 % )
TOTAL PAVED AREA & WALKS:	28,789.62 SQ. FT. ( 78.13 % )	21,326.20 SQ. FT. ( 57.88 % )
PERVIOUS AREA:	8,056.38 SQ. FT. ( 21.87 % ) ( 0.185± ACRES )	12,914.80 SQ. FT. ( 35.05 % ) ( 0.296± ACRES )
IMPERVIOUS AREA:	28,789.62 SQ. FT. ( 78.13 % ) ( 0.661± ACRES )	23,931.20 SQ. FT. ( 64.95 % ) ( 0.549± ACRES )

**PARKING ANALYSIS**

TOTAL PARKING SPACES REQUIRED: (1/150 SF OF CUST. SERVICE AREA - 951/150=7) (1/300 SF OF NON-CUST. SERVICE AREA - 917/300=4) (1/150 SF OF PATIOAREA - 364/150=3)	14 SPACES
HANDICAP SPACES REQUIRED:	1 SPACES
HANDICAP SPACES PROVIDED:	2 SPACES
TOTAL PARKING SPACES PROVIDED: (INCLUDING HANDICAP IN OUT PARCEL)	31 SPACES

SITE NUMBER: 11670  
 BASE MODEL: USB NRE 55 R3  
 ASSET TYPE: FRAN  
 CLASSIFICATION: NEW  
 OWNER: JAE REST. GROUP, LLC  
 BASE VERSION: XXXXXXXXX  
 UPGRADE CLASSIFICATION: CORP. NEW BUILD  
 PROJECT YEAR: 2017  
 FURNITURE PACKAGE: 2016 R3  
 DRAWING RELEASE: 2016 R3



PROJECT TYPE: USB NRE 55  
 NEW

**Wendy's**  
 Store # 11670  
 US 441 & JOHNSON ROAD  
 Coconut Creek, Florida

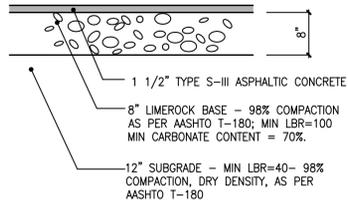
REV.	DATE	DESCRIPTION
△	05-01-18	
△	07-18-18	

ISSUE DATE: 02/10/2016  
 PROJECT NUMBER: 1493  
 DRAWN BY: R. C.  
 CHECKED BY: E. C.

EDUARDO L. CARCACHE, PE 31914  
 ANA A. GONZALEZ VALDES, AR 97769  
 LUIS VARGAS, LEED AP  
 #71023753163800  
 CKE GROUP, INC. COA-4432

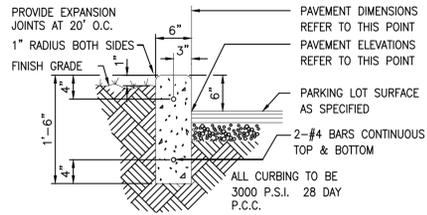
SHEET NAME  
**SITE PLAN**  
 SHEET NUMBER

**SP-2**



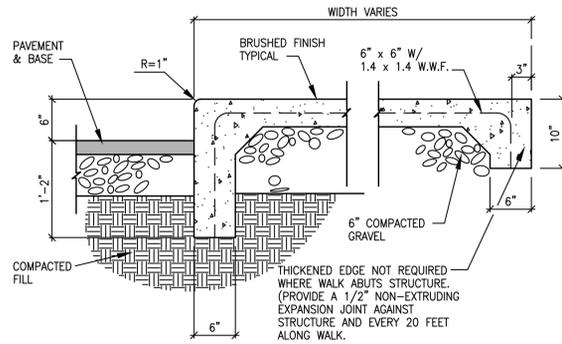
**1 PAVEMENT DETAIL**

NOT TO SCALE



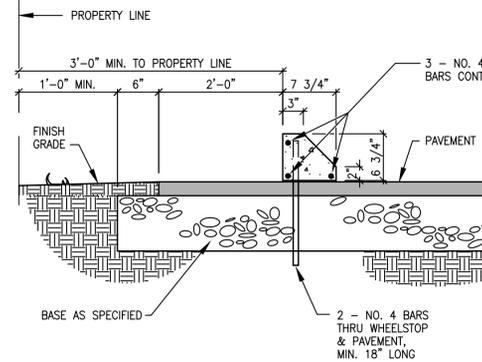
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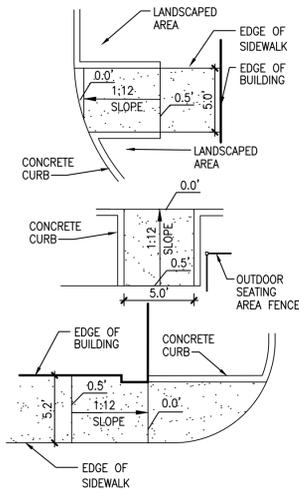
**3 BRUSHED CONCRETE WALK**

NOT TO SCALE



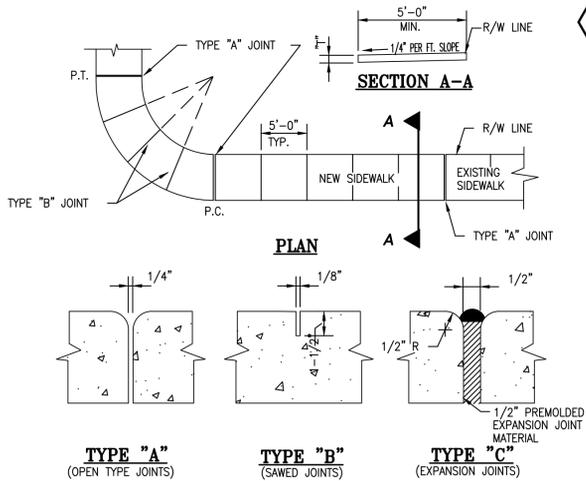
**10 PRECAST CONCRETE WHEELSTOP**

NOT TO SCALE



**5 HANDICAP RAMP DETAILS**

NOT TO SCALE



**4 SIDEWALK CONSTRUCTION DETAIL**

NOT TO SCALE

TABLE OF SIDEWALK THICKNESS-T"	
LOCATION	T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

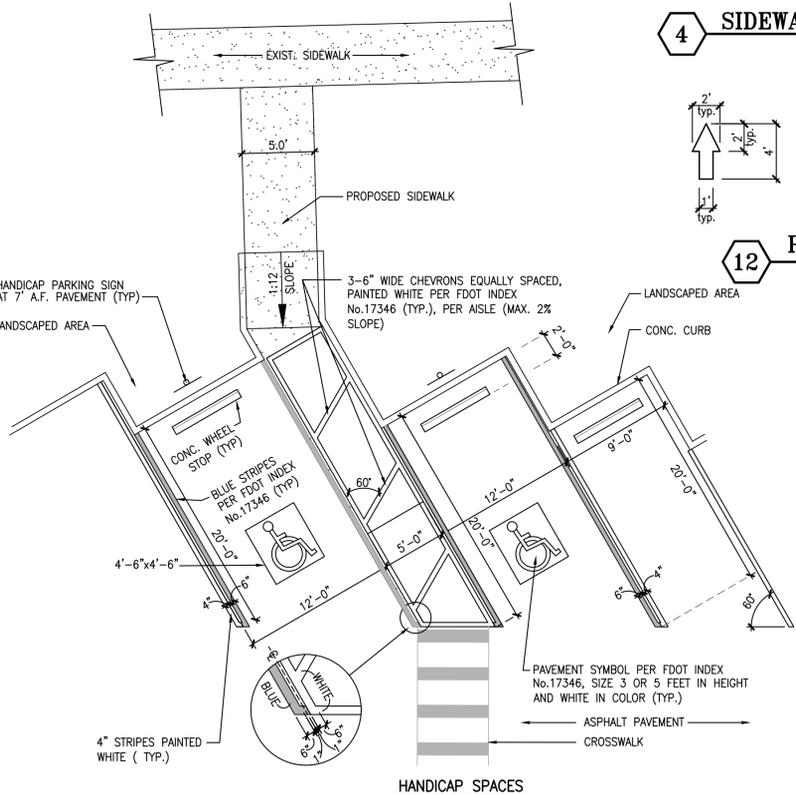
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES

**12 PAINTED ARROWS**

NOT TO SCALE

**32 BICYCLE PARKING SIGN**

NOT TO SCALE



**13 16 17 HANDICAP AND STANDARD PARKING DETAILS**

NOT TO SCALE

**2A 2' CONCRETE CURB & GUTTER (TYPE "F")**

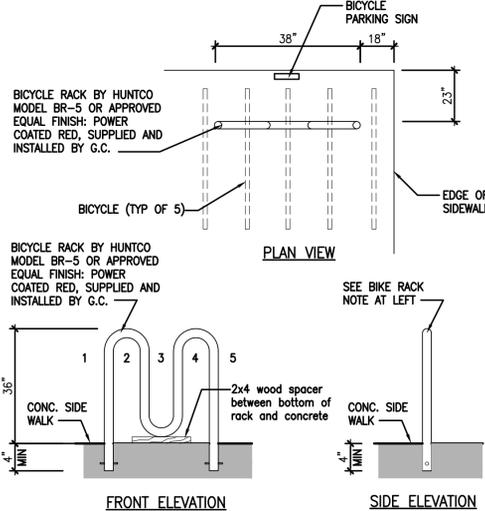
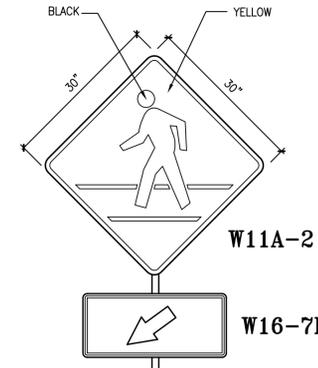
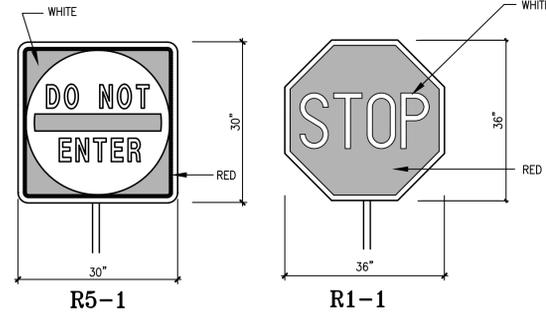
\* NOTE:

WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

SCALE: 1" = 1'-0"

**16 17 18 STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS**

SCALE: N.T.S.

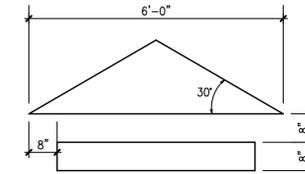


**33 BIKE RACK DETAIL**

NOT TO SCALE

**17 HANDICAP PARKING SIGN (FTP 20-04 PER FDOT INDEX 17355)**

NOT TO SCALE



**PICK-UP WINDOW LANE**

**38 PAVEMENT MARKER DETAILS**

NOT TO SCALE

**GENERAL NOTES**

- ALL SIGNS SHALL BE ERRECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
- DESIGNS ARE PER 146 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).
- ALL PAINTED PAVEMENT MARKERS ARE TO BE SOLID YELLOW AND FURNISHED BY GENERAL CONTRACTOR.
- WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



PROJECT TYPE: USB NRE 55 NEW

**Wendy's**  
 Store # 11670  
 US 441 & JOHNSON ROAD  
 Coconut Creek, Florida

REV.	DATE	DESCRIPTION

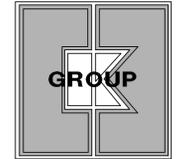
ISSUE DATE: 02/10/2016  
 PROJECT NUMBER: 1493  
 DRAWN BY: E. C.  
 CHECKED BY: E. C.

EDUARDO L. CARCACHÉ, PE 31914  
 ANA A. GONZALEZ VALDES, AR 97769  
 LUIS VARGAS, LEED AP  
 #701023753163800  
 CKE GROUP, INC. COA-4432

SHEET NAME: SITE DETAILS  
 SHEET NUMBER:

**SP-3**

SITE NUMBER: 11670  
 BASE MODEL: USB NRE 55 R3  
 ASSET TYPE: FRAN  
 CLASSIFICATION: NEW  
 OWNER: JAE REST. GROUP, LLC  
 BASE VERSION: XXXXXXXX  
 UPGRADE CLASSIFICATION: CORP. NEW BUILD  
 PROJECT YEAR: 2017  
 FURNITURE PACKAGE: 2016 R3  
 DRAWING RELEASE: 2016 R3



**CKE GROUP**  
 INCORPORATED  
 engineering • construction • planning  
 15500 NEW BARN ROAD  
 SUITE 106  
 MIAMI LAKES, FLORIDA 33014  
 PHONE: (305) 558-4124  
 FAX: (305) 826-0610

PROJECT TYPE: USB NRE 55 NEW

**Wendy's**  
 Store # 11670  
 US 441 & JOHNSON ROAD  
 Coconut Creek, Florida

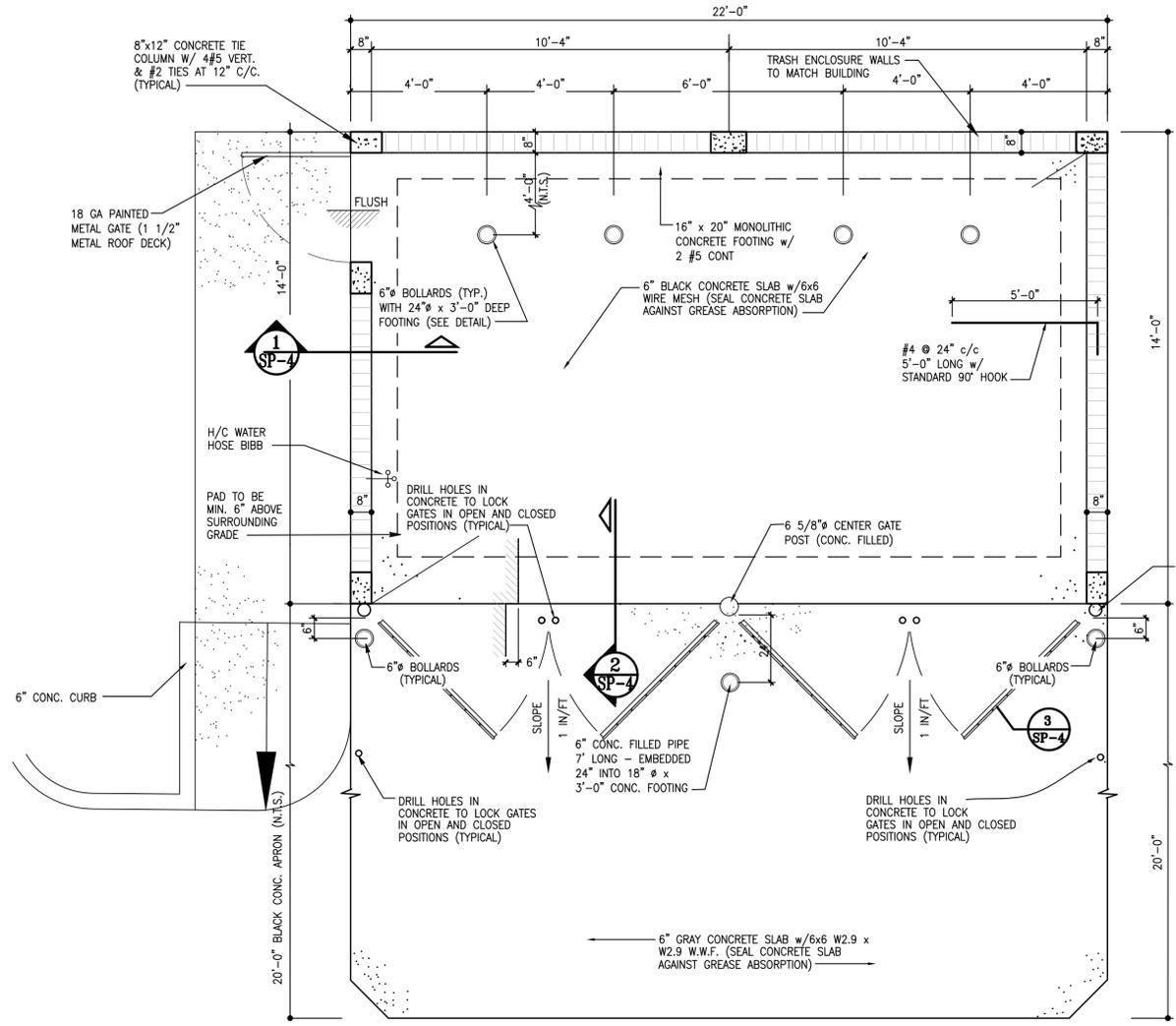
REV.	DATE	DESCRIPTION
07-18-18		

ISSUE DATE: 02/10/2016  
 PROJECT NUMBER: 1493  
 DRAWN BY: E. C.  
 CHECKED BY: E. C.

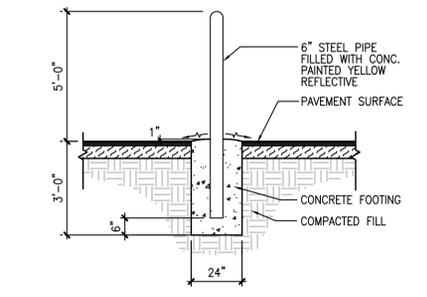
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 ANA A. GONZALEZ VALDES, AR 97769  
 LUIS VARGAS, LEED AP  
 #701023753163800  
 CKE GROUP, INC. COA-4432

SHEET NAME: TRASH ENCLOSURE  
 SHEET NUMBER: SP-4

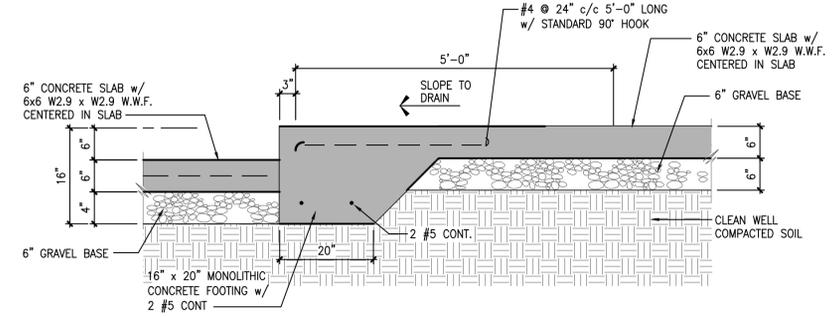
**SP-4**



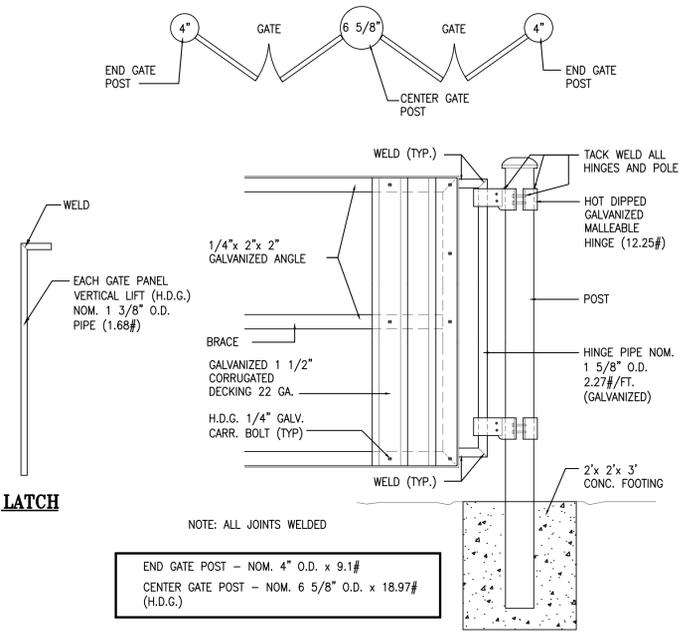
**7 TRASH ENCLOSURE AND RECYCLING ENCLOSURE PLAN**  
 NOT TO SCALE



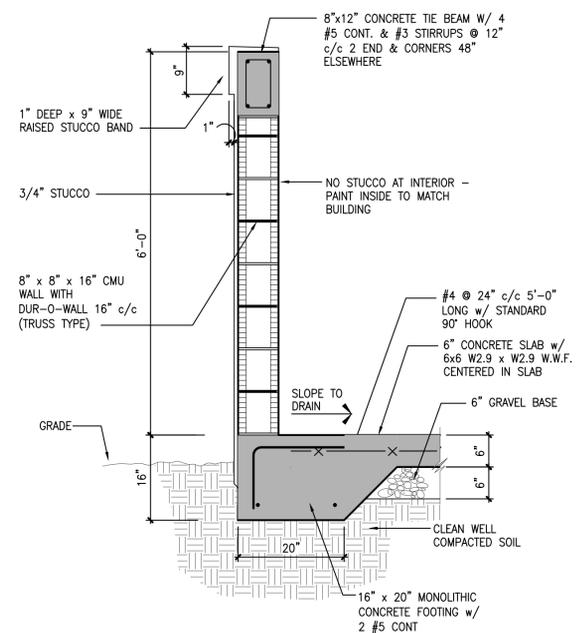
**9 TYPICAL GUARD POST**  
 NOT TO SCALE



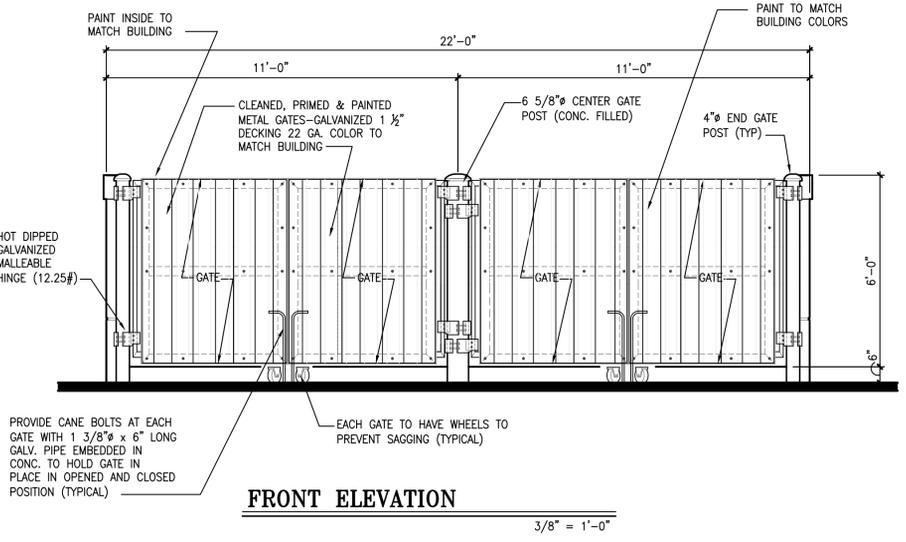
**2 SECTION AT SLAB FOOTING**  
 3/4" = 1'-0"



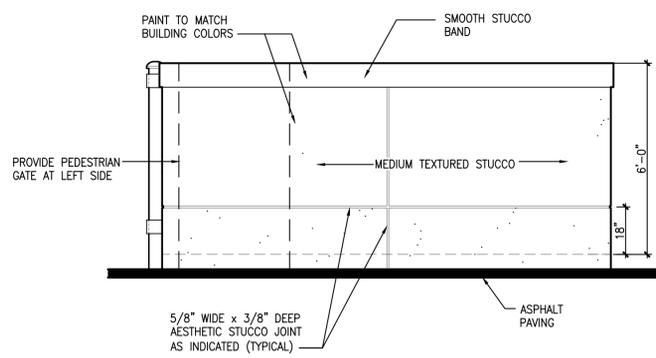
**3 GATE DETAIL**  
 NOT TO SCALE



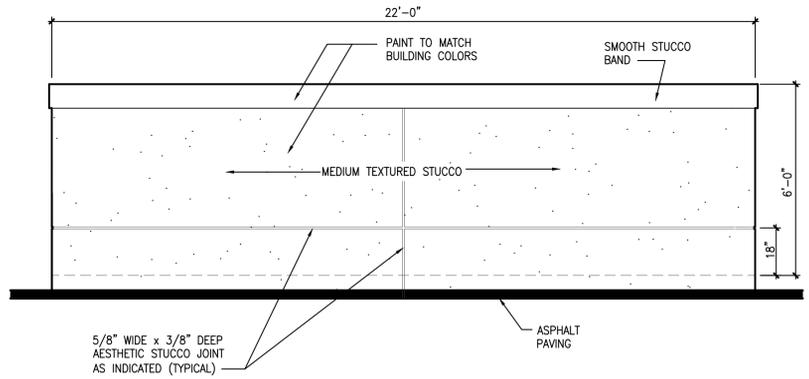
**1 SECTION THRU TYPICAL WALL**  
 3/4" = 1'-0"



**FRONT ELEVATION**  
 3/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
 (LEFT SIDE SIMILAR - OPP. HAND) 3/8" = 1'-0"



**REAR ELEVATION**  
 3/8" = 1'-0"

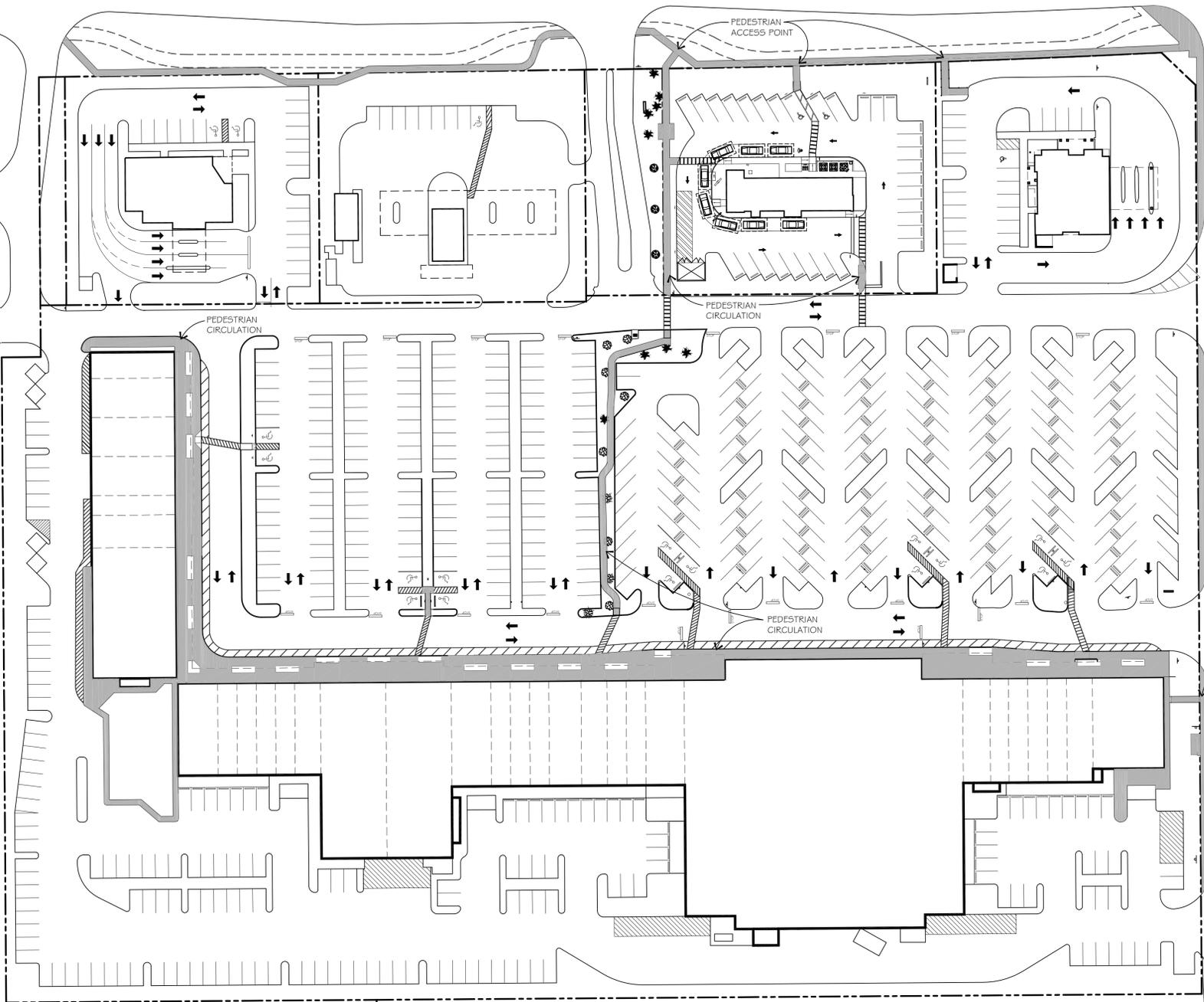
7/26/2018, 3:46 PM, R:\Wendys\New ground up - sites\Coconut Creek\Civil\SP-4.dwg, user10

