A photograph of a Texas Roadhouse restaurant building. The building has a brick base and a wooden upper section with a sign that says "TEXAS Roadhouse". Two flags, the American flag and the Texas state flag, are flying on poles in front of the building. The text "Texas Roadhouse Planning and Zoning Board Meeting October 12, 2016" is overlaid on the image in a large, dark blue font.

Texas Roadhouse  
Planning and Zoning  
Board Meeting  
October 12, 2016



# Approval Process

- **Pre-Application Meeting with Development Review Committee (DRC)**
- **3 Rounds of Review / Comments with DRC Staff**
- **Neighborhood outreach via HOA invite and in-person meeting**
- **DRC / Departmental approvals and recommendation to Planning and Zoning Board**
- **Planning and Zoning Board Meeting**
  - **Site Plan Approval**
  - **Sign Deviation**



# Aerial Overview

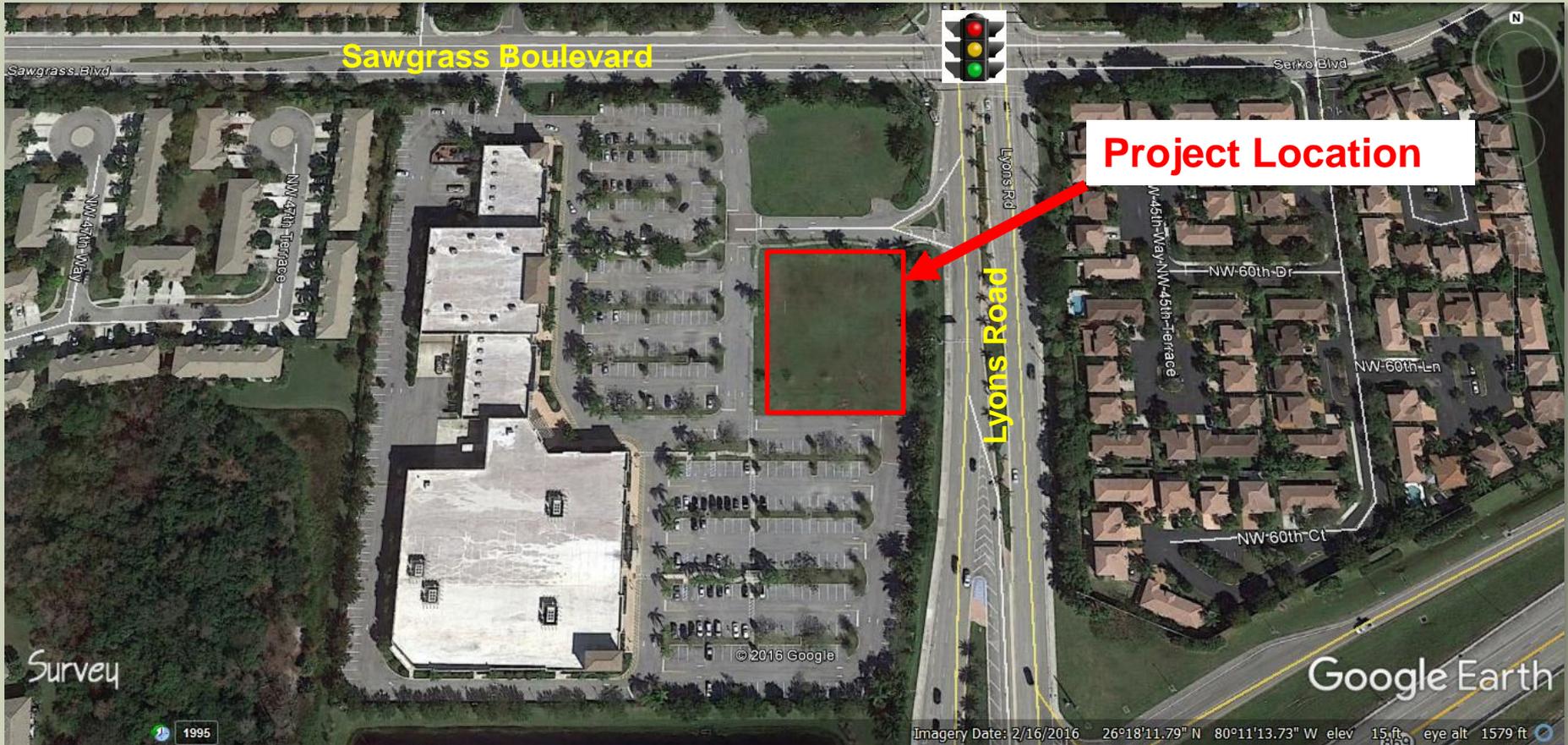
El Dorado Shopping Center – SWQ of Lyons Rd. & Sawgrass Blvd.





