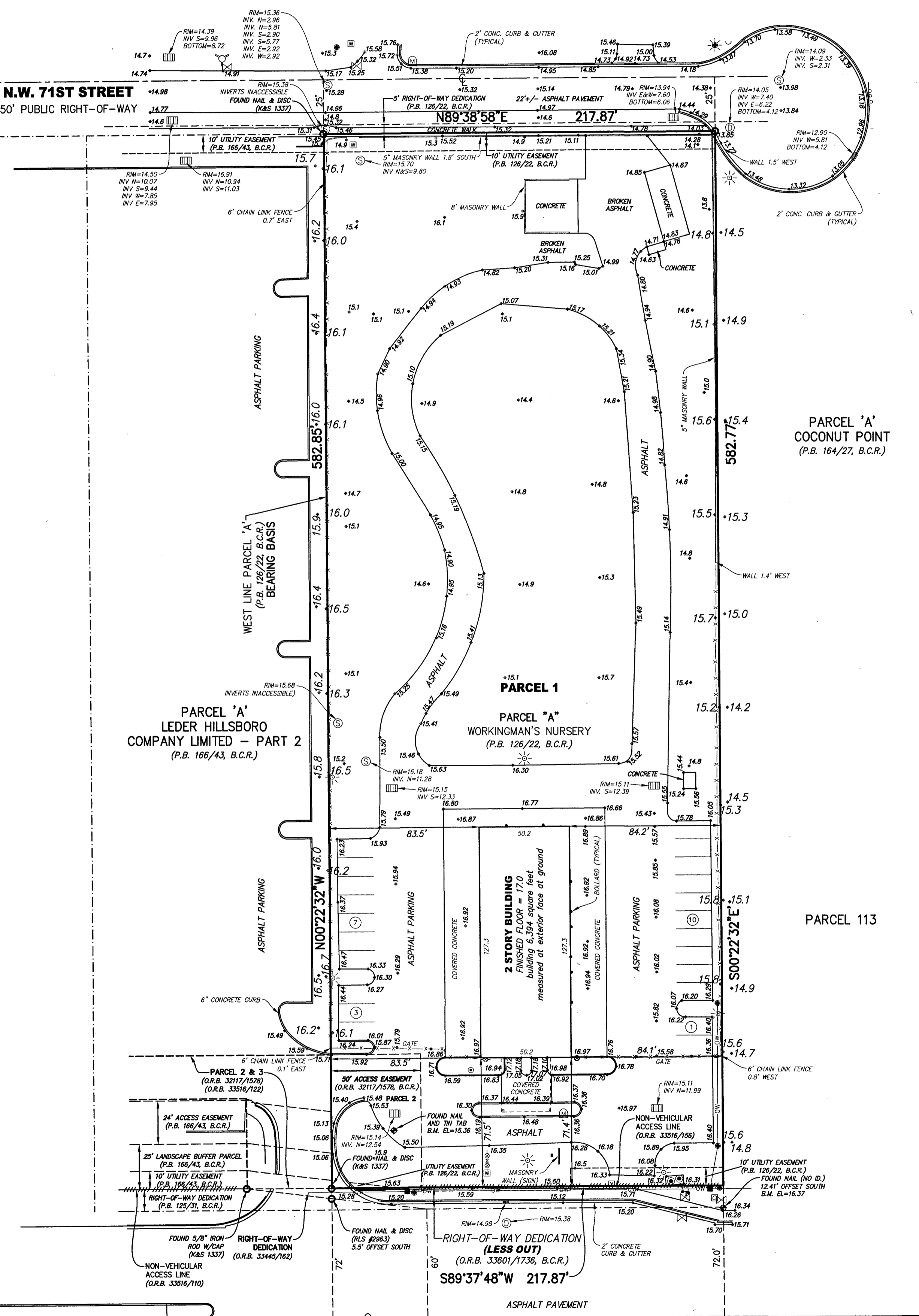


NOTE
ELEVATIONS SHOWN HEREON
ARE BASED ON THE NORTH
AMERICAN VERTICAL DATUM OF 1988
(NAVD 1988)



LEGEND

- ⊖ BACK FLOW PREVENTOR VALVE
- ⊕ BENCHMARK
- ⊕ CABLE TELEVISION RISER
- ⊕ CATCH BASIN
- ⊕ CLEAN OUT
- ⊕ CONCRETE UTILITY POLE
- ⊕ CURB INLET
- ⊕ DRAINAGE MANHOLE
- ⊕ ELECTRIC OUTLET
- ⊕ EXISTING ELEVATION
- ⊕ FIRE HYDRANT
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ MAIL BOX
- ⊕ METAL LIGHT POLE
- ⊕ MONITORING WELL
- ⊕ NUMBER OF REGULAR PARKING
- ⊕ SANITARY MANHOLE
- ⊕ SIGN (UNLESS NOTED)
- ⊕ SPIGOT
- ⊕ VAULT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ WOOD UTILITY POLE

SURVEYOR'S REPORT:

- Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
- The property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Title Commitment issued by Chicago Title Insurance Company, Title Commitment No. 7559847, effective date 04/04/2019, where applicable, these instruments are shown on the survey (see SUMMARY TABLE). Avrom & Associates, Inc. did not research the public records for easements, rights-of-way, ownership or other instruments of record.
- The land description shown hereon is in accord with the Title Commitment.
- No underground improvements were located.
- Bearings, distances and/or angles shown hereon are in accord with the plat and/or deed of record and agree with the survey measurements, unless otherwise noted. Bearings are based on the west line of said Parcel 'A' having a bearing of N00°22'32"W.
- The boundary line dimensions as shown on this survey form a mathematically closed figure within +/-0.01 foot.
- The real property legally described herein has access to and from a paved and dedicated public road(s) known as Hillsboro Boulevard (State Road 810) and N.W. 71st Street.
- All observed encroachments, if any, are accurately shown hereon in.
- Elevations shown hereon are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988).
- The property described hereon lies within Flood Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 12011C0158H, Community Panel Number 120031 0158 H, dated 08/18/2014.
- Benchmark Description: Broward County Engineering Department Benchmark #842, Elevation = 14.95 (NAVD 1988).
- Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
- This map is intended to be displayed at a scale of 1:480 (1"=40').
- Property Address: 4161 W. Hillsboro Blvd., Coconut Creek, Florida.
- Abbreviation Legend: B.C.R. = Broward County Records; B.M. = Benchmark; C.L. = Centerline; D.B. = Deed Book; E.L. = Elevation; F.B. = Field Book; ID. = Identification; INST. = Instrument Number; L.B. = Licensed Business; NAVD = North American Vertical Datum; O.R.B. = Official Records Book; OW = Overhead Wires; P.B. = Plat Book; PG. = Page; P.L.S. = Professional Land Surveyor; R.L.S. = Registered Land Surveyor; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

Parcel 1
Parcel "A" OF WORKINGMAN'S NURSERY, according to the Plat thereof recorded in Plat Book 126, Page 22 of the Public Records of Broward County, Florida, LESS that portion conveyed to the State of Florida Department of Transportation by the Warranty Deed recorded in Official Records Book 33601, Page 1736 of the Public Records of Broward County, Florida.

Parcel 2
Non-exclusive easement for ingress and egress for the benefit of Parcel 1 above created by, and more particularly described in Exhibit C of the Mutual Ingress and Egress Easement between First Baptist Church of Coconut Creek and Leder Hillsboro Company, Ltd. recorded in Official Records Book 32117, Page 1578, less and except that portion conveyed to the State of Florida Department of Transportation by the Warranty Deed recorded in Official Records Book 33445, Page 162, all of the Public Records of Broward County, Florida.

Parcel 3
Non-exclusive easement for ingress and egress for the benefit of Parcel 1 above created by, and more particularly described in Exhibit B of the Declaration of Restrictive Covenants for Private Paved Roadways and Access by Leder Hillsboro, Ltd. and New Life Community Church of Broward County, Inc. recorded in Official Records Book 33516, Page 122 of the Public Records of Broward County, Florida, less and except that portion lying within said Parcel 1.

Said lands lying in Broward County, Florida and containing 126,976 square feet (2.9150 acres) more or less.

SUMMARY TABLE FOR:
SCHEDULE B, SECTION II EXCEPTIONS
TITLE COMMITMENT NO. 7559847 (SEE SURVEYOR'S REPORT #2)

EXCEPTION NUMBER AND RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA
No. 5 D.B. 553372 O.R.B. 2031298	YES	NOT PLOTTABLE
No. 6 D.B. 557244 O.R.B. 2051839	YES	NOT PLOTTABLE
No. 7 P.B. 12622 O.R.B. 368541899	YES	SHOWN
O.R.B. 368541899	YES	NOT PLOTTABLE
O.R.B. 33516156	YES	SHOWN
No. 8 O.R.B. 18341807 O.R.B. 2014384 O.R.B. 32889950 O.R.B. 368851891 O.R.B. 487081445	YES YES YES YES YES	NOT PLOTTABLE NOT PLOTTABLE NOT PLOTTABLE NOT PLOTTABLE NOT PLOTTABLE
No. 9 O.R.B. 321171578	YES	SHOWN
No. 10 O.R.B. 33516122	YES	SHOWN
No. 11 O.R.B. 327511423	YES	NOT PLOTTABLE
No. 12 INST. 114445875	YES	NOT PLOTTABLE
No. 13 P.B. 18843 O.R.B. 335161110 O.R.B. 35485817	YES YES YES	SHOWN SHOWN NOT PLOTTABLE
No. 14 O.R.B. 29817160	YES	NOT PLOTTABLE

CERTIFICATION:

To: Congress Statesville, LLC, a North Carolina liability company, Stearns Weaver Miller Weissler Alhadeff & Sitterson, P.A., Chicago Title Insurance Company, The Vine International Ministries, Inc., a Florida not-for-profit corporation, 4161 Hillsboro, LLC, a Florida limited liability company.