US HIGHWAY #44 I (STATE ROAD #7)

NEW BUTLER ROAD

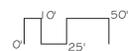
ACCESS ROAD

JOHNSON ROAD



PEDESTRIAN ACCESS POINT  
BUS STOP

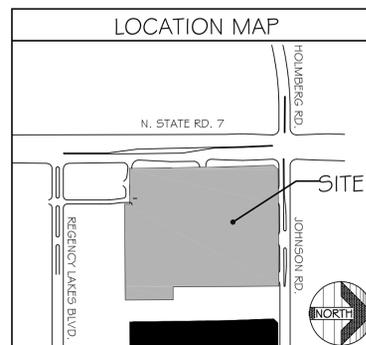
PEDESTRIAN SITE PLAN  
SCALE: 1"=50'-0"



# SHOPS AT CORAL CREEK

COCONUT CREEK,

FLORIDA



**RAMCO GERSHENSON**  
PROPERTIES TRUST

31100 NORTHWESTERN HIGHWAY, SUITE 300  
FARMINGTON HILLS, MICHIGAN 48334  
PHONE: 248.350.9900 FAX: 248.350.9925



**WAH YEE ASSOCIATES**  
ARCHITECTS & PLANNERS

42400 GRAND RIVER AVENUE, SUITE 200  
NOVI, MICHIGAN 48375  
PHONE: 248.489.9160  
PROJECT NO. 4889

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July 30, 2018

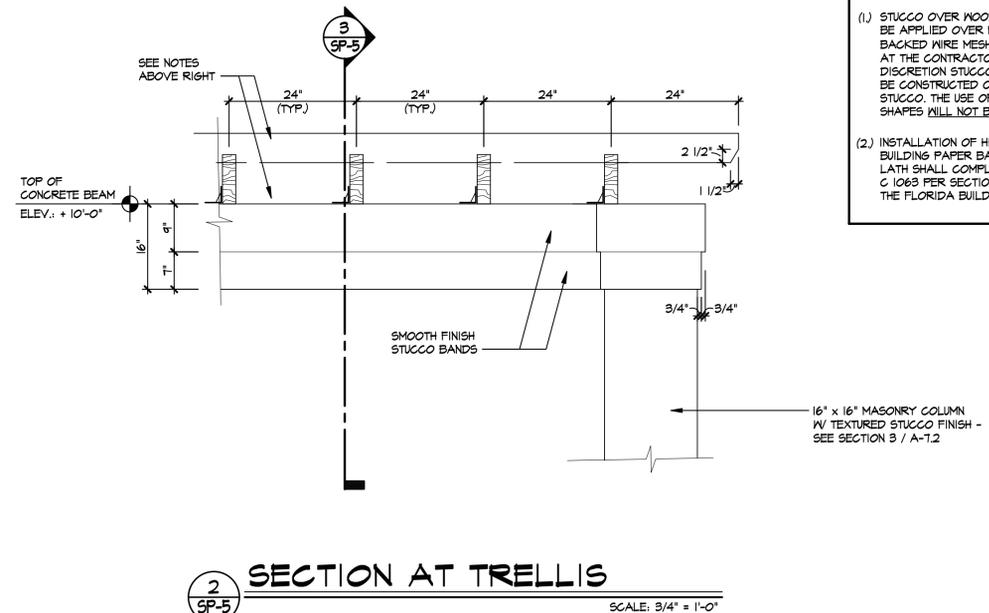
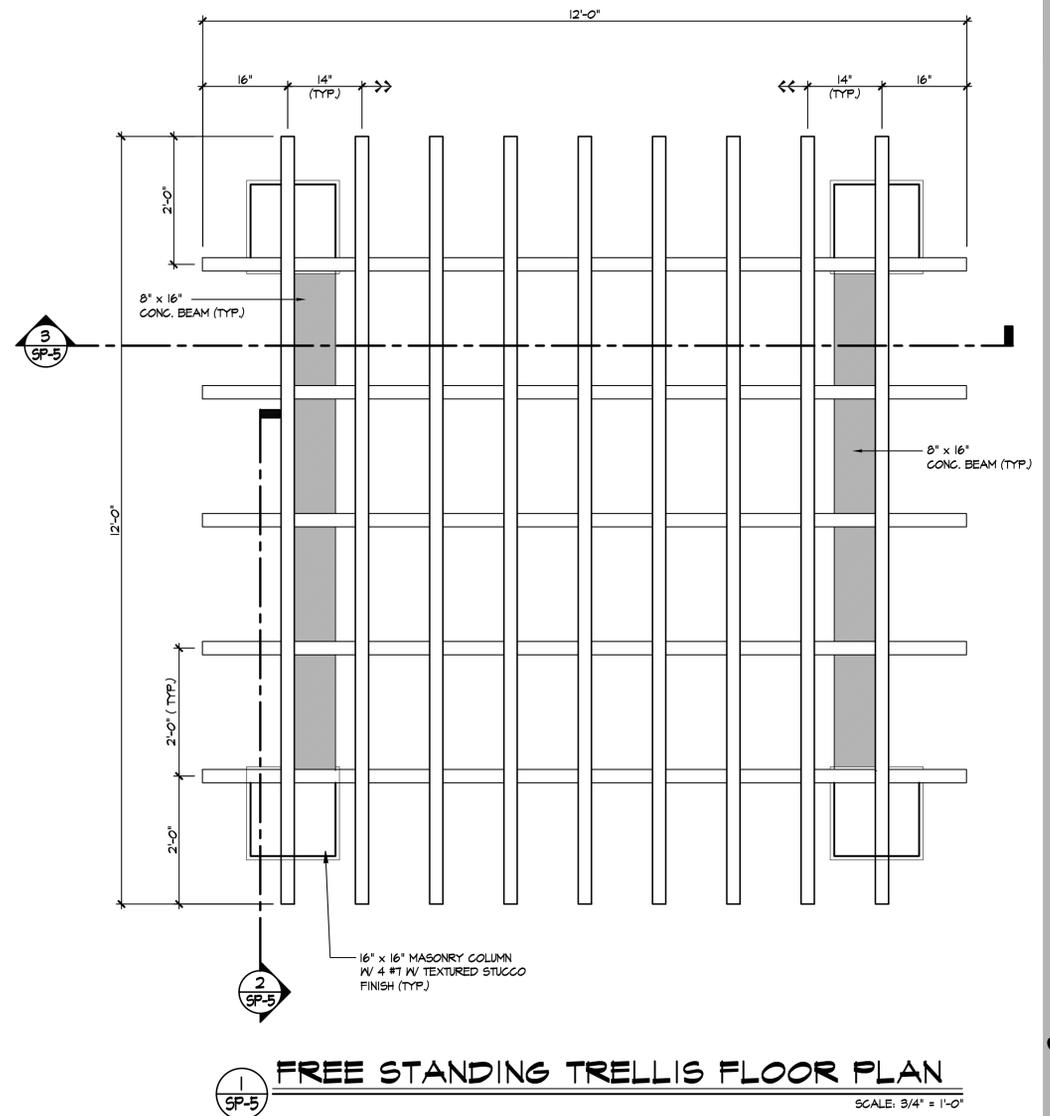
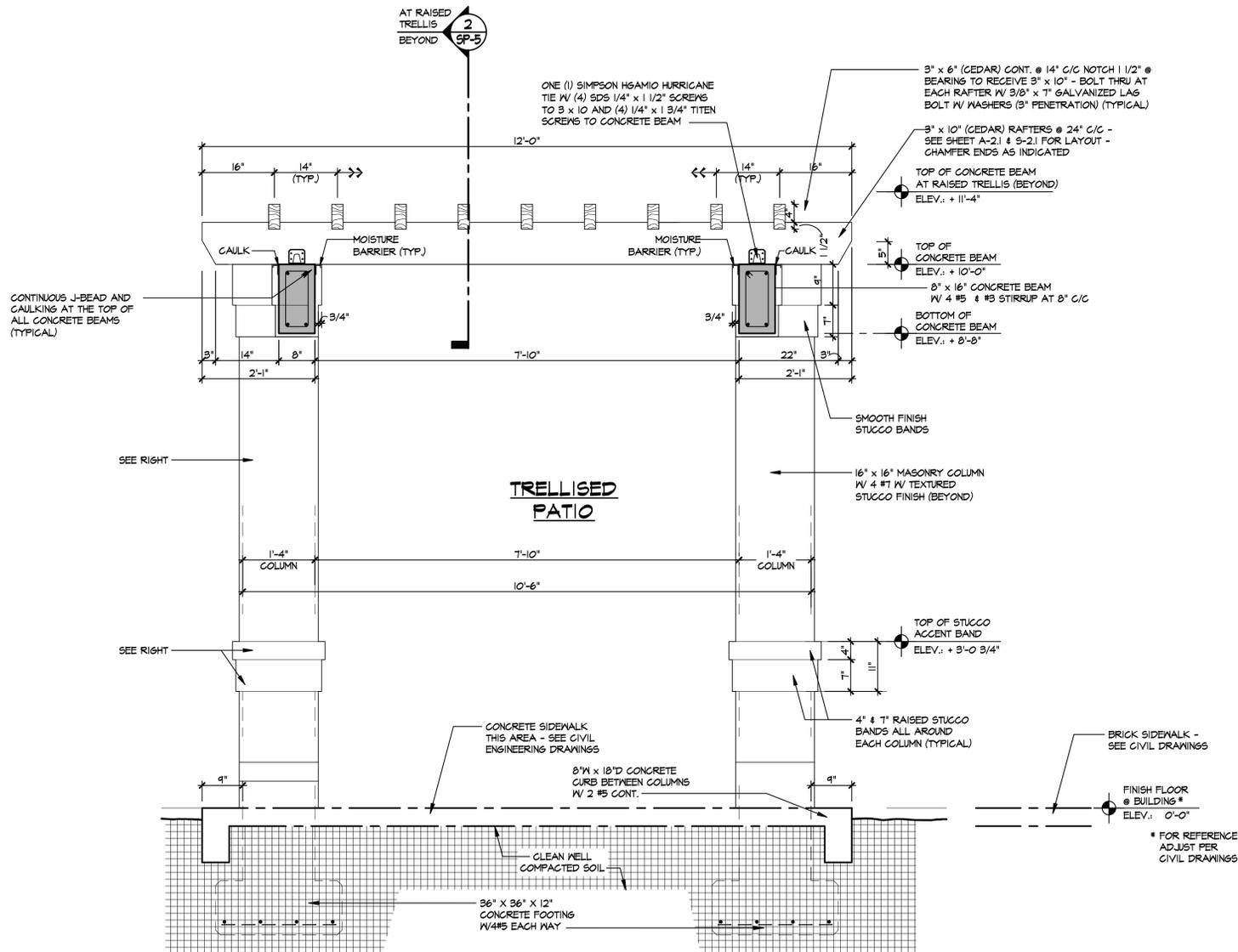
**PRELIMINARY**  
NOT FOR CONSTRUCTION

SP-5



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**4 BENCH**  
NOT TO SCALE



- NOTES:**
- (1) STUCCO OVER WOOD BASE TO BE APPLIED OVER PAPER BACKED WIRE MESH (TYPICAL) - AT THE CONTRACTOR'S DISCRETION STUCCO BANDS MAY BE CONSTRUCTED OF SOLID STUCCO. THE USE OF FOAM SHAPES WILL NOT BE PERMITTED
  - (2) INSTALLATION OF HI RIBBED BUILDING PAPER BACKED METAL LATH SHALL COMPLY WITH ASTM C 1063 PER SECTION 2510.5 OF THE FLORIDA BUILDING CODE.

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



PROJECT TYPE: USB NRE 55 NEW

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
Δ	07-18-18	

**DETAILS**

ISSUE DATE:	02/10/2014
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.

EDUARDO L. CARGACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME

TRELLIS DETAILS

SHEET NUMBER

**SP-6**

# Wendy's

STATE ROAD No. 7  
SECTION 6, TOWNSHIP 48 SOUTH, RANGE 42 EAST  
CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

## LEGAL DESCRIPTION

A PORTION OF TRACT "Y", SANDHILLS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO DEED RECORDS IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WESTERN NORTHWEST CORNER OF SAID TRACT "Y", SAID CORNER BEING ON SAID TRACT AND ON THE ACES OF A CONCRETE MONUMENT TO WHICH A METAL LINE IS ATTACHED, THE EASTERN RIGHT-OF-WAY LINE OF U.S. HIGHWAY No. 401 (STATE ROAD No. 7) AS SHOWN ON SAID MAP AND ON THE ACES OF A CONCRETE MONUMENT TO WHICH A METAL LINE IS ATTACHED, THE WESTERN LINE OF SAID TRACT "Y", AND ON THE ACES OF A CURVE TO THE RIGHT, HAVING A RADIUS OF THIRTYFOUR FEET, A CENTRAL ANGLE OF 103°59', FOR AN ARC DISTANCE OF 175.68 FEET, THENCE SOUTH 0°02'33" EAST 270.13 FEET; THENCE SOUTH 89°30'57" WEST ON A LINE NON-PARALLEL TO THE FOLLOWING DESCRIBED CURVE 175.67 FEET TO THE INTERSECTION WITH THE WESTERN LINE OF TRACT "Y", AND A POINT ON SAID CONCRETE MONUMENT, TO WHICH A METAL LINE BEARS NORTH 89°30'57" EAST, THENCE NORTHERLY ON THE ACES OF A CURVE TO THE RIGHT, HAVING A RADIUS OF THIRTYFOUR FEET, FOR AN ARC DISTANCE OF 201.16 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITING, LING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 36.848 SQUARE FEET (0.848 ACRES), MORE OR LESS.

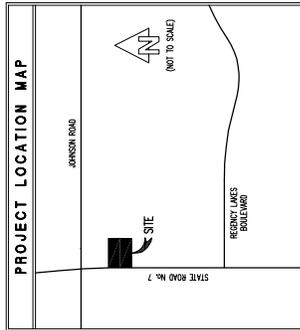
## FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY IS LOCATED IN ZONE X (SHADED), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF COCONUT CREEK, BROWARD COUNTY, COMMUNITY NUMBER 12021 (MAP NUMBER 10010-010-10), AND DATED AUGUST 14, 2014.

## CERTIFICATION

THE PROPERTY, LOC. AND FIDELITY NATIONAL TITLE INSURANCE COMPANY HAS BEEN COMPLETED FROM A SURVEY WHICH MEETS THE REQUIREMENTS PROVIDED BY WRITORS, THAT IT MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, AND THAT THIS MAP OR PLAN AND THE SURVEY WHICH IT IS BASED THEREON, IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL SURVEYORS OF THE STATE OF FLORIDA, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 AND 18 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 12, 2016.

George A. Shimp II  
Professional Surveyor  
No. 01767  
4-30-2018  
DATE



## SURVEY ABBREVIATIONS

- 1. - THE PROPERTY
- 2. - THE SURVEY
- 3. - THE MONUMENT
- 4. - THE CURVE
- 5. - THE POINT
- 6. - THE LINE
- 7. - THE DISTANCE
- 8. - THE BEARING
- 9. - THE ANGLE
- 10. - THE AREA
- 11. - THE PERIMETER
- 12. - THE VOLUME
- 13. - THE WEIGHT
- 14. - THE LENGTH
- 15. - THE WIDTH
- 16. - THE DEPTH
- 17. - THE HEIGHT
- 18. - THE TEMPERATURE
- 19. - THE PRESSURE
- 20. - THE FORCE
- 21. - THE VELOCITY
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# SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B"

## A REPLAT OF PORTIONS OF TRACTS 62 and 63, LYING IN BLOCK 85 OF "THE PALM BEACH FARMS CO. PLAT NO. 3" (P.B.2, PG.53 P.B.C. RECORDS) IN SECTION 6, TOWNSHIP 48 SOUTH, RANGE 42 EAST CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

### POST, BUCKLEY, SCHUH & JERNIGAN, INC.

ENGINEERS, PLANNERS, LAND SURVEYORS  
8600 N.W. 36th STREET MIAMI, FLORIDA 33166-6622  
TEL. (305) 592-7275



DEDICATION  
State of Florida )  
County of Dade ) ss

KNOW ALL MEN BY THESE PRESENTS: That Johnson Square Associates, Ltd., a Florida Limited partnership, by and through its general partner, Johnson Square, Inc., a Florida corporation, owner of the lands described and shown as included in this Plat, has caused to be surveyed, subdivided and platted in a manner as shown, to be known as "SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", a replat.

The easements and right-of-way as shown on this Plat are hereby dedicated to the perpetual use of the public for the purposes indicated. This plat shall be restricted to non-residential usage.

LEGAL DESCRIPTION  
A portion of Tracts 62 and 63, Block 85, THE PALM BEACH FARMS CO. PLAT NO. 3, according to the Plat thereof, as recorded in Plat Book 2 at Page 53 of the Public Records of Palm Beach County, lying in the City of Coconut Creek, Broward County, Florida, being more particularly described as follows:

Commence at the West 1/4 corner of Section 6, Township 48 South, Range 42 East in Broward County, Florida; thence run N00°54'32"W along the West line of said Section 6 for 134.27 feet to a point; thence run N89°05'28"E for 119.27 feet to the POINT OF BEGINNING; said point being on the arc of a circular curve concave to the west and said point bearing N89°12'47"E from the center of said curve; thence run northerly along the arc of said curve having a radius of 11559.16 feet and a central angle of 00°15'12" for 51.09 feet to a point of termination of said curve, said point bearing N66°57'35"E from the center of said curve; thence run N89°36'20"E for 723.79 feet to a point; thence run S00°24'45"E for a distance of 945.00 feet to a point; thence run S89°36'20"W for 494.46 feet to a point;

thence run N00°23'40"W for a distance of 30.00 feet to a point; thence run S89°36'20"W for a distance of 214.48 feet to a point of intersection with the Eastern Right-of-Way line of U.S. No. 441 (State Road 7); thence run N00°47'49"W, along said Right-of-Way line for a distance of 255.04 feet to a point; thence run N00°45'33"W, along said Right-of-Way line, for a distance of 199.97 feet to a Point of Curvature of a circular curve to the left having for its elements a central angle of 02°01'40" and a radius of 11559.16 feet; thence run northerly along said Right-of-Way line and along the arc of said curve, for a distance of 409.10 feet to the POINT OF BEGINNING.

Containing 15.325 Acres more or less.

Subject to any reservations, dedications or easements of record.

In Witness Whereof: Said Johnson Square Associates, Ltd., a Florida Limited partnership, by and through its general partner, Johnson Square, Inc., a Florida corporation, has caused these presents to be executed in its name by its general partner, Johnson Square, Inc., a Florida corporation, to be signed in its corporate name by its President and its corporate seal to be herewith affixed and attested to by its secretary, this 2 day of August, A.D. 1989.

Johnson Square Associates, Ltd., a Florida Limited Partnership, by and through its general partner, Johnson Square, Inc., a Florida corporation

Attest: Ellen Rose By: Gerald M. Higier  
Name: Ellen Rose Name: Gerald M. Higier  
Title: Secretary Title: Pres.

ACKNOWLEDGEMENT  
State of Florida )  
County of Dade ) ss

I hereby certify that on this day personally appeared before me an officer duly authorized to administer oaths and take acknowledgements, Ellen Rose and Gerald M. Higier, Secretary and President respectively, to me well known to be officers herein described and who executed the foregoing Plat and acknowledged and acknowledged the execution thereof to be their free act and deed as such officers for the purposes therein described.

Witness my signature and official seal at CORAL GABLES Dade County, Florida this 2 day of August, A.D. 1989.

My Commission Expires: August 1, 1990  
Notary Public State of Florida  
Amulye

MORTGAGE  
KNOW ALL MEN BY THESE PRESENTS: That The Northwestern Mutual Life Insurance Company, a Wisconsin corporation, owner and holder of that certain mortgage recorded on July 3, 1989 in Official Records Book 6571 at Page 728 of the Public Records of Broward County, Florida, does hereby consent to this Plat and joins in the above dedication.

In Witness Whereof: The Northwestern Mutual Life Insurance Company, a Wisconsin corporation, has caused these presents to be signed in its corporate name by its Vice President and its corporate seal to be herewith affixed and attested by its Asst. Secretary this 17th day of August, A.D., 1989.

The Northwestern Mutual Life Insurance Company  
A Wisconsin Corporation

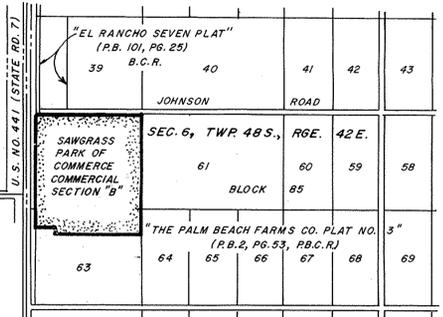
Attest: Gary M. Hewitt By: Carson D. Keyes  
Name: Gary M. Hewitt Name: Carson D. Keyes  
Title: Asst. Secretary Title: Vice President

ACKNOWLEDGEMENT  
State of Wisconsin )  
County of Milwaukee ) ss

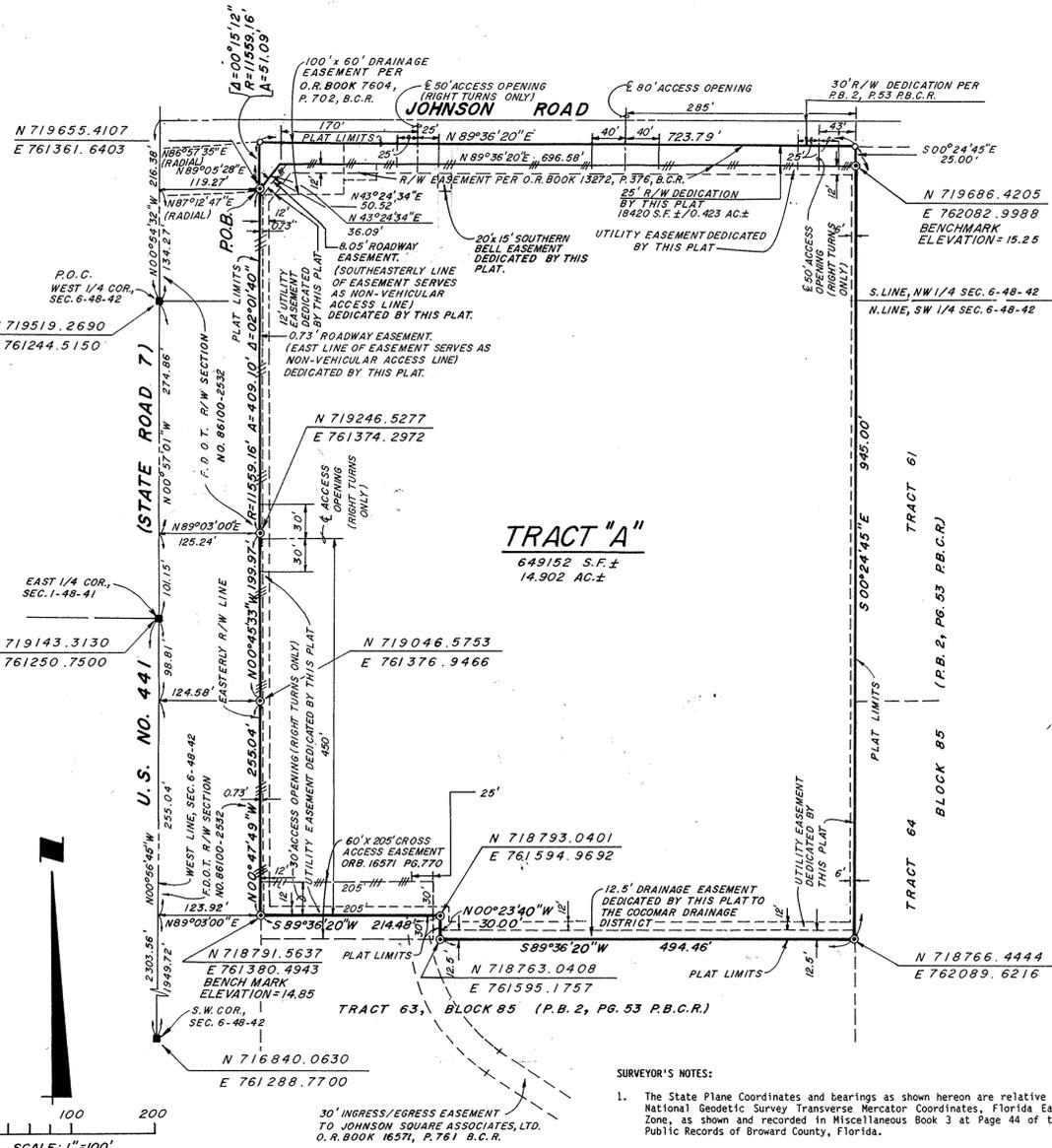
I hereby certify that on this day personally appeared before me an officer duly authorized to administer oaths and take acknowledgements, Carson D. Keyes and Gary M. Hewitt, Vice President and Asst. Secretary respectively, to me well known to be officers herein described and who executed the foregoing instrument and acknowledged the execution thereof to be their free act and deed as such officers for the purposes therein described.

Witness: My hand and official seal at Milwaukee County, Wisconsin this 17th day of August, A.D. 1989.

My commission expires: January 26, 1992  
Date  
Carson D. Keyes  
Notary Public State of Wisconsin



Street Name	Square Feet ±	Acres ±
Johnson Road	18420	0.423



- SURVEYOR'S NOTES:
- The State Plane Coordinates and bearings as shown hereon are relative to National Geodetic Survey Transverse Mercator Coordinates, Florida East Zone, as shown and recorded in Miscellaneous Book 3 at Page 44 of the Public Records of Broward County, Florida.
  - The bearings as shown hereon are based on Miscellaneous Plat Book 3 at Page 44 of the Public Records of Broward County, Florida.
  - ⊙ Denotes Permanent Reference Monument
  - Denotes Permanent Control Point
  - Denotes Non-Vehicular Access Line
  - There may be additional restrictions that are not recorded on this Plat that may be found in the Public Records of this County.
  - P.B.C.R. Palm Beach County Records.
  - B.C.R. Broward County Records.
  - Broward County Benchmark reference: Broward County Engineering Division - Benchmark BC1320, a 1/2" iron pipe in center line of N.W. 62nd Terrace at the north edge of pavement of Holsberg Road. Elevation = 17.035.

SURVEYOR'S CERTIFICATE:  
WE HEREBY CERTIFY: that the attached Plat is a true and correct representation of the land recently surveyed, subdivided and platted under our responsible direction and supervision, that the survey data shown conforms to the applicable requirements of Chapter 177, Florida Statutes, and with the applicable sections of Chapter 21, H.S., Florida Administrative Code. The permanent reference monuments (PRMs) were set in accordance with section 177.091 of said Chapter 177, on this 17th day of JULY, 1989. The benchmarks shown are referenced to the National Geodetic Vertical Datum (N.G.V.D.) of 1929 in conformity with standards adopted by the National Ocean Survey for third order control standards.

Permanent Control Points (P.C.P.'s) will be set within one year of the date this Plat is recorded or prior to the expiration of the bond or other surety insuring construction of the required subdivision improvements.

POST, BUCKLEY, SCHUH & JERNIGAN, INC.  
Date: JULY 17th, 1989  
Carlos M. del Valle  
Carlos M. del Valle, PLS  
Professional Land Surveyor No. 4408  
State of Florida

CITY OF COCONUT CREEK  
PLANNING AND ZONING BOARD  
This is to certify that this plan has been approved by the Planning and Zoning Board of the City of Coconut Creek, Florida, this 11 day of January, A.D., 1989.

By: David Johnson  
Chairman

CITY COUNCIL  
This is to certify that this plat has been approved for record by the City Council of the City of Coconut Creek by Ordinance No. 126-89 adopted this 22 day of June, A.D. 1989, pursuant to Ordinance No. 120-87.

By: Carol A. Bunker  
City Clerk

CITY ENGINEER  
This plat has been approved for record this 7th day of Sept., A.D., 1989.

By: W. J. ...  
City Engineer  
Florida P.E. Reg. No. 35147

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT,  
COUNTY RECORDS DIVISION - MINUTES SECTION

This is to certify that this Plat complies with the provisions of Chapter 177, Florida Statutes, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this 7th day of November, A.D., 1989.

Attest: L.A. Hester County Administrator  
By: Marilyn McPhail Deputy  
By: W. J. ... Chairman  
County Commission



BROWARD COUNTY ENGINEERING DIVISION  
This Plat is hereby approved and accepted for record.

