

## SITE DATA

**STATEMENT OF INTENT:**  
THE OWNER PROPOSES TO CONSTRUCT A NEW 3,461 S.F. LIQUOR BOX ADDITION AND THE REQUIRED SITE SUPPORT ELEMENTS TO SERVE IT.

ADDRESS: 5571 HILLSBORO BOULEVARD, COCONUT CREEK, FL 33073  
WAL-MART SITE AREA: 19.66 AC ± (856,389 S.F. ±)  
ZONING: CG - COMMERCIAL GENERAL  
LANDUSE: RETAIL  
PARCEL ID: 4842-06-37-0010

**BUILDING INFORMATION**

**PRE-EXPANSION - EXISTING CONDITION:**  
EXISTING BUILDING AREA: 205,363 S.F.  
EXISTING BUILDING HEIGHT: 30'-4"  
EXISTING FLOOR AREA RATIO: 0.20  
NUMBER OF STORIES: 1

**POST-EXPANSION - PROPOSED CONDITION:**  
PROPOSED BUILDING EXPANSION AREA: 3,461 S.F.  
PROPOSED TOTAL BUILDING AREA: 208,824 S.F.  
PROPOSED BUILDING HEIGHT: 26'-6"  
PROPOSED FLOOR AREA RATIO: 0.20  
NUMBER OF STORIES: 1

**MINIMUM BUILDING SETBACKS:**

REQUIRED:	PROPOSED:
FRONT: 25'	FRONT: 198'
SIDE: 25'	SIDE: 308'
REAR: 25'	REAR: 42'

**LAND COVERAGE SUMMARY**

**PRE-EXPANSION - EXISTING CONDITION:**  
IMPERVIOUS AREA: 655,578 S.F. (76.50%)  
OPEN SPACE: 200,811 S.F. (23.50%)  
TOTAL: 856,389 S.F. (100.00%)

**POST-EXPANSION - PROPOSED CONDITION:**  
IMPERVIOUS AREA: 655,131 S.F. (76.49%)  
OPEN SPACE: 201,258 S.F. (23.51%)  
TOTAL: 856,389 S.F. (100.00%)

**PARKING INFORMATION**

**PRE-EXPANSION - EXISTING CONDITION:**  
PARKING PROVIDED: 740 SP. / 205,363 S.F. = 4.27 SP. / 1,000 S.F.  
(NOT INCLUDING 20 SPACES ALLOCATED FOR CART CORRALS BASED ON RETAIL ONLY AREA OF 172,943 S.F.)

**POST-EXPANSION - PROPOSED CONDITION:**  
CITY OF COCONUT CREEK REQUIRED PARKING: 4.0 SPACE PER 1,000 G.F.A.  
176,404 RETAIL S.F. / 1,000 S.F. x 4.0 = 706 SPACES

PARKING PROVIDED: 725 SP. / 208,824 S.F. = 4.10 SP. / 1,000 S.F.  
(NOT INCLUDING 20 SPACES ALLOCATED FOR CART CORRALS BASED ON RETAIL ONLY AREA OF 176,404 S.F.)

ADA PARKING: 501 TO 1,000 SPACES PROVIDED = 3% OF TOTAL  
REQUIRED: 706 SPACES X 3% = 21 SPACES REQUIRED  
PROVIDED: 27 SPACES

**HOURS OF OPERATION**

MONDAY - SATURDAY	8:00 AM - 12:00 AM
SUNDAY	9:00 AM - 12:00 AM

## PAD PREP. NOTE

FOUNDATION SUBSURFACE PREPARATION  
WALMART STORE NO. 1916 LIQUOR BOX ADDITION  
COCONUT CREEK, BROWARD COUNTY, FLORIDA

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND THE BUILDING ADDITION AND APPURTENANCES. APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDINGS PROPER (REFER TO DRAWING SHEET SP1) TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, GARDEN CENTER, PORCHES, RAMPS, STOPS, TRUCK WELLS/DOCKS, COMPACTOR PAD, ETC. THE BASE AND VAPOR BARRIER DO NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND APPURTENANCES.

ESTABLISH THE FINAL SUB GRADE ELEVATION AT THE BOTTOM OF THE BASE TO ALLOW FOR THE SLAB (REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR SLAB THICKNESS UNDERLAIN BY A VAPOR RETARDER (MINIMUM 15 MIL THICKNESS MEETING ASTM E1745 CLASS 'A' REQUIREMENTS) TOP A 4-INCH AGGREGATE BASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS OF ALL CUT AND FILL DEPTHS.

THE BASE MATERIAL SHALL BE FDOT LIMEROCK MATERIAL WITH AT LEAST 97% BY WEIGHT PASSING A 3.5 INCH SIEVE AND THE MATERIAL SHALL BE GRADED UNIFORMLY DOWN TO DUST. THE FINE MATERIAL SHALL CONSIST ENTIRELY OF DUST OF FRACTURE. THE LIMEROCK SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 100 AND NO MORE THAN 20% FINES WHEN WASHED THROUGH A NO. 200 SIEVE. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED BY THE CEC AND AOR.