# Aerial Overview

El Dorado Shopping Center – SWQ of Lyons Rd. & Sawgrass Blvd.



GreenbergFarrow



# Existing Site Photo

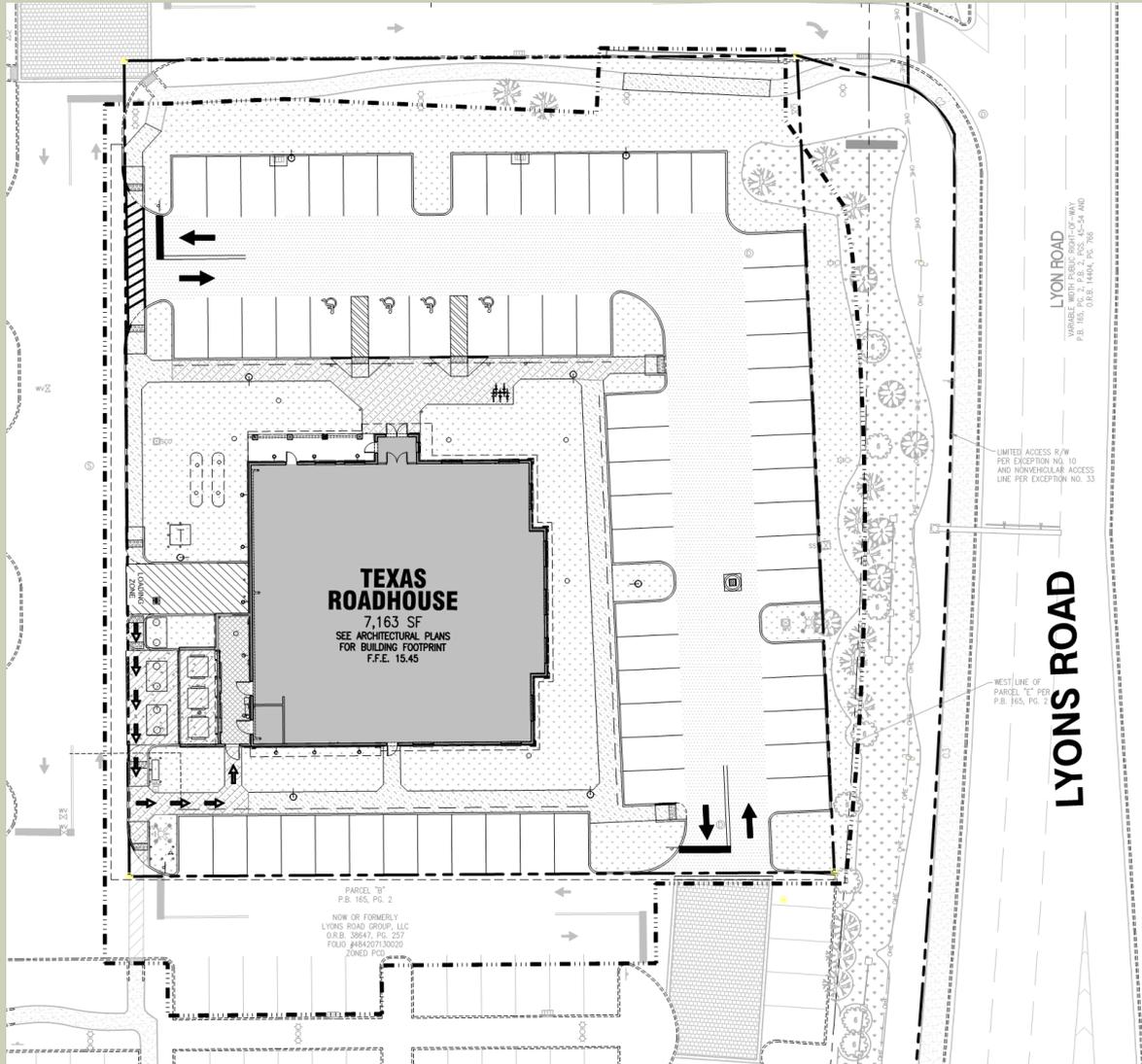




# Existing Site Photo



# Site Plan



## PROJECT INFORMATION:

TOTAL SITE AREA:	742,973 S.F. (17.056 ACRES)
TOTAL LEASE AREA:	TBD
ZONED:	PLANNED COMMERCE DISTRICT (PCD) SAWGRASS EXCHANGE
BUILDING AREA:	7,163 S.F. (GFA)
USE OF PROPERTY:	RESTAURANT
CAPACITY OF RESTAURANT:	281 SEATS
MAXIMUM BUILDING HEIGHT:	28'-10"

**NOTE:**  
SAWGRASS EXCHANGE DISTRICT IS BROKEN INTO 4 MODULES, WITH UNIQUE SITE STANDARDS. THIS SITE IS LOCATED WITHIN MODULE 3.

<b>ZONING COVERAGE:</b>		
GENERAL PLANNED COMMERCE DISTRICT	<b>REQUIRED</b>	<b>PROVIDED</b>
MINIMUM LOT AREA	1 ACRE (43,560 SF)	17.056 ACRES
MINIMUM LOT WIDTH	200 FT.	>600 FT.