By: Henry P. Cook 7-2-89  
Henry P. Cook Date  
Director of Engineering  
Fla. P.E. Reg. No. 12506

BROWARD COUNTY OFFICE OF PLANNING  
This Plat is hereby approved and accepted for record.

By: Donald L. Knolly June 13, 1990  
Director Date

BROWARD COUNTY PLANNING COUNCIL  
This is to certify that the Broward County Planning Council approved this plat subject to its compliance with dedication of rights-of-way for trafficways by resolution adopted this 22nd day of May, 1989.

By: Jan Cook 12-8-89 Date  
Chairperson

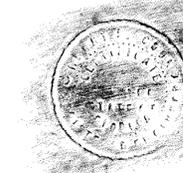
This plat complies with the resolution of the Broward County Planning Council of the above date and is approved and accepted for record this 12th day of June, 1989.

By: Michael S. ...  
Administrator or Designee

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT  
COUNTY RECORDS DIVISION - RECORDING SECTION  
This instrument was filed for record this 16 day of July, A.D., 1989 and recorded in Plat Book 144, Page 32, record verified.

Attest: L.A. Hester County Administrator  
By: Sherry DeCarlo Deputy

BROWARD COUNTY PLAT RESTRICTIONS  
This Plat is restricted to 120,000 square feet of commercial use. This note is required by Chapter 5, Article IX, Broward County Code of Ordinances and may be amended by agreement with Broward County. The notations and any amendments thereto are solely indicating the approved development level for property located within the plat and do not operate as a restriction in favor of any property owner including an owner or owners of property within this plat who took title with reference to this plat.



JOHNSON SQUARE, INC. GENERAL PARTNER OF JOHNSON SQUARE ASSOCIATES, LTD. CORPORATE SEAL

AS TO JOHNSON SQUARE, INC. GENERAL PARTNER OF JOHNSON SQUARE ASSOCIATES, LTD. NOTARY PUBLIC SEAL

NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY CORPORATE SEAL

AS TO NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY NOTARY PUBLIC SEAL

CITY OF COCONUT CREEK OFFICIAL CITY SEAL

CITY OF COCONUT CREEK CITY ENGINEER'S SEAL

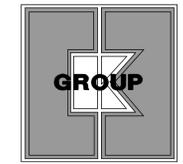
BROWARD COUNTY, FLORIDA OFFICIAL SEAL

CARLOS M. DEL VALLE, PLS PROFESSIONAL LAND SURVEYOR NO. 4408 SURVEYOR'S OFFICIAL SEAL



0.2.R.K. 17565 W. 458

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE RESTAURANT GROUP, LLC
BASE VERSION:	XXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE:	2016 R3



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 102  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE: USB NRE 55  
NEW

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
△	5/1/2018	

ISSUE DATE: 05/12/2017  
PROJECT NUMBER: 1493  
DRAWN BY: R. C.  
CHECKED BY: E. C.

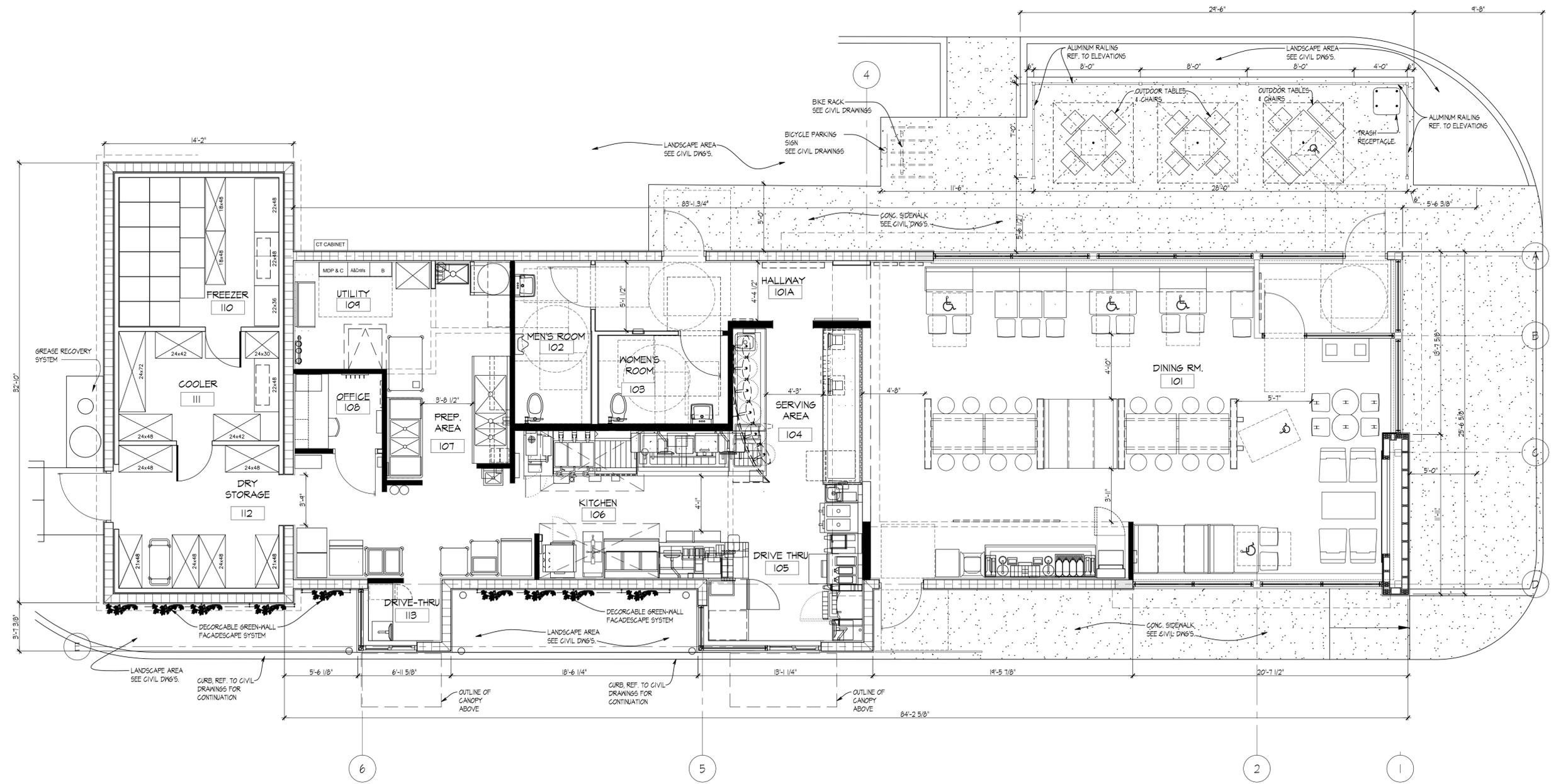
SEAL

EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
CKE GROUP, INC. COA-4432

SHEET NAME  
FLOOR PLAN

SHEET NUMBER

**A1.1**



FLOOR PLAN  
SCALE: 1/4"=1'-0"





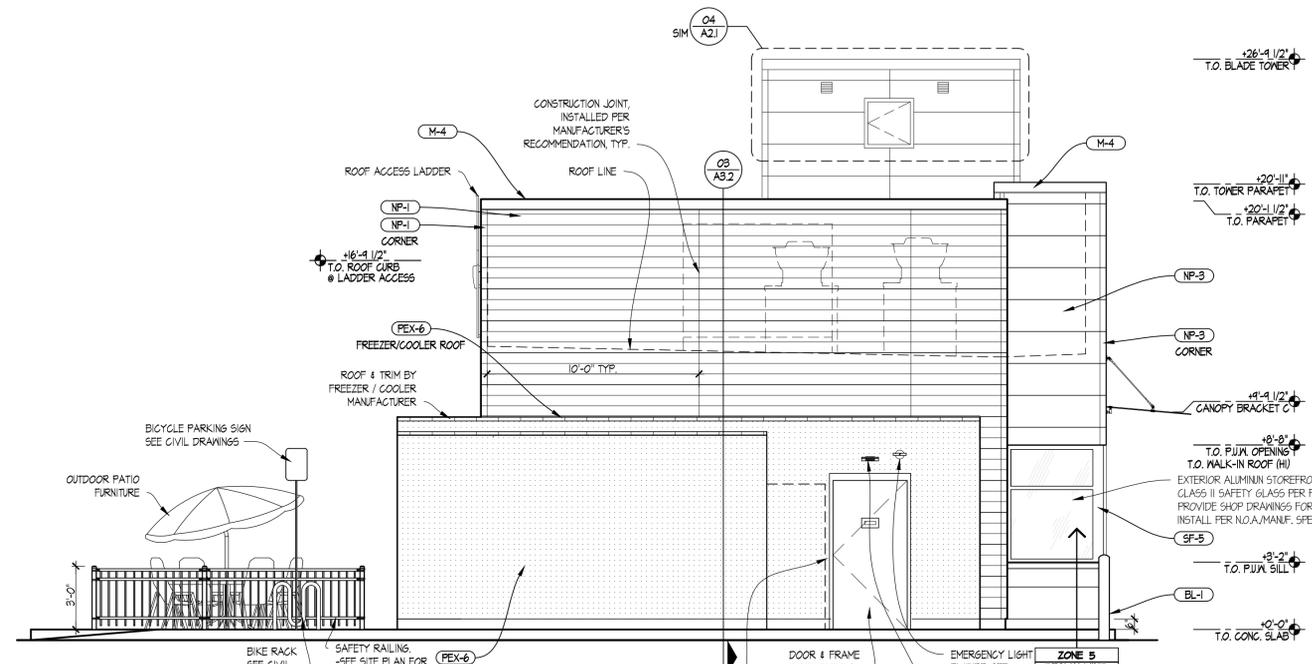
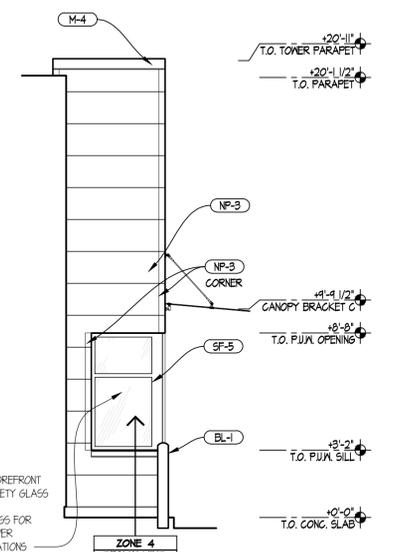
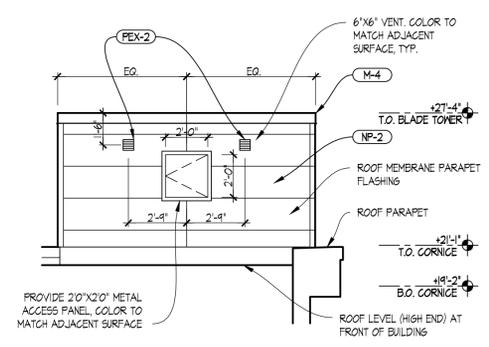
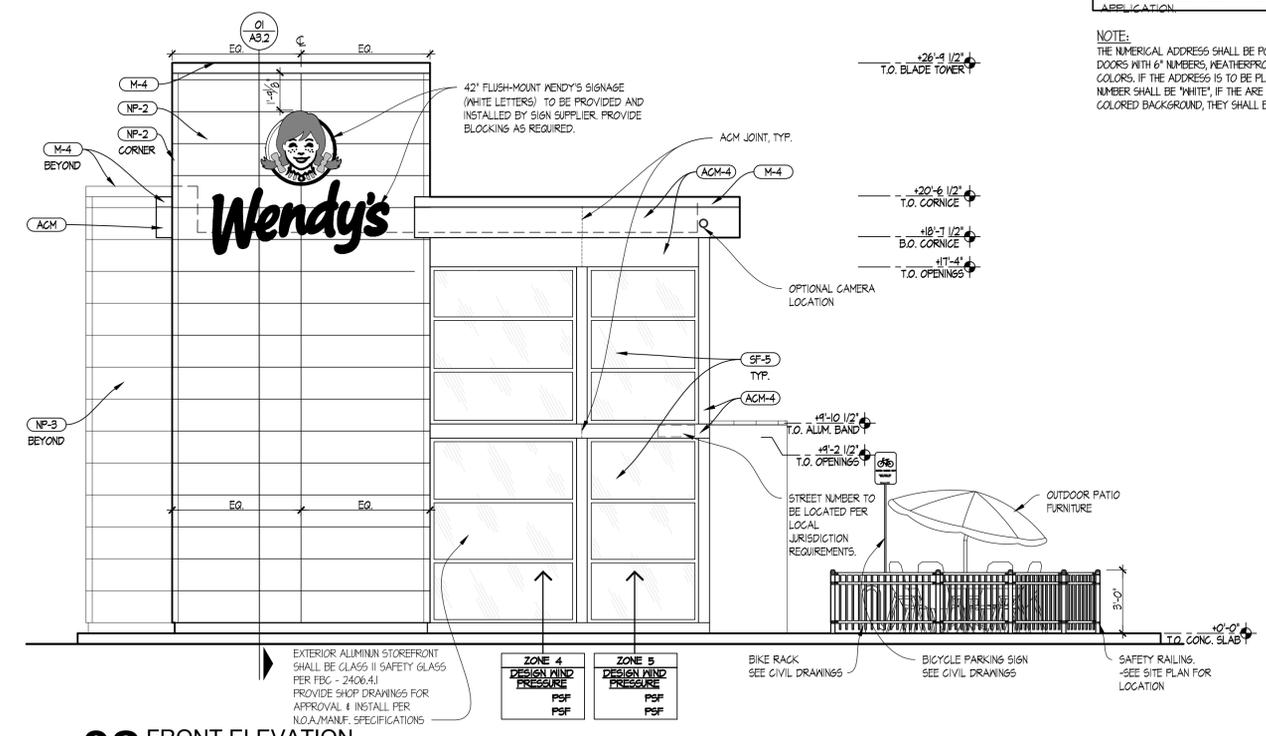
### EXTERIOR FINISHES LEGEND

NOTE: REFER TO SHEET A6.1 FOR SPECIFICATIONS OF EXTERIOR MATERIALS AND FINISHES.

- (BL-1) PLASTIC BOLLARD SLEEVE
- (NP-1) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA VINTAGE WOOD SERIES - CEDAR)
- (NP-2) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - BLAZE)
- (NP-3) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - KNIGHTS ARMOR)
- (M-2) CORRUGATED METAL PANEL
- (M-4) PARAPET CAP (ANODIC CLEAR)
- (SF-5) ALUMINUM STOREFRONT SYSTEM
- (ACM-4) MODULAR SOFFIT/FASCIA
- (FUM) PICKUP WINDOW
- (PEX-1) WENDY'S DARK BRONZE
- (PEX-2) PAINT (COLOR: WENDY'S EXTERIOR RED)
- (PEX-6) PAINT (COLOR: WENDY'S DARK BRONZE - COOLER BOX ONLY)

NOTE: ALL EXTERIOR AWNING AND EXTERIOR BUILDING SIGNS TO BE SUBMITTED FOR REVIEW AND APPROVAL UNDER SEPARATE PERMIT APPLICATION.

NOTE: THE NUMERICAL ADDRESS SHALL BE POSTED ON ALL EXTERIOR DOORS WITH 6" NUMBERS, WEATHERPROOF, AND CONTRASTING COLORS. IF THE ADDRESS IS TO BE PLACED ON A WINDOW THE NUMBER SHALL BE "WHITE" IF THE ARE TO BE ON A LIGHT COLORED BACKGROUND, THEY SHALL BE "BLACK".



SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE RESTAURANT GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE:	2016 R3



PROJECT TYPE:	USB NRE 55 NEW
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**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-

ISSUE DATE:	02/22/2017
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.
SEAL:	

EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
CKE GROUP, INC. COA-4432

SHEET NAME  
EXTERIOR ELEVATIONS

SHEET NUMBER

**A2.2**

SITE NUMBER: 11970  
 BASE MODEL: USB NRE 55 R3  
 ASSET TYPE: FRANK  
 CLASSIFICATION: NEW  
 OWNER: JAE RESTAURANT GROUP, LLC  
 BASE VERSION: XXXXXXXX  
 UPGRADE CLASSIFICATION: CORP. NEW BUILD  
 PROJECT YEAR: 2017  
 FURNITURE PACKAGE: 2016 R3  
 DRAWING RELEASE: 2016 R3



**CKE GROUP**  
 INCORPORATED  
 3000 WEST BAYVIEW AVENUE  
 SUITE 100  
 DALLAS, TEXAS 75225  
 FAX: 972.382.1000  
 WWW.CKEGROUP.COM

PROJECT TYPE: USB NRE 55  
 NEW

**Wendy's**  
 US 441 & JOHNSON ROAD  
 Store # 11670  
 Coconut Creek, Florida

DATE: 5/1/2016  
 PROJECT NUMBER: 1493  
 DRAWN BY: E.C.  
 CHECKED BY: E.C.  
 DATE: 05/10/17

DESIGNED BY: Eduardo L. Carcache P.E.  
 ARCHITECT: Eduardo L. Carcache P.E.  
 GROUP, INC. 3040 E. 19th St.  
 Pompano Beach, FL 33062  
 P.O. Box 1414  
 Pompano Beach, FL 33062-0141  
 DATE: 2016.05.02 17:12:19  
 EDUARDO L. CARCACHE, P.E. 31914  
 ANA M. GONZALEZ, P.E. 31914  
 JOE GROUP, INC. 030442

SHEET NAME: COLOR EXTERIOR ELEVATIONS

**A2.1**

**EXTERIOR FINISHES LEGEND**  
 NOTE: REFER TO SHEET A1 FOR SPECIFICATIONS OF EXTERIOR MATERIALS AND FINISHES  
 (E5) TYPIC BUILDING SLAB  
 (E6) CONCRETE  
 (E7) BASE OF DESIGN - WOOD VINYL FLOOR BOARD - CEDAR  
 (E8) FIBER JOINT WALL PANEL - HIGH-IMPACT LUMINATION SERIES - BLAZE  
 (E9) FIBER JOINT WALL PANEL - HIGH-IMPACT LUMINATION SERIES - BLAZE  
 (E10) BASE OF DESIGN - HIGH-IMPACT LUMINATION SERIES - BLAZE  
 (E11) CONCRETE METAL PANEL  
 (E12) ALUMINUM STOREFRONT SYSTEM  
 (E13) ALUMINUM STOREFRONT SYSTEM  
 (E14) FINISHES CAP ANCHOR CLEAN  
 (E15) MODULAR SLOTTED FASCIA  
 (E16) POLYURETHANE  
 (E17) WENDY'S DARK BRONZE  
 (E18) WENDY'S DARK BRONZE  
 (E19) PAINT COLOR: WENDY'S DARK BRONZE - COLOUR BOX 0671





**EXTERIOR FINISHES LEGEND**

- NOTE: REFER TO SHEET A6.1 FOR SPECIFICATIONS OF EXTERIOR MATERIALS AND FINISHES.
- (BL-1) PLASTIC BOLLARD SLEEVE
  - (WP-1) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA VINTAGE WOOD SERIES - CEDAR)
  - (WP-2) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - BLAZE)
  - (WP-3) FIBER CEMENT WALL PANEL (BASIS OF DESIGN - NICHIA ILLUMINATION SERIES - KNIGHTS ARMOR)
  - (M-2) CORRUGATED METAL PANEL
  - (M-4) PARAPET CAP (ANODIC CLEAR)
  - (SF-5) ALUMINUM STOREFRONT SYSTEM
  - (ACM-4) MODULAR SOFFIT/ FASCIA
  - (FUM) PICKUP WINDOW
  - (PEX-1) WENDY'S DARK BRONZE
  - (PEX-2) PAINT (COLOR: WENDY'S EXTERIOR RED)
  - (PEX-6) PAINT (COLOR: WENDY'S DARK BRONZE - COOLER BOX ONLY)

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE RESTAURANT GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



PROJECT TYPE: USB NRE 55 NEW



**Wendy's.**  
 Store # 11670  
 US 441 & JOHNSON ROAD  
 Coconut Creek, Florida

REV.	DATE	DESCRIPTION
1	5/1/2016	
2		
3		
4		

ISSUE DATE: 06/12/2017  
 PROJECT NUMBER: 1493  
 DRAWN BY: R. C.  
 CHECKED BY: E. C.

SEAL

EDUARDO L. CARGACHE, PE 31914  
 ANA A. GONZALEZ VALDES, AR 97769  
 CKE GROUP, INC. COA-4432

SHEET NAME:  
**COLOR EXTERIOR ELEVATIONS**

SHEET NUMBER

**A2.1**





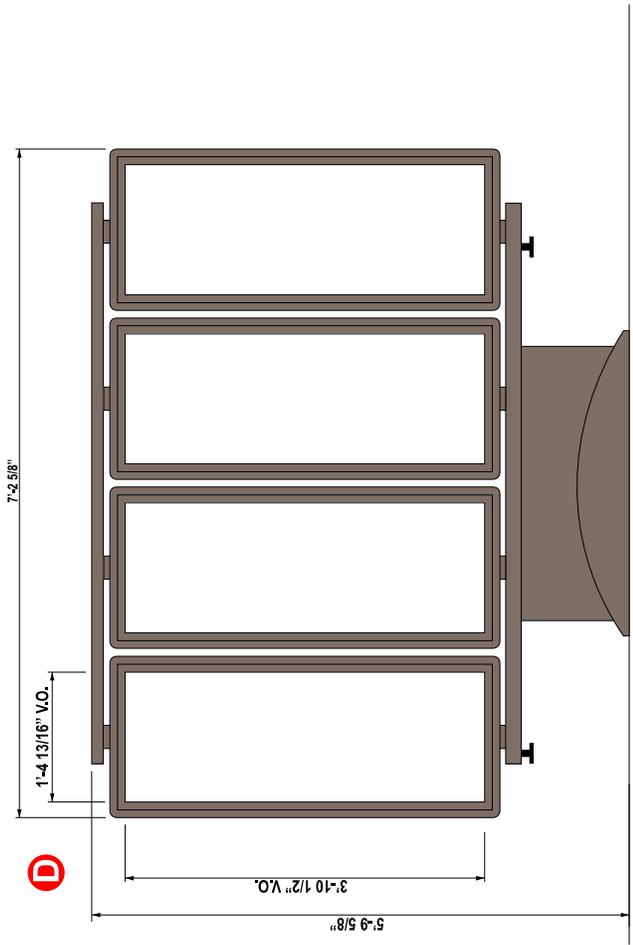




<b>CLIENT:</b> WENDY'S		<b>LOCATION:</b> COCONUT CREEK, FL		<b>ACCOUNT REF:</b> LUCIE	
<b>STORE #:</b> 11670		<b>SCALE:</b> AS NOTED		<b>DRAWING #:</b> WENDYS-COCONUT CREEK FL #11670	
<b>DATE:</b> 2-28-17		<b>REV #:</b> R7 8-6-18 ABS		<b>DRAWN BY:</b> Amy Burns	

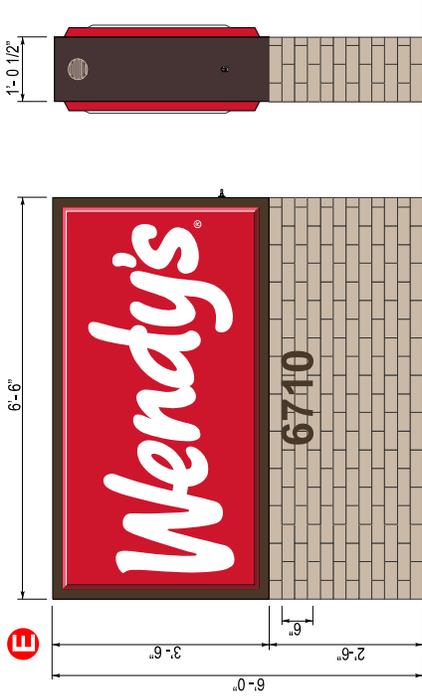
**I.D. ASSOCIATES**  
 1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303  
 PH (888) 303-5534 - FAX (334) 836-1401  
 www.idassociatesinc.com

DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.



**MODEL U0802-RM3000**

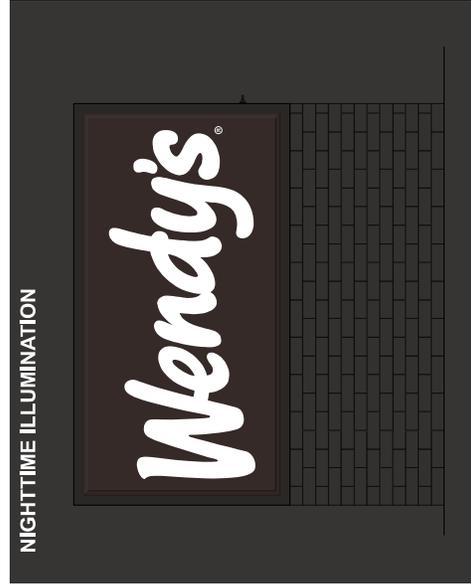
**NOTES:**  
 Double faced internally illuminated menu board with  
 4 exterior menu board cabinets with Magnatrac menu strip system  
 5.4 SFT per cabinet/21.6 SFT total graphic area.



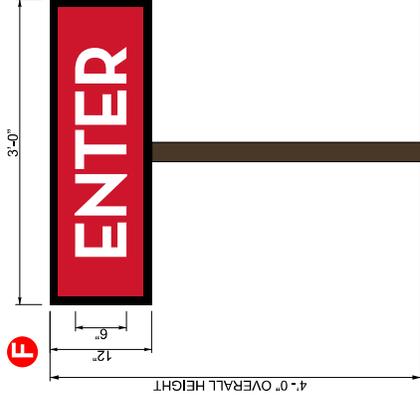
**INTERNALLY ILLUMINATED DOUBLE FACE MONUMENT (SEE CODE NOTE)**

2" Retainers, Aluminum Cabinet Construction  
 Main cabinet illuminated with fluorescent lamps.  
 Background of main Wendy's faces to be processed opaque and non-illuminated.  
 Only Wendy's copy to illuminate. Clear Polycarbonate Panned & Embossed Faces  
 Vinyl Graphics Second Surface  
 Brick Base To Match Building, Brick By Others  
 6" flat cut out aluminum address numbers pin mounted to base. Numbers to be painted dark bronze

**SIGN FACE - 22.75 SQ. FT.  
 MONUMENT OVERALL - 39 SQ. FT.  
 60% OF OVERALL - 23.4 SQ. FT.**



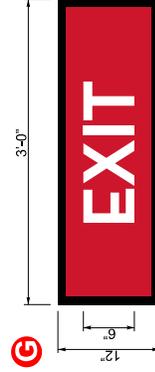
**CODE:**  
 Only the cameo head & Wendy's letters are to be illuminated.  
 The background of the monument faces must be opaque.