EXISTING FOUNDATIONS, SLABS, PAVEMENTS, BELOW-GRADE STRUCTURES, SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS AND SURFACE ORGANIC MATERIAL SHALL BE REMOVED FROM THE BUILDING ADDITION AREA. BACKFILL THE RESULTING EXCAVATIONS WITH SAND CONTAINING LESS THAN 12 PERCENT SOIL FINES. PLACE FILL IN UNIFORM 10 - 12 INCH LOOSE LIFTS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS. SHALL BE COMPRISED OF INORGANIC, NON PLASTIC GRANULAR SOILS WITH LESS THAN THAT 12 PERCENT PASSING THE #200 SIEVE (RELATIVELY CLEAN SAND WITH UNIFIED SOIL CLASSIFICATION OF SP, SP-SM, SP-SC OR SW-SM) AND SHALL MEET THE FOLLOWING REQUIREMENTS:

LOCATION WITH RESPECT TO FINAL GRADE: P1, LL  
BUILDING AREA, BELOW UPPER 4 FEET: NP, NP  
BUILDING AREA, UPPER 4 FEET: NP, NP

SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) AT A MOISTURE CONTENT WITHIN 2 PERCENT BELOW TO 2 PERCENT ABOVE THE OPTIMUM.

HIGH GROUNDWATER LEVELS MAY PREVAIL IN SOME AREAS OF THE SITE AND GROUNDWATER CONTROL SHOULD BE ANTICIPATED. PARTICULARLY IN THE EXISTING DITCHES, LOW AREAS, OR AREAS THAT ARE DEEPLY STRIPPED OR UNDERCUT. SHALLOW GROUNDWATER MAINTENANCE TYPICALLY CONSISTS OF PUMPING FROM SUMPS IN PERIMETER DITCHES OR PITS. GROUNDWATER CONTROL IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

THE SOILS TO A DEPTH OF 2 FEET BELOW THE BASE OF ALL FOUNDATION EXCAVATIONS SHALL BE COMPACTED UNDER THE SUPERVISION OF A SPECIAL INSPECTOR TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS STRIP FOOTINGS AT WALLS.

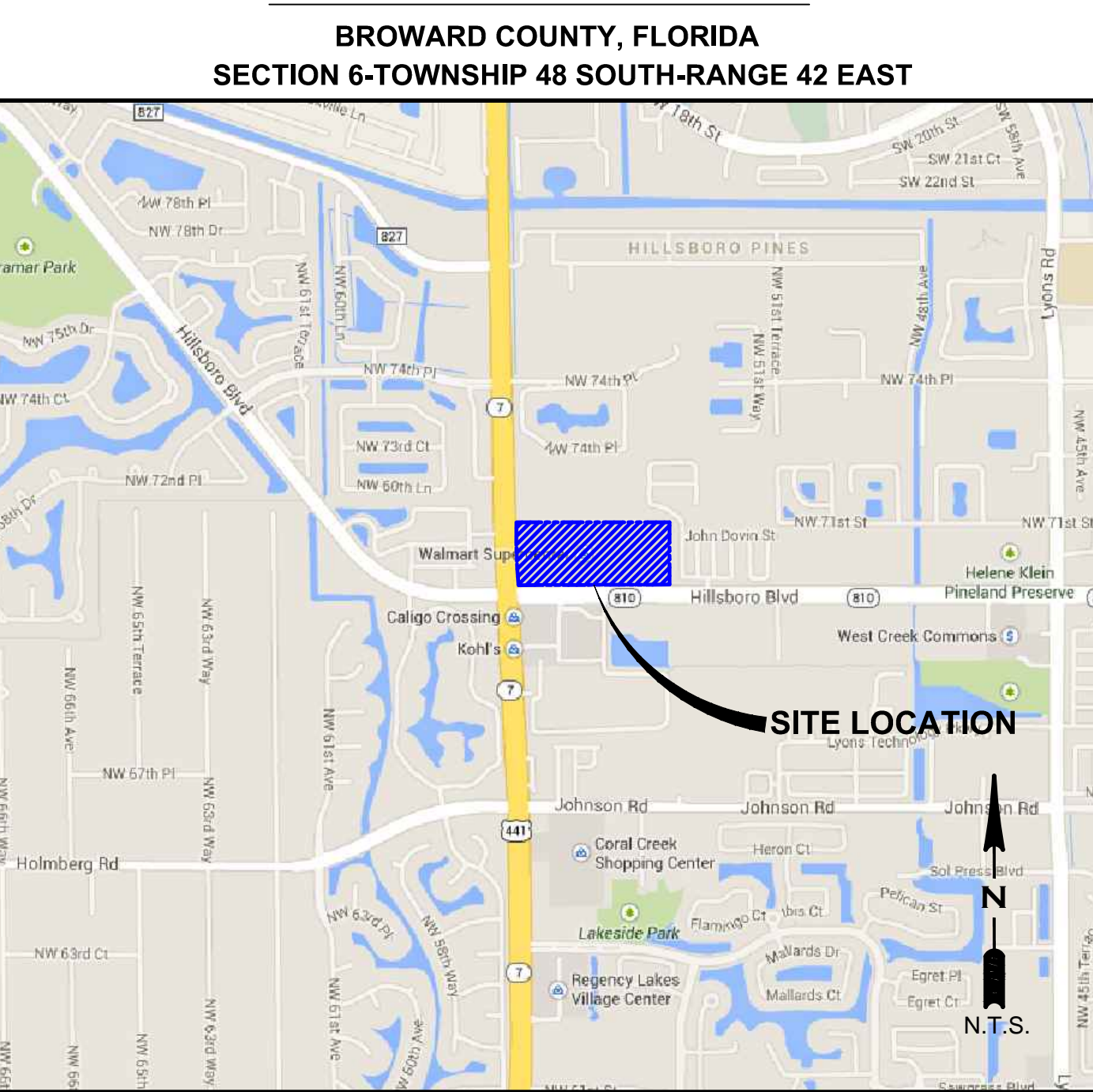
THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WALMART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT BY UNIVERSAL ENGINEERING SCIENCES, INC DATED AUGUST 20, 2014, US PROJECT NO. 0795.1400020.0016, REPORT NO. 12828. THE GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT CONSIDERED A DESIGN SPECIFICATION.