MINIMUM OPEN SPACE	20.0%	>20.0%
MAXIMUM BUILDING COVERAGE	40.0%	<40.0%

SAWGRASS EXCHANGE DISTRICT	<b>REQUIRED</b>	<b>PROVIDED</b>
MAXIMUM BUILDING HEIGHT	36 FT.	28'-10"
MINIMUM OPEN SPACE	15.0%	>15.0%

<b>ZONING SETBACKS:</b>		
GENERAL PLANNED COMMERCE DISTRICT	<b>REQUIRED</b>	<b>PROVIDED</b>
FRONT YARD	25 FT.	89.8 FT.
SIDE YARD	25 FT.	>25 FT.
REAR YARD	25 FT.	>25 FT.

SAWGRASS EXCHANGE DISTRICT	<b>REQUIRED</b>	<b>PROVIDED</b>
*NORTH	25 FT.	>25 FT.
*SOUTH	20 FT.	>20 FT.
*EAST	25 FT.	90.1 FT.
*WEST	25 FT.	>25 FT.

\*SETBACK FROM INTERIOR BUFFER LINE

<b>PARKING REQUIREMENTS:</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
SPACES	40 (MIN.)	**68 SPACES

\*\*INCLUDES 4 ADA ACCESSIBLE PARKING SPACES

MINIMUM REQUIREMENT:  
STANDARD SPACE: (10'x20')  
ADA SPACE: (12'x20')