**INTERNALLY ILLUMINATED DIRECTIONAL**

- Double Face / 1" Retainers
- Aluminum Cabinet Construction
- Illuminated with LEDs
- Clear Polycarbonate Faces
- Faces back sprayed 186C red
- 3 Square Feet

**NOTE:  
 CONCRETE FOUNDATION  
 IS SITE SPECIFIC**



CLIENT: WENDY'S	SCALE: 1/2" = 1'-0"	DRAWING #: WENDY'S-COCONUT CREEK FL #11670	REV #: R7 8-6-18 ABS
LOCATION: COCONUT CREEK, FL	STORE #: 11670	DRAWN BY: Amy Burns	DATE: 2-28-17
ACCOUNT REF: LUCIE			

DARK BRONZE BACKGROUND	PMS 186C RED	PMS 298C BLUE	PMS 201C DARK RED	PMS 89C FLESH	PMS 49C BROWN	WHITE
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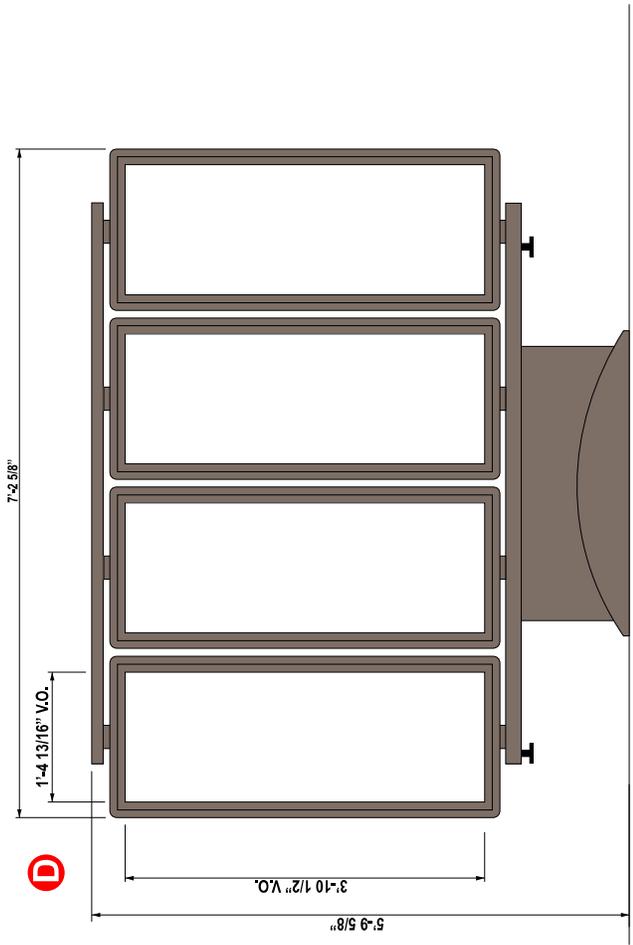
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CLIENT:	WENDY'S	STORE #:	11670	DRAWN BY:	<i>Amy Burns</i>
LOCATION:	COCOONUT CREEK, FL	SCALE:	AS NOTED	DATE:	2-28-17
ACCOUNT REF:	LUCIE	DRAWING #:	WENDYS-COCOONUT CREEK FL #11670	REV #:	R7 8-6-18 ABS

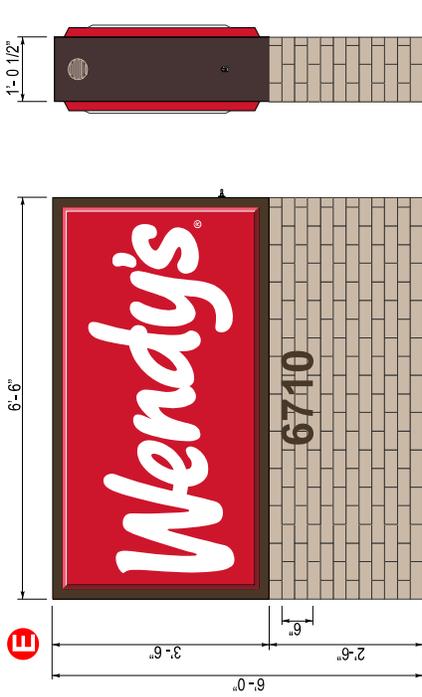
 I.D. ASSOCIATES  
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**MODEL U0802-RM3000**

**NOTES:**  
 Double faced internally illuminated menu board with  
 4 exterior menu board cabinets with Magnatrac menu strip system  
 5.4 SFT per cabinet/21.6 SFT total graphic area.

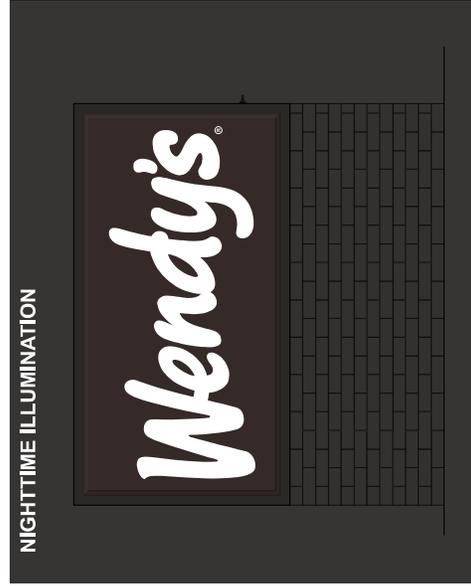
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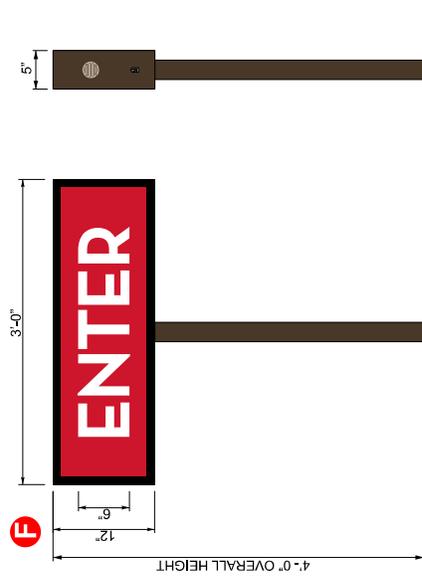
**INTERNALLY ILLUMINATED DOUBLE FACE MONUMENT (SEE CODE NOTE)**

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 Vinyl Graphics Second Surface  
 Brick Base To Match Building, Brick By Others  
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**SIGN FACE - 22.75 SQ. FT.  
 MONUMENT OVERALL - 39 SQ. FT.  
 60% OF OVERALL - 23.4 SQ. FT.**



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- Aluminum Cabinet Construction
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 CONCRETE FOUNDATION  
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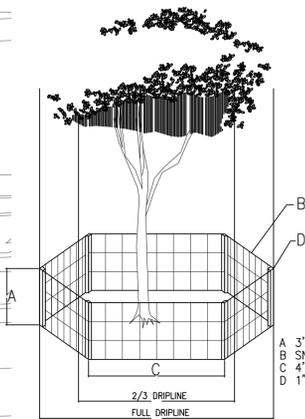
CLIENT: WENDY'S	SCALE: 1/2" = 1'-0"	DRAWING #: WENDY'S-COCONUT CREEK FL #11670	REV #: R7 8-6-18 ABS
LOCATION: COCONUT CREEK, FL	STORE #:	DATE: 2-28-17	
ACCOUNT REF:			
DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.			

DARK BRONZE BACKGROUND	PMS 186C RED	PMS 298C BLUE	PMS 201C DARK RED	PMS 898C FLESH	PMS 498C BROWN	WHITE
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"ALL EXISTING, PROTECTED TREES TO REMAIN; AND SHALL BE PROTECTED DURING DEMOLITION" (BY GENERAL CONTRACTOR)

U.S. 441 (S.R. 7)

U.S. 441 (S.R. 7)



TREE BARRICADE DETAIL

PROTECTION FROM CONSTRUCTION WORK

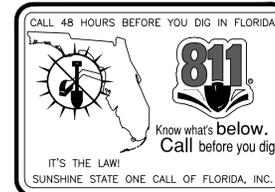
DURING ANY CONSTRUCTION, LAND DEVELOPMENT OR LOT CLEARING, THE CONTRACTOR AND THE OWNER OF THE PROPERTY SUBJECT TO THIS SECTION SHALL ADHERE TO THE REQUIREMENTS WHICH FOLLOW:

- GENERAL CONTRACTOR TO PREPARE FINAL RELOCATION SITES FOR TREES THAT ARE PROPOSED TO BE RELOCATED. TREES ARE ONLY TO BE MOVED ONCE AND SHALL HAVE TREE BARRICADES IN PLACE THE ENTIRE DURATION OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL GRADE AND FILL ALL TREE & PALM HOLES ONCE TREES & PALMS ARE REMOVED AND OR RELOCATED.
- LANDSCAPE AND LAWN IRRIGATION, TREE REMOVAL & RELOCATION PERMITS SHALL BE REQUIRED.
- A PREPLANTING MEETING SHALL BE HELD WITH THE CITY LANDSCAPE DEPARTMENT PRIOR TO ANY INSTALLATION.
- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS MATERIAL SUCH AS LEAVES, OR WOOD SHAVINGS. WATERING SHALL BE DONE ON A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREES SHALL BE LIGHTLY PRUNED BY HAND. A ISA CERTIFIED ARBORIST SHALL ROOT PRUNE ANY AND ALL EXISTING TREES WITHIN PAVING/CURBING AREAS TO BE INSTALLED; VERIFY ON SITE WITH CITY LANDSCAPE DEPARTMENT PRIOR TO ANY INSTALLATION; FIELD VERIFY WITH GENERAL CONTRACTOR AS REQUIRED. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES W/ TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE. TRANSPLANT TREES W/ 60" TREE SPACE, AND 7' OR TREE GRAB. TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
- GENERAL CONTRACTOR SHALL REMOVE ALL ROAD ROCK, ASPHALT, DEBRIS, ETC. IN ALL LANDSCAPE AREAS TO A MIN. DEPTH OF 30" AND PROVIDE PLANTING SOIL AS REQUIRED (SEE SOIL SPECIFICATIONS).
- ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS NO DEEPER THAN THE FINAL GRADE SURROUNDING THE PLANTING AREA. (1'-4")
- PLACE A MAINTAIN PROTECTIVE BARRIERS AROUND THE DRIP LINE OF ALL TREES TO BE RETAINED ON THE SITE TO PREVENT THEIR DESTRUCTION OR DAMAGE. THE PROTECTIVE BARRIERS SHALL BE AT LEAST (4) FEET IN HEIGHT AND CONSPICUOUSLY COLORED TO BE SEEN EASILY BY OPERATORS OF TRUCKS AND OTHER EQUIPMENT. PROTECTIVE BARRIERS SHALL BE CONSTRUCTED OF STURDY MATERIAL (NOT FLAGGING OR RIBBONS) AND SHALL BE INSTALLED PRIOR TO AND DURING CONSTRUCTION/AND OR LAND DEVELOPMENT.
- NOT STORE OR USE MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE UNLESS THE ACTIVITY IS BEING DONE TO PROTECT THE TREES.
- NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE WITH ANY CONSTRUCTION MATERIALS SUCH AS PAINT, OIL, SOLVENTS, PETROLEUM PRODUCTS, ASPHALT, CONCRETE, MORTAR, OR OTHER MATERIALS THAT MAY CAUSE ADVERSE IMPACTS.
- CLEARING OF VEGETATION WITHIN THE DRIP LINE OF TREES DESIGNATED FOR PRESERVATION SHALL ONLY BE BY HAND OR LIGHT RUBBER WHEELED EQUIPMENT THAT WILL NOT DAMAGE THE TREE ROOTS; SAID EQUIPMENT SHALL BE A MAXIMUM OF FORTY-EIGHT (48) INCHES WIDE, TIRE TO TIRE, WITH A MAXIMUM WEIGHT OF THREE THOUSAND FIVE HUNDRED (3,500) POUNDS.
- UTILIZE RETAINING WALLS AND DRYWELLS WHERE NEEDED TO PROTECT TREES FROM SEVERE GRADE CHANGES.
- PRUNING OF TREES TO BE PRESERVED SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR PRUNING ESTABLISHED BY ANSI A-300.
- MAKE NO ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE AND NON-DAMAGING NATURE, TO THE TREE TO BE RETAINED ON THE SITE.
- NOT CHANGE THE NATURAL GRADE ABOVE THE ROOT SYSTEM WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE UNLESS IT CAN BE DEMONSTRATED TO THE CITY THAT IT WILL NOT DAMAGE ANY TREE.
- AVOID ANY ENCROACHMENTS, EXCAVATIONS OR SEVERE GRADE CHANGES WITHIN THE DRIP LINE OF PRESERVED TREES UNLESS IT CAN BE DEMONSTRATED TO THE CITY THAT IT WILL NOT IMPACT ANY TREE; NOTE: POSITION RELOCATION TREE NUMBERS 35 & 36 TO PROVIDE REQUIRED LOWER TRUNK BRANCHING CLEARANCE OF THESE TREES FOR THE TRELLIS AT SIDEWALK AREA AS SHOWN, SEE CIVIL TRELLIS PLAN.
- NOT CAUSE SOIL COMPACTION WITHIN THE DRIP LINE OF ANY TREE TO BE RETAINED ON SITE; AND
- ANY TREES DESIGNATED TO BE PRESERVED WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED.

LEGAL DESCRIPTION

A PORTION OF TRACT "A", SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT "A"; THENCE ALONG THE WESTERLY BOUNDARY OF SAID TRACT "A", THE SAME BEING THE EAST RIGHT-OF-WAY OF STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441), FOR THE FOLLOWING FOUR (4) COURSES AND DISTANCES: (1) NORTH 47°49'W, A DISTANCE OF 255.04 FEET, (2) N00°45'33"W, A DISTANCE OF 199.97 FEET, (3) NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,559.16 FEET, AN ARC OF 32.67 FEET, A CHORD OF 32.67 FEET AND A CHORD BEARING OF N00°50'24"W TO THE POINT OF BEGINNING, (4) NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,559.16 FEET, AN ARC OF 202.37 FEET, A CHORD OF 202.36 FEET AND A CHORD BEARING OF N01°25'22"W, THENCE N89°36'20"E, ALONG A LINE LYING 200.00 FEET SOUTH OF AND PARALLEL TO THE NORTH BOUNDARY OF SAID TRACT "A", A DISTANCE OF 177.16 FEET; THENCE S00°23'18"E, A DISTANCE OF 202.33 FEET; THENCE S89°36'20"W, A DISTANCE OF 173.51 FEET TO THE POINT OF BEGINNING, CONTAINING 35,416 SQUARE FEET OR 0.81 ACRES, MORE OR LESS.



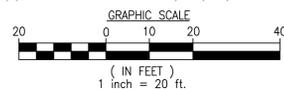
X = TO BE REMOVED; EXOTIC CAT. I INVASIVE SPECIES  
\* = TO BE RELOCATED; SEE LANDSCAPE PLAN L-1 FOR ADDITIONAL INFO

EXISTING TREES & PALMS (FIELD VERIFY)

KEY	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	CONDITION
1	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (14" O CALIPER)	GOOD
2	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (14" O CALIPER)	GOOD
3	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (18" O CALIPER)	GOOD
4	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO REMAIN (20" O CALIPER)	GOOD
5	ROY	1	ROYSTONIA ELATA / FLORIDA ROYAL PALM	18'-20' X 18'	EXISTING TO REMAIN (14" O CALIPER)	GOOD
6	ROY	1	ROYSTONIA ELATA / FLORIDA ROYAL PALM	24'-25' X 18'	EXISTING TO REMAIN (18" O CALIPER)	GOOD
7	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	10'-12' X 8'	EXISTING TO REMAIN(X3) (3" O CALIPER)	GOOD
8	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	10'-12' X 8'	EXISTING TO REMAIN(X3) (3" O CALIPER)	GOOD
9	ROY	1	ROYSTONIA ELATA / FLORIDA ROYAL PALM	24'-25' X 18'	EXISTING TO BE RELOCATED (18" O CALIPER)	GOOD
10	BIS	1	BISMARCKIA NOBILIS / BISMARCK PALM	14'-15' X 15'	EXISTING TO REMAIN (18" O CALIPER)	GOOD
11	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	10'-12' X 8'	EXISTING TO REMAIN(X3) (3" O CALIPER)	GOOD
12	ROY	1	ROYSTONIA ELATA / FLORIDA ROYAL PALM	24'-25' X 18'	EXISTING TO REMAIN (18" O CALIPER)	GOOD
13	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	11'-12' X 8'	EXISTING TO REMAIN(X3) (3" O CALIPER)	GOOD
14	PHO	1	PHOENIX ROEBELLINI / PIGMY DATE PALM	11'-12' X 8'	EXISTING TO REMAIN(X3) (3" O CALIPER)	GOOD
15	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	20'-22' X 20'	EXISTING TO REMAIN (9" O CALIPER)	GOOD
16	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO REMAIN (9" O CALIPER)	GOOD
17	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22'-24' X 35'	EXISTING TO REMAIN (8" O CALIPER)	GOOD
18	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	24'-26' X 32'	EXISTING TO REMAIN (12" O CALIPER)	GOOD
19	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	32'-34' X 40'	EXISTING TO REMAIN (18" O CALIPER)	GOOD
20	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22'-24' X 35'	EXISTING TO REMAIN (8" O CALIPER)	GOOD
21	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	20'-22' X 20'	EXISTING TO REMAIN (9" O CALIPER)	GOOD
22	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 30'	EXISTING TO REMAIN (9" O CALIPER)	GOOD
23	CUP	1	CUPANIOPSIS ANACARDIODES / CARROTWOOD	20'-22' X 30'	(1) TO BE REMOVED (10" O CALIPER)	POOR/DAMAGES
24	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	35'-36' X 42'	EXISTING TO REMAIN (22" O CALIPER)	GOOD
25	CUP	1	CUPANIOPSIS ANACARDIODES / CARROTWOOD	20'-22' X 30'	(1) TO BE REMOVED (10" O CALIPER)	POOR
26	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO BE RELOCATED (7" O CALIPER)	GOOD
27	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO BE RELOCATED (7" O CALIPER)	GOOD
28	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	20'-22' X 35'	EXISTING TO REMAIN (8" O CALIPER)	GOOD
29	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	16'-18' X 22'	EXISTING TO REMAIN (8" O CALIPER)	GOOD
30	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	16'-18' X 20'	EXISTING TO REMAIN (6" O CALIPER)	GOOD
31	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	26'-28' X 28'	EXISTING TO BE RELOCATED (22" O CALIPER)	GOOD
32	LAU	1	QUERCUS LAURIFOLIA / LAUREL OAK	20'-22' X 28'	EXISTING TO BE RELOCATED (8" O CALIPER)	GOOD
33	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	24'-25' X 30'	EXISTING TO BE RELOCATED (8" O CALIPER)	GOOD
34	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	26'-28' X 35'	EXISTING TO BE RELOCATED (9" O CALIPER)	GOOD
35	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' X 35'	EXISTING TO BE RELOCATED (10" O CALIPER)	GOOD
36	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	24'-26' X 32'	EXISTING TO BE RELOCATED (12" O CALIPER)	GOOD

EXISTING TREE DISPOSITION PLAN

1"=20'-0"



Richard Bartlett Landscape, Inc.  
14417 Stirrup Lane  
Wellington, FL 33414  
Tel: (561) 795-0443  
Landscape Architecture LC260000352  
Michael E. Rawls RL#0001653  
EMAIL: planner@bartsurf.com

GROUP

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 626-0619

Wendy's

REV. DATE DESCRIPTION

1.1-19-17 CITY COMMENTS

2.5-15-17 CITY COMMENTS

3.5-01-18

4.7-30-18 CITY COMMENTS

ISSUE DATE: 02/10/2016

PROJECT NUMBER: RBL#16-04-2066 1493

DRAWN BY: RICK BARLETT R.C.

CHECKED BY: RGS/NER E.C.

SEAL

REVISIONS

SHEET NAME

TREE DISPOSITION

SHEET NUMBER

**TS-1**



# U.S. 441 (S.R. 7)

U.S. 441 (S.R. 7)

## LEGAL DESCRIPTION

A PORTION OF TRACT "A", SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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NOTE: ZONE RUN TIME ACTIVITY SHALL BE 25 MINUTES FOR THE FIRST 30 DAYS (EXCEPT FRIDAYS) FOR THE ESTABLISHMENT OF THE PLANT MATERIALS, AFTER THE ESTABLISHMENT OF PLANT MATERIAL THE ZONES SHALL RUN A MAXIMUM OF 20 MINUTES EACH ZONE TWICE WEEKLY OR AS DIRECTED BY THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RESTRICTION REQUIREMENTS.

## IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	AREA	GPM	PRECIPITATION
TORO SPRY NOZZLES 570 W/ 6" & 12" (BED AREAS) SPRINKLER BODY				
■	CENTER STRIP - 4' CST	4'x30'	1.20	.68 IN/H
▲	HALF - 15' H	15' RAD	2.00	1.29 IN/H
▲	QUARTER - 15' Q	15' RAD	1.00	1.17 IN/H
▲	END STRIP - 4' EST	4'x15'	0.60	.34 IN/H
▲	TORO SERIES S700 GEAR DRIVEN ROTARY SPRINKLER	42' RAD	3.50	1.93 IN/H
□	SIDE STRIP - 4' SST	4'x30'	1.45	.75 IN/H
●	FULL - 15' F	15' RAD	4.00	1.95 IN/H
□	2 HP STARTE SELF PRIMING PUMP, MODEL #DHJ, DELIVERING 55 GPM @ 35 PSI OR EQUIVALENT 220 VOLT (OR EQUAL) W/ PUMP START			
⊗	TORO SERIES LOW VOLTAGE CONTROL VALVES 1" & 1 1/2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED			
—	1 1/2" SCH. 40 PVC MAIN LINE AS SHOWN			
—	RAIN BIRD ESP-SMT® WATER SENSE CERTIFIED 12 ZONE TIME CONTROLLER RAIN SWITCH READY 220/24 VOLT			
—	TORO RAIN SWITCH MODEL # 850-74			
⊕	2" WELL SUPPLY (WATER PERMIT BY OTHERS)			
⊞	RUST CONTROL DEVICE-SEE SPECIFICATIONS SHEET-DETAIL #1			

## SEE DETAIL #1 ON SPECIFICATION SHEET

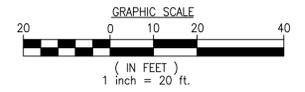
ZONE	1	2	3	4	5	6	7	8	9	10	11
# HEADS	14	17	15	10	20	14	11	15	12	21	-
G.P.M.	24.00	23.00	24.00	24.00	25.40	23.00	22.00	31.00	21.00	33.00	-

## NOTES

- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC LAWN IRRIGATION SYSTEM USING POP UP HEADS; SYSTEM SHALL GUARANTEE 100% COVERAGE & A 50% MIN. OVERLAP; SYSTEM SHALL HAVE A RAIN SENSOR DEVICE THAT WILL OVERRIDE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. HOURS OF OPERATION SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY; OR ANY RESTRICTIONS BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
- WATER SOURCE SHALL BE FROM A PUMP & WELL SYSTEM SUPPLIED BY OWNER.
- WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/ OR BE DESIGNED OR INSTALLED TO THROW WATER OVER AN IMPERVIOUS SURFACE SUCH AS A SIDEWALK, DRIVE, ETC..
- GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK-UP AS REQUIRED.
- HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.
- PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PBC V-A-1.:  
PIPE SIZE (INCHES) DEPTH OF COVER (INCHES)  
1/2-2 1/2 18"-24"  
3-5 24"-30"  
6 AND LARGER 30"-36"
- HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION. ALL RISERS SHALL BE PAINTED FLAT BLACK IF APPROVED.
- IRRIGATION CONTRACTOR TO SELECT NOZZLE SIZE BASED ON INTENDED THROW WITHIN 25% OF MAXIMUM DESIGN THROW.

## IRRIGATION PLAN

1"=20'-0"



RICHARD BARTLETT LANDSCAPE, INC.  
 14417 STIRRUP LANE  
 WELLINGTON, FL 33414  
 TEL: (561) 795-0443  
 LANDSCAPE ARCHITECTURE LC26000352  
 MICHAEL E. RAWLS RLJA#001633  
 EMAIL: planner@bartsouth.net

SEAL

Wendy's  
 S U I T E 1 0 6  
 S O U T H F L O R I D A  
 C R E D I T C O U N T Y

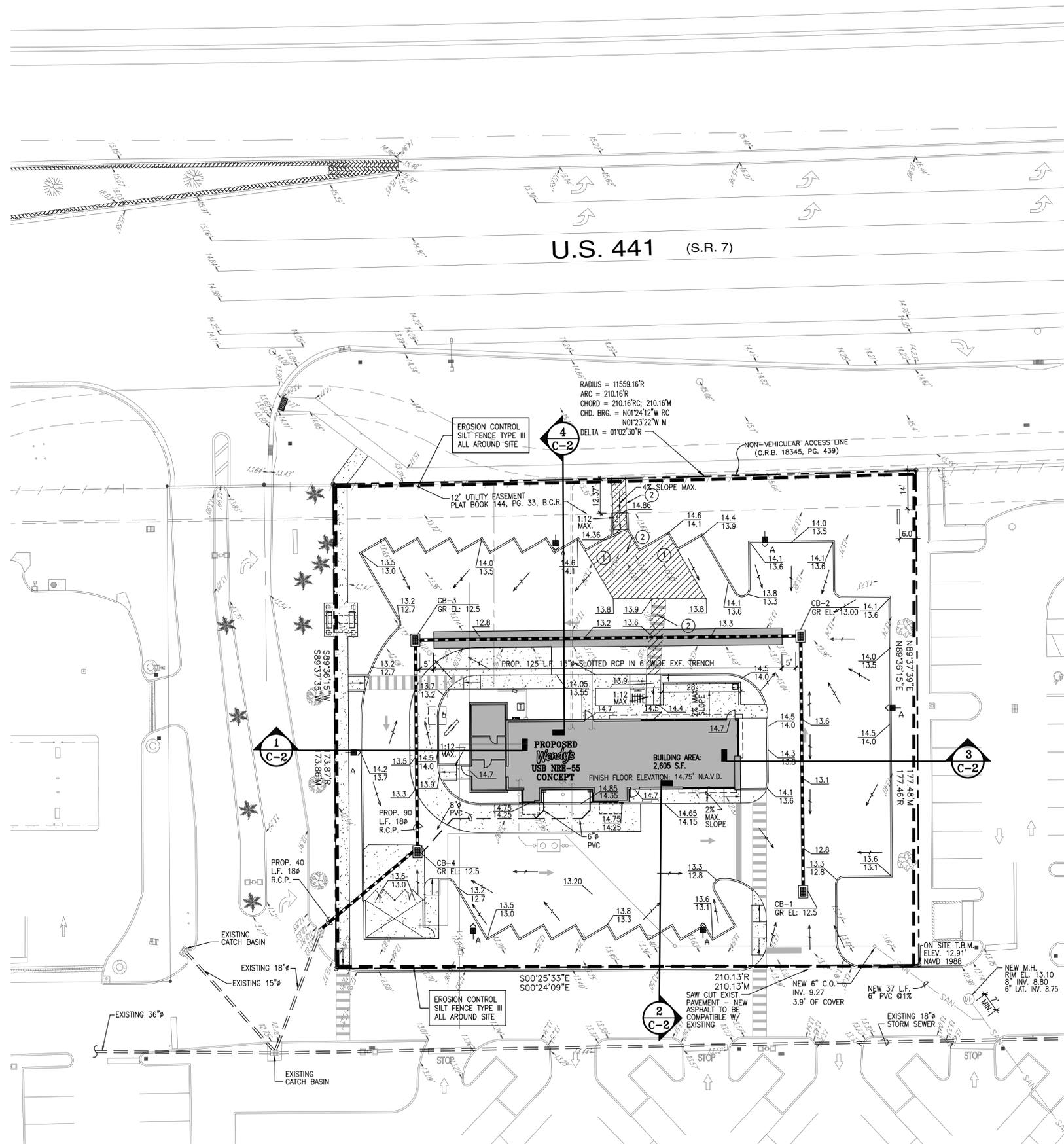
REV.	DATE	DESCRIPTION
1	19-17	CITY COMMENTS
2	5-15-17	CITY COMMENTS
3	05-01-18	
4	7-30-18	CITY COMMENTS

ISSUE DATE: 02/10/2016  
 PROJECT NUMBER: RBL16-04-2066 1493  
 DRAWN BY: RICK BARTLETT R.C.  
 CHECKED BY: ROB/MER E.C.

SHEET NAME  
 IRRIGATION

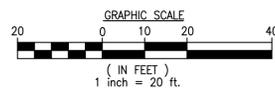
SHEET NUMBER  
**LP-3**





**PAVING AND DRAINAGE PLAN**

1"=20'-0"



**PROPOSED DRAINAGE SCHEDULE**

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-1	"E" (4'x4')	12.5				10.0'
CB-2	"E" (4'x4')	13.0		10.0*	10.0'	
CB-3	"E" (4'x4')	12.5	10.0*		10.0'	
CB-4	"E" (4'x4')	12.5		9.5**		9.5'

\* PROVIDE POLLUTION RETARDANT BAFFLE  
\*\* PROVIDE INVERTED BAFFLE (WEIR) TOP ELEV. 11.0'

**NOTES:**

- ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
- ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND THEN ACCEPTED BY THE CITY OF COCONUT CREEK ENGINEERING DIVISION AND TINDALL HAMMOCKS IRRIGATION AND SOIL CONSERVATION DISTRICT.
- STABILIZED SUBGRADE SHALL HAVE LIMEROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
- LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-478 AND 64T, AND CITY OF COCONUT CREEK ENGINEERING DEPARTMENT MINIMUM STANDARDS.
- CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
- ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
- ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
- REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS.
- ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF CITY OF COCONUT CREEK ENGINEERING DIVISION'S MINIMUM STANDARDS.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO CITY OF COCONUT CREEK ENGINEERING DIVISION FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY CITY OF COCONUT CREEK ENGINEERING DIVISION.
- THE CONTRACTOR SHALL PROVIDE TO THE CITY OF COCONUT CREEK ENGINEERING DIVISION WITH A CERTIFIED AS-BUILT SURVEY INDICATING GRADE ELEVATIONS AT TOP OF LIMEROCK BASE PRIOR TO PAVING.
- SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.