AN E-MAIL ADDRESS FOR THE GEOTECHNICAL ENGINEER, PETER G. READ, P.E.:  
pread@universalengineering.com

## INDEX OF SHEETS

- C-1 OVERALL SITE PLAN
- C-2 TOPOGRAPHIC SURVEY
- C-2.1 TOPOGRAPHIC SURVEY
- C-2.2 DEMOLITION PLAN
- C-3 EROSION AND SEDIMENTATION CONTROL PLAN
- C-3.1 EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES
- C-4 SITE DIMENSION PLAN
- C-5 SITE GRADING AND COMPOSITE UTILITY PLAN
- C-6 GENERAL DETAILS
- C-6.1 GENERAL DETAILS
- C-6.2 AGENCY DETAILS
- L-1 LANDSCAPE PLAN

## LOCATION MAP



## CONSULTANTS

<b>OWNER</b> WAL-MART STORES EAST, LP 2001 SE 10TH STREET BENTONVILLE, ARKANSAS 72716 (479) 273-4000	<b>ARCHITECT</b> BRR ARCHITECTURE, INC. 6700 ANTIOCH PLAZA, SUITE 300 MERRIAM, KANSAS 66204 (913) 236-3394 ATTN.: BRIAN S. ROGGY
<b>ENGINEER</b> CPH, INC. 5601 MARINER STREET, SUITE 240 TAMPA, FLORIDA 33609 (813) 288-0233 ATTN.: JEFFREY M. SATFIELD, P.E.	<b>GEOTECHNICAL</b> UNIVERSAL ENGINEERING SCIENCES, INC. 4 HARGROVE GRADE PALM COAST, FLORIDA 32137 (386) 986-2122 ATTN.: NICOLE C. HOFF
<b>SURVEYOR</b> CPH, INC. 500 WEST FULTON STREET SANFORD, FLORIDA 32771 (407) 322-6841 ATTN.: THOMAS J. GALLOWAY, P.S.M.	

## APPROVAL AGENCIES

**CITY OF COCONUT CREEK**  
DEPARTMENT OF SUSTAINABLE DEVELOPMENT  
4800 WEST COPANS ROAD  
COCONUT CREEK, FLORIDA 33063  
(954) 973-6756

**FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION**  
SOUTHEAST DISTRICT OFFICE  
400 NORTH CONGRESS AVENUE, 3RD FLOOR  
WEST PALM BEACH, FLORIDA 33401  
(561) 681-6600

**SOUTH FLORIDA WATER MANAGEMENT DISTRICT**  
FORT LAUDERDALE FIELD STATION  
2535 DAVIE ROAD  
DAVIE, FLORIDA 33317  
(954) 452-4814

www.cphcorp.com  
**A Full Service A & E Firm**

Architects  
Engineers  
Environmental  
Landscape Architects  
M / E / P  
Planners  
Structural  
Surveyors  
Traffic / Transportation

Offices in:  
• Florida  
• Puerto Rico  
• Connecticut  
• Maryland

JEFFREY M. SATFIELD  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 61905  
STATE OF FLORIDA  
Professional Seal

Designed by:	SKK	Checked by:	NPL	Approved by:	JMS	Scale:	AS SHOWN	Date:	12/02/15	Job No.:	B15058	PR #1	DFB	By
Planned by:	SKK	Checked by:	NPL	Approved by:	JMS	Scale:	AS SHOWN	Date:	12/02/15	Job No.:	B15058	PR #1	DFB	By
Planned by:	SKK	Checked by:	NPL	Approved by:	JMS	Scale:	AS SHOWN	Date:	12/02/15	Job No.:	B15058	PR #1	DFB	By

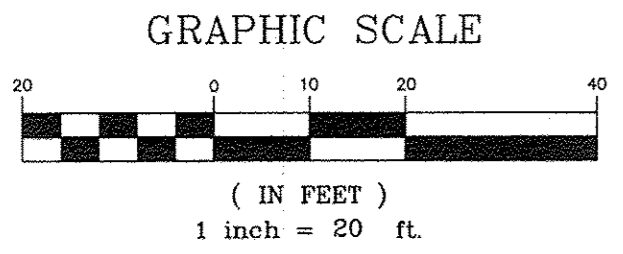
Plans Prepared By  
**CPH, Inc.**  
5601 Mariner St., Suite 105  
Tampa, FL 33609  
Ph: 813.288.0233  
Licenses:  
Eng. C.O.A. No. 3215  
Survey L.B. No. 7143  
Arch. Lic. No. AA2600296  
Landscape Lic. No. LC0000298