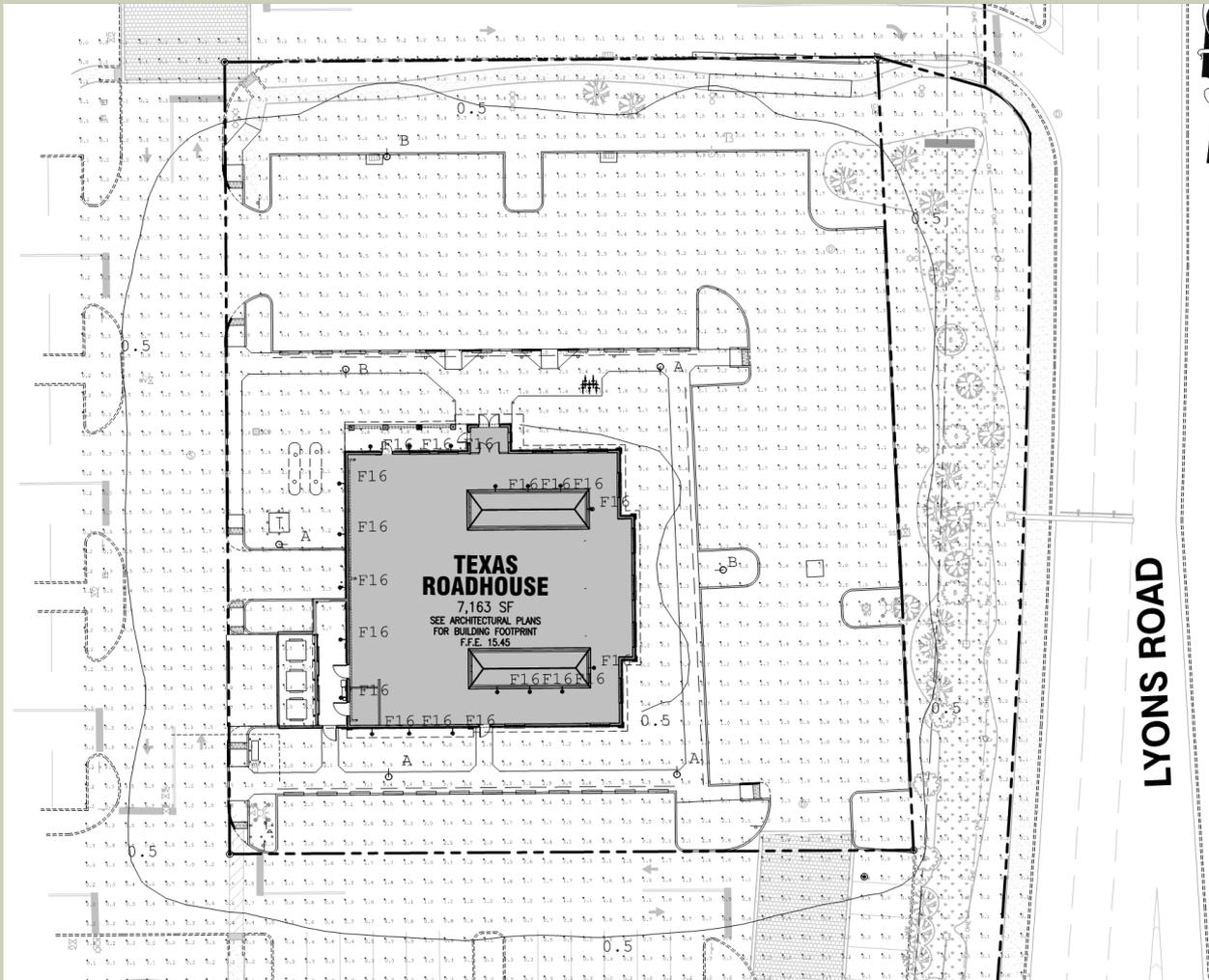
1 SPACE REQUIRED PER 150 SF OF CUSTOMER SERVICE AREA (4,650 SF) = 31 SPACES  
1 SPACE PER 300 SF OF NON-CUSTOMER SERVICE AREA (2,513 SF) = 9 SPACES  
TOTAL MINIMUM REQUIREMENT = 40 SPACES