JOB SITE **LOCATION PLAN** N.T.S.

**LEGAL DESCRIPTION**

A PORTION OF TRACT "A", SAWGRASS PARK OF COMMERCE COMMERCIAL SECTION "B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 144, PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCING AT THE WESTERLY NORTHWEST CORNER OF SAID TRACT "A", SAID POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 7) AS SHOWN ON SAID PLAT AND ON THE ARC OF A CURVE CONCAVE WESTERLY, TO WHICH A RADIAL LINE BEARS NORTH 87°12'47" EAST; THENCE SOUTHERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, ON THE WESTERLY LINE OF SAID TRACT "A" AND ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,559.16 FEET, A CENTRAL ANGLE OF 0°51'46", FOR AN ARC DISTANCE OF 174.06 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°36'15" EAST ON A NON-RADIAL LINE 177.46 FEET; THENCE SOUTH 00°25'33" EAST 210.13 FEET; THENCE SOUTH 89°36'15" WEST ON A LINE NON-RADIAL TO THE FOLLOWING DESCRIBED CURVE 173.87 FEET TO THE INTERSECTION WITH THE AFOREMENTIONED EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 7), SAID WESTERLY LINE OF TRACT "A" AND A POINT ON SAID CURVE CONCAVE WESTERLY, TO WHICH A RADIAL LINE BEARS NORTH 89°07'03" EAST; THENCE NORTHERLY ON THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 11,559.16 FEET, A CENTRAL ANGLE OF 1°02'30", FOR AN ARC DISTANCE OF 210.16 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, CONTAINING 36,846 SQUARE FEET (0.8459 ACRES), MORE OR LESS.

**NOTES:**

- SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK.
- SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY. COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
- SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE.
- GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING. COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.
- ELEVATION SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM N.G.S. CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.) MIAMI WAAS 1 CORS ARP, MIAMI TINT CORS ARP AND WEST PALM CORS ARP USING THE ONLINE USER SERVICE (O.P.U.S.) ON APRIL 26, 2016. TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929) ADD 1.55 FEET.
- TRANSVERSE SLOPES OF PAVEMENT SHALL BE 2% MIN. FOR ROADWAYS & 1% MIN. FOR PARKING.
- LONGITUDINAL SLOPE OF PAVEMENT SHALL BE 0.4% MIN.

**LEGEND**

- PROP. DIRECTION OF DRAINAGE FLOW ARROW
- EXISTING ELEVATION
- PROP. TOP OF CURB & FINISHED GRADE ELEV.
- PROPOSED ELEVATIONS
- G.C. TO VERIFY MAX. 2% SLOPE AT HANDICAP SPACE AND ACCESSIBILITY ROUTE
- SLOPE ALONG ACCESS PATH NOT TO EXCEED 5% SLOPE ALONG PATH AND MAX. 2% CROSS SLOPE.

**ZONING: B-3 COMMUNITY SHOPPING DISTRICT**

**LAND USE: COMMERCIAL**

**BUILDING HEIGHT: 26-9 1/2"**

**SITE ANALYSIS**

	EXISTING	PROPOSED
TOTAL LAND AREA:	36,846.00 SQ. FT. (0.846± ACRES)	36,846.00 SQ. FT. (0.846± ACRES)
TOTAL BUILDING COVERAGE:	-	2,605.00 SQ. FT. (7.07 %)
TOTAL LANDSCAPED AREA:	8,056.38 SQ. FT. (21.87 %)	12,914.80 SQ. FT. (35.05 %)
TOTAL PAVED AREA & WALKS:	28,789.62 SQ. FT. (78.13 %)	21,326.20 SQ. FT. (57.88 %)
PERVIOUS AREA:	8,056.38 SQ. FT. (21.87 %) (0.185± ACRES)	12,914.80 SQ. FT. (35.05 %) (0.296± ACRES)
IMPERVIOUS AREA:	28,789.62 SQ. FT. (78.13 %) (0.661± ACRES)	23,931.20 SQ. FT. (64.95 %) (0.549± ACRES)

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXX
UPGRADE CLASSIFICATION:	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
16500 NEW BAYVIEW ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 828-0619

PROJECT TYPE: USB NRE 55 NEW

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
1	05-01-18	
2	07-18-18	

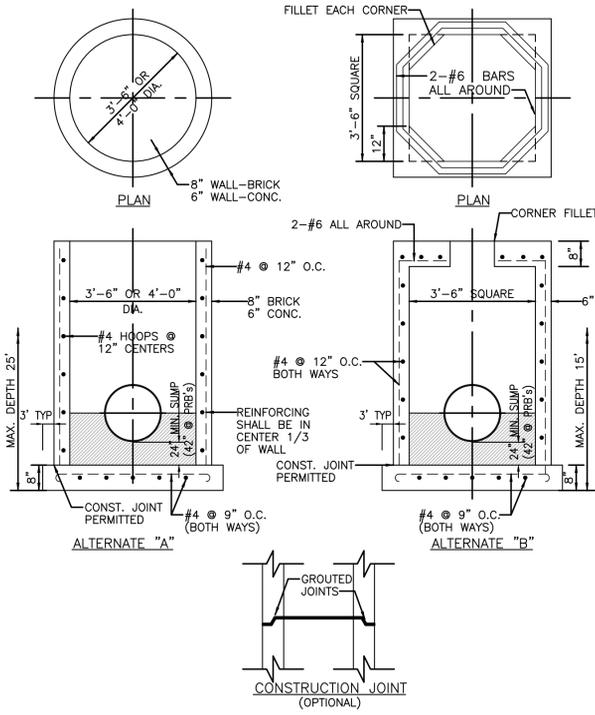
ISSUE DATE: 02/10/2016  
PROJECT NUMBER: 1493  
DRAWN BY: R. C.  
CHECKED BY: E. C.

EDUARDO L. CARCACHE, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163900  
CKE GROUP, INC. COA-4432

SHEET NAME  
**PAVING & DRAINAGE**

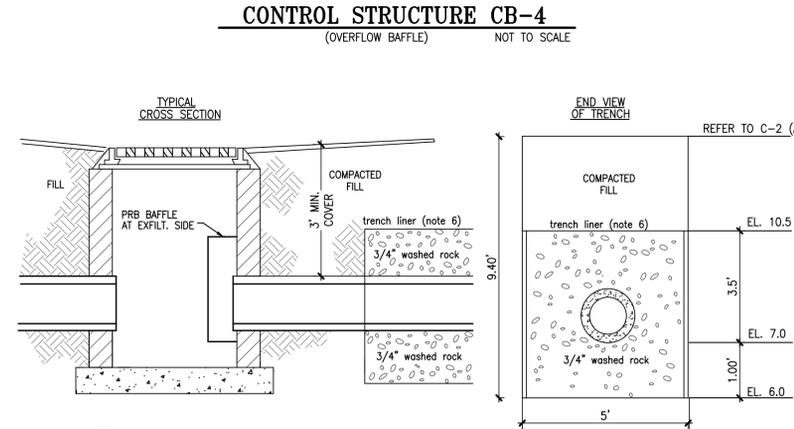
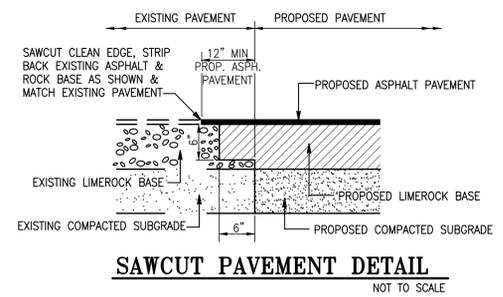
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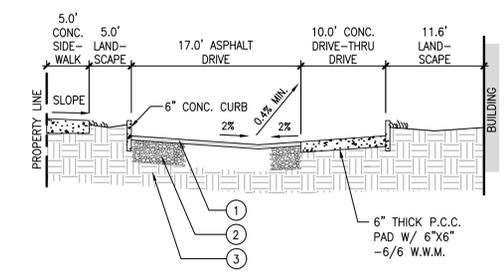
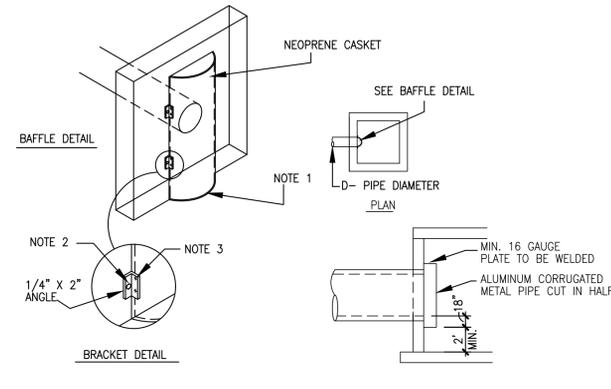


- GENERAL NOTES:**
- CIRCULAR STRUCTURES (ALTERNATES 'A') MAY BE CONSTRUCTED OF CONCRETE OR BRICK, BUT RECTANGULAR STRUCTURES (ALTERNATES 'B' & 'C') SHALL BE CONSTRUCTED OF CONCRETE ONLY. THE CONCRETE MAY BE CAST-IN-PLACE OR PRECAST.
  - WALL REINFORCEMENT AND THICKNESS ARE FOR EITHER CAST-IN-PLACE OR PRECAST CONCRETE EXCEPT THAT FOR PRECAST CIRCULAR UNITS A.S.T.M. SPECIFICATIONS C-76, TABLE III, FOR B WALL REINFORCED CONCRETE PIPE OR PRECAST CIRCULAR UNITS IN ACCORDANCE WITH ASTM SPECIFICATION C-478 WILL BE ACCEPTABLE. TOP AND FLOOR SLAB THICKNESS AND REINFORCEMENT ARE FOR ALL TYPES OF CONSTRUCTION.
  - PRECAST TOP AND/OR FLOOR SLABS MAY BE OF THE SAME CONCRETE AS SPECIFIED IN ASTM SPECIFICATIONS C-478 FOR PRECAST CIRCULAR UNITS.
  - SMOOTH FLOW CHANNELS COMPOSED OF CONCRETE, OR BRICK AND MORTAR, SHALL BE CONSTRUCTED IN THE BOTTOMS OF ALL STRUCTURES TO A DEPTH EQUAL TO HALF THE DIAMETER OF THE LARGEST PIPE.
  - CORNER FILLETS SHOWN FOR RECTANGULAR STRUCTURES ARE NECESSARY ONLY WHEN STRUCTURES ARE USED IN CONJUNCTION WITH CIRCULAR TOPS.
  - STRUCTURES SHALL BE SECURED TO INLET THROATS, RISERS OR MANHOLE TOPS WITH A MINIMUM OF 6-No. 4 BARS 12" LONG.
  - ANY INLET, MANHOLE, OR JUNCTION BOX MAY BE USED IN CONJUNCTION WITH ANY INLET THROAT OR MANHOLE TOP.
  - MORTAR USED TO SEAL THE PIPE IN THE WALLS OF THE PRECAST UNITS SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNITS. MAXIMUM OPENING FOR PIPE SHALL BE MAXIMUM REQUIRED O.D. + 6".
  - THE OUTSIDE OF BRICK WALLS SHALL BE PLASTERED WITH 1:2 CEMENT MORTAR.

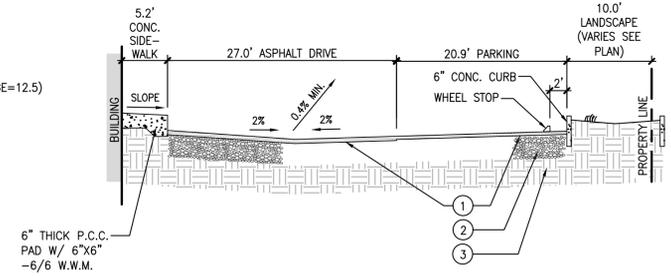
**INLET, MANHOLE & JUNCTION BOX**  
(TYPE 'E') NOT TO SCALE



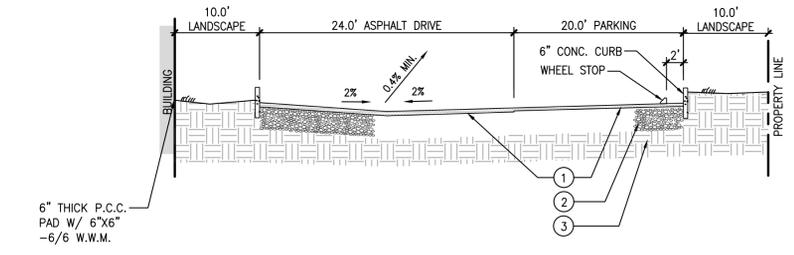
- NOTES:**
- FOR CATCH BASIN SEE DETAIL (THIS SHEET)
  - DRAIN FIELD MAY BE OF SLOTTED CONCRETE PIPE OR PERFORATED METAL PIPE MEETING CITY/COUNTY SPECIFICATIONS.
  - PIPES SHALL TERMINATE 2 FEET FROM END OF TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS AS REQUIRED.
  - COVER PIPE ENDS WITH NO. 10 GALVANIZED OR ALUMINUM SCREEN, OPENING NO LARGER THAN 1/2"x1/2".
  - BALLAST ROCK SHALL BE FROM FRESH WATER WASHED FREE OF DELETERIOUS MATTER.
  - SIDES AND TOP OF TRENCH TO BE LINED WITH ONE LAYER OF PLASTIC TYPE FILTER CLOTH OR APPROVED EQUAL. OVERLAP TRENCH LINING MATERIAL A MINIMUM OF TWO FEET AT TOP OF TRENCH.



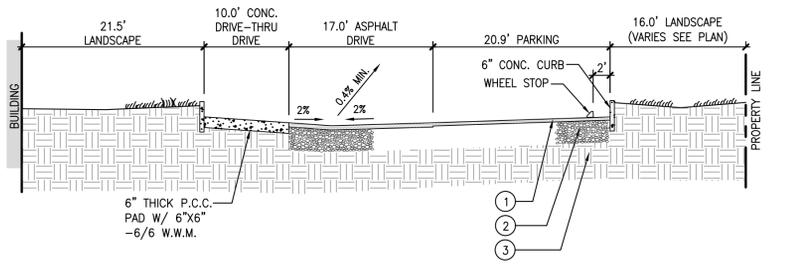
**1 PAVEMENT SECTION**  
NOT TO SCALE



**2 PAVEMENT SECTION**  
NOT TO SCALE



**3 PAVEMENT SECTION**  
NOT TO SCALE



**4 PAVEMENT SECTION**  
NOT TO SCALE

**LEGEND**

- 1 1/2" TYPE S-III ASPHALTIC CONCRETE AT PARKING  
2" TYPE S-III ASPHALTIC CONCRETE AT DRIVES
- 6" LIMEROCK BASE AT PARKING - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.  
8" LIMEROCK BASE AT DRIVES - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.
- 12" SUBGRADE - MIN LBR=40 - 98% COMPACTION, DRY DENSITY, AS PER AASHTO T-180

NOTE: REFER TO SOILS REPORT FOR DETAILED SPECS.

SITE NUMBER: 11670  
BASE MODEL: USB NRE 55 R3  
ASSET TYPE: FRAN  
CLASSIFICATION: NEW  
OWNER: JAE REST. GROUP, LLC  
BASE VERSION: XXXXXXXX  
UPGRADE CLASSIFICATION: CORP. NEW BUILD  
PROJECT YEAR: 2017  
FURNITURE PACKAGE: 2016 R3  
DRAWING RELEASE: 2016 R3

**GROUP**

**CKE GROUP**  
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PHONE: (305) 558-4124  
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PROJECT TYPE: USB NRE 55 NEW

**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV. DATE DESCRIPTION  
△ 05-01-18

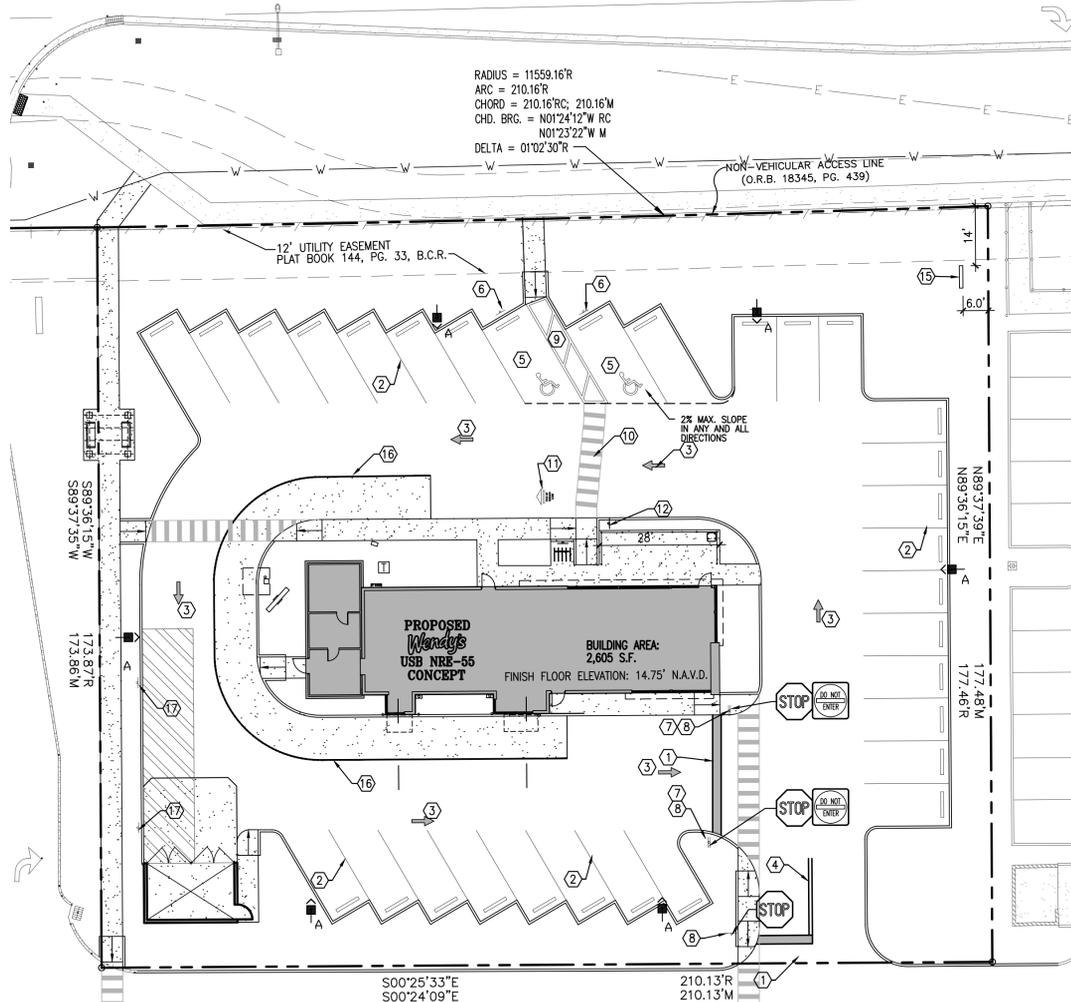
ISSUE DATE: 02/10/2016  
PROJECT NUMBER: 1493  
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ANA A. GONZALEZ VALDES, AR 97769  
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#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME: SITE DETAILS  
SHEET NUMBER: C-2



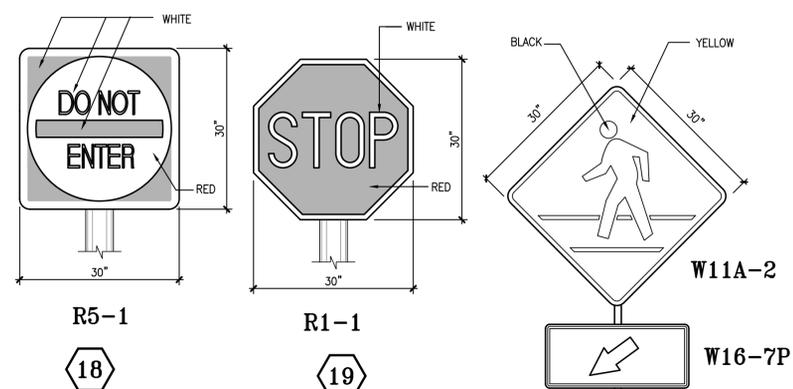
U.S. 441 (S.R. 7)



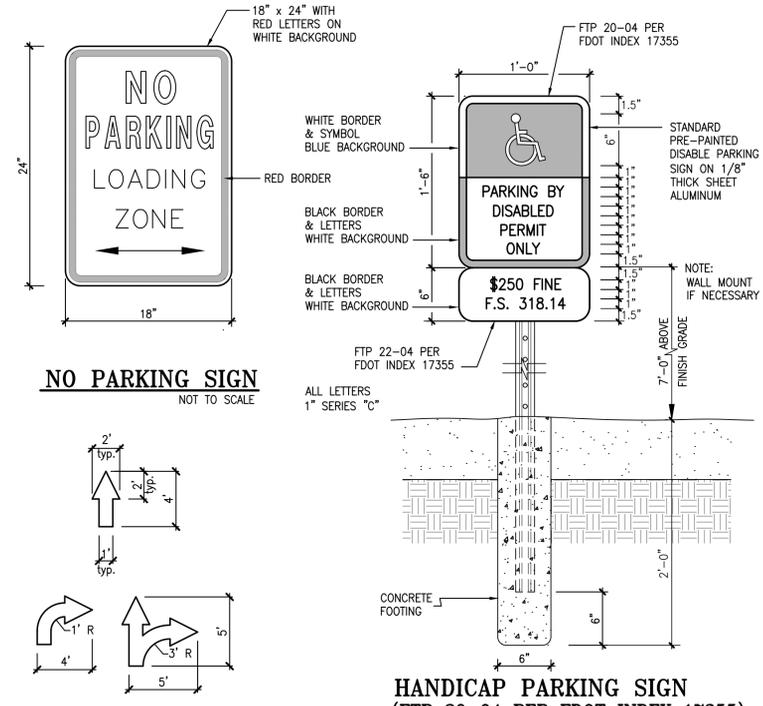
**CONSTRUCTION NOTES:**

- 1 24" STOP BAR WHITE (THERMOPLASTIC)
- 2 4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
- 3 TRAFFIC ARROWS PAINTED WHITE.
- 4 2-4" YELLOW STRIPES (THERMOPLASTIC)
- 5 HANDICAP PARKING AS PER DETAIL.
- 6 HANDICAP SIGN 7'-0" A.F.P.
- 7 STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- 8 STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- 9 3-6" WIDE CHEVRONS EQUALLY SPACED, PAINTED WHITE PER FDOT INDEX No.17346 (TYP.), PER AISLE (MAX. 2% SLOPE)
- 10 6" WHITE STRIPES @ 3' C/C PER F.D.O.T. INDEX
- 11 PAVEMENT MARKING REFER TO DETAIL THIS SHEET.
- 12 PEDESTRIAN CROSSING SIGN
- 13 EXIT DIRECTIONAL SIGN
- 14 ENTER DIRECTIONAL SIGN
- 15 MONUMENT SIGN
- 16 215-LF 6" YELLOW. (THERMOPLASTIC)
- 17 "NO PARKING" SIGN

NOTE:  
ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST ADDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)



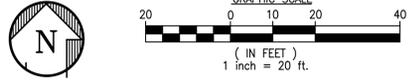
**STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS**  
SCALE: N.T.S.



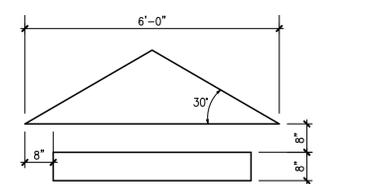
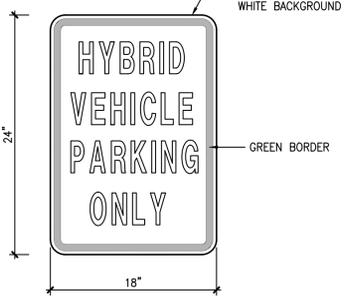
**3 PAINTED ARROWS**  
PER F.D.O.T. INDEX 17346 NOT TO SCALE

**HANDICAP PARKING SIGN**  
(FTP 20-04 PER FDOT INDEX 17355)  
NOT TO SCALE  
(FTP 22-04 SUPPLEMENTAL PANEL PER FDOT INDEX 17355)

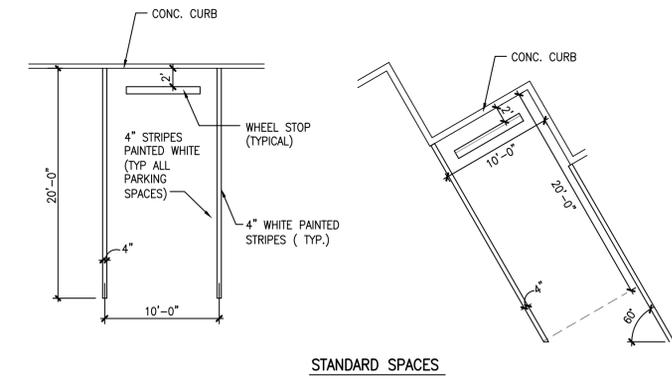
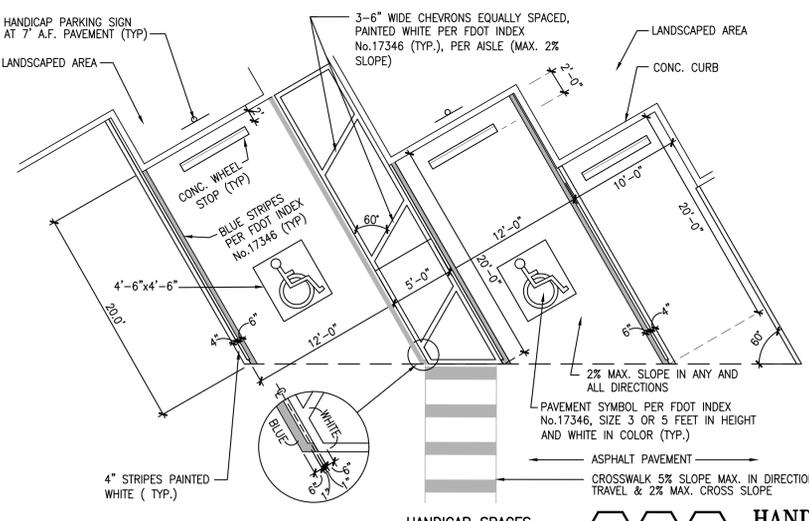
**PAVEMENT MARKING PLAN**  
1"=20'-0"



**HYBRID PARKING SIGN**  
NOT TO SCALE



**38 PAVEMENT MARKER DETAILS**  
NOT TO SCALE



**13 16 17 HANDICAP AND STANDARD PARKING DETAILS**  
NOT TO SCALE

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	
	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE	2016 R3



PROJECT TYPE: USB NRE 55 NEW

**Wendy's**  
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ISSUE DATE: 02/10/2016  
PROJECT NUMBER: 1493  
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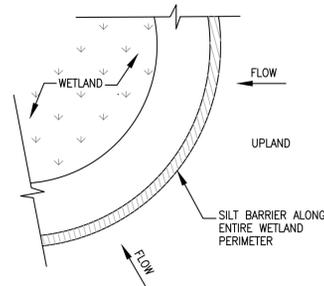
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#701023753163800  
CKE GROUP, INC. COA-4432

PAVEMENT MARKINGS PLAN

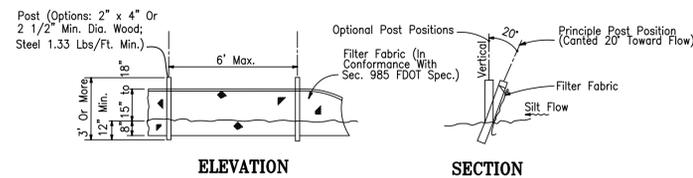
**C-4**

7/26/2018, 3:34 PM, R:\Wendy's\New ground up - sites\Coconut Creek\CKE\C-4.dwg, User10



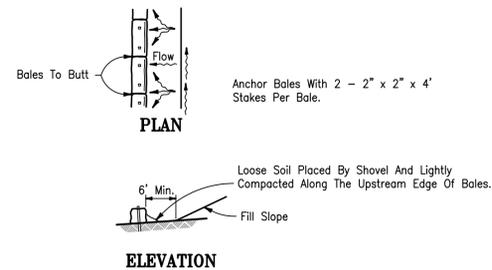


**SILT BARRIER**  
Figure 1



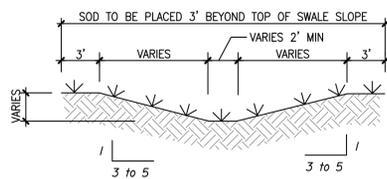
Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

**TYPE III SILT FENCE**  
Figure 2

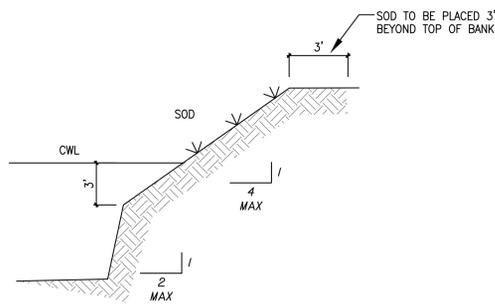


TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

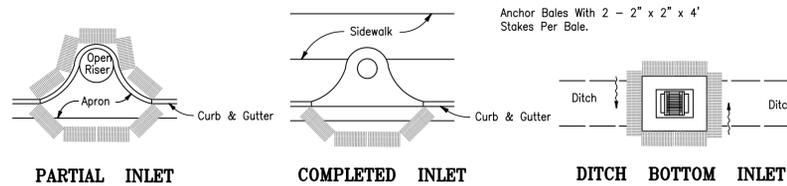
**BARRIERS FOR FILL SLOPES**



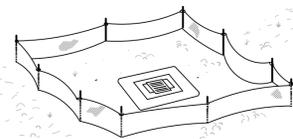
**TYPICAL SWALE SECTION**  
Figure 4



**TYPICAL RETENTION/DETENTION POND SECTION**  
Figure 5



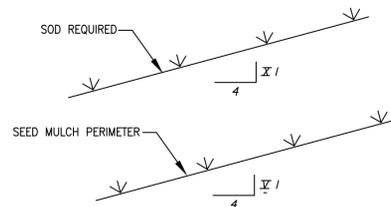
**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**  
Figure 6



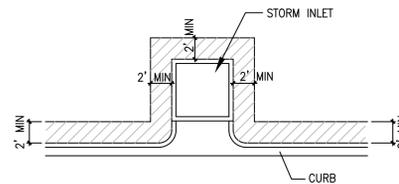
Type III Silt Fence Protection Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

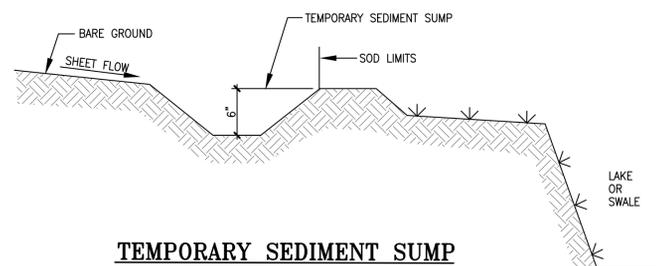
**SILT FENCE APPLICATIONS**  
Figure 7



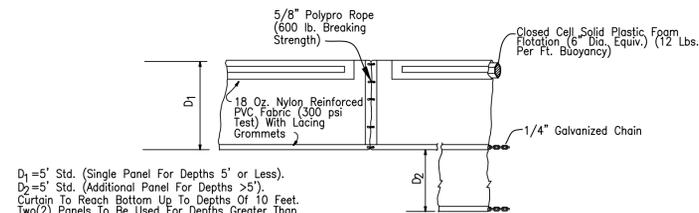
**GRASS SLOPES**  
Figure 8



**SOD ALONG CURB AND AROUND INLET**  
Figure 9



**TEMPORARY SEDIMENT SUMP**  
Figure 10



D<sub>1</sub> = 5' Std. (Single Panel For Depths 5' or Less).  
D<sub>2</sub> = 5' Std. (Additional Panel For Depths >5').  
Curtain To Reach Bottom Up To Depths Of 10 Feet.  
Two (2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.  
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

**FLOATING TURBIDITY BARRIERS**

**Best Management Practices**

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

**SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION**

1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.