**OVERALL SITE PLAN**

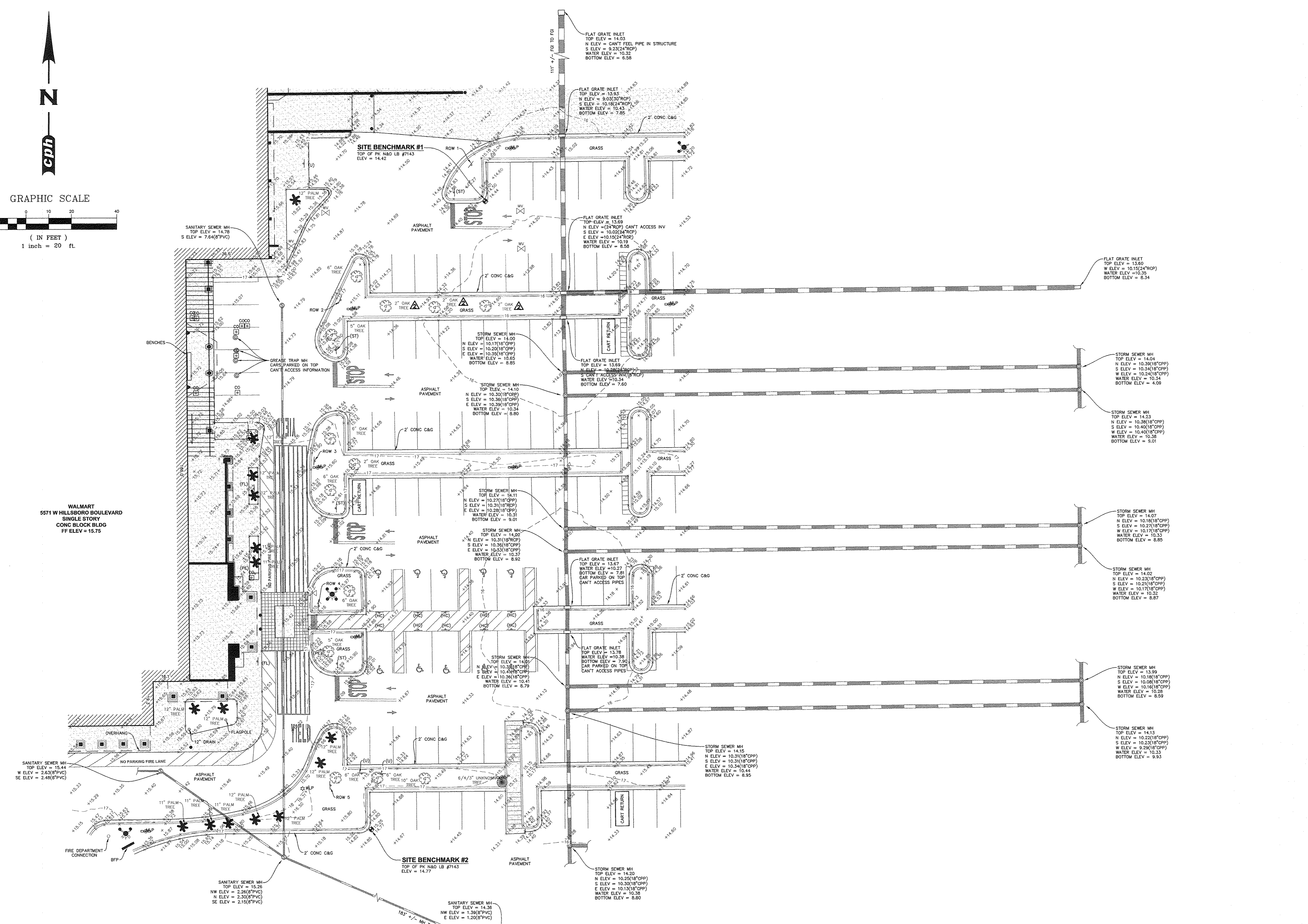
**Walmart**  
LIQUOR BOX EXPANSION  
STORE NO. 1916, COCONUT CREEK, BROWARD COUNTY, FLORIDA

Sheet No.  
**C-1**





WALMART  
5571 W HILLSBORO BOULEVARD  
SINGLE STORY  
CONC BLOCK BLDG  
FF ELEV = 15.75



NOTE:  
THIS SURVEY IS NOT VALID WITHOUT SHEETS C-2.0 AND C-2.1

TITLE BLOCK ABBREVIATIONS	
Eng. = ENGINEERING	L.B. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION	Arch. = ARCHITECTURAL
Landsc. = LANDSCAPE	N/A = NOT APPLICABLE
No. = NUMBER	P.O. = POST OFFICE
	© = COPYRIGHT

**cph**  
www.cphcorp.com  
**A Full Service  
A & E Firm**

Architects  
Engineers  
Environmental  
Landscape Architects  
M / E / P  
Planners  
Surveyors  
Traffic / Transportation

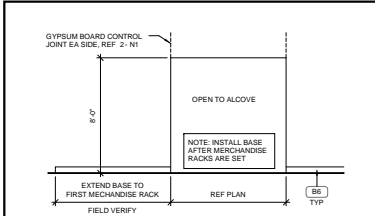
Offices in:  
• Florida  
• Puerto Rico  
• Connecticut  
• Maryland  
• Texas

Field Crew:	M.R.	J.A.B.	R.L.R.	T.J.G.	1"-20"	6/24/14	8/15/08.dwg	No.	Date	Revision	By
Drawn by:											
Checked by:											
Approved by:											
Scale:											
Date:											
Job No.:											
File:											
Survey Prepared By:	CPH, Inc.										
	500 West Fulton St. Sanford, FL 32771 Ph: 407.322.6841 Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Landscape Lic. No. LC0000298										