I HEREBY CERTIFY that the attached Boundary and Topographic Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

Date: 2/16/2022

John T. Doogan
JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300

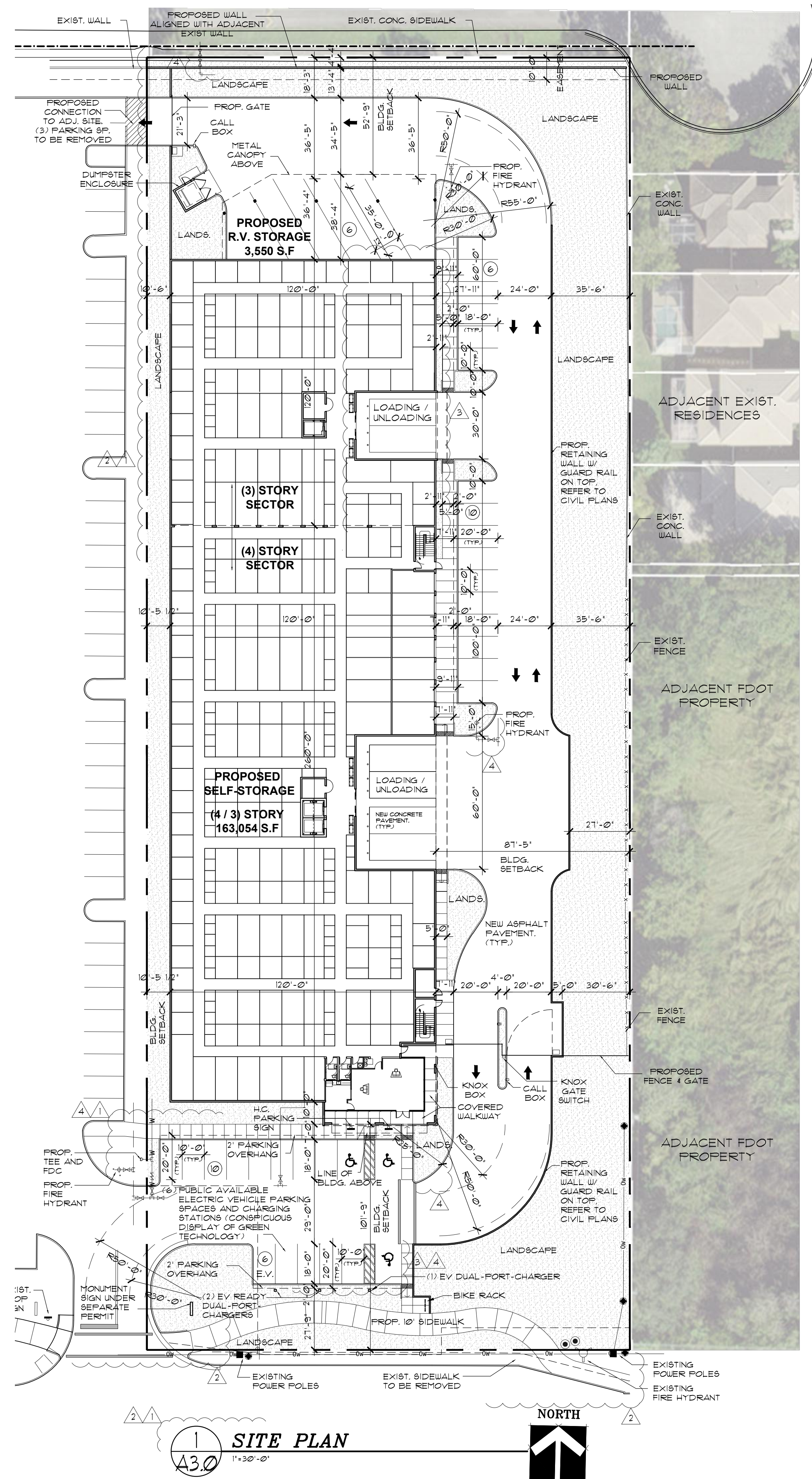
AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2554 / WWW.AVIROMSURVEY.COM
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BOUNDARY & TOPOGRAPHIC SURVEY
PARCEL "A"
WORKINGMAN'S NURSERY
SECTION 5, TOWNSHIP 48 SOUTH, RANGE 42 EAST
(P.B. 126, PG. 22, B.C.R.)
CITY OF COCONUT CREEK
BROWARD COUNTY, FLORIDA

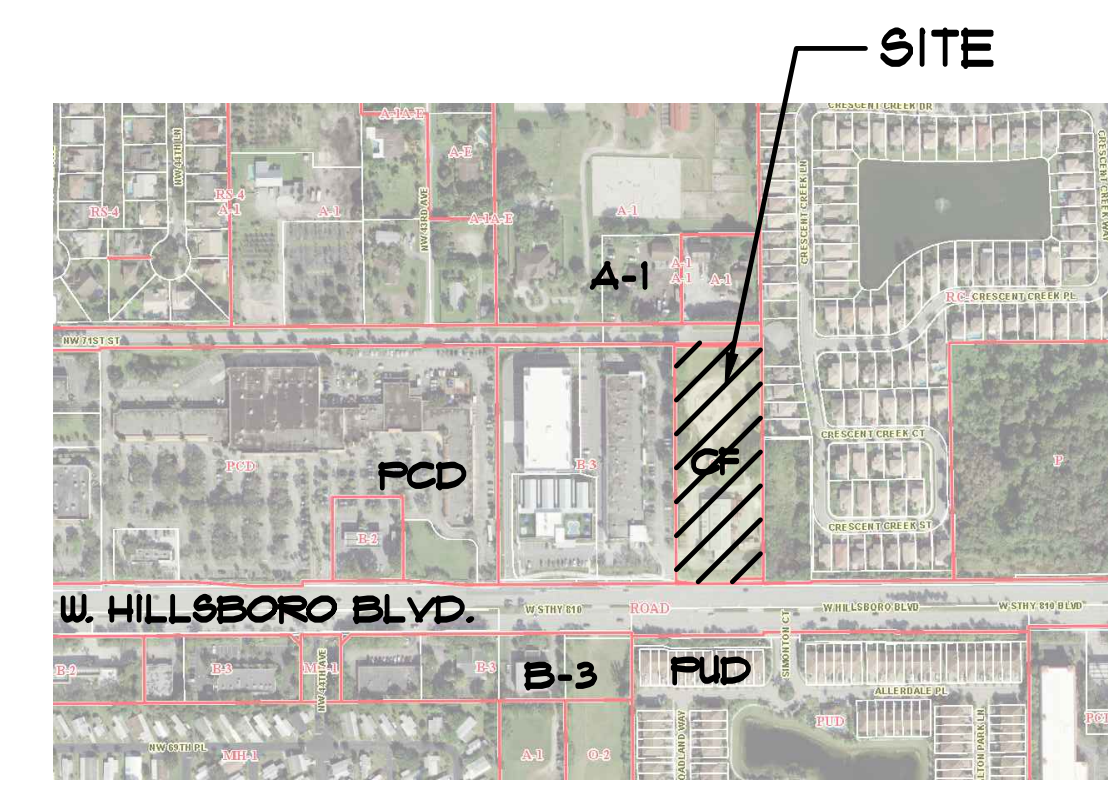
DATE	BY	REVISIONS
07/02/2018	J.T.D.	
07/17/2020	J.T.D.	
07/27/2021	J.T.D.	
07/26/2022	J.T.D.	