1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.

1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.

1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS**

2.1 Barricades shall be placed around all protected (preserved) habitats including mesic and uplands during development.

2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

**SECTION 3 GENERAL EROSION CONTROL**

3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slope cave-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.

3.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary groundcover.

3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.

3.4 All gross slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.

3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.

3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

**SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION**

4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.

4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.

4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:

- a. In general erosion shall be controlled at the furthest practical upstream location.
- b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.

4.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.

4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 5 CONTROL OF WIND EROSION**

5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:

- a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
- b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
- c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

**NOTES**

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION

SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXX
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	CORP. NEW BUILD
PROJECT YEAR:	2017
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DRAWING RELEASE	2016 R3



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PROJECT TYPE: USB NRE 55  
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**Wendy's**  
Store # 11670  
US 441 & JOHNSON ROAD  
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SEAL

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ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME  
**POLLUTION PREVENTION**

SHEET NUMBER

**C-5**

**STORMWATER POLLUTION PREVENTION DETAILS**  
NOT TO SCALE



**CKE GROUP**  
 INCORPORATED  
 engineering • architecture • planning  
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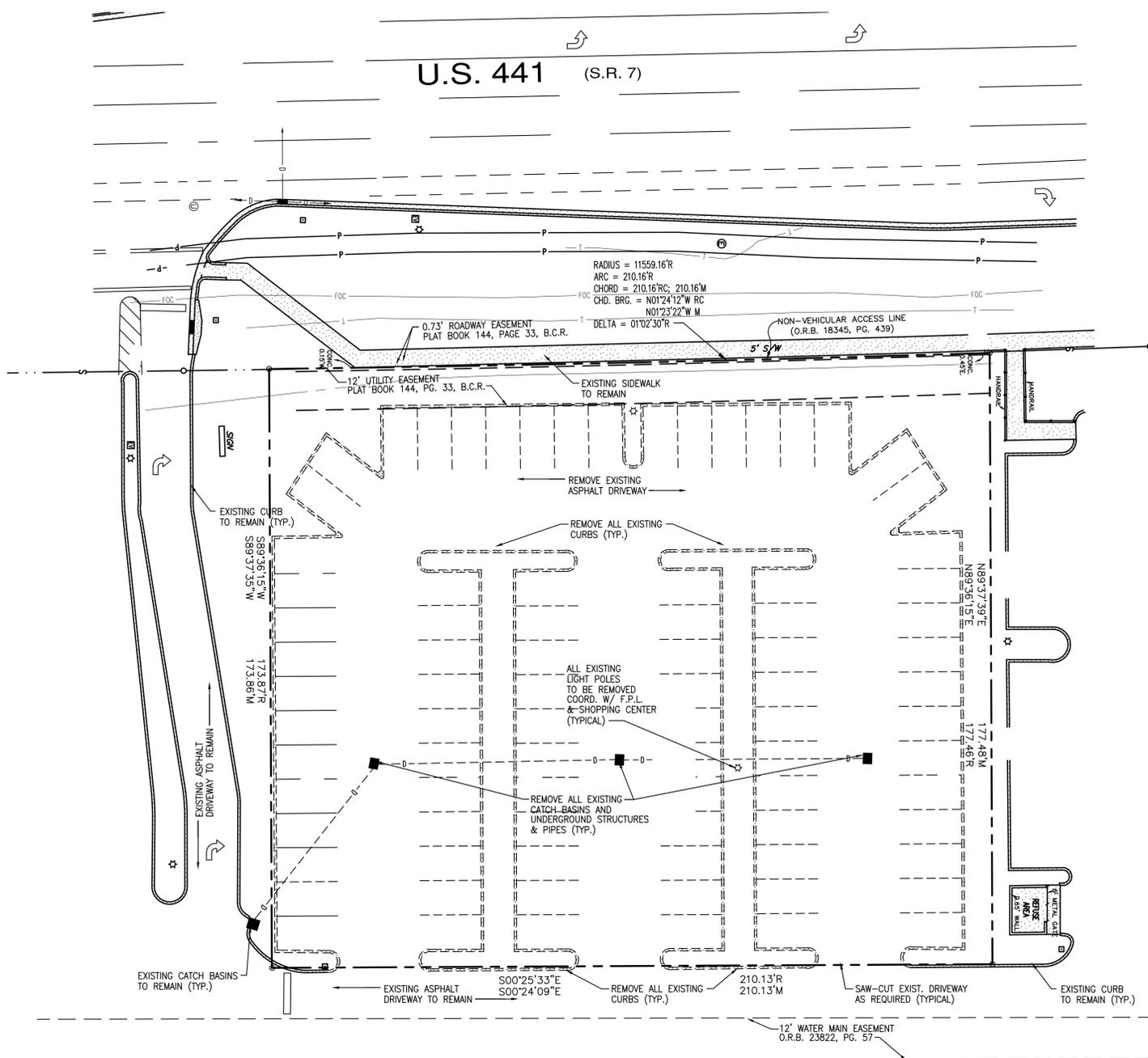
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 LUIS VARGAS, LEED AP  
 #701023753163800  
 CKE GROUP, INC. COA-4432

SHEET NAME  
 SITE DEMOLITION PLAN

SHEET NUMBER

**C-6**



- ### DEMOLITION NOTES
- FOR TREES AND/OR LANDSCAPE REMOVAL AND/OR RELOCATION, REFER TO LANDSCAPE DRAWINGS.
  - ALL EXISTING PAVEMENT MARKINGS AND SIGNS WITHIN PROPERTY LINES TO BE REMOVED.
  - EXISTING ASPHALT PAVEMENT AND BASE WITHIN PROPERTY LINES TO BE REMOVED (DEPTH OF BASE REMOVAL BASED ON PROPOSED GRADES)
  - EXIST. CURBS, CONC. WALKS, HAND RAILS, BOLLARDS, LIGHTS, PLANTERS, METERS, ELECT. PANELS, OVERHANGS, PERTAINING TO AND AROUND BUILDING TO BE REMOVED
  - DENOTES TO BE REMOVED
  - DENOTES TO REMAIN

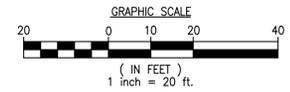
- ### GENERAL NOTES
- SEE SURVEY FOR DESCRIPTION OF EXISTING FEATURES WITHIN SITE.
  - THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF EXISTING ON SITE FACILITIES ABOVE AND UNDERGROUND. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL DEMOLISHED MATERIALS, THE FILLING OF ALL DEPRESSIONS CAUSED BY DEMOLITION, AND THE GRADING OF THESE AREAS SO AS NOT TO BE OBJECTIONABLE TO VIEW. THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF HIS WORK.
  - REMOVE ALL VEGETATION, ROLL AND COMPACT AREAS BEFORE REPLACING FILL. FILL SHALL BE PLACED IN 12" LAYERS LOOSE MEASURE AND COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO-T180-78. FILL SHALL BE LOCALLY ACCEPTABLE AND SUITABLE FOR FILL PURPOSES. THE TOP 12" OF FILL OR CUT UNDER PAVEMENT BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO-T180-78. REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION
  - THE CONTRACTOR SHALL BE REQUIRED TO STABILIZE SLOPED AREAS. THE CONTRACTOR SHALL GRADE AND SEED OR SOD THE AREA WITH THE PROVISION THAT HE SHALL MAINTAIN THE SEEDS OR SODDED AREA AS REQUIRED UNTIL SUCH TIME THAT THERE IS SUITABLE GROWTH TO ADEQUATELY PROTECT THE EMBANKMENT. THE MAXIMUM ALLOWABLE SLOPE SHALL BE 2 : 1. CONTRACTOR SHALL MATCH EXISTING GRADES AND ALL PROPERTY LINES AROUND SITE, UNLESS OTHERWISE SHOWN ON GRADING PLAN. FINISHED GRADING AND LANDSCAPING BY LANDSCAPE CONTRACTOR. GENERAL CONTRACTOR IS TO GRADE ALL LANDSCAPED AREAS TO WITHIN 4" (.33') OF FINISHED GRADES. ALL GRADES SHOWN ON GRADING PLAN ARE FINISHED GRADES.
  - DIMENSIONS, BUILDING LOCATION AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT TIME OF LAYOUT. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
  - ALL CONSTRUCTION OF UTILITIES TO BE IN ACCORDANCE WITH LOCAL BUILDING CODES.
  - IT IS THE CONTRACTOR'S FULL RESPONSIBILITY TO FURNISH AND INSTALL WATER SERVICES AS REQUIRED. LINES TO BE INSTALLED SHOULD BE EXTENDED FROM THE CLOSEST WATER MAIN CAP PLUGGED AT BUILDING. SEE C-3 FOR REQUIRED WATER SERVICE SIZE.
  - LOCATION OF UNDERGROUND UTILITIES, EXISTING OR PROPOSED, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
  - GENERAL CONTRACTOR IS TO INCLUDE IN BID ALL UTILITY COSTS NECESSARY TO PROVIDE COMPLETE ELECTRICAL SERVICE, SEWER TIE-IN, TAP FEES, CONNECTION COSTS, AND WATER SERVICE AS REQUIRED BY LOCAL CODES AND UTILITY COMPANIES.
  - THE CONTRACTOR SHALL BE REQUIRED TO EXTEND AND CONNECT SANITARY SEWER TO THE EXISTING SEWER SYSTEM. IF SEWER IS NOT ADJACENT TO SITE, THE CONTRACTOR SHALL BE REQUIRED TO EXTEND THE SANITARY SEWER SERVICE TO THIS SITE IN ACCORDANCE WITH THE PLANS. SANITARY SEWER LINE TO BE CONNECTED AT A MINIMUM 2% SLOPE USING A MINIMUM PIPE, MATCHING EXISTING PIPE MATERIAL, UNLESS OTHERWISE SPECIFIED.
  - CONCRETE SIDEWALKS TO BE 3,000 P.S.I. CONCRETE, 4" THICK, WITH 6x6 - W1.4 x W1.4 WELDED WIRE MESH REINFORCED UNLESS OTHERWISE NOTED.
  - ALL CONCRETE CURB TO BE CONSTRUCTED OF 3,000 P.S.I. CONCRETE.
  - THE CONCRETE TRASH ENCLOSURE APRON SHALL BE 6" THICK OF 3,000 P.S.I. CONCRETE REINFORCED WITH #4 BARS @ 16" O.C. EACH WAY.
  - COMMERCIAL DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY, COUNTY, OR STATE HIGHWAY DEPARTMENT, WHICHEVER APPLIES.
  - ALL WORK TO BE PERFORMED THAT IS NOT COVERED BY THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, OR LOCAL CODES. ALL WORK IN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
  - THE CONTRACTOR IS ADVISED THAT THE SOILS REPORT IS A PART OF THE BIDDING DOCUMENTS. IF THE SOILS REPORT IS NOT RECEIVED WITH THE BID SET, IT IS THE BIDDER'S RESPONSIBILITY TO OBTAIN AND REVIEW THE SOILS REPORT PRIOR TO SUBMITTING FINAL BID.



Know what's below.  
 Call before you dig.

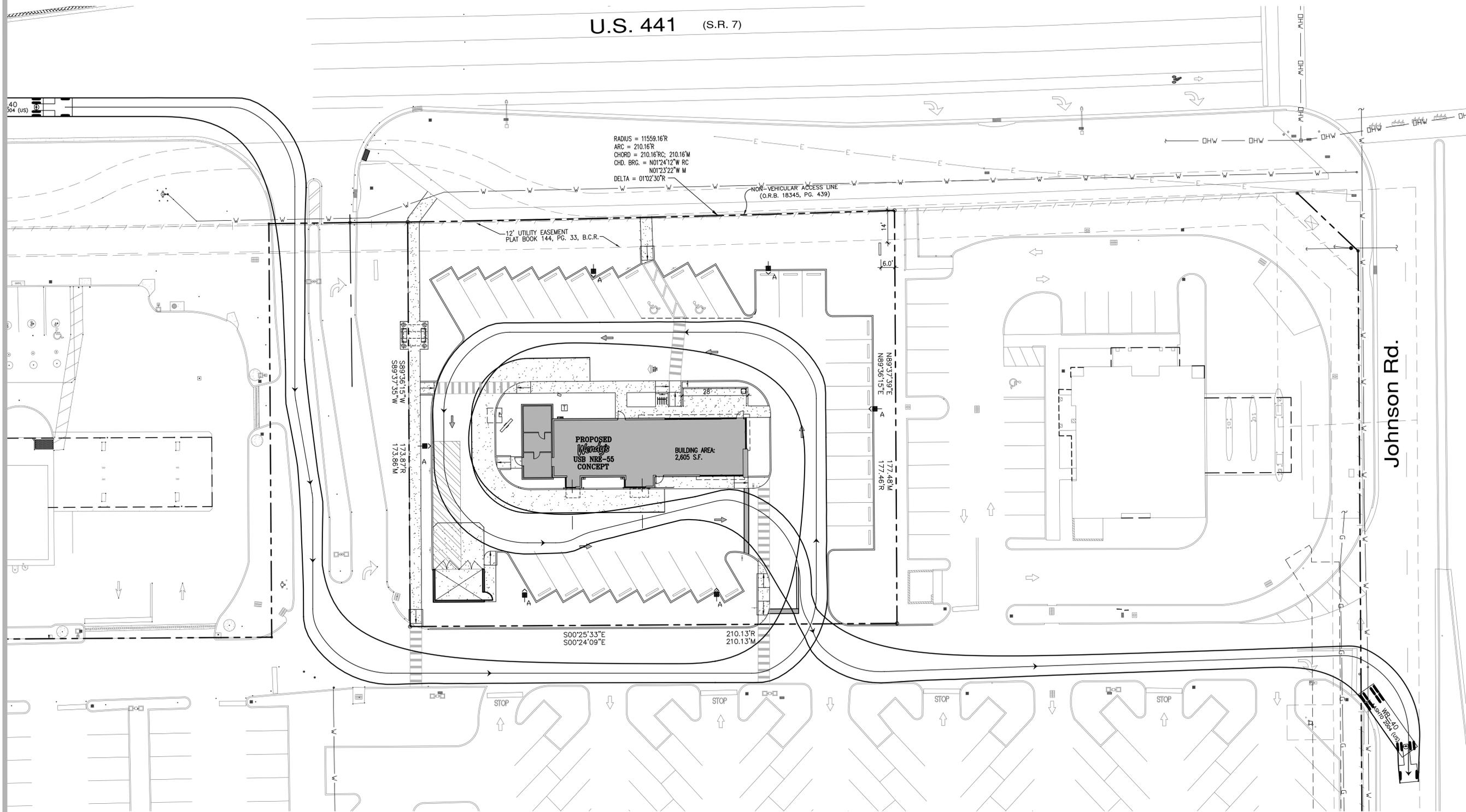
## DEMOLITION PLAN

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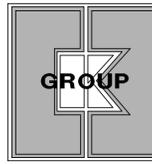




U.S. 441 (S.R. 7)



SITE NUMBER:	11670
BASE MODEL:	USB NRE 55 R3
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	JAE REST. GROUP, LLC
BASE VERSION:	XXXXXXXXXX
UPGRADE CLASSIFICATION:	CORP. NEW BUILD
PROJECT YEAR:	2017
FURNITURE PACKAGE:	2016 R3
DRAWING RELEASE:	2016 R3



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 108  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124  
FAX: (305) 826-0619

PROJECT TYPE: USB NRE 55 NEW

**Wendy's.**  
Store # 11670  
US 441 & JOHNSON ROAD  
Coconut Creek, Florida

REV.	DATE	DESCRIPTION
△	05-01-18	
△	07-18-18	

ISSUE DATE:	02/10/2016
PROJECT NUMBER:	1493
DRAWN BY:	R. C.
CHECKED BY:	E. C.

SEAL

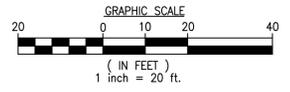
EDUARDO L. CARCACHÉ, PE 31914  
ANA A. GONZALEZ VALDES, AR 97769  
LUIS VARGAS, LEED AP  
#701023753163800  
CKE GROUP, INC. COA-4432

SHEET NAME  
TRUCK PATH PLAN

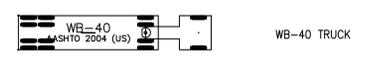
SHEET NUMBER

**C-8**

**TRUCK PATH PLAN**  
1"=20'-0"



LEGEND:



7/26/2018, 3:35 PM, R:\Wendys\New ground up - sites\Coconut Creek\m\c-8.dwg, User10

Always call 811 two full business days before you dig  
**Sunshine811.com**



# CITY OF COCONUT CREEK

## DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW #1

03-08-17

<b>PROJECT NAME:</b>	Wendys Site		
<b>PROJECT NUMBER:</b>	17020003		
<b>LOCATION:</b>	Coral Creek Shoppes		
<b>APPLICANT/AGENT:</b>	Corporate Property Services		
<b>REVIEW/APPLICATION</b>	Site Plan		
DISCIPLINE	REVIEWER	EMAIL	TELEPHONE
DRC Chair	Liz Aguiar – Senior Planner	<a href="mailto:laguiar@coconutcreek.net">laguiar@coconutcreek.net</a>	(954) 973-6756
Planning	Linda Whitman – Senior Planner	<a href="mailto:lwhitman@coconutcreek.net">lwhitman@coconutcreek.net</a>	(954) 973-6756
Planning	Natacha Josiah – Planner	<a href="mailto:NJosiah@coconutcreek.net">NJosiah@coconutcreek.net</a>	(954) 973-6756
Building	Sean Flanagan - Chief Structural Inspector	<a href="mailto:sflanagan@coconutcreek.net">sflanagan@coconutcreek.net</a>	(954) 973-6750
Engineering	Eileen Cabrera - Engineer I	<a href="mailto:ecabrera@coconutcreek.net">ecabrera@coconutcreek.net</a>	(954) 973-6786
Engineering	Krishan Kandial – Engineer I	<a href="mailto:KKandial@coconutcreek.net">KKandial@coconutcreek.net</a>	(954) 973-6786
Fire	Jeff Gary – Fire Marshall	<a href="mailto:jgary@coconutcreek.net">jgary@coconutcreek.net</a>	(954) 973-1563
Landscape	Scott Peavler - Landscape (consultant)	<a href="mailto:speavler@coconutcreek.net">speavler@coconutcreek.net</a>	(954) 973-6756
Police	Brandi Delvecchio - Police Department	<a href="mailto:bdelvecchio@coconutcreek.net">bdelvecchio@coconutcreek.net</a>	(954) 956-6721

## DEPARTMENTAL COMMENTS

### BUILDING

The Building Division approves this application.

This approval shall not imply full compliance with the Florida Building Code. Submittal of a building permit application and plans are required for review for a building permit.

**Response: Understood as noted.**

### ENGINEERING

Hold

### GENERAL COMMENTS

1. Additional comments may be provided and/or required upon review of any revised plans.

**Response: Understood as noted.**

2. All required approvals from Broward County Health Department and Broward County Environmental Protection, Growth Management Department (BCEPGMD) or any other applicable agency shall be obtained and submitted to the Engineering Division prior to issuance of an Engineering permit.

**Response: Understood as noted.**

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.



- Clearly identify on plans the type of elevation datum used (which should only be NAVD 88 with conversion to NGVD 29).

**Response: Please see sheet SP-2.**

- Indicate on plans the Finished Floor Elevation (FFE) for building.

**Response: Please see sheet SP-2**

- A Water and Wastewater Agreement will be required including all water and wastewater impact fees paid to the City.

**Response: Understood as noted.**

- If necessary, show all conflicts between water, wastewater, and drainage lines with the minimum separations.

**Response: Please see sheet C-3 for site utilities.**

#### **TRAFFIC ENGINEERING**

- All pavement markings and signage shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).

**Response: The plan has been updated to include all pavement markings and signage to comply with the Manual on Uniform Traffic Control Devices (MUTCD). Please see sheet C-4 that has a note included.**

- All proposed sidewalks shall be a minimum of 5' width.

**Response: Please see sheet SP-2 where a minimum 5' sidewalk is proposed.**

#### **ROADWAY AND PAVEMENT**

- Sheet No C-1 not provided for paving and drainage plan.

**Response: Sheet C-1 has been included with this submittal.**

- Transverse slope of pavement shall be a minimum of 2.0% for roadways and 1.0% for parking areas.

**Response: There are notes that have been added to sheet C-1 and C-2. The proposed slopes shown on the plans comply with a minimum of 2% for roadways and 1.0 for parking.**

- Longitudinal slope of pavement shall be a minimum 0.4%.

**Response: A note has been added to sheet C-1 and C-2, showing the proposed longitudinal slope of the pavement complies with the minimum 0.4%.**



12. All accessible parking spaces and sidewalks shall conform to ADA standards.

**Response: All accessible parking spaces and sidewalks conform to ADA standards. Please see sheets SP-2, SP-3 and C-4.**

13. Disabled parking spaces shall conform to ADA and FDOT standards. Ensure all spaces have proper landing area.

**Response: The plans and details have been updated to comply with the ADA and FDOT standards.**

14. Disabled parking spaces shall be 20 ft in length. 18 feet to the curb stop and 2 feet overhang.

**Response: The parking spaces are 20 feet in length. Please see sheets SP-2, Sp-3 and C-4.**

#### **DRAINAGE COLLECTION SYSTEM**

15. Provide total pervious and impervious area before and after proposed construction on sheet SP-2.

**Response: Please refer to table on Sheet SP-2 and C-1.**

16. Broward County Environmental Protection, Growth Management Department (BCEPGMD) license for surface water management to be updated.

**Response: Understood as noted.**

#### **WATER & WASTEWATER SYSTEM**

17. Water service connection up to water meter shall be SDR 9 polyethylene pipe.

**Response: Please refer to sheet C-3, as it is noted.**

18. An easement shall be dedicated to the City for the proposed location of the water meter.

**Response: Please refer to sheet C-3, as it is noted.**

19. A fire flow test shall to be conducted to verify availability of required fire flow. Contact the Utilities and Engineering Department for details and submit fire flow calculations using I.S.O. criteria at Final Engineering Review. Fire flow tests can be requested from the City's Utilities & Engineering Department.

**Response: A request for a fire flow test to be conducted has been submitted to the Joanne Lindholm from the City's Utilities & Engineering Department.**

20. Fire line sprinkler services, fire hydrants and water service connections shall be connected to the water main independently and, shall not be connected to each other.



**Response: Water service is tied to 8” main. No fire line or sprinklers are proposed or required.**

21. Please clarify when will the new wastewater line be constructed and by whom.

**Response: The new waterline will be constructed prior to Wendy’s being constructed by the shopping center owner.**

22. Service laterals for wastewater shall not be connected directly to a manhole. Laterals shall be a minimum of 7 ft. from manhole.

**Response: Lateral connection is located 7 feet from the manhole. Please see sheet C-3.**

23. City wastewater cleanout shall not be located in pavement area and shall be installed within green areas and utility easements for ease of access. City cleanout to be USF 7630. Provide a detail on the detail sheet.

**Response: Shopping Center owner to provide.**

#### **LANDSCAPING, LIGHTING, AND IRRIGATION**

24. Proposed trees shall not be placed within the utility easements.

**Response: Proposed trees not placed within the utility easements. Please see sheet LP-1.**

25. Show clear sight triangles (10 ft x 10 ft) at street intersections on landscape plans.

**Response: Shown see LP-1 landscape**

#### **FIRE**

Approved

#### **GREEN**

Hold

#### **General Comments**

1. Applicant shall be prepared to include applicable “green” or “sustainable” elements as part of the PowerPoint (or other) presentation to the Planning and Zoning Board.

**Response: So noted. The “green” or sustainable” elements are on sheet CS-2.**

2. Corrections shall be made to plans “addressing” and “correcting” each comment. Acknowledgements may not be considered corrections. Written responses to comments shall reference appropriate sheet(s) or detail(s) where corrections have been made.

**Response: Understood as noted.**

3. Additional comments may be provided at DRC meeting and/or upon review of any revised plans.



**Response: Understood as noted.**

4. Sec.13-81(14)b. – Any DRC application continued or inactive for more than six (6) months will be considered null and void and will be treated as a new application with applicable fees.

**Response: Understood as noted.**

5. Sec.13-320, Green Building Construction. All new commercial, office, industrial, hotels and civic use development or redevelopment projects seeking site plan approval shall comply with minimum Green Building Construction practices, pursuant to Ordinance 2007-040. Application submittals shall indicate how sustainable site development (see comment #7 below) will **exceed** the requirements of the Florida Building Code and other applicable codes.

**Response: Please see sheet CS-2.**

6. Sec.13-320(b)(1), all new development applicants must retain a LEED accredited professional within their planning and design team. Please identify within application.

**Response: Please see sheet CS-2. The LEED accredited professional is Luis Vargas.**

7. Sec.13-320(b)(2), all new development or redevelopment applications shall address the following green building components at time of development applications.
  - a. Sustainable site development
  - b. Water efficiency.
  - c. Energy efficiency.
  - d. Indoor environmental quality.
  - e. Materials and recycling.