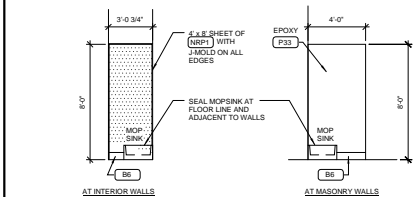
TOPOGRAPHIC SURVEY

**Walmart**  
STORE #1916  
SECTION 6-TOWNSHIP-08 SOUTH-RANGE 42 EAST  
BROWARD COUNTY, FLORIDA

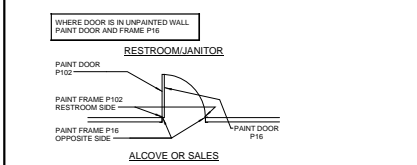
Sheet No.  
**C-2.1**



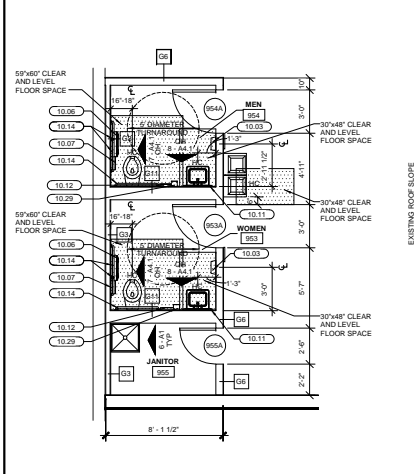
**7 SALES WALL ELEVATION**  
1/4" = 1'-0"



**6 ELEVATION AT MOP SINK**  
1/8" = 1'-0"



**5 DOOR AND FRAME PAINT TRANSITIONS**  
1/8" = 1'-0"



**4 ENLARGED FLOOR PLAN**  
1/8" = 1'-0"

REFRIGERATED CASE LEGEND								
NO.	QTY.	DESCRIPTION	MFR. OR SUPPLIER	MODEL NO.	SUPPLIED BY	INSTALLER	FINAL CONNECT	NOTES
RM000441	2	12 MDS BEER (TOP FED)	HILL PHOENIX	OSDM3NG	WM	GC	RC	5

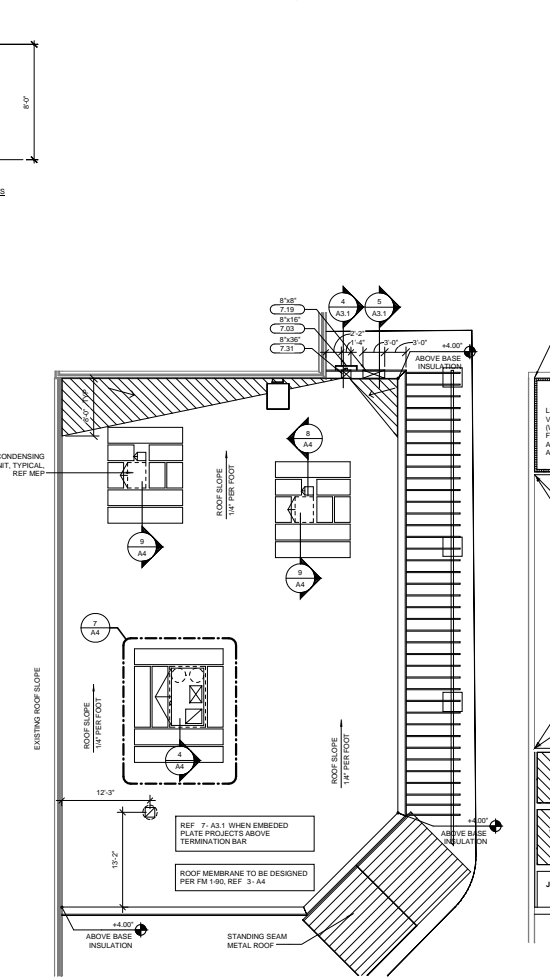
MISC. GROCERY EQUIPMENT LEGEND								
NO.	QTY.	DESCRIPTION	MFR. OR SUPPLIER	MODEL NO.	SUPPLIED BY	INSTALLER	FINAL CONNECT	NOTES
MS008	1	ICE MAKER MERCHANDISER	LEER	P-1001	WM	ES	GC	1, 13
MSD16	7	GLASS MERCHANDISE DOORS	COMMERCIAL	G1	WM	ES	RC	12
MSD19	7	GRAVITY FLOW SHELVING	DESTIN GLOBAL	R-15L	WM	ES	---	---

EQUIPMENT NOTES							
1.	REFERENCE SHEET A1 FOR EQUIPMENT LOCATION						
5.	EQUIPMENT SUPPLIED TO HAVE TRIMITE SPANGLED SILVER PAINTED EXTERIOR, WITH BLACK INTERIOR AND COLOR BANDS						
12.	DOOR FRAMES TO BE CHROME						
13.	CONNECTED AND INSTALLED BY SUPPLIER. GC TO COORDINATE CONNECTION LOCATIONS FOR MAINTENANCE WITH SUPPLIER. REF MEP						