SCALE: 1" = 40'
DATE: 04/15/2019
BY: J.S.B.
CHECKED: J.T.D.
F.B. 1966 PG. 21-23
SHEET: 1 OF 1

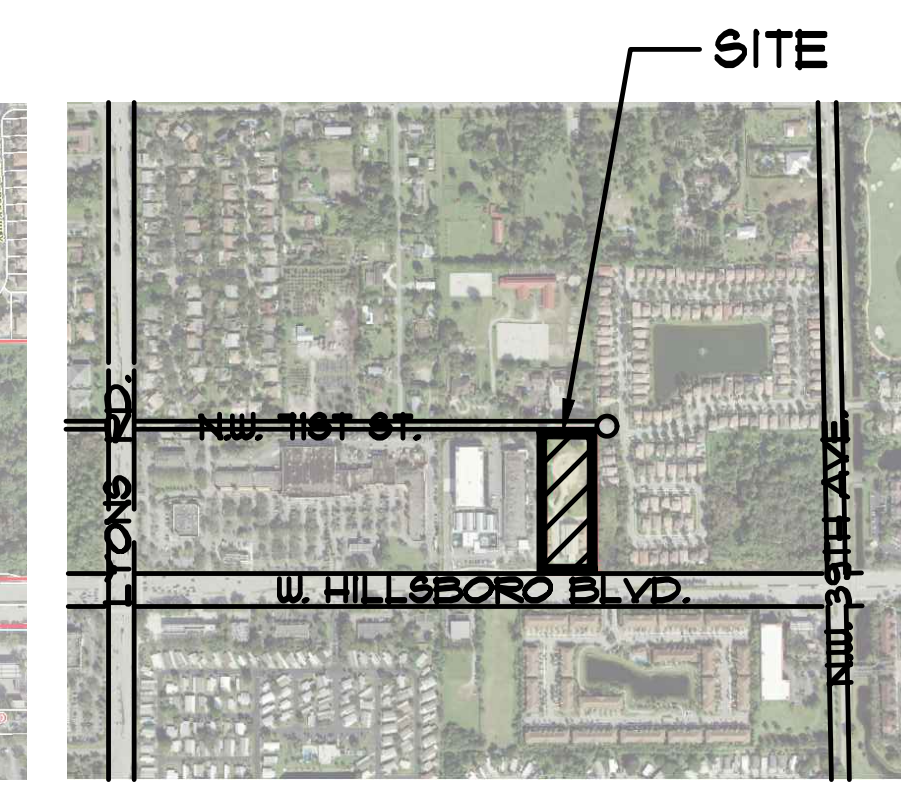
JOB #: 11186



1 SITE PLAN
1" = 30'-0"



3 VICINITY MAP
A3.0



4 LOCATION MAP
A3.0

SITE DATA			
DESCRIPTION	ACRES	S.F. AREA	% COVERAGE
GROSS SITE AREA	2.915	126,976 S.F.	100 %
PROPOSED IMPERVIOUS			70.1 %
SIDEWALKS		6,311 S.F.	4.9 %
BUILDING		42,364 S.F.	33.4 %
VEHICULAR		40,415 S.F.	31.8 %
PROPOSED PERVIOUS			29.9 %
LANDSCAPE OPEN SPACE		37,820 S.F.	29.9 %
CURRENT ZONING:	CF		
FLUM:	L-3		
PROPOSED USE:	SELF-SERVICE STORAGE		
DEVELOPMENT STANDARDS	ALLOWED	PROVIDED	
FAR - TOTAL BUILDING AREA / GROSS SITE	PER FCD	122	
MAX. BUILDING COVERAGE	40%	36.6%	
HEIGHT OF BUILDING (MEASURED BY CODE)	36'	53'	
MIN. OPEN SPACE	20%	29.9%	
MIN. DISTANCE BETWEEN BLDGS. AND PARKING	10'	10'	
SETBACKS	REQUIRED	PROPOSED	
ABUTTING THE ROAD	25'-0"	10'-9"	
NEXT TO THE FCD BOUNDARY (NO PARKING)	25'-0"	10'-6"	
PARKING RATES AND REQUIREMENTS FCD			
SELF-SERVICE STORAGE	1 SPACE / 5,000 S.F.	163,054 / 5,000	32.6
TOTAL SPACES REQUIRED:			33
PARKING PROVIDED			
REGULAR PARKING (10'-0" X 18'-0" + 2' OVERHANG)			30 SPACES
HANDICAPPED PARKING (12'-0" X 18'-0" + 2' OVERHANG)			2 SPACES
LOADING			6 SPACES
TOTAL PARKING SPACES PROVIDED:			38 SPACES
COVERED PARKING			6 SPACES
ELECTRIC VEHICLE PARKING (5 REGULAR + 1 HANDICAPPED SPACE)			6 SPACES
3 CHARGING PEDESTALS TO BE PHASED IN SUBJECT TO DEMAND			
BIKE PARKING			5 SPACES

BUILDING DATA	
GROUND FLOOR	45,914 S.F.
OFFICE:	918 S.F.
STORAGE:	41386 S.F.
COVERED RV STORAGE:	3,550 S.F.
SECOND FLOOR	STORAGE: 42,370 S.F.
THIRD FLOOR	STORAGE: 46,110 S.F.
FOURTH FLOOR	STORAGE: 31,110 S.F.
TOTAL GROSS AREA	166,604 S.F.
NUMBER OF STORAGE UNITS PROP.	1300

2 SITE & BUILDING DATA
A3.0

4161 WEST HILLSBORO STORAGE
4161 WEST HILLSBORO
COCONUT CREEK, BROWARD, FL.

KENNETH R. CARLSON - ARCHITECT, P.A.

1166 W. NEWPORT CENTER DR., SUITE #311
DEERFIELD BEACH, FLORIDA 33442
PH. (954) 421 - 8848 FAX (954) 421 - 9929
e-mail: krc@krcarlson.com

Revisions:
11/12/21
10/13/21
09/15/21
08/27/21
08/27/21
08/27/21
08/27/21
08/27/21

DRAWN BY: FS
CHECKED BY: KRC
DATE: 08/15/2021
SCALE: AS NOTED
PROJECT #: 21047
CAD DWG FILE: A3.0

KENNETH R. CARLSON
AR21546

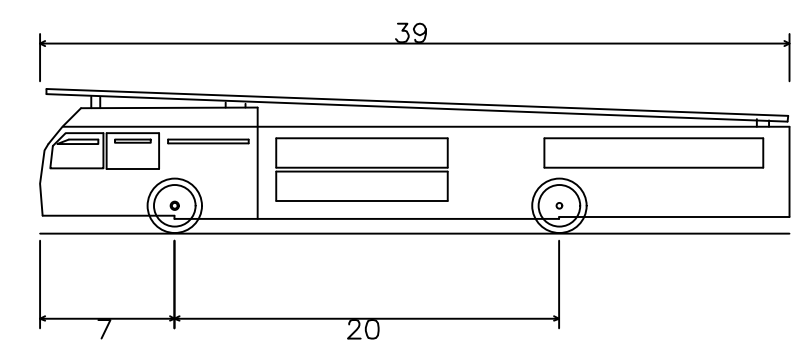
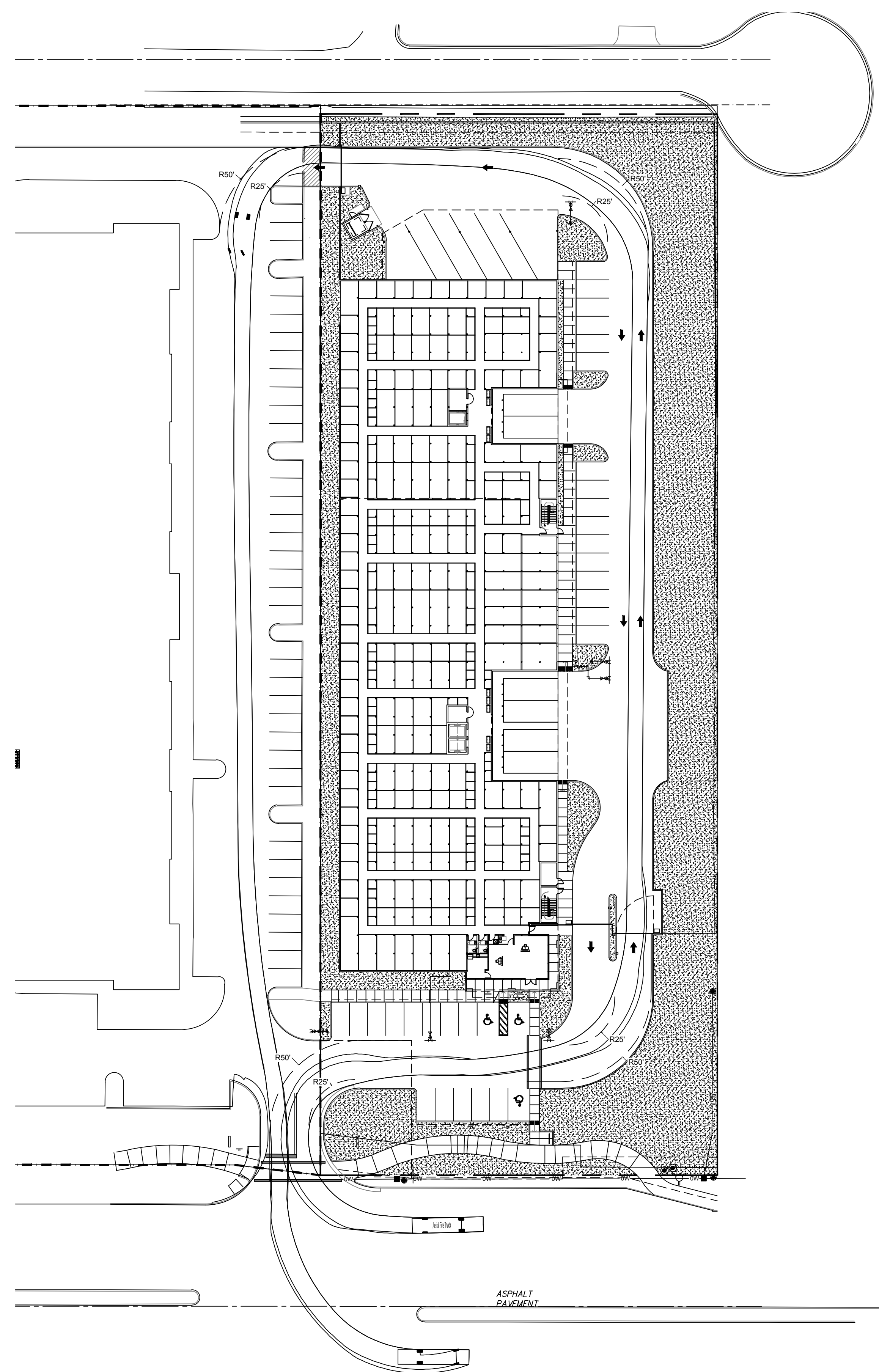
SHEET OF
A3.0
PAGE OF

N

GRAPHIC SCALE
 0 40 80

SCALE: 1" = 40'

NOTE: PRINTED DRAWING SIZE
 MAY HAVE CHANGED FROM
 ORIGINAL. VERIFY SCALE USING
 BAR SCALE ABOVE.



Aerial Fire Truck	
Overall Length	39.000ft
Overall Width	8.167ft
Overall Body Height	7.500ft
Min Body Ground Clearance	0.750ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

FIRE TRUCK SPECIFICATIONS

KEITH

Corporate Office
 301 East Atlantic Boulevard
 Pompano Beach, Florida 33060-6643
 (954) 788-3400

Miami-Dade County
 2160 NW 82 Avenue
 Doral, Florida 33122

Palm Beach County
 120 N Federal Highway, Suite 208
 Lake Worth, Florida 33460

Orange County
 2948 E Livingston Street
 Orlando, Florida 32803

State of Florida Certificate of
 Authorization Number - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
 NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED
 AND ARE SUBJECT TO REVISIONS MADE
 DURING THE PERMITTING PROCESS.
 RESPONSIBILITY FOR THE USE OF THESE
 PLANS PRIOR TO OBTAINING PERMITS
 FROM ALL AGENCIES HAVING JURISDICTION
 OVER THE PROJECT WILL FALL SOLELY
 UPON THE USER.