**Response: Please see sheet CS-2.**

8. Sec.13-320(c)(1), be advised, at time of site plan submittal, property owner shall provide a written letter addressing each element listed in Sec.13-320(b)(2). Letter must detail how the property owner intends to comply with green building elements within the site and building(s). Site plans shall include lists, notes, drawings, or any other form of detail. In addition, the site plan shall include a checklist itemizing EACH green building element and indicate how each item will **exceed** Florida Building Code and other applicable code requirements.

**Response: Please see sheet CS-2.**

### **Green Plan Comments**

9. The City Commission has adopted a City Green Plan, outlining city-wide “green” goals. Applicant shall make every effort to achieve goals outlined in the Green Plan during the site plan/rezoning process. Staff has provided a list below, of action steps from the



Green Plan that may be used for this project. A comprehensive list may be viewed on the City's website under the "live green" tab.

**Response: Understood as noted.**

10. *Action 1.2* – Achieve LEED Certification or Florida Green Building Coalition (FGBC) Certification on 50% of buildings outside the MainStreet Project Area.

*Staff recommends that the applicant consider pursuing LEED certification.*

**Response: The project will not be LEED certified.**

11. *Action 1.6* – Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic, and environmental value.

*Project shall include conspicuous green technology “in excess” of minimum building code requirements such as but not limited to solar panels, solar powered landscape lighting, green screens, “effective” bio-filtration systems, cisterns or other rain water collection systems used for onsite irrigation or other creative green elements.*

**Response: There are “green screens” provided on the east building elevation.**

12. *Action 2.1* – Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public and private land by 2020.

*Please demonstrate compliance in landscape plans and notes.*

**Response: Provided & noted see plan.**

13. *Action 2.2* – Achieve 40% greenroof coverage for new construction in MainStreet Project Area and 10% greenroof coverage for new construction for areas outside of MainStreet.

*Green roofs may be either active or passive. To aide in heat island reduction, roofs should incorporate light colored/high albedo materials.*

**Response: Please note that a white roof membrane is being provided.**

14. *Action 5.1* – Increase recycling throughout the City. By increasing recycling the City can begin to reduce waste at the source of generation.

*Staff recommends a dual receptacle bin for the use of the patrons for garbage and recycling at the entry to the facility.*

**Response: There will be 1 dumpster for recyclables.**

15. *Action 5.3* – Require all construction and demolition debris to divert 75% of waste from landfills.

*Applicant shall commit to recycling construction debris.*

**Response: Site complies. Please see sheet CS-2.**



16. Action 6.4 – Implement an alternative vehicle parking program to designated parking areas for alternative vehicle in developments throughout the City by 2020.

*The City encourages the designation of alternative fuel or hybrid parking spaces and electric vehicle charging stations.*

**Response: See sheet SP-2. Site provides hybrid parking spaces.**

## LANDSCAPE ARCHITECTURE

Hold

### TS:

1. Check sheet name with file name. TS-1 has L-2 on the sheet.

**Response: Revised file name, see landscape plan.**

2. In addition to the note at the top of the sheet, provide tree barricade notes from section 13-448 (n) and reference detail on sheet L-3.

**Response: Added notes & detail. Please see sheet LP-1 and LP-2.**

3. Provide note requiring general contractor to prepare final relocation sites for trees that are proposed to be relocated. Trees are only to be moved once and shall have tree barricades in place during the entire duration of construction.

**Response: Added note, see landscape plan. Please see sheet LP-1 and LP-2.**

### L-1:

4. The South, East, and West perimeters do not meet the required 10' landscape strip per Section 13-443 (10).

**Response: Revised site to 10'.**

5. Commercial buildings require a 10' landscape area between the building and vehicular circulation. Sidewalks or other hardscape surfaces are not permitted within this 10'.

**Response: Revised site, see plan.**

6. Provided dimensions for landscape areas, including islands.

**Response: Please see sheet SP-2 and LP-1.**

7. Correct data table under "special provisions" from D to E for commercial. Provide shrubs and groundcover calculations.

**Response: Revised to E and shown.**



8. Shift trash enclosure west to allow space for existing tree at the SE corner of the site.

**Response: Revised site, see plan.**

9. Provide calculations for interior landscape requirement. Section 13-443 (12)(b).

**Response: Provided see plan.**

10. In the data table provide cardinal direction for which perimeter the code is applying too.

**Response: Added see plan and chart.**

11. Note that existing material outside of the proposed parcel lines cannot be counted towards code requirements for this project.

**Response: Noted on plan, not counted. Please see sheet LP-1.**

12. Roadway landscape buffer along state road 7 does not meet code. Additional tiers of landscape are needed in addition to a continuous hedge.

**Response: Added two tiers, see plan. Please see sheet LP-1 and LP-2.**

13. Provide 15' light pole setbacks on the plans with a dashed circle. Adjust any conflicts with proposed or existing trees/ palms.

**Response: shown, see plan. Please see sheet SP-2 and LP-1.**

14. Label fire hydrant locations if applicable and provide clear zone.

**Response: N/A offsite, detail provided. Please see sheet SP-2 and LP-1.**

15. Separate out existing trees from the proposed plant list in the legend. Provide two lists if necessary.

**Response: Provided two lists, see plan. Please see sheet and LP-1, LP-2 and LP-3.**

16. Provide species diversification calculation in data table. No more than 25% of one species is permitted.

**Response: Species provided 25% max., see plan.**

17. Native calculation is to include all proposed landscape material. Revise as necessary.

**Response: shown see breakdown plantings.**

18. Remove Guava tree from the plant list as it is listed as a Cat. 1 tree on the invasive plant list.



**Response: Revised to Silver Buttonwood & Clusia.**

## PLANNING AND ZONING

Hold

### General Comments

1. Applicant shall be prepared to make a PowerPoint (or other) presentation at the Planning and Zoning Board meeting which should include an overall site plan and color rendering(s).

**Response: Understood as noted.**

2. Applicant will be required to provide one (1) digital copy and 14 sets of application packages prior to the Planning and Zoning Board meeting. Sets will be required ONLY when ALL revisions have been made and application is in substantial compliance with applicable code requirements.

**Response: Understood as noted.**

3. Applicant shall make every effort to ensure public participation as part of this project review. Provide an itemized accounting and/or correspondence demonstrating efforts including any mailed notices, HOA meetings, site postings, correspondence etc.

**Response: Understood as noted.**

4. An address request letter, 11"x17" site plan and \$100.00 filing fee shall be submitted to the Sustainable Development Department. Addresses, subject to City and Post Office approval, will be assigned only upon site plan approval by the Planning & Zoning Board.

**Response: Understood as noted.**

5. Corrections shall be made to plans "correcting" each comment and re-submitted per digital submittal requirements. Acknowledgements in lieu of corrections, as applicable, are not considered corrections. Written responses to DRC comments shall reference correction location.

**Response: Understood as noted.**

6. Sec.13-81(14)b. – Any DRC application continued or inactive for more than six (6) months will be considered null and void and will be treated as a new application with applicable fees.

**Response: Understood as noted.**

7. Sec.13-81(14)c. – Final site plan revisions to be completed within seven days of Planning & Zoning Board approval. Failure to complete will result in a delinquent fee, per week, per item of \$100.00 unless otherwise stipulated by staff. Be advised, building permit will not be issued until all outstanding DRC items have been addressed and fees have been paid.

**Response: Understood as noted.**



8. Additional comments may be provided at DRC meeting and/or upon review of any revised plans.

**Response: Understood as noted.**

### **Project Comments**

9. The proposed site plan assumes creation of an outparcel where one does not exist and where one is not permitted by Code. In so doing, the substandard outparcel has further created the need for numerous variances solely by the direct actions of the applicant. Further, review of this proposed site plan application has generated a list of staff comments identifying additional land development code requirements that may necessitate additional variance requests by the applicant. City staff maintains a position that the overall Shopping Center site has the maximum number of outparcels allowed by code and cannot support the site plan request.

**Response: A rezoning application has been filed by the owner of the shopping center to alleviate the creation of an outparcel.**

10. The previously approved site plan does not provide for any further development on this property, including outparcel development.

**Response: A rezoning application has been filed by the owner of the shopping center to alleviate the creation of an outparcel.**

10. Staff has concerns regarding the proposed architecture. Building facades should incorporate varied architecture elements to provide visual interest. Staff cannot support the rear elevation facing the main entrance, as proposed.

**Response: The rear of the building has been redesigned, Please see sheets A1.1, A2.1 and A2.2.**

11. Staff has concerns regarding the building footprint. The building must allow for foundation areas that provide adequate space for landscape material to thrive. A minimum of 10'ft planting is required on the north, east, and south area.

**Response: A green screen has been added on the drive thru side (east) and increased planting area on south side. The north side is glass.**

### **Plat**

12. Sec.13-351 – Building permits will NOT be issued until the Plat note amendment has been recorded. See special land use comments regarding plat restrictions.

**Response: Understood as noted.**

### **Impact Fees**

13. Section 13-110 thru 13-117, Affordable Housing Program. Pursuant to Ordinance 2006-005, all non-residential development will be subject to an affordable housing linkage fee. The fee, based on use and building square footage, must be paid prior to building permit issuance. Calculations are based on gross floor area minus stairwells, elevator shafts, mechanical rooms, and external storage rooms. An itemized floor area table will be required at time of building permit review.



**Response: Understood as noted.**

14. Division 5, Impact Fees, Section 13-118 through 13-126. Pursuant to Ordinance 2006-017, all new development shall assume a fair share cost of providing Police and Fire/Rescue facilities. Fee, based on use and building square footage, must be paid prior to issuance of building permit. An itemized floor area table will be required at time of building permit review.

**Response: Understood as noted.**

### **Underground Utilities**

15. Section 13-142, Underground Utilities. Pursuant to Ordinance 2005-032, any project seeking site plan approval will be required to place all utilities including existing overhead utilities within the site or in public right-of-way adjacent to the site, underground. Electrical transmission and distribution lines with a rate load of 23k volts or higher shall be exempt from this requirement. Applicant must complete one of the following requirements prior to Planning & Zoning Board meeting; (1) provide a signed agreement between the applicant and each affected utility company demonstrating that the utility will be placed underground, (2) process an agreement with the City indicating the property owners' intent to comply with the under-grounding requirements for utilities, (3) if electrical lines with a rate load of 23k volts or higher exists, then a written detailed statement from a licensed professional engineer, qualified to verify such utility issues and, stating the rate load shall be provided, or (4) process an Underground Utility Waiver Application, which must be processed concurrently with the site plan, for consideration by the Planning & Zoning Board. Applicant must specify which option, as stated above, will be proposed for Board consideration. Appropriate information demonstrating compliance with City ordinance shall be submitted to the City for review as part of the DRC process. Be advised, failure to submit information in a timely manner, may prevent the site plan application from consideration by the P&Z Board.

**Response: This does not apply as the overhead utilities are located on the west side of 441.**

16. If technical reasons are the basis for a waiver application, the application shall contain a detailed statement by a Florida licensed Professional Engineer, qualified with respect to utility issues, explaining why it is technically not feasible to locate such utilities underground.

**Response: N/A**

17. Underground Utility Waiver submissions shall be prepared in accordance with the standards established in the City's Land Development Code, Section 13-142 "Underground Utilities Required" pursuant to Ordinance No. 2005-032. Applicant must provide a written justification that demonstrates the reasons for seeking a waiver to the underground placement of utilities. If technical reasons are the basis for the waiver application, the application must contain a detailed statement by a Florida licensed Professional Engineer, qualified with respect to utility issues, explaining why it is technically infeasible to locate such utilities underground.

**Response: N/A**



18. The City may grant a waiver if the application is supported by information detailing justifiable reasons for not pursuing the subject under-grounding.

**Response: N/A**

19. If a waiver is granted, a dollar amount equal to the cost of placing the utilities underground as determined by an estimate established by the relevant utilities and as agreed to by the City, may be required to be paid into the City's Underground Utility Fund, prior to building permit issuance.

**Response: N/A**

20. Applicant should include pictures of the utilities.

**Response: Pictures are included of utilities on the west side of 441.**

### **Aesthetic Criteria**

21. Applicant shall provide correspondence responding to aesthetic design criteria including but not limited to differences between existing and proposed development, architectural style, heights, materials, color palette, etc.

**Response: The proposed new Wendy's building design is a very contemporary but similar in size and height to the other buildings in the shopping center. The exterior wall finishes are Nichiha which is a fiber cement board panel that produce an attractive contrast in finishes and colors. The dining room has glass all around which enhances the look and also serves to invite pedestrian activity in the area. The existing shopping center is a little dated and we hope that with this new contemporary building, it will encourage more contemporary development.**

22. Sec.13-37(c)(1)d. - Without restricting permissible limits of the applicable zoning district, the height and scale of each building shall be compatible with its site and existing or anticipated adjoining buildings.

**Response: The proposed Wendy's is a one story building which is similar in height as the adjacent freestanding buildings in the shopping center.**

23. Sec.13-37(c)(3)b.2. - Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.

**Response: As stated above, the proposed building has a contemporary look and the materials are architecturally harmonious with the surrounding area.**

### **Elevations**

24. Architectural compatibility within the plaza shall be maintained. See aesthetic design criteria above. Architecture for all elevations shall be provided and be detailed.



**Response: The proposed new Wend's building design is very contemporary but similar in size and height to other buildings in the shopping center. The exterior wall finishes are Nichiha which is a fiber cement board panel that produce an attractive contrast in finishes and colors. Revised plan and elevations to fully enclose the walk in freezer and also provide a green wall on the east side of the building. Outdoor patio seating is provided to encourage outdoor activity and bring in pedestrians from the street. The existing shopping center is a little dated and we hope that with this new contemporary building, it will encourage the shopping center to promote the use of contemporary styles for future development.**

25. Show all light fixtures on building if proposed, they must be included in photometric calculations.

**Response: Removed wall mounted fixtures, all others accounted in photometric plans and calculations.**

26. Detail all elevations to show mean and maximum roof height, colors for all elements including decorative molding, banding, doors, etc. Identify all architectural treatments including finish material (ie stucco or other), width and depth cornices, banding etc.

**Response: Please see sheet A-2.1 and A-2.2.**

27. Sec.13-37(c)(3)b.2 - Buildings shall have the same materials, or those that are architecturally harmonious, on all walls and other exterior components that can be seen from public ways.

**Response: The proposed building has a contemporary look and the materials are architecturally harmonious with the surrounding area.**

#### **Outparcel**

28. Sec.13-359(b)(1) - Each outparcel must be developed so as to independently meet the provisions of the city's code. For the purpose of determining whether an outparcel has provided for sufficient landscaping, setbacks, as well as all other city code regulations have been met, each outparcel shall be reviewed independently and the condition of other parcels will not be considered in determining whether code criteria are met.

**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.**

29. Sec. 13-359(b)(2) – Number of outparcel permitted on any commercial development shall be no more than one (1) outparcel for every five (5) acres of total site area.

**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.**

30. Sec.13-359(b)(3) - No outparcel shall be less than forty three thousand five hundred sixty (43,560) square feet (one (1) acre) in area, with a minimum width of two hundred (200) feet.



**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.**

32. Sec.13-359(b)(6) - No building or canopy on any outparcel shall be located within 300 feet of any building or canopy on any other outparcel along the same street frontage.

**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel.**

33. Sec.13-359(b)(14) - Landscape requirements. Outparcel development sites shall comply with the city's landscaping requirements for the number, type, size and quality of both trees and ground cover. Any area not devoted to a structure or paved parking must be landscaped and irrigated in accordance with minimum standards set by the city.

**Response: A rezoning application has been filed by the owner of the shopping center in order to address this comment and allow for the creation of an outparcel. The PCD rezoning application includes a request for a waiver to comply with the landscape requirements. Please see sheet LP-1. The proposed site will be landscaped and irrigated in accordance with the minimum standards set by the City.**

34. Sec.13-359(b)(15) - Pedestrian access. The owner/developer of an outparcel site shall provide pedestrian walkways connecting the outparcel to the principal development throughout the site.

**Response: Please see the master site plan that is included with this submittal as it provides the pedestrian connectivity from the out parcel to the principal development.**

#### **Site Plan**

35. Provide details for previously approved vs proposed, site data information for open space, building coverage etc. Indicate how/where the differences were achieved. Any site data provided as such must meet the requirement of Sec.13-359.

**Response: Please see the table on sheet SP-2**

36. Show ALL ground mounted equipment around the proposed structure. Ensure landscape and screening compliance. See aesthetic criteria section above.

**Response: Mechanical equipment is located on the roof screened by a parapet. FPL transformers and other equipment is reflected on sheet SP-2.**

37. Sec. 13-331(g) – Landscape buffers along major right-of-way must be at 35’.

**Response: A rezoning application has been filed by the owner of the shopping center and the PCD manual that accompanies the request list various waivers that are being requested to accommodate the development of the proposed Wendy’s on Parcel C.**



38. Sec. 13-443(1) perimeter landscape requirement must be provided. Refer to landscape comments.

**Response: A rezoning application has been filed by the owner of the shopping center.**

39. Sec. 13-443(15)a – Roadway landscape buffer widths shall conform to Sec. 13-331(g).

**Response: A rezoning application has been filed by the owner of the shopping center and the PCD manual that accompanies the request list various waivers that are being requested to accommodate the development of the proposed Wendy's on Parcel C.**

40. Sec.13-443(15)b – Roadway landscape buffer shall be shown and delineated as separate parcels on all plats and site plans.

**Response: Please see sheet SP-1 and SP-2. Also see sheet LP-1.**

41. Sec.13-359(b)6 – Any outparcel shall not be located within 300' of any building or canopy of any other outparcel along the same street frontage.

**Response: A rezoning application has been filed by the owner of the shopping center and the PCD manual that accompanies the request list various waivers that are being requested to accommodate the development of the proposed Wendy's on Parcel C.**

42. Sec.13-359(11) – All service and deliveries shall be to the rear of the building. There shall be no outside display or storage of materials, products or goods.

**Response: All service and deliveries shall be to the rear of the building and a loading zone has been proposed.**

43. Sec.13-409(a)(3) - Provide a loading zone designated by pavement markings and a no parking sign. A full size loading zone of 12'x55', must be provided for parcels which are larger than 10,000 square feet. Loading zone must be accessible from the interior of the building it is intended to serve. Appropriate screening will be required.

**Response: Please see loading zoning on sheet SP-2.**

#### **Construction Trailer**

44. Show location of any temporary trailer(s) if proposed. Trailer(s) shall not be located adjacent to major thoroughfares, may require screening and will require sign review.

**Response: The proposed construction trailer has been depicted on sheet C-7.**

#### **Parking**



45. Sec.13-401 – Required parking for restaurant with high turn-over shall be calculated at 1 space per 150 square feet per customer service area, plus 1 space per 300 square feet noncustomer service area.

**Response: Please see parking analysis table on sheet SP-2. The code requires 10 parking spaces be provided and 31 spaces are being provided.**

46. Parking spaces must be 10' wide.

**Response: The parking spaces provided are 10' wide.**

#### **Truck Movement and Loading**

47. A truck movement plan must depict vehicles of appropriate size circulating around the site. Truck parking shall not be permitted on internal access aisle. Signs prohibiting parking or vehicle standing shall be provided.

**Response: The truck path is depicted on C-8.**

#### **Dumpster**

48. Applicant must obtain an approval from Republic Services (waste provider)(Francisco Valdes 954-583-1830).

**Response: A letter of approval from Republic Services is included with this submittal.**

#### **Signage**

49. The following sections are provided to assist with sign design.

**Response: Understood as noted.**

50. Subdivision 5.2 (13-458) – Permitted and prohibited permanent and temporary signs.

**Response: Understood as noted.**

51. Sec.13-459 – Schedule of permitted signs.

**Response: Understood as noted.**

52. Sec.13-460 – General provisions for all signs.

**Response: Understood as noted.**

53. Sec.13-460(k) – Cabinet signs.

**Response: N/A**

54. Sec.13-460(n) – Additional description of services provided or attributes.



**Response: N/A**

55. Sec.13-466.1 – Nonresidential frontages eligible for building signage.

**Response: N/A**

56. Sec. 13-467.4 – Directional signs.

**Response: Please see signage package.**

57. Sec.13-468.1 – Address signs.

**Response: The monument sign will contain the 6” address numbers. Please see the signage package.**

58. Sec.13-466.8 – Wall identification signs.

**Response: Please see signage package.**

59. Sec.13-468.7 – Drive through signs.

**Response: Please see signage package.**

60. Sec.13-468.8. - Service entrance signs.

**Response: N/A**

61. Sec.13-468.9 – Window signs.

**Response: Please see signage package.**

62. Sec.13-471 – Sign review procedures.

**Response: Understood as noted.**

63. Sec.13-474 – Designer signs.

**Response: N/A**

### **Photometric**

64. Photometric plan shall include ALL lighting including parking, exterior building, signage, and landscaping. Please provide all additional lighting/footcandles not currently shown on the plans.



**Response: Please see sheet PH-1.**

65. Sec.13-374 - Review the lighting code and provide the table as required (Sec.13-371(5)1) to determine if the proposed lighting design exceeds the acceptable number of lumens.

**Response: Please see the table provided on sheet PH-1.**

66. Sec.13-374 (2) d 4 - Light shall not trespass off the subject property. Revise the plans accordingly.

**Response: Please see sheet PH-1. The over spill is limited to 0.0 foot candles along street and on adjacent boundaries of the parcel.**

67. Sec.13-374 (2)d 11 - Address how the required reduction to a maximum of 1 footcandle will be achieved after hours.

**Response: Please see note on sheet PH-1**

68. Please note, per the lighting ordinance, wallpacks and flood lighting are prohibited. Luminaires shall be full cut-off or equivalent.

**Response: Please see sheet A2.1 and A2.2.**

69. Provide cut sheets for all luminaires which include lumen information.

**Response: Please refer to sheet PH-1**

70. Be advised, site lighting will be measured in the field using a light meter to ensure that the 10 fc limit is not exceeded. The building C.O. is predicated on meeting this requirement.

**Response: Understood as noted.**

**POLICE**

Approved



May 10, 2018

City of Coconut Creek  
Department of Sustainable Development  
4800 West Copans Road  
Coconut Creek, FL 33063

**RE: Wendy's #11670  
6710 North State Road 7  
Coconut Creek, FL**

Below please find Site Plan Aesthetic Design Criteria Justification Statement comments and responses regarding the above-described project.

**Comment #1: Harmonious and efficient organizations. The site plan shall be organized harmoniously and efficiently in relation to topography, the size and type of plot, the character of adjoining property, and the type and size of buildings. The site will be developed to facilitate orderly development of surrounding property.**

Response #1: The proposed Wendy's site plan is an efficient layout that promotes safe site circulation, combined with appealing landscaping and a harmonious architectural design. The site is organized harmoniously and efficiently in relation to the topography, the size of the parcel, the character of the adjoining property, and the size of the proposed fast food restaurant with a drive-thru. This proposed Wendy's will create a more visually appealing site, and also improve compatibility within the shopping center and further maintain the value of the land. The shopping center owner has filed a rezoning application that will result in a more harmonious and efficient development within its parameters.

**Comment #2: Preservation of natural state. Desirable vegetation or other unique natural features shall be preserved in their natural state when practical. Tree and soil removal and filling of natural watercourses shall be minimized.**

Response #2: The site is currently a parking lot, with existing landscaping adjacent to 441, and throughout the parcel. Several existing trees will be relocated within the site and additional new trees, hedge material, ground cover and sod will be planted within the property. Tree and soil removal, as well as filling of natural watercourses, will be minimized with the proposed development.

Corporate Property Services, Inc.  
1239 East Newport Center Drive • Suite 113 • Deerfield Beach, FL 33442  
Tel: 954-426-5144 • Fax: 954-570-3391  
Land Use Planning • Permit Expediting • Project Management



**Comment #3: Enhancement of residential privacy. The site plan shall provide reasonable visual and sound privacy for all adjacent dwelling units. Fences, walks, barriers and vegetation shall be arranged for protection and privacy.**

Response #3: The site is located within a highway commercial district, adjacent to State Road 7, with no residential property in the direct vicinity of the subject parcel.

**Comment #4: Emergency access. Structures and other site features shall be arranged to permit practical emergency vehicle access to all sides of buildings**

Response #4: The proposed Wendy's site plan has been designed to accommodate emergency vehicle access to all sides of the proposed Wendy's restaurant.

**Comment #5: Access to public ways. Every structure and dwelling unit shall have access to a public street, walkway or other area dedicated to common use.**

Response #5: An ADA public access connection to the existing public sidewalk along the east side of State Road 7 will be provided from the west side of the proposed Wendy's building. This will also allow access to the parcels to the north and south of the subject site.

**Comment #6: Pedestrian circulation. A pedestrian circulation system shall be provided which is separate from the vehicular circulation system.**

Response #6: Pedestrian access is provided at west side of the building, which will in turn provide access from the building to the public sidewalk. Pedestrians have access to the building on the east and west side of the building, adjacent to existing parking spaces. The ADA compliant parking spaces utilize the west entrance and ADA pedestrian walkway from the parking lot to the building. Wendy's and the shopping center owner have worked together in order to provide a pedestrian connection from the sidewalk along State Road 7, to the main shopping center. The pedestrian path will run along the Wendy's south property line and then continue through a landscape island in the parking lot of center and connect to the main structure of the shopping center.

**Comment #7: Design of access and egress drives. The location, size, and numbers of ingress and egress drives to a site will be designed to minimize the negative impacts on public and private streets and on adjacent property.**

Response #7: The proposed Wendy's parcel will not have a direct vehicular access connection to State Road 7. This project will minimize the negative impacts on the private shopping center driveway that runs north/south, by providing one curb cut into the parcel located at the northeast corner of the site. The location of the proposed driveway, into the site, is located at the northeast corner of the parcel, in order to minimize a traffic congestion from the main shopping center drive aisle located immediately south of the parcel. This driveway connection provides safe and adequate ingress/egress to the property.



**Comment #8: Coordination with off-site vehicular and pedestrian circulation systems. The arrangement of rights-of-way or easements for vehicular and pedestrian circulation shall coordinate the pattern of existing and planned streets and pedestrian or bicycle pathways in the area.**

Response #8: The property has vehicular ingress/egress and pedestrian access connection to the east and west sides of the parcel respectively. Pedestrian connectivity throughout the site is being provided by the shopping center through sidewalks to assist patrons with maneuvering through various parcels in a safe and efficient manner.

**Comment #9: Stormwater control. Protective measures shall ensure that removal of stormwater runoff will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made for construction of wastewater facilities including grading, gutters, and piping to direct stormwater and prevent erosion. Surface water on all paved areas shall be collected at intervals which do not obstruct vehicular or pedestrian traffic.**

Response #9: The proposed Wendy's property is incorporated within the overall retail shopping center storm water system. Wendy's will comply with all drainage design requirements for the City of Coconut Creek, Broward County, SFWMD, and FDOT.

**Comment #10: Exterior lighting. Location, type, size and direction of exterior lighting shall not glare or direct illumination which interferes with adjacent properties or safety of public rights-of-way.**

Response #10: The proposed site lighting for Wendy's will comply with the City of Coconut Creek Code requirements and will not provide glare or direct illumination which will interfere with adjacent properties or safety of public rights-of-way.

**Comment #11: Protection of property values. Elements of a site plan shall be arranged to have minimum negative impact on values of adjoining property.**

Response #11: The proposed Wendy's will not only enhance the Shops at Coral Creek but it will enhance the State Road 7 corridor and surrounding businesses. This project will have a positive impact on the shopping center as well as the surrounding properties.