ADA ACCESSIBLE MINIMUM REQUIREMENT = 3 SPACES PER 70 PARKING SPACES

**Cross Parking Agreement  
for 12 parking spaces**



# Site Lighting



LYONS ROAD

## SOLID STATE AREA LIGHTING

### DSAP SERIES-LED



DSAP 25 PATENT PENDING



DSAP 1 PATENT PENDING

**SPAULDING LIGHTING**

PRODUCT IMAGE(S)

TEMPE SQUARE TEMPE ROUND

DIMENSIONS

LED - 2100 option

	A	B	C	D	Weight
TMR	7\"/>				

### Notes:

- Dark Sky Ordinance
- Upgraded light poles
- LED Flat Lenses
- Prototypical LED removed from building
- Shielded lenses
- 0.5fc of illumination outside of property

# Exterior Elevations



**FRONT ELEVATION (EAST)**



**LEFT ELEVATION (SOUTH)**



**REAR ELEVATION (WEST)**



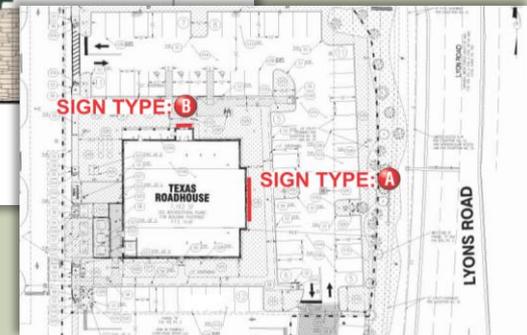
**RIGHT ELEVATION (NORTH)**

## Building Upgrades:

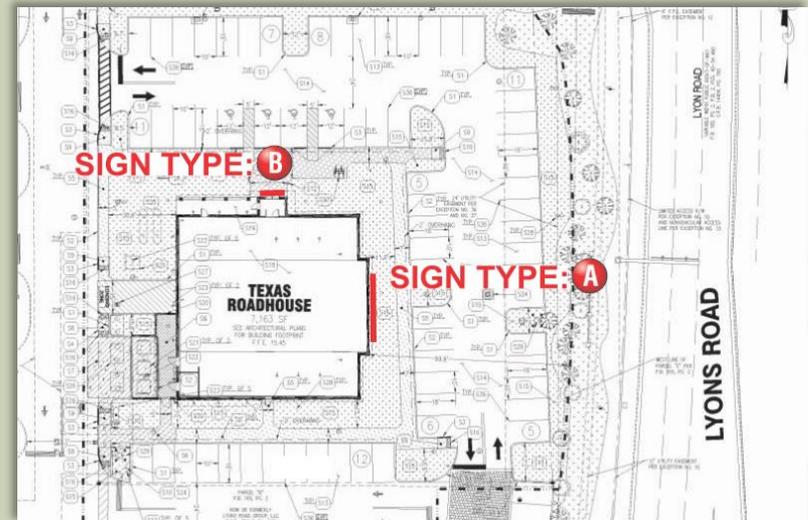
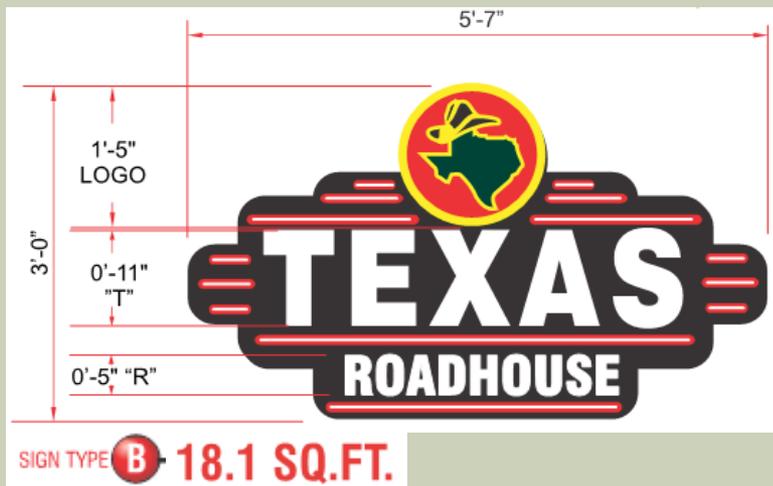