**LEDER
 4161 HILLSBORO
 STORAGE**

SCALE:	AS NOTED
DATE ISSUED:	09/21/2021
DRAWN BY:	JR
DESIGNED BY:	JK
CHECKED BY:	TD

THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

SHEET TITLE

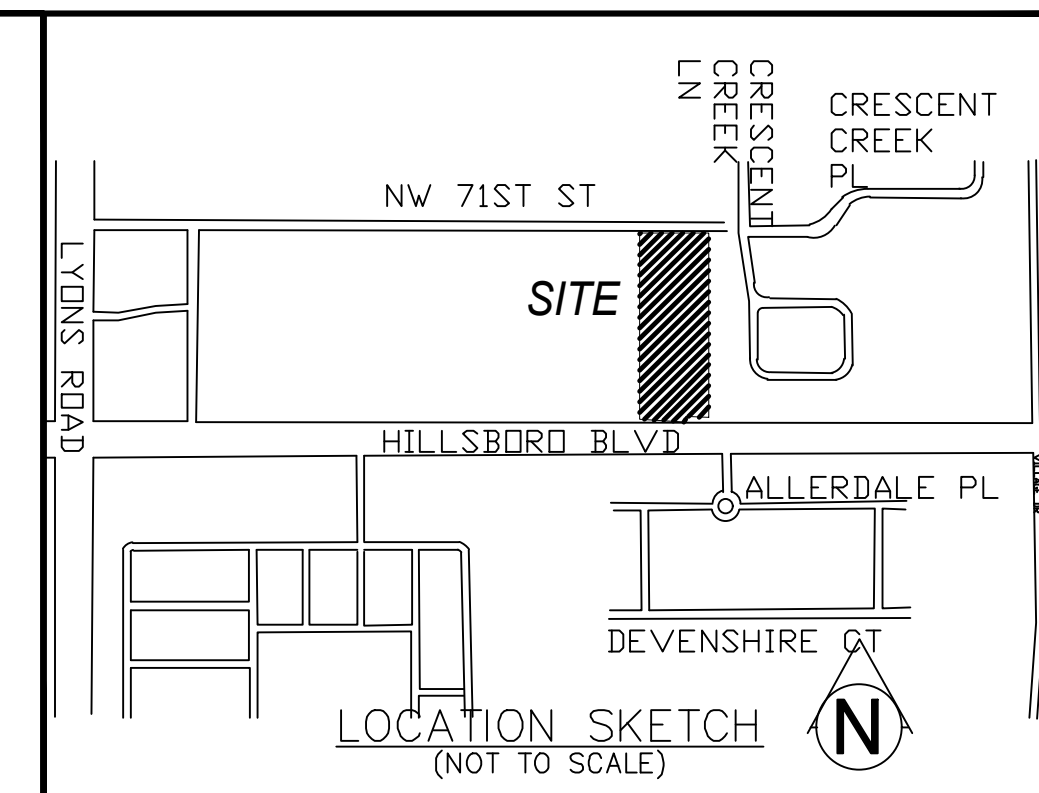
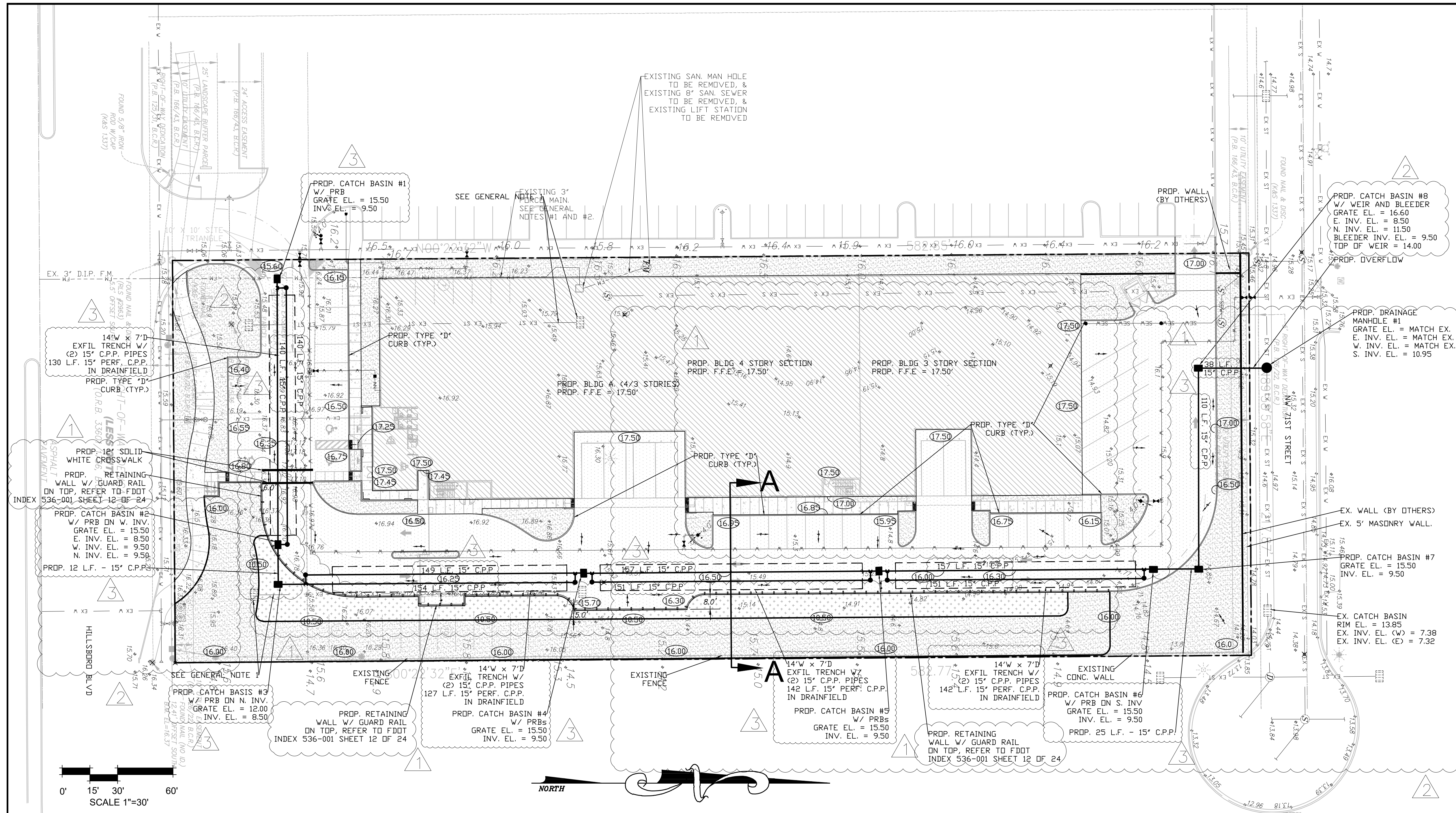
FIRE ACCESS PLAN

SHEET NUMBER

FA-101

PROJECT NO. 09675.01

Drawing Name: P:\09675.01 - 4161 Hillsboro LLC - Leder Group\Planning\09675.01 - FA-101.dwg, Layout Name: FA-101, Plotted by: jprhds, Plot Date on: May 10, 2022 3:55:50pm



LEGEND

	PROPOSED GRADE
	EXISTING ELEVATION
	FLOW DIRECTION
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM
	PROPOSED WATER
	PROPOSED SANITARY SEWER
	PROPOSED EXPFILTRATION SYSTEM
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN/YARD DRAIN
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (F.D.C.)
	PROPOSED WATER METER AND BACKFLOW PREVENTOR
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED JUNCTION BOX
	EXISTING STORM MANHOLE
	PROPOSED GRASS AREA
	PROPOSED AQUATIC VEGETATION
	EXISTING FORCE MAIN

DIVERSIFIED CONSTRUCTION
DCES
 & **ENGINEERING SERVICES**
 2295 N.W. CORPORATE BLVD. #125 BOCA RATON, FL 33431
 561-750-3717 FAX 561-750-3686
 EB #6459

REVISIONS	DATE	DWN.:	CHK.:
1. REVISED PER DRC COMMENTS	11-12-21	M.A.	
2. REVISED PER DRC COMMENTS/NEW SP	01-11-22	M.A.	
3. REVISED PER DRC COMMENTS	02-28-22		
4.			
5.			
6.			
7.			
8.			

LAND DESCRIPTION:

PARCEL 1
 PARCEL "A" OF WORKINGMAN'S NURSERY, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 126, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 33601, PAGE 1736 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2
 NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT C OF THE MUTUAL INGRESS AND EGRESS EASEMENT BETWEEN FIRST BAPTIST CHURCH OF COCONUT CREEK AND LEDER HILLSBORO COMPANY, LTD. RECORDED IN OFFICIAL RECORDS BOOK 32117, PAGE 1578, LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 33445, PAGE 162, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3
 NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT B OF THE DECLARATION OF RESTRICTIVE COVENANTS FOR PRIVATE PAVED ROADWAYS AND ACCESS BY LEDER HILLSBORO, LTD. AND NEW LIFE COMMUNITY CHURCH OF BROWARD COUNTY, INC. RECORDED IN OFFICIAL RECORDS BOOK 33516, PAGE 122 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION LYING WITHIN SAID PARCEL 1.

UTILITY NOTES:

- EXISTING UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE OR ROADWAY CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO ADDRESS THE CONFLICT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL MAINTAIN AND ADJUST ALL EXISTING MANHOLE COVERS, HANDHOLE BOXES, METER BOXES AND VALVE BOXES TO FINISHED GRADE AS REQUIRED.
- EXISTING WATER AND SEWER SERVICES NOT UTILIZED SHALL BE CUT & CAPPED AT THE MAIN.