## CITY OF COCONUT CREEK

### DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW #2

**05-24-18**

<b>PROJECT NAME:</b>	Wendy's		
<b>PROJECT NUMBER:</b>	17020003		
<b>LOCATION:</b>	Coral Creek Shoppes		
<b>APPLICANT/AGENT:</b>	Corporate Property Services		
<b>REVIEW/APPLICATION</b>	Site Plan		
DISCIPLINE	REVIEWER	EMAIL	TELEPHONE
DRC Chair	Liz Aguiar – Senior Planner	<a href="mailto:laguiar@coconutcreek.net">laguiar@coconutcreek.net</a>	(954) 973-6756
Planning	Linda Whitman – Senior Planner	<a href="mailto:lwhitman@coconutcreek.net">lwhitman@coconutcreek.net</a>	(954) 973-6756
Planning	Natacha Josiah – Planner	<a href="mailto:NJosiah@coconutcreek.net">NJosiah@coconutcreek.net</a>	(954) 973-6756
Building	Sean Flanagan - Chief Structural Inspector	<a href="mailto:sflanagan@coconutcreek.net">sflanagan@coconutcreek.net</a>	(954) 973-6750
Engineering	Eileen Cabrera - Engineer II	<a href="mailto:ecabrera@coconutcreek.net">ecabrera@coconutcreek.net</a>	(954) 973-6786
Engineering	Mohammed Albassam – Engineer I	<a href="mailto:malbassam@coconutcreek.net">malbassam@coconutcreek.net</a>	(954) 973-6786
Fire	Jeff Gary – Fire Marshall	<a href="mailto:jgary@coconutcreek.net">jgary@coconutcreek.net</a>	(954) 973-1563
Landscape	Scott Peavler - Landscape (consultant)	<a href="mailto:speavler@coconutcreek.net">speavler@coconutcreek.net</a>	(954) 973-6756
Police	Brandi Delvecchio - Police Department	<a href="mailto:bdelvecchio@coconutcreek.net">bdelvecchio@coconutcreek.net</a>	(954) 956-6721

## DEPARTMENTAL COMMENTS

### BUILDING

APPROVED

1. This approval shall not imply full compliance with the Florida Building Code. Submittal of a building permit application and plans are required for review for a building permit.

**Response: Acknowledged, a building permit application and plans will be submitted for review to be in compliance with the Florida Building Code.**

### ENGINEERING

HOLD

1. Please specify by whom the new wastewater line will be constructed, the response says the waterline, not the wastewater line (please clarify).

**Response: Wastewater line to be constructed by RAMCO/Coral Creek and it is not part of Wendy's scope of work.**

2. The west side of the property has a 12 foot Utility Easement that shows trees being planted on it. No trees should be planted within the Utility Easement.

Applicant is required to address **EACH** comment and to revise plans accordingly (*acknowledgements are not corrections*). **ONLY COMPLETE SIGNED AND SEALED DIGITAL PACKAGES WILL BE ACCEPTED.** Applicant does not need to resubmit application or previously submitted documents. Additional comments may be provided at DRC meeting and/or required upon review of any revised plans. Refer to **e-Plan User Guide** for instructions, found under resources on the Development Review web page.



**Response: Please note the tree has been removed and there are no trees planted within the utility Easement.**

## FIRE

APPROVED

**Response: Approval noted.**

## LANDSCAPE ARCHITECTURE

HOLD

1. Dimension text is difficult to read in planter beds. Pull text outside of beds legibility.

**Response: Please see the revised sheet LP\_1 (Landscape Plan). The text is shown outside.**

2. Correct data table under “special provisions” € for commercial. Groundcover calculation is to be provided as well.

**Response: Please see sheet LP\_1, the data table has been revised and ground cover calculation provided.**

3. In the data table provide cardinal direction for which perimeter the code is applying. 13-443 (13) & 13-443 (15) is West, Section 13-443 (10a) is applied to the North, South, and East perimeters. For the North, South, and East perimeter, in addition to the trees, a continuous hedge is required. Contact reviewer to discuss if needed.

**Response: Please see sheet LP\_1, the cardinal direction codes have been added and continuous hedges provided.**

4. Section 13-443 (9) is not applicable for the south or west perimeters.

**Response: Acknowledged as noted. Please see sheet LP\_1, a note added stating not applicable.**

5. Species diversification calculation and Native calculations is to be per the proposed plant material. Existing material is not to be included. Contact reviewer to discuss if needed.

**Response: Please see the revised data on sheets LP\_1 and TS-1.**

6. Elevations propose green wall systems along the east façade. What plant material is proposed for this wall and include in proposed plant list.



**Response:** Please see sheet LP\_1, the new landscape legend provides the plant material being provided for the green wall system.

## PLANNING AND ZONING

HOLD

### General Comments

1. Applicant shall make every effort to ensure Community Involvement (business) as part of this project review. Provide an itemized accounting and/or correspondence demonstrating efforts including any mailed notices, meetings, correspondence, etc. Be advised, applicant shall submit a report to the Director of Sustainable Development or her designee prior to being scheduled for the Planning and Zoning Board and/or City Commission agenda.

**Response:** Consistent with our discussions with Staff, Ramco-Gershenson Properties, L.P., as the owner of the Coral Creek Shops, distributed a letter to the tenants within the Shopping Center of the pending applications and provided an opportunity to obtain more information. A copy of the correspondence is included in the re-submittal for the PCD rezoning.

2. Applicant shall revise and strengthen justification responses to address City Land Development Code requirements. Site specific standards shall address existing site conditions and constraints that may have been created by the proposed parcel. The burden of demonstrating code compliance listed in Sec.13-355, is the responsibility of the applicant.

**Response:** The justification responses have been revised and strengthened to address the City Land Development Code requirements.

3. Applicant has stated that endorsements or letters of support from the plaza outparcel owners have been received. Provide copies of documents. See comment #1 above.

**Response:** Per Ramco-Gershenson Properties, L.P., all consents required by the underlying leases have been obtained to allow the Wendy's development.

4. Pending PowerPoint presentation at the Planning and Zoning Board meeting and City Commission meetings.

**Response:** Acknowledged, a PowerPoint presentation will be provided for the Planning & Zoning Board meeting and City Commission meeting

5. Pending receipt of one (1) digital copy of site plan package and PowerPoint presentation and 11 sets of site plan packages prior to the Planning and Zoning Board meeting.

**Response:** Acknowledged as noted and will be provided prior to Planning and Zoning Board meeting.

6. Pending approval of the Special Land Use application for the proposed restaurant.



**Response: Acknowledged as noted. The Special Land Use application for the proposed restaurant is being reviewed.**

7. Be advised, approval of Site plan is subject to approval of concurrent rezoning development review application.

**Response: Acknowledged as noted that the Site Plan is subject to approval of concurrent rezoning.**

8. Pending correspondence from Broward County ensuring that the proposed Wendy's development has not exceeded any plat restriction or condition.

**Response: Correspondence from Broward County will be provided prior to building permit issuance.**

9. Pending recordation of Plat Note Amendment prior to building permit issuance.

**Response: Acknowledged as noted. Recordation of Plat Note Amendment will be provided prior to building permit issuance.**

10. Pending receipt of signed/sealed drawings prior to issuance of any building permit.

**Response: Acknowledged as noted. The signed/sealed drawing will be provided prior to the issuance of any building permit.**

11. Pending payment of Police and Fire/Rescue facilities impact fee prior to building permit issuance.

**Response: Acknowledged as noted.**

12. Pending payment of Affordable Housing impact fee prior to building permit issuance.

**Response: Acknowledged as noted.**

### **Underground Utilities**

13. Section 13-142, Underground Utilities. Pursuant to Ordinance 2005-032, any project seeking site plan approval will be required to place all utilities including existing overhead utilities within the site or in public right-of-way adjacent to the site, underground. Electrical transmission and distribution lines with a rate load of 23k volts or higher shall be exempt from this requirement. Applicant must complete one of the following requirements prior to Planning & Zoning Board meeting; (1) provide a signed agreement between the applicant and each affected utility company demonstrating that the utility will be placed underground, (2) process an agreement with the City indicating the property owners' intent to comply with the under-grounding requirements for utilities, (3) if electrical lines with a rate load of 23k volts or higher exists, then a written detailed



statement from a licensed professional engineer, *qualified to verify such utility issues* and, stating the rate load shall be provided, or (4) process an Underground Utility Waiver Application, which must be processed concurrently with the site plan, for consideration by the Planning & Zoning Board. Applicant must specify which option, as stated above, will be proposed for Board consideration. Appropriate information demonstrating compliance with City ordinance shall be submitted to the City for review as part of the DRC process. Be advised, failure to submit information in a timely manner, may prevent the site plan application from consideration by the P&Z Board.

**Response: Per meeting with Liz Aguiar, Craig McDonald and Janna Lhota the requirement to underground utilities is not applicable due to the fact that the above ground utilities are located on the west side of 441.**

14. Underground Utility Waiver submissions shall be prepared in accordance with the standards established in the City's Land Development Code, Section 13-142 "Underground Utilities Required" pursuant to Ordinance No. 2005-032. Applicant must provide a written justification that demonstrates the reasons for seeking a waiver to the underground placement of utilities. If technical reasons are the basis for the waiver application, the application must contain a detailed statement by a Florida licensed Professional Engineer, qualified with respect to utility issues, explaining why it is technically infeasible to locate such utilities underground.

**Response: This is not applicable.**

15. The City may grant a waiver if the application is supported by information detailing justifiable reasons for not pursuing the subject under-grounding.

**Response: This is not applicable.**

16. If a waiver is granted, a dollar amount equal to the cost of placing the utilities underground as determined by an estimate established by the relevant utilities and as agreed to by the City, may be required to be paid into the City's Underground Utility Fund, prior to building permit issuance.

**Response: This is not applicable.**

### **Elevations**

17. Staff suggests a "Decorable Green Wall" on the west elevation.

**Response: Wendy's, respectfully suggest that this is not necessary since adequate pedestrian zone landscape is provided in this area and the north section is all glass with outdoor patio seating next to it.**

18. Provide a color rendering elevation plan.

**Response: A color rendering elevation plan will be provided prior to public hearing meeting.**



### **Dumpster**

19. Staff recommends that a pedestrian access and walkway be provided on the north side of the enclosure to reduce use of dumpster gates as a means a pedestrian access.

**Response: Please see the revised sheets SP-2 for the pedestrian access and walkway and see the trash enclosure details on sheet SP-4.**

### **Site Plan**

20. Clarify item #31 on sheet SP-2.

**Response: Please see sheet SP-2 where item #31 has been corrected to item #22.**

21. Identify the 25' front setback noted on the master site plan to reflect the correct verbiage.

**Response: The Master Site Plan on sheet SP-1 has been revised to reflect the correct verbiage.**

22. The total of number of required parking spaces resulting in a fractional space shall require a full parking space. Revise parking analysis.

**Response: Please see sheet SP-2, the parking analysis has been revised to provide the correct parking space total.**

23. Include in the parking analysis, the required number of parking spaces for the outdoor dining area.

**Response: Please see sheet SP-2, the updated parking analysis includes outdoor seating.**

24. Identify existing transit stops located on State Road 7. State how this project will enhance and connect to transit.

**Response: Please see the sheet SP-5, the Master Site pedestrian connectivity sheet that provides the existing transit stops located on State Road 7.**

25. Improvements adjacent to State Road 7 shall include opportunities for pedestrian sidewalk connections and other features such as plazas, bench seating and pergolas. Applicant shall identify and show proposed amenities on site and landscape plan. Staff may provide additional details for pergola installation.

**Response: Please see sheet SP-2, where Wendy's is adding a free standing trellis with benches at SW corner of the site.**

26. Staff recommends that applicant consider additional pedestrian improvements throughout the plaza as part of the concurrent PCD and master site plan applications. Ensure additional amenities are reflected in the overall site and landscape plans.



**Response: Please see sheet SP-5, the Master Site pedestrian connectivity plan.**

**Signage**

27. Sign located on the east elevation appears to be larger than allowed. However, the detail plan provides for a sign of six (6) feet in overall height which is the maximum permitted by City code. Both plans must be consistent. Revise accordingly.

**Response: Please see both plans have been revised to show the height consistently.**

28. Item #22, monument sign – Identify location of monument sign on Sheet SP-2.

**Response: Please see sheet SP-2, where the monument sign has been correctly identified as #22.**

29. Ground sign - Be advised, must provide a minimum 5 foot setback from property line. Provide a dimension demonstrating compliance.

**Response: Please see sheet SP-2, a 6 foot dimension has been provided from the property line.**

30. *Ground sign* - Be advised, permanent ground sign cannot encroach into utility easement.

**Response: Please see sheet SP-2, the sign has been located outside the utility easement.**

31. *Ground sign* - The sign face area shall not exceed sixty (60) percent of the sign structure area. Provide and demonstrate compliance with this requirement.

**Response: The monument face is less than 60%. The sign face area is 22.75 square feet.**

**POLICE**

APPROVED

# **Attachment A**

## **Coral Creek Shops Master Plan**



# **Attachment B**

## **Wendy's Preliminary Site Plan**



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# **Attachment C**

***ITE Trip Generation Manual (10<sup>th</sup> Edition)***

**Data Excerpts for Land Use #934**

## Land Use: 934

### Fast-Food Restaurant with Drive-Through Window

#### Description

This category includes fast-food restaurants with drive-through windows. This type of restaurant is characterized by a large drive-through clientele, long hours of service (some are open for breakfast, all are open for lunch and dinner, some are open late at night or 24 hours a day) and high turnover rates for eat-in customers. These limited-service eating establishments do not provide table service. Non-drive-through patrons generally order at a cash register and pay before they eat. Fast casual restaurant (Land Use 930), high-turnover (sit-down) restaurant (Land Use 932), fast-food restaurant without drive-through window (Land Use 933), and fast-food restaurant with drive-through window and no indoor seating (Land Use 935) are related uses.

#### Additional Data

**Users should exercise caution when applying statistics during the AM peak periods, as the sites contained in the database for this land use may or may not be open for breakfast. In cases where it was confirmed that the sites were not open for breakfast, data for the AM peak hour of the adjacent street traffic were removed from the database.**

The outdoor seating area is not included in the overall gross floor area. Therefore, the number of seats may be a more reliable independent variable on which to establish trip generation rates for facilities having significant outdoor seating.

Time-of-day distribution data for this land use for a weekday, Saturday, and Sunday are presented in Appendix A. For the 46 general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:45 a.m. and 12:45 p.m. and 12:00 and 1:00 p.m., respectively. For the one dense multi-use urban site with data, the same AM and PM peak hours were observed.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alaska, Alberta (CAN), California, Colorado, Florida, Indiana, Kentucky, Maryland, Massachusetts, Minnesota, Montana, New Hampshire, New Jersey, New York, North Carolina, Ohio, Pennsylvania, South Dakota, Texas, Vermont, Virginia, Washington, and Wisconsin.

#### Source Numbers

163, 164, 168, 180, 181, 241, 245, 278, 294, 300, 301, 319, 338, 340, 342, 358, 389, 438, 502, 552, 577, 583, 584, 617, 640, 641, 704, 715, 728, 810, 866, 867, 869, 885, 886, 927, 935, 962, 977

# Fast-Food Restaurant with Drive-Through Window (934)

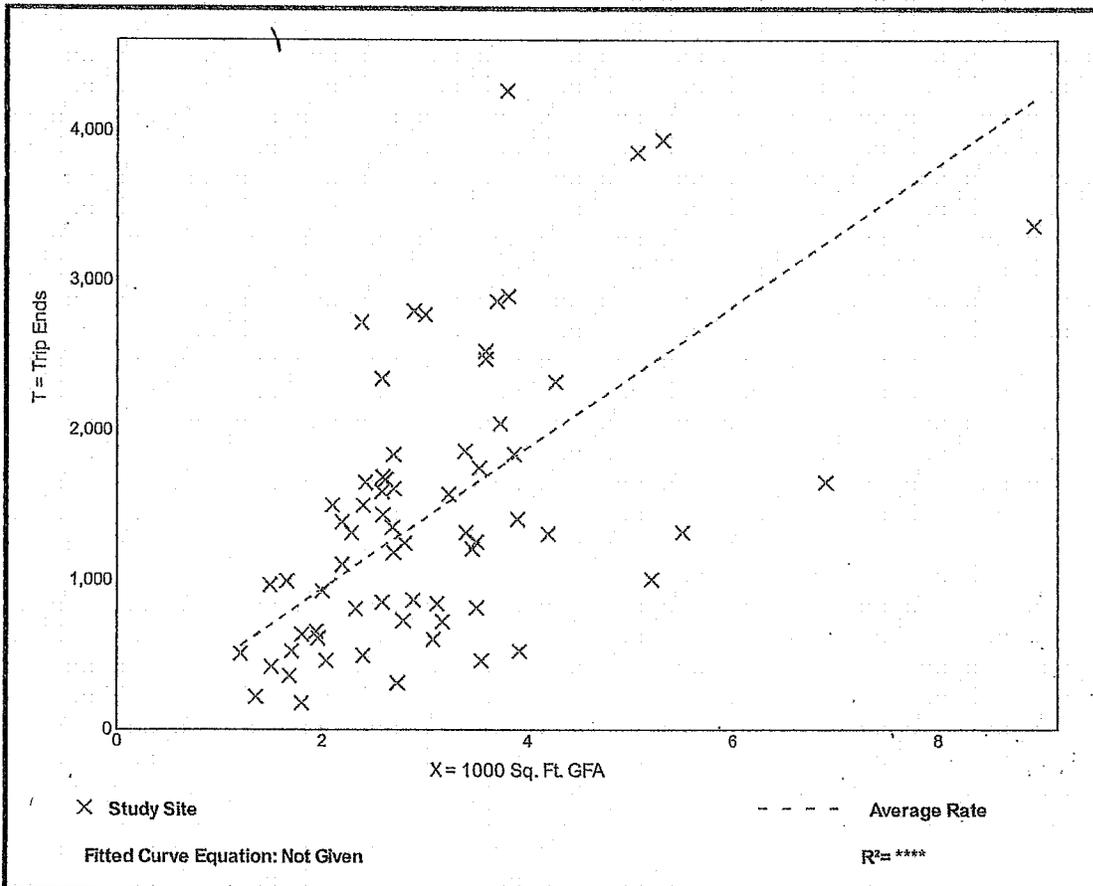
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 67  
1000 Sq. Ft. GFA: 3  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
470.95	98.89 - 1137.66	244.44

## Data Plot and Equation



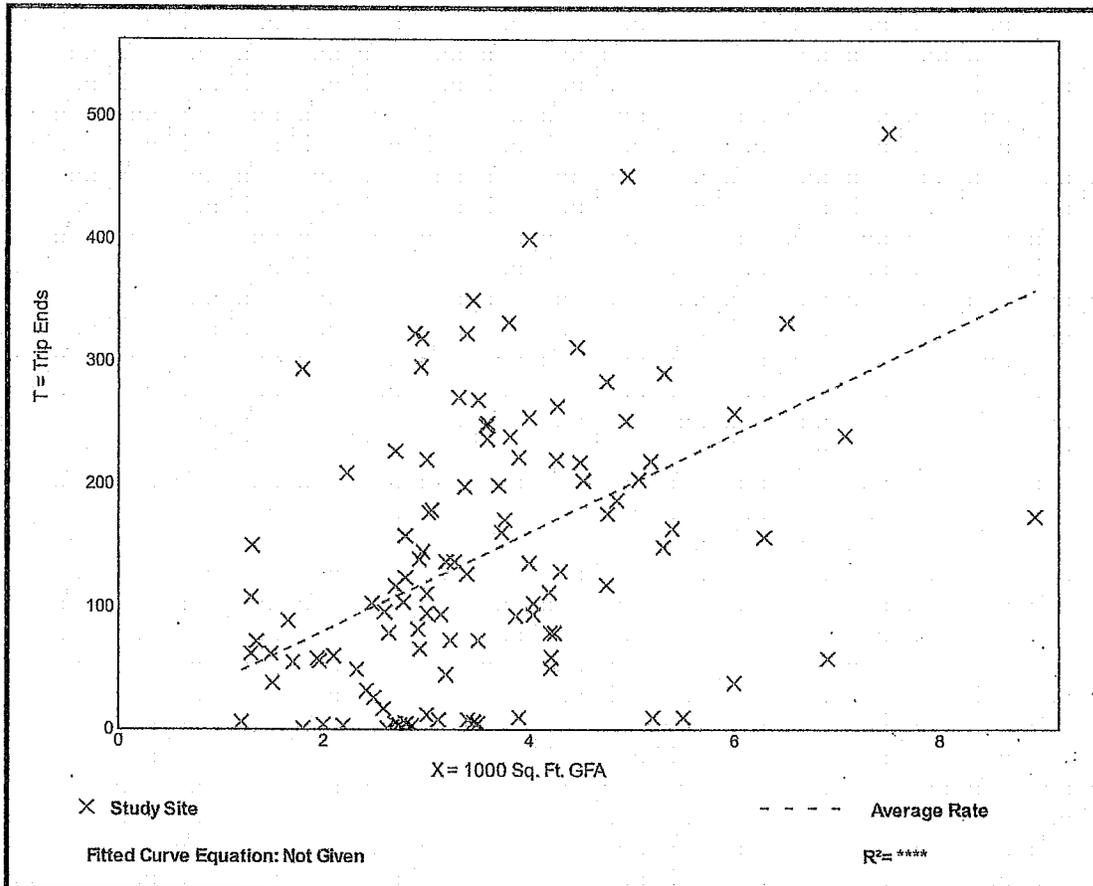
# Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
 On a: Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 7 and 9 a.m.  
 Setting/Location: General Urban/Suburban  
 Number of Studies: 111  
 1000 Sq. Ft. GFA: 4  
 Directional Distribution: 51% entering, 49% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
40.19	0.38 - 164.25	28.78

## Data Plot and Equation



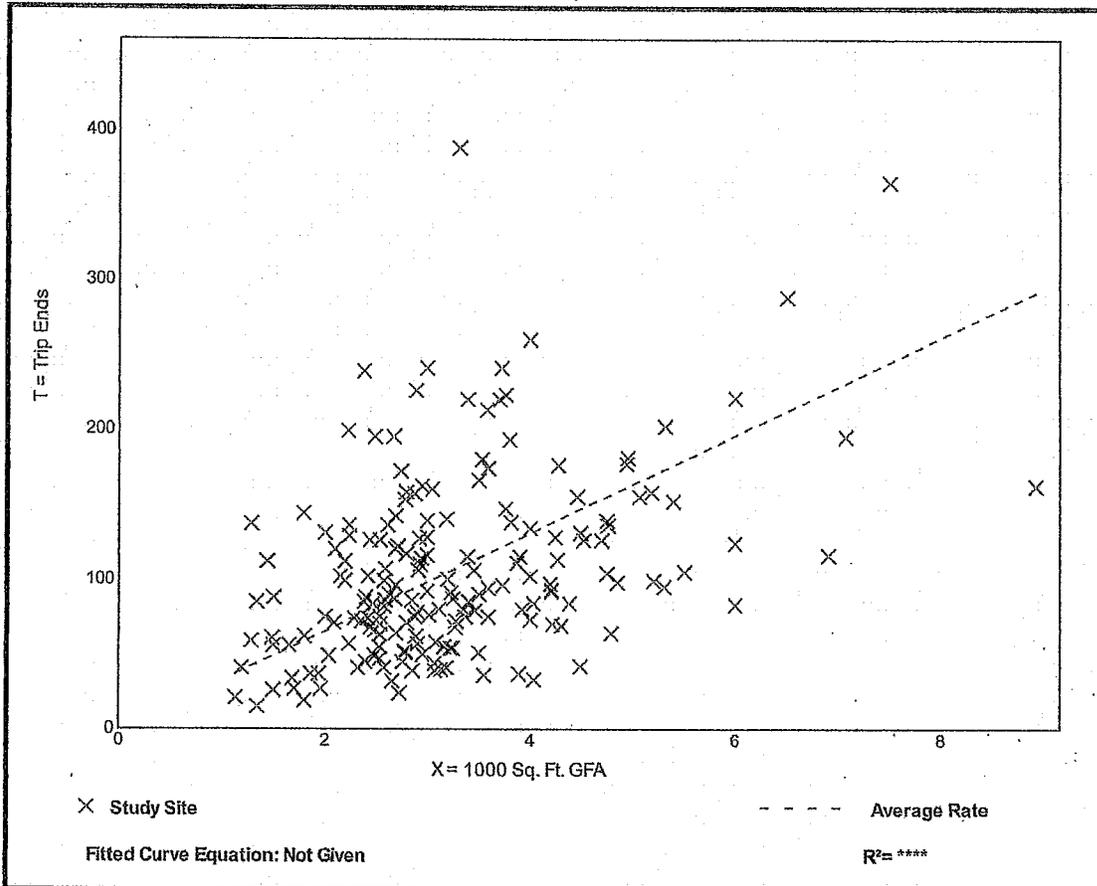
# Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
 On a: Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 4 and 6 p.m.  
 Setting/Location: General Urban/Suburban  
 Number of Studies: 185  
 1000 Sq. Ft. GFA: 3  
 Directional Distribution: 52% entering, 48% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
32.67	8.17 - 117.22	17.87

## Data Plot and Equation



# **Attachment D**

## **FDOT Q/LOS Tables**

### **Peak Hour / Two-Way / Urbanized Area Table**

**TABLE 4**

**Generalized Peak Hour Two-Way Volumes for Florida's Urbanized Areas<sup>1</sup>**

12/18/12

INTERRUPTED FLOW FACILITIES						UNINTERRUPTED FLOW FACILITIES							
<b>STATE SIGNALIZED ARTERIALS</b>						<b>FREEWAYS</b>							
<b>Class I (40 mph or higher posted speed limit)</b>						Lanes	B	C	D	E			
Lanes	Median	B	C	D	E	4	4,120	5,540	6,700	7,190			
2	Undivided	*	1,510	1,600	**	6	6,130	8,370	10,060	11,100			
4	Divided	*	3,420	3,580	**	8	8,230	11,100	13,390	15,010			
6	Divided	*	5,250	5,390	**	10	10,330	14,040	16,840	18,930			
8	Divided	*	7,090	7,210	**	12	14,450	18,880	22,030	22,860			
<b>Class II (35 mph or slower posted speed limit)</b>						<b>Freeway Adjustments</b>							
Lanes	Median	B	C	D	E	Auxiliary Lanes Present in Both Directions			Ramp Metering				
2	Undivided	*	660	1,330	1,410	+ 1,800			+ 5%				
4	Divided	*	1,310	2,920	3,040								
6	Divided	*	2,090	4,500	4,590								
8	Divided	*	2,880	6,060	6,130								
<b>Non-State Signalized Roadway Adjustments</b> (Alter corresponding state volumes by the indicated percent.)													
Non-State Signalized Roadways - 10%													
<b>Median &amp; Turn Lane Adjustments</b>													
Lanes	Median	Exclusive Left Lanes	Exclusive Right Lanes	Adjustment Factors									
2	Divided	Yes	No	+5%									
2	Undivided	No	No	-20%									
Multi	Undivided	Yes	No	-5%									
Multi	Undivided	No	No	-25%									
-	-	-	Yes	+ 5%									
<b>One-Way Facility Adjustment</b> Multiply the corresponding two-directional volumes in this table by 0.6													
<b>BICYCLE MODE<sup>2</sup></b> (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)													
<b>Paved Shoulder/Bicycle</b>													
Lane Coverage	B	C	D	E									
0-49%	*	260	680	1,770									
50-84%	190	600	1,770	>1,770									
85-100%	830	1,770	>1,770	**									
<b>PEDESTRIAN MODE<sup>2</sup></b> (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)													
<b>Sidewalk Coverage</b>													
B	C	D	E										
0-49%	*	*	250	850									
50-84%	*	150	780	1,420									
85-100%	340	960	1,560	>1,770									
<b>BUS MODE (Scheduled Fixed Route)<sup>3</sup></b> (Buses in peak hour in peak direction)													
<b>Sidewalk Coverage</b>													
B	C	D	E										
0-84%	> 5	≥ 4	≥ 3	≥ 2									
85-100%	> 4	≥ 3	≥ 2	≥ 1									
						<b>UNINTERRUPTED FLOW HIGHWAYS</b>							
						Lanes	Median	B	C	D	E		
						2	Undivided	770	1,530	2,170	2,990		
						4	Divided	3,300	4,660	5,900	6,530		
						6	Divided	4,950	6,990	8,840	9,790		
						<b>Uninterrupted Flow Highway Adjustments</b>							
						Lanes	Median	Exclusive left lanes	Adjustment factors				
						2	Divided	Yes	+5%				
						Multi	Undivided	Yes	-5%				
						Multi	Undivided	No	-25%				
						<sup>1</sup> Values shown are presented as peak hour two-way volumes for levels of service and are for the automobile/truck modes unless specifically stated. This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Calculations are based on planning applications of the Highway Capacity Manual and the Transit Capacity and Quality of Service Manual.							
						<sup>2</sup> Level of service for the bicycle and pedestrian modes in this table is based on number of motorized vehicles, not number of bicyclists or pedestrians using the facility.							
						<sup>3</sup> Buses per hour shown are only for the peak hour in the single direction of the higher traffic flow.							
						* Cannot be achieved using table input value defaults.							
						** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached. For the bicycle mode, the level of service letter grade (including F) is not achievable because there is no maximum vehicle volume threshold using table input value defaults.							
						Source: Florida Department of Transportation Systems Planning Office <a href="http://www.dot.state.fl.us/planning/systems/sm/los/default.shtm">www.dot.state.fl.us/planning/systems/sm/los/default.shtm</a>							