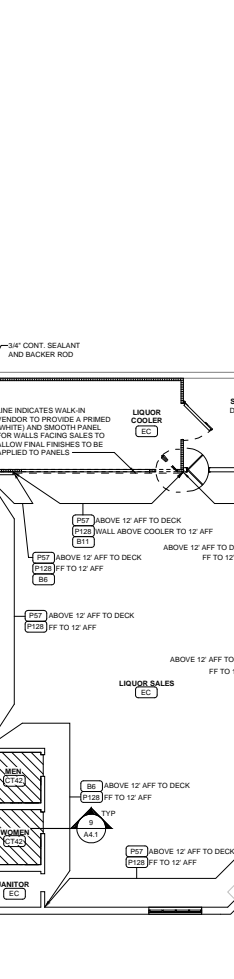
  

ABBREVIATION KEY			
ES	EQUIPMENT SUPPLIER	RC	REFRIGERATION CONTRACTOR, REF SPEC 15000
GC	GENERAL CONTRACTOR	WM	WALMART



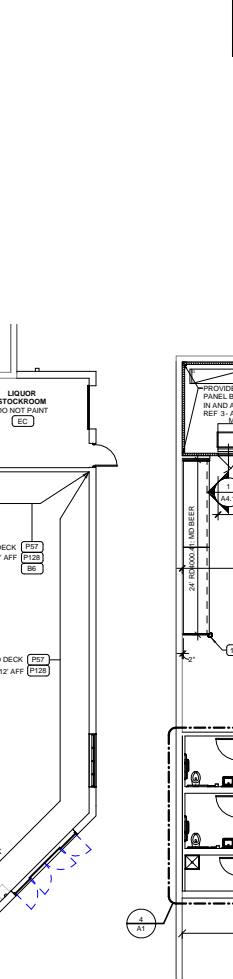
**3 ROOF PLAN**  
1/8" = 1'-0"

KEYNOTES	
1.52	REFRIGERATED CASE CORNER PROTECTION
5.57	3\"/>
7.03	METAL CUTTER, PAINTED, UNLESS NOTED OTHERWISE (SIZE INDICATED AT KEYNOTES)
7.19	OVERFLOW SCUPPER (SIZE INDICATED AT KEYNOTE)
7.31	PRIMARY SCUPPER (SIZE INDICATED AT KEYNOTE)
10.03	ELECTRO-HAND DRYER
10.06	TOILET PAPER HOLDER
10.11	MIRROR
10.12	TOILET SEAT COVER DISPENSER
10.14	GRAB BARS INSTALL 1/4\"/>
10.29	SOAP DISPENSER, MOUNT AS SHOWN IN PLAN WITH TOP OF DISPENSER 48\"/>
10.44	PROVIDE TACTILE 'EXIT' SIGN, REF. N1



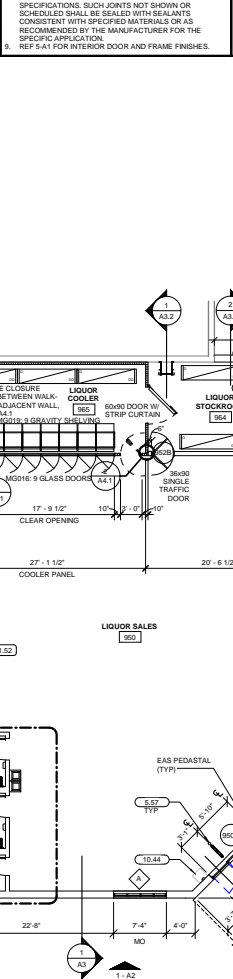
**2 FINISH PLAN**  
1/8" = 1'-0"

RACKING ANCHORAGE NOTES	
1.	PROVIDE ANCHORAGE FOR THE SHELVING AND STORAGE RACK FIXTURES AS FOLLOWS:
•	AT FRAMES WITH 1/2\"/>
•	AT END FRAMES:
•	AT INTERIOR FRAMES:
•	AT FRAMES WITH 1/2\"/>
•	STORAGE RACK FRAMES:

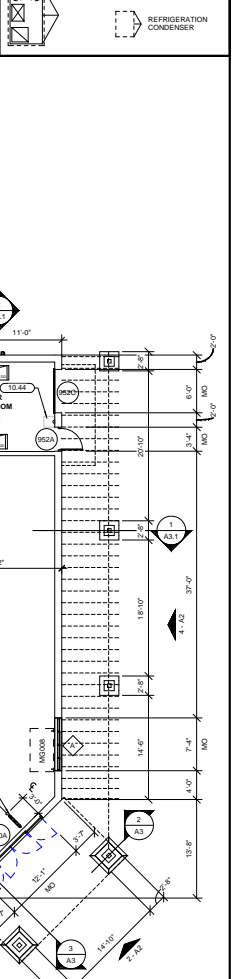


**1 ENLARGED FLOOR AND FIXTURE PLAN**  
1/8" = 1'-0"

SHEET NOTES	
1.	REF AS FOR FINISH SCHEDULE KEY.
2.	INTERIOR PLAN DIMENSIONS ARE TO FACE OF FINISHROOM LINO.
3.	PROVIDE BATT INSULATION FOR SOUNDPROOFING IN TOILET ROOM PARTITIONS.
4.	WALMART FURNISHED AND INSTALLED ITEMS SHOWN DASHED LIND.
5.	SEAL PERIMETER OF TOILETS TO WALLS AND FLOORS. SEAL PERIMETER OF SINKS TO WALL.
6.	DIMENSIONS OF REFRIGERATED CASES ARE TO THE OUTERMOST POINTS OF THE CASES. BRACKETS AND BUMPERS ARE CONSIDERED PART OF THE CASE.
7.	PLAN ARE FOR LAYOUT OF OWNER FURNISHED ITEMS ONLY AND ARE NOT TO BE USED FOR LOCATION OF WALLS AND OTHER CONTRACTOR BUILT ITEMS.
8.	PROPER INSTALLATION OF JOINT SEALANTS IS CRITICAL TO MEETING WALMART QUALITY ASSURANCE STANDARDS. PROVIDE SEALANTS IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS. REFERENCE SECTION 07900 FOR SEALANT SCHEDULE.
9.	ALL JOINTS BETWEEN DISMISAL MATERIALS SHALL BE SEALED AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR INDICATED ON THE SPECIFICATIONS. SUCH JOINTS NOT SHOWN OR SCHEDULED SHALL BE SEALED WITH SEALANTS CONSISTENT WITH SPECIFIED MATERIALS OR AS RECOMMENDED BY THE MANUFACTURER FOR THE SPECIFIC APPLICATION.
10.	REF S-41 FOR INTERIOR DOOR AND FRAME FINISHES.



ROOF PLAN NOTES	
1.	REFER TO MECHANICAL DRAWINGS FOR VENT LOCATIONS.
2.	PROVIDE CRICKET AT MECHANICAL EQUIPMENT, RTUS, ETC. INSTALL ROOFING INSULATION WITH 1/2\"/>
3.	MAINTAIN 1\"/>
4.	LOCATIONS OF RTUS AND AHUS ARE APPROXIMATE. CONTRACTOR MAY ADJUST LOCATIONS SO EDGES OF CURB FALL WITHIN 3\"/>
5.	PER STRUCTURAL TO JEST HINGING CURB EDGES ARE MORE THAN 3\"/>
6.	POINT-REF STRUCTURAL.



**Walmart**  
COCONUT CREEK, FL  
STORE NO. 1916

ISSUE BLOCK

CHECKED BY: HRD  
DRAWN BY: 176.FLEX  
PROTOTYPE: 06/05/14  
DOCUMENT DATE: 08/13/14

NOT FOR CONSTRUCTION

ENLARGED PLANS

SHEET: A1

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY WALMART

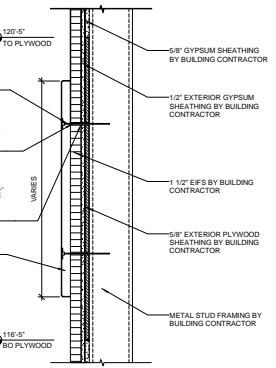
PLASTIC MOUNT FOR ALL-THREAD STUD, TYP BY SIGN SUPPLIER

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION TYP BY SIGN INSTALLER

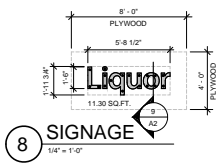
3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT. TYP BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGN SUPPLIER

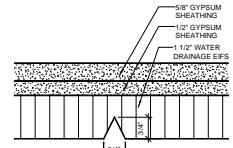
"ADHESIVE SEALANT" IS TO BE PRODUCT ON-BRAND BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE MEETING ASTM D638 AND CS27 STANDARDS. EXTERIOR APPLICATION. WEATHER RESISTANT. LOW VOC. WITH A MINIMUM SHEAR STRENGTH OF 200 PSI



9 SIGN ATTACHMENT  
1/12" = 1'-0"



8 SIGNAGE  
1/4" = 1'-0"



7 EIFS GROOVE  
1" = 1'-0"

COLOR LEGEND

PS	PURE WHITE SW9705
PSB	INTERACTIVE CREAM SW96113
P200	SOUTHWEST SW96535

NOTE: BUILDING ADDITION TO BE PAINTED TO MATCH EXISTING BUILDING COLORS. GC TO NOTIFY ADR OF ANY DISCREPANCIES PRIOR TO ORDERING PAINT.

SIGNAGE SCHEDULE

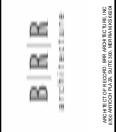
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	TOTAL AREA
FRONT SIGNAGE					
Liquor	1	N/A	WHITE	18'	11.30 SF
TOTAL FRONT SIGNAGE					11.30 SF

SHEET NOTES

1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.
2. GUTTERS, DOWNSPOUTS, STEEL DOORS AND FRAMES, EXPOSED METAL FLASHING, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR.
3. PROVIDE PLYWOOD BACKING FOR SIGNAGE AS SHOWN. REF SIGNAGE SHEET FOR SIZE REQUIREMENTS. PLYWOOD BACKING TO EXTEND 1'-0" BEYOND EDGES OF SIGN. SIGN INSTALLED BY OTHERS.

KEYNOTES

- 1.01 SIGNAGE
- 3.05 CONCRETE CURB, REF 8-SPI
- 3.11 PRECAST CONCRETE SILL
- 4.04 CONTROL JOINT, TYP. REF STRUCTURAL
- 4.09 IF SMOOTH FACE CMU
- 5.07 STEEL TUBE, PAINTED
- 7.03 METAL GUTTER, PAINTED, UNLESS NOTED OTHERWISE (SIZE INDICATED AT KEYNOTE)
- 7.04 METAL PARAPET COPING
- 7.06 EXTERIOR INSULATION AND FINISH SYSTEM
- 7.07 ROOF LINE BEYOND
- 7.09 METAL DOWNSPOUT, PAINTED, UNLESS NOTED OTHERWISE (SIZE INDICATED AT KEYNOTE)
- 7.19 OVERFLOW SCUPPER (SIZE INDICATED AT KEYNOTE)
- 7.21 PRIMARY SCUPPER (SIZE INDICATED AT KEYNOTE)
- 8.01 SECTIONAL OVERHEAD DOOR
- 8.02 HOLLOW METAL DOOR AND FRAME TYP. PAINTED
- 8.05 ALUMINUM STOREFRONT
- 8.09 AUTOMATIC SLIDING ENTRANCE DOORS



STIPULATION FOR REUSE: THIS DRAWING IS THE PROPERTY OF BBR BUILDING & CONSTRUCTION SERVICES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REUSED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BBR BUILDING & CONSTRUCTION SERVICES, INC.