SURVEY NOTES:

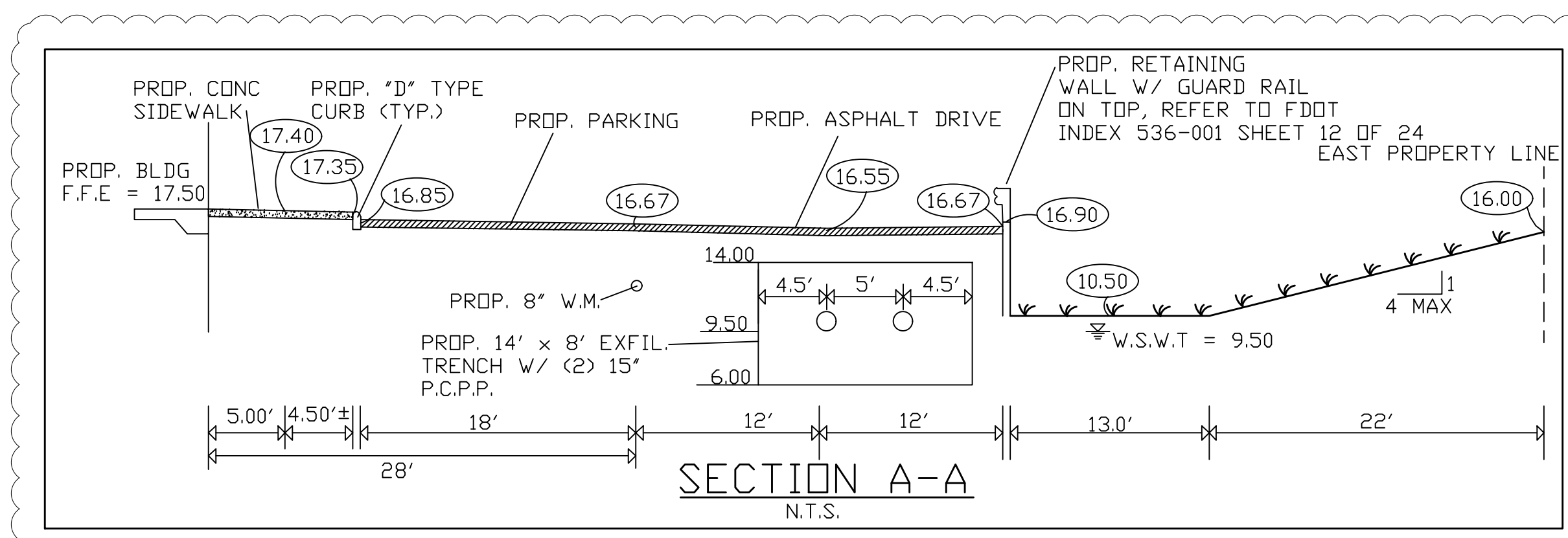
- EXISTING CONDITIONS WERE TAKEN FROM A SKETCH OF SURVEY PREPARED BY AVIOM & ASSOCIATES INC., PROJECT NO. 11186 SURVEYED ON 04/15/19.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK DESCRIPTION: BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK #842, ELEVATION = 14.95 (NAVD 1988).
- THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE X, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12011C0158H, COMMUNITY PANEL NUMBER 120031 0158 H, DATED 08/18/2014.

SITE DATA:

ROOF AREA	42,356 S.F.	(0.972 AC)
GREEN/PERVIOUS AREA	37,817 S.F.	(0.868 AC)
IMPERVIOUS AREA	46,830 S.F.	(1.075 AC)
TOTAL AREA	127,003 S.F.	(2.915 AC)
IMPERVIOUS AREA	89,186 S.F.	(70.22%)
PERVIOUS AREA	37,817 S.F.	(29.78%)

GENERAL NOTES:

- ALL EXISTING DRAINAGE IMPROVEMENTS ONSITE ARE TO BE REMOVED.
- ALL C.P.P. PIPE LOCATED IN DRAINFIELD/EXFILTRATION TRENCH IS TO BE PERFORATED. PIPE LOCATED FROM THE EDGE OF THE CATCH BASIN/JUNCTION BOX TO THE EDGE OF THE EXFILTRATION TRENCH SHALL BE SOLID PIPE



48 HOURS BEFORE DIGGING
 BROWARD • PALM BEACH • INDIAN RIVER • ST. LUCIE • MARTIN COUNTIES
 CALL TOLL FREE
1-800-432-4770
 FOR UNDERGROUND UTILITIES NOTIFICATION AND LOCATION

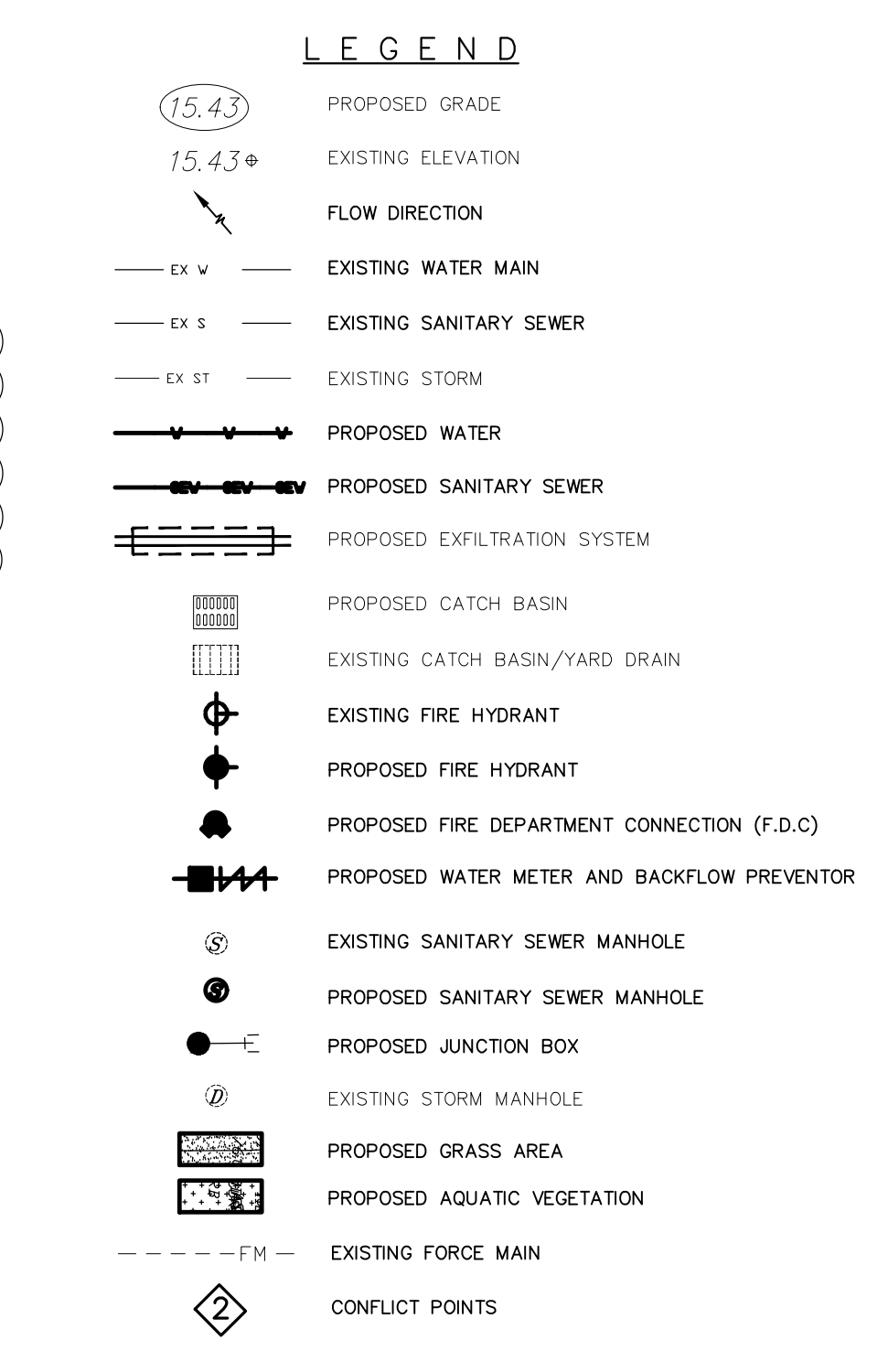
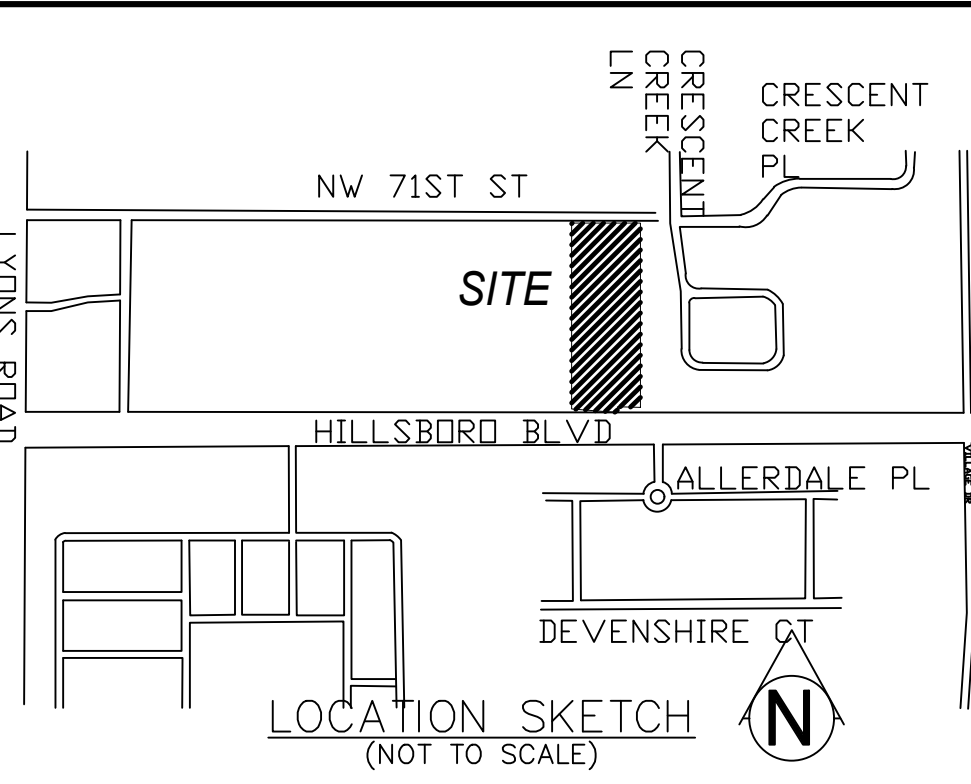
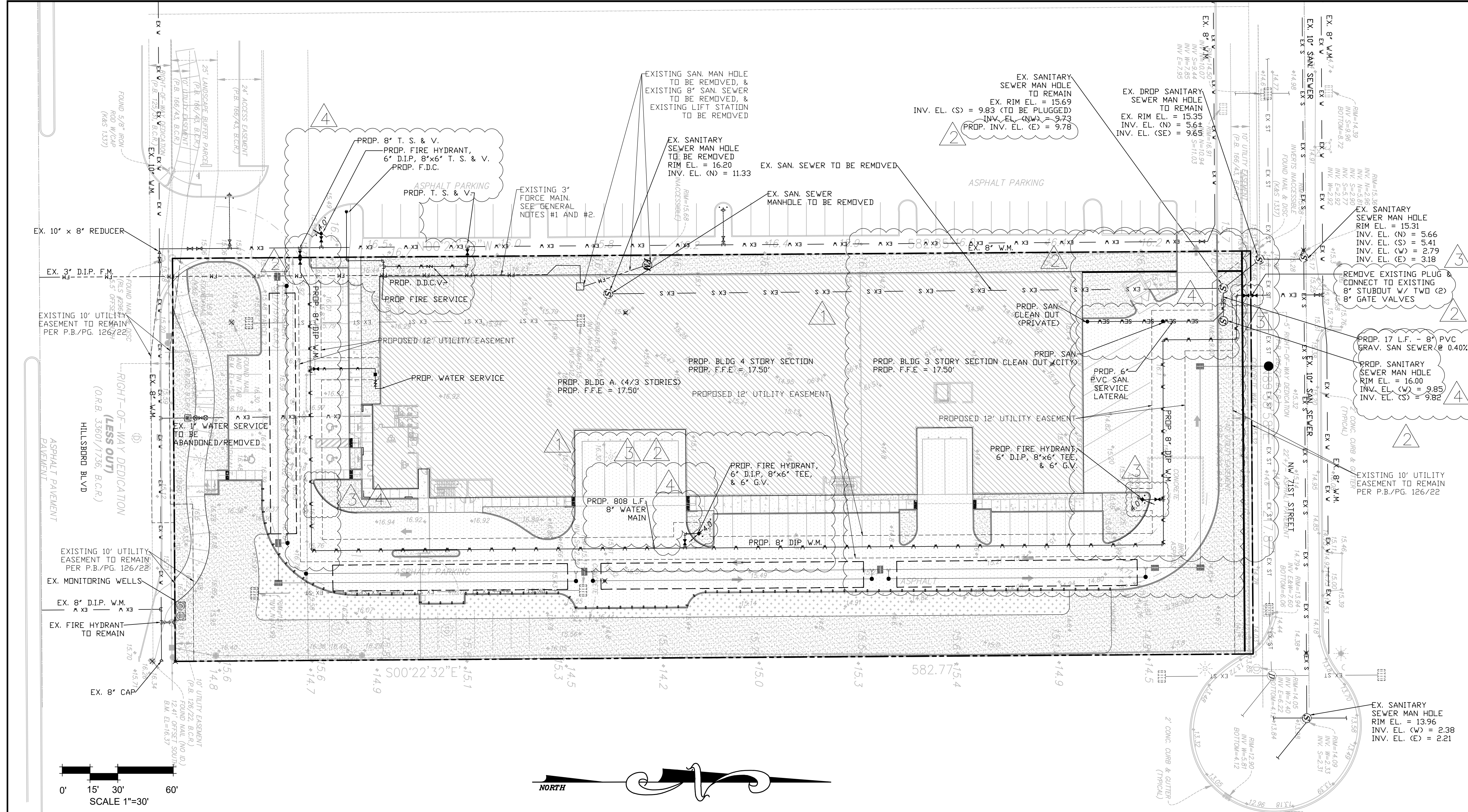
DISCLAIMER:
 INFORMATION SHOWN ON THIS PLAN IS A GRAPHIC REPRESENTATION ONLY, AND IS NOT TO BE USED IN LIEU OF A HORIZONTAL CONTROL PLAN.