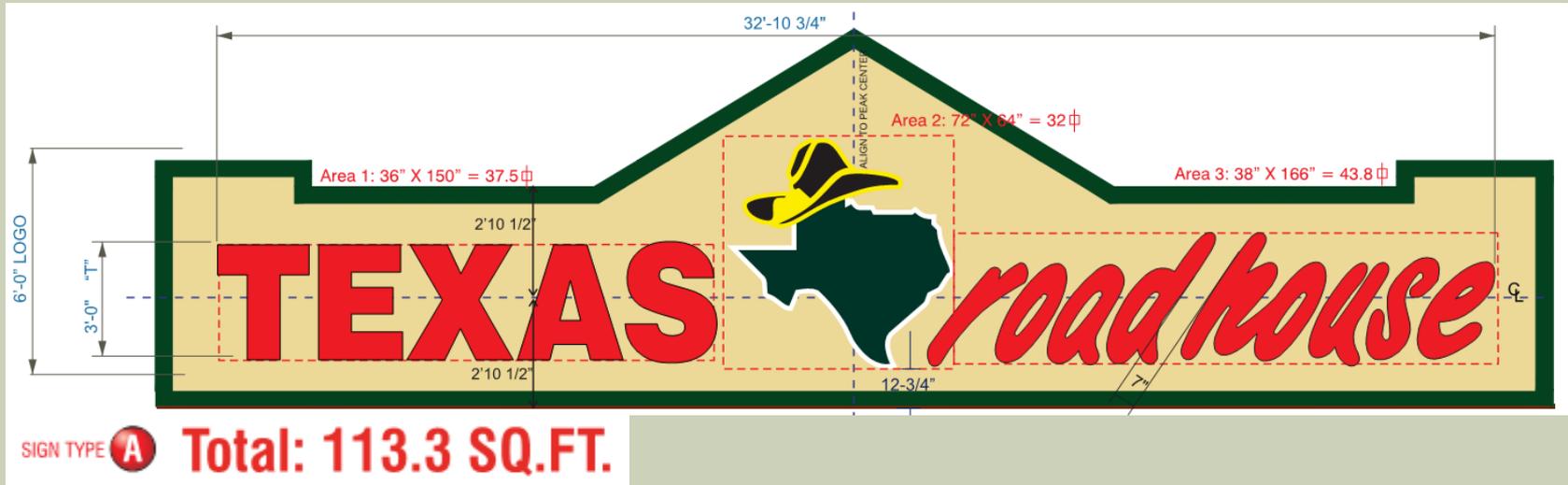
- CMU (stucco) exterior wall construction
- Metal furring on interior face of CMU
- Rigid insulation on exterior face of CMU
- Stone wainscot
- Stone veneer
- Stone wrapped exterior columns
- Dryvit “outsulation” exterior finish
- Cedar trim around doors and windows
- Interlocking concrete tile roofing

- Roof drain downspouts in mechanical room
- Concealed gutters and downspouts
- Roof awning and pilaster across left elevation
- Covered rain barrels with copper downspouts
- Custom metal wire trellises at rear elevation
- Raised parapets to conceal RTU
- Parapet bracing at front entrance
- Raised tower elevation
- Removed flags, poles and flag lights
- Energy efficient appliances and fixtures within

# Signage



# Signage



**Thank you for your consideration**



**GreenbergFarrow**