CONSULTANTS



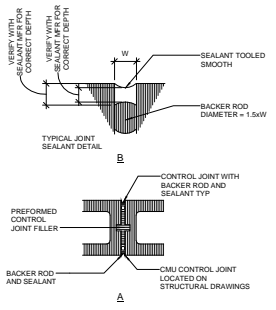
ISSUE BLOCK

CHECKED BY: HRD  
DRAWN BY: 176.FLEX  
PROTOTYPE: 06/05/14  
PROTO CYCLE: 06/05/14  
DOCUMENT DATE: 08/13/14

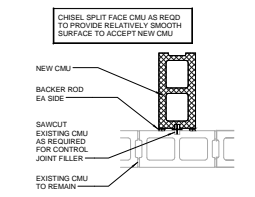
NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS AND DETAILS

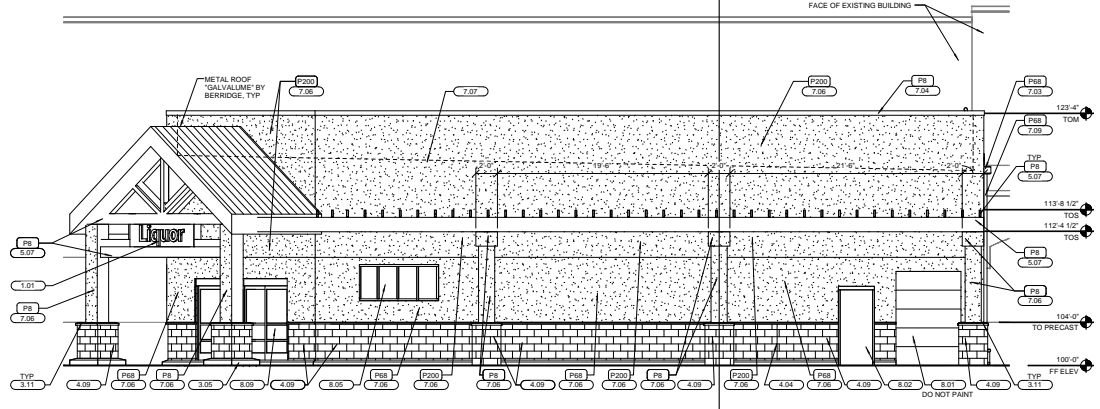
SHEET: A2



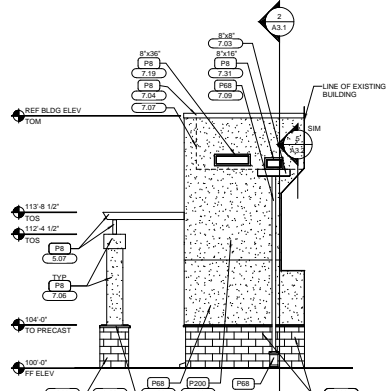
5 CONTROL JOINT  
1/12" = 1'-0"



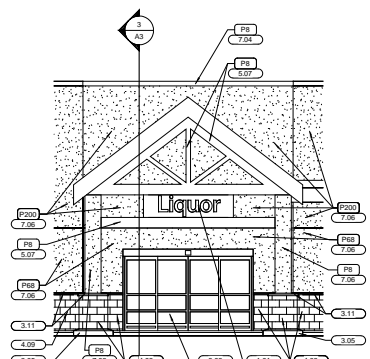
6 CONTROL JOINT AT EXISTING CMU  
1" = 1'-0"



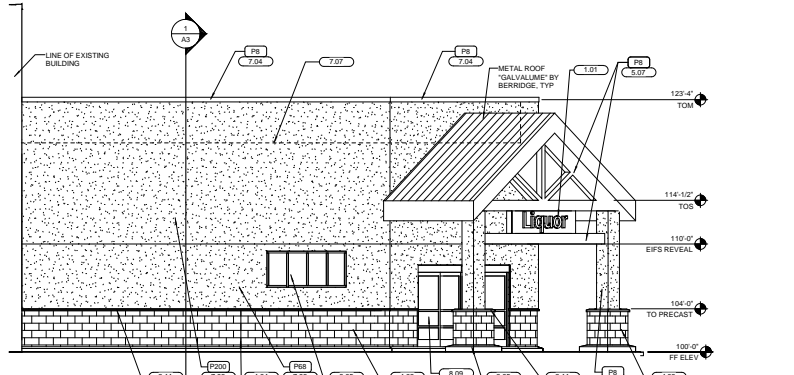
4 SIDE ELEVATION  
3/16" = 1'-0"



3 REAR ELEVATION  
3/16" = 1'-0"



2 ENTRY ELEVATION  
3/16" = 1'-0"



1 FRONT ELEVATION  
3/16" = 1'-0"