Neal B. Janov, State of Florida, Professional Engineer, License No. 21998. This item has been digitally signed and sealed by Neal B. Janov, P.E. on June 15, 2022 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NEAL B. JANOV #21998

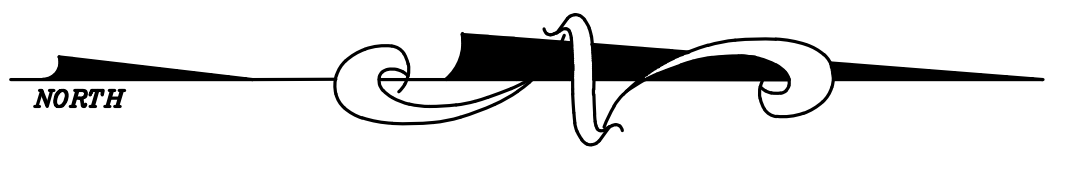
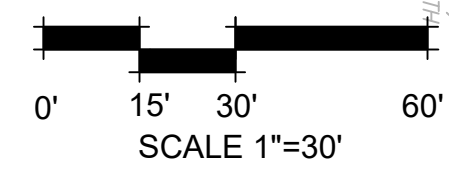
4161 WEST HILLSBORO STORAGE
 4161 HILLSBORO BOULEVARD
 COCONUT CREEK, FLORIDA
 CONCEPTUAL PAVING, GRADING, DRAINAGE PLAN

SCALE:	1"=30'
DATE:	09-24-2019
DWN. BY:	M.A.
CHK. BY:	N.B.J.
F.B.	PG.
JOB NO.:	2373-19
SHEET:	C-1 OF 2



DIVERSIFIED CONSTRUCTION
DCES
 & ENGINEERING SERVICES
 2295 N.W. CORPORATE BLVD. #125 BOCA RATON, FL 33431
 561-750-3717 FAX 561-750-3686
 EB #6459

REVISIONS	DATE	DWN.:	CHK.:
1. REVISED PER DRC COMMENTS	11-12-21	M.A.	
2. REVISED PER DRC COMMENTS/NEW SP	01-11-22	M.A.	
3. REVISED PER DRC COMMENTS	02-28-22	M.A.	
4. REVISED PER FIRE MARSHALL COMMENTS	08-15-22	M.A.	
5. AND COORD. W/ L.A.			
6.			
7.			



LAND DESCRIPTION:

PARCEL 1
 PARCEL "A" OF WORKINGMAN'S NURSERY, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 126, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 33601, PAGE 1736 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2
 NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT C OF THE MUTUAL INGRESS AND EGRESS EASEMENT BETWEEN FIRST BAPTIST CHURCH OF COCONUT CREEK AND LEDER HILLSBORO COMPANY, LTD. RECORDED IN OFFICIAL RECORDS BOOK 32117, PAGE 1578, LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 33445, PAGE 162, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3
 NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 ABOVE CREATED BY, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT B OF THE DECLARATION OF RESTRICTIVE COVENANTS FOR PRIVATE PAVED ROADWAYS AND ACCESS BY LEDER HILLSBORO, LTD. AND NEW LIFE COMMUNITY CHURCH OF BROWARD COUNTY, INC. RECORDED IN OFFICIAL RECORDS BOOK 33516, PAGE 122 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION LYING WITHIN SAID PARCEL 1.

SAID LANDS LYING IN BROWARD COUNTY, FLORIDA AND CONTAINING 126,976 SQUARE FEET (2.9150 ACRES) MORE OR LESS.

UTILITY NOTES:

- EXISTING UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE OR ROADWAY CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO ADDRESS THE CONFLICT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL MAINTAIN AND ADJUST ALL EXISTING MANHOLE COVERS, HANDHOLE BOXES, METER BOXES AND VALVE BOXES TO FINISHED GRADE AS REQUIRED.
- EXISTING WATER AND SEWER SERVICES NOT UTILIZED SHALL BE CUT & CAPPED AT THE MAIN.

GENERAL NOTES:

- EXISTING 3" FORCE MAIN, LIFT STATION, AND ASSOCIATED SAN. SEWER MANHOLE LOCATED ON THE PROPERTY IS TO BE REMOVED.
- EXISTING 3" FORCE MAIN LOCATED IN THE RIGHT-OF-WAY IS TO BE PRESSURE GROUTED.

SITE DATA:

ROOF AREA	42,356 S.F.	(0.972 AC)
GREEN/PERVIOUS AREA	37,817 S.F.	(0.868 AC)
IMPERVIOUS AREA	46,830 S.F.	(1.075 AC)
TOTAL AREA	127,003 S.F.	(2.915 AC)
IMPERVIOUS AREA	89,186 S.F.	(70.22%)
PERVIOUS AREA	37,817 S.F.	(29.78%)

4161 WEST HILLSBORO STORAGE
 4161 HILLSBORO BOULEVARD
 COCONUT CREEK, FLORIDA
 CONCEPTUAL WATER & SEWER PLAN

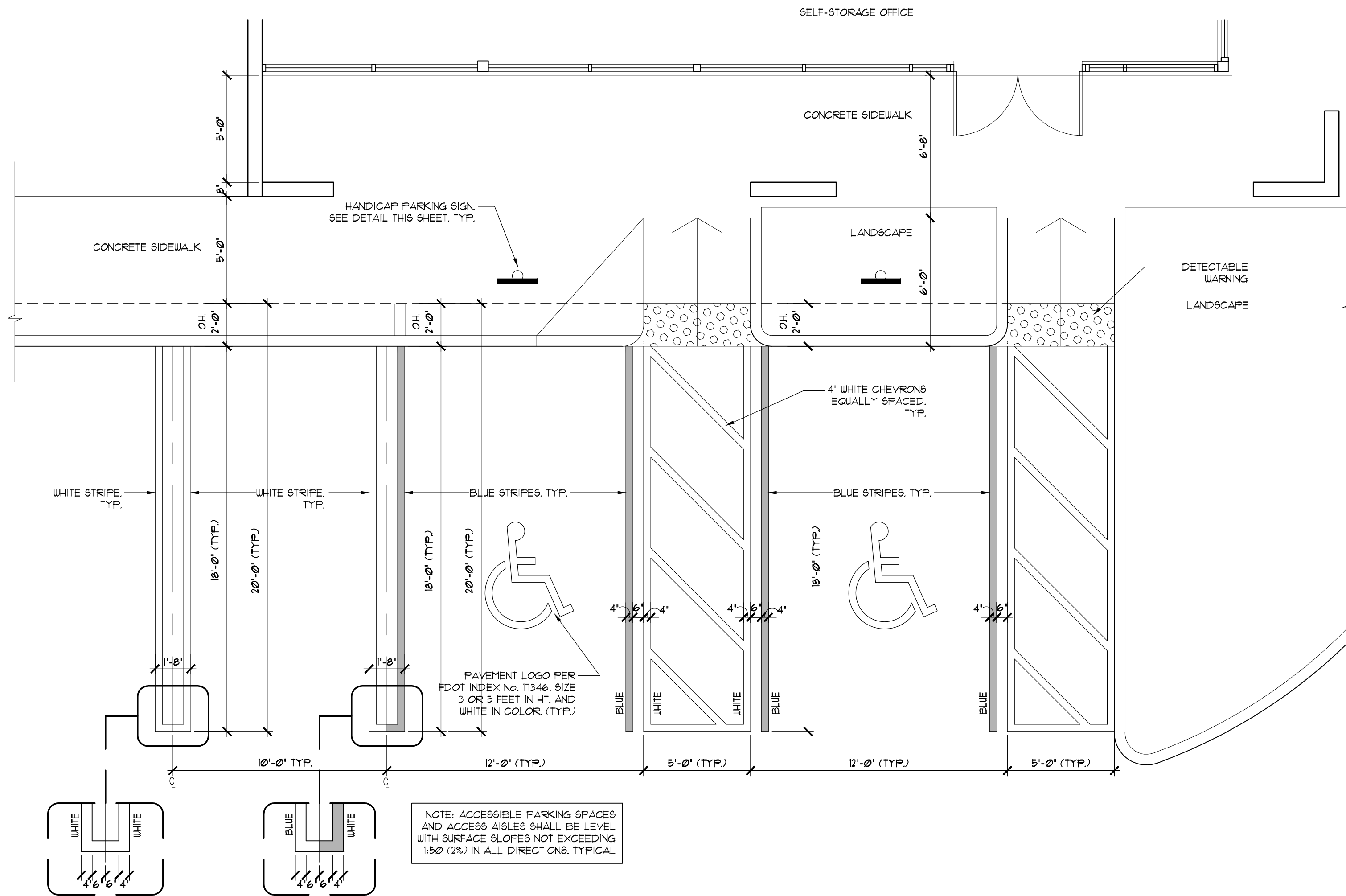
DCES
SCALE: 1"=30'
DATE: 09-24-2019
DWN. BY: M.A.
CHK. BY: N.B.J.
F.B. PG.
JOB NO.: 2373-19
SHEET: C-2 OF 2

48 HOURS BEFORE DIGGING
 BROWARD • PALM BEACH • INDIAN RIVER • ST. LUCIE • MARTIN COUNTIES
 CALL TOLL FREE
1-800-432-4770
 FOR UNDERGROUND UTILITIES NOTIFICATION AND LOCATION

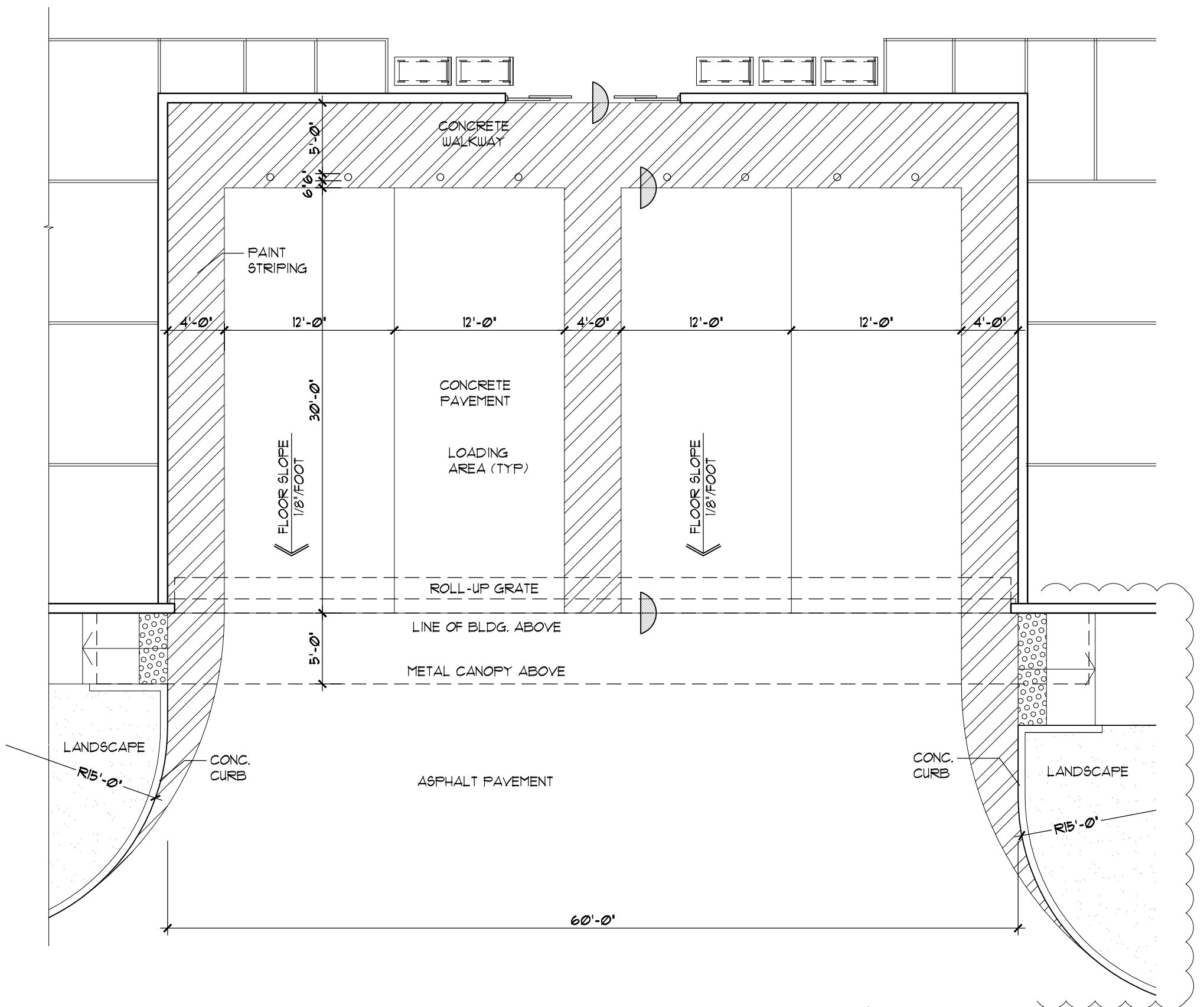
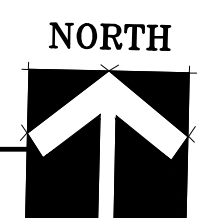
DISCLAIMER:
 INFORMATION SHOWN ON THIS PLAN IS A GRAPHIC REPRESENTATION ONLY, AND IS NOT TO BE USED IN LIEU OF A HORIZONTAL CONTROL PLAN.

Neal B. Janov, State of Florida, Professional Engineer, License No. 21998. This item has been digitally signed and sealed by Neal B. Janov, P.E. on June 15, 2022 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

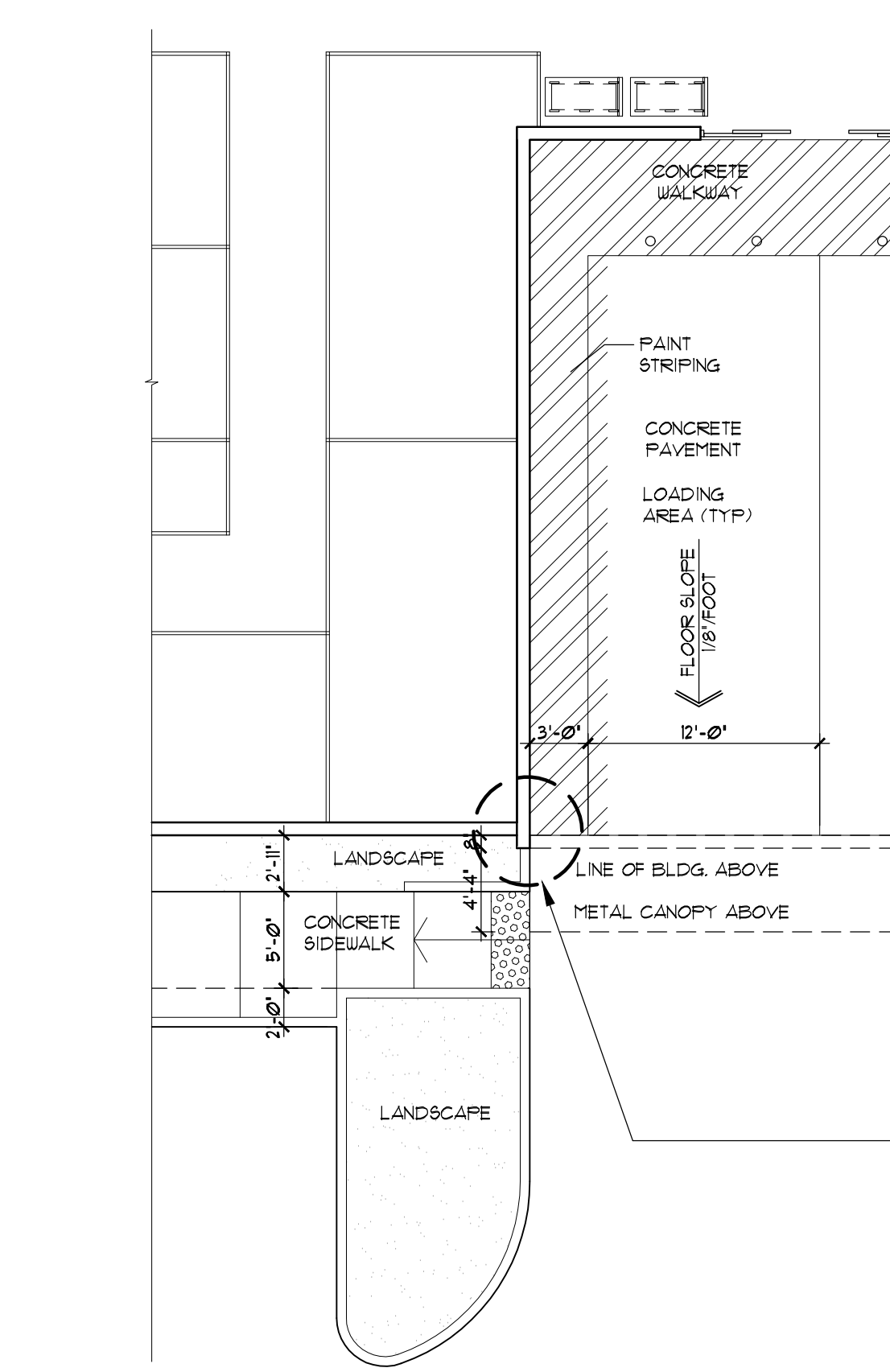
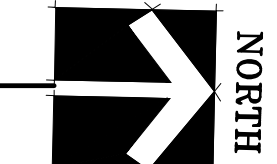
NEAL B. JANOV #21998



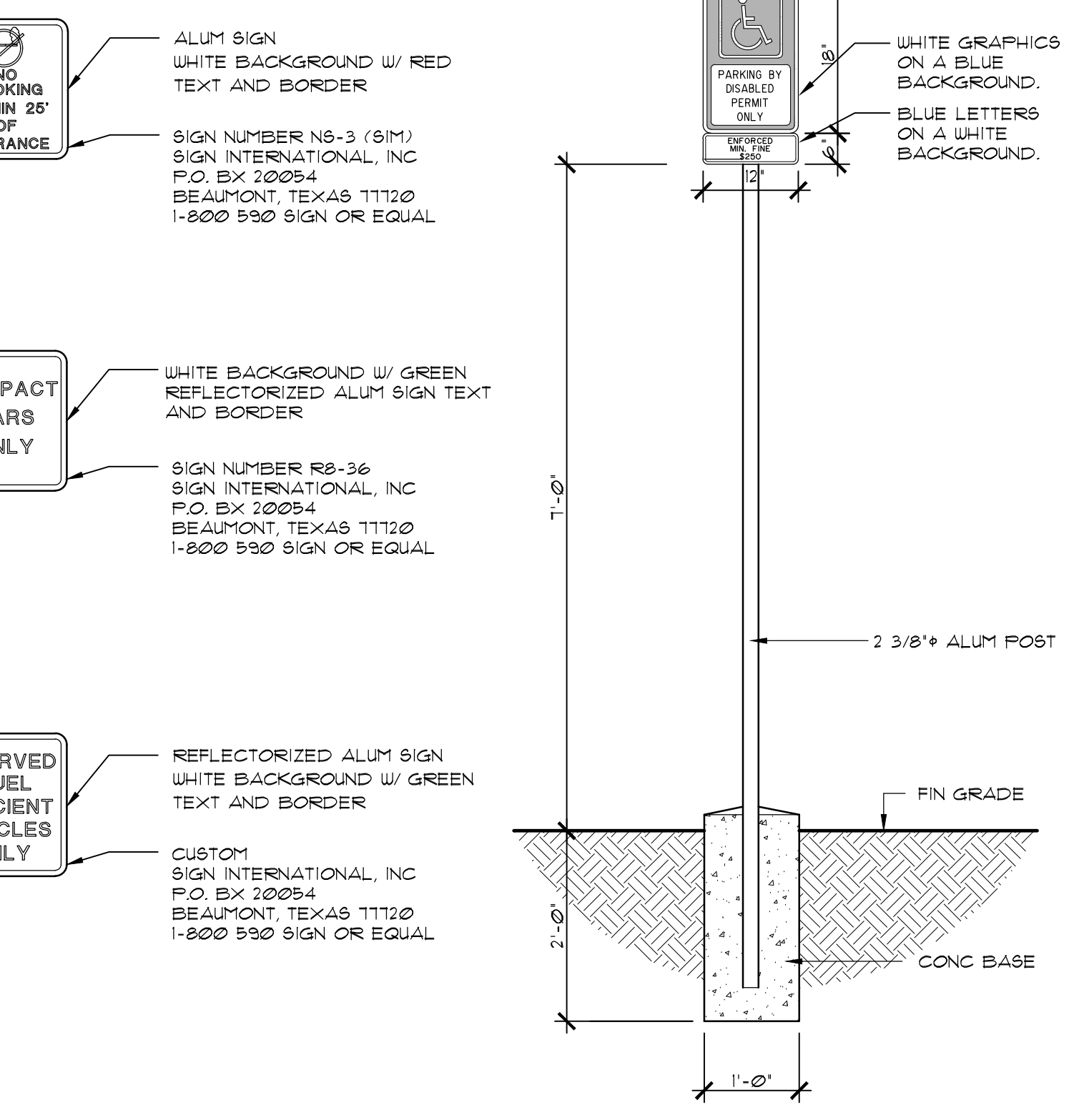
1 TYPICAL PARKING DETAIL
1/4"=1'-0"



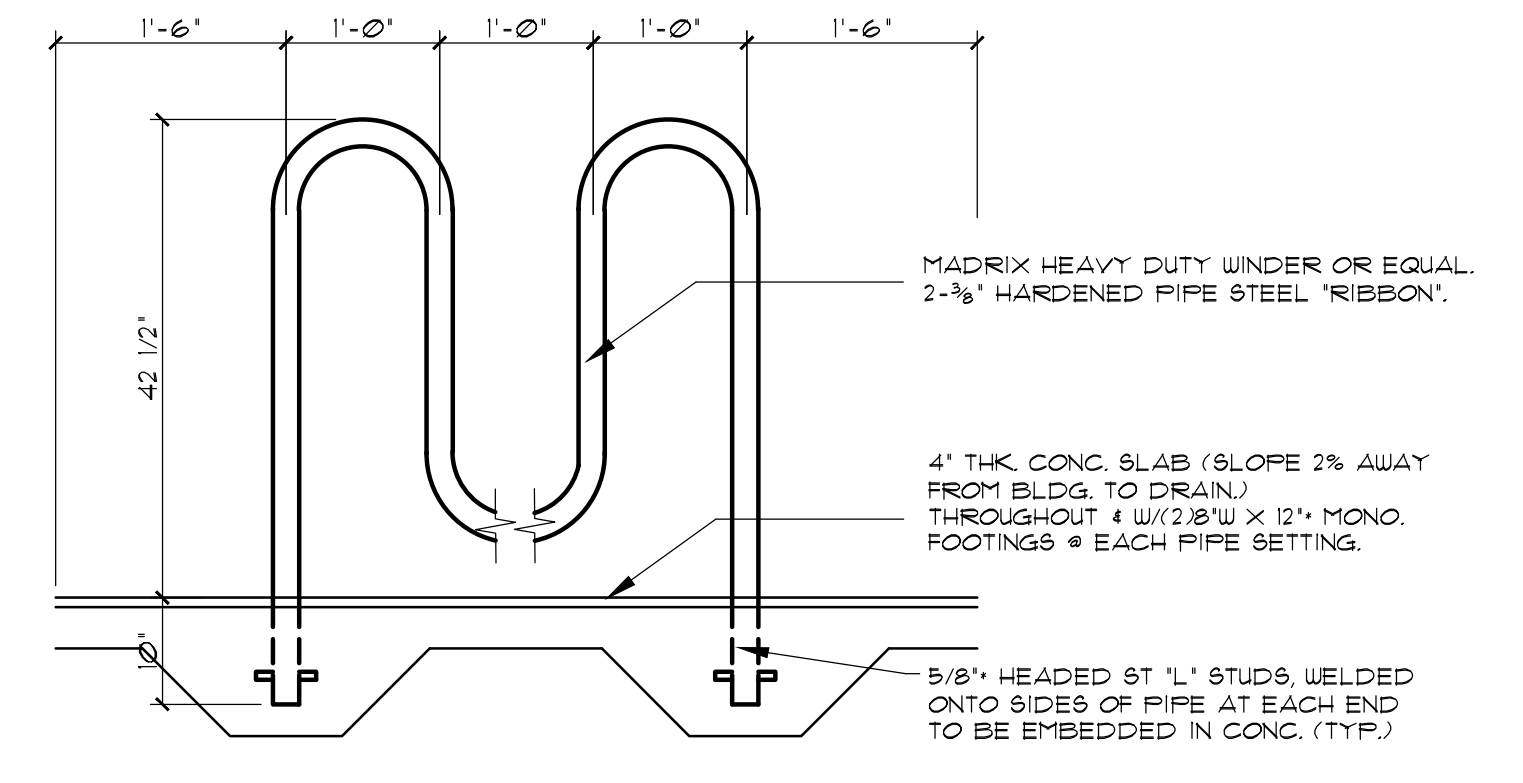
3 SOUTH LOADING AREA DETAIL
1/8"=1'-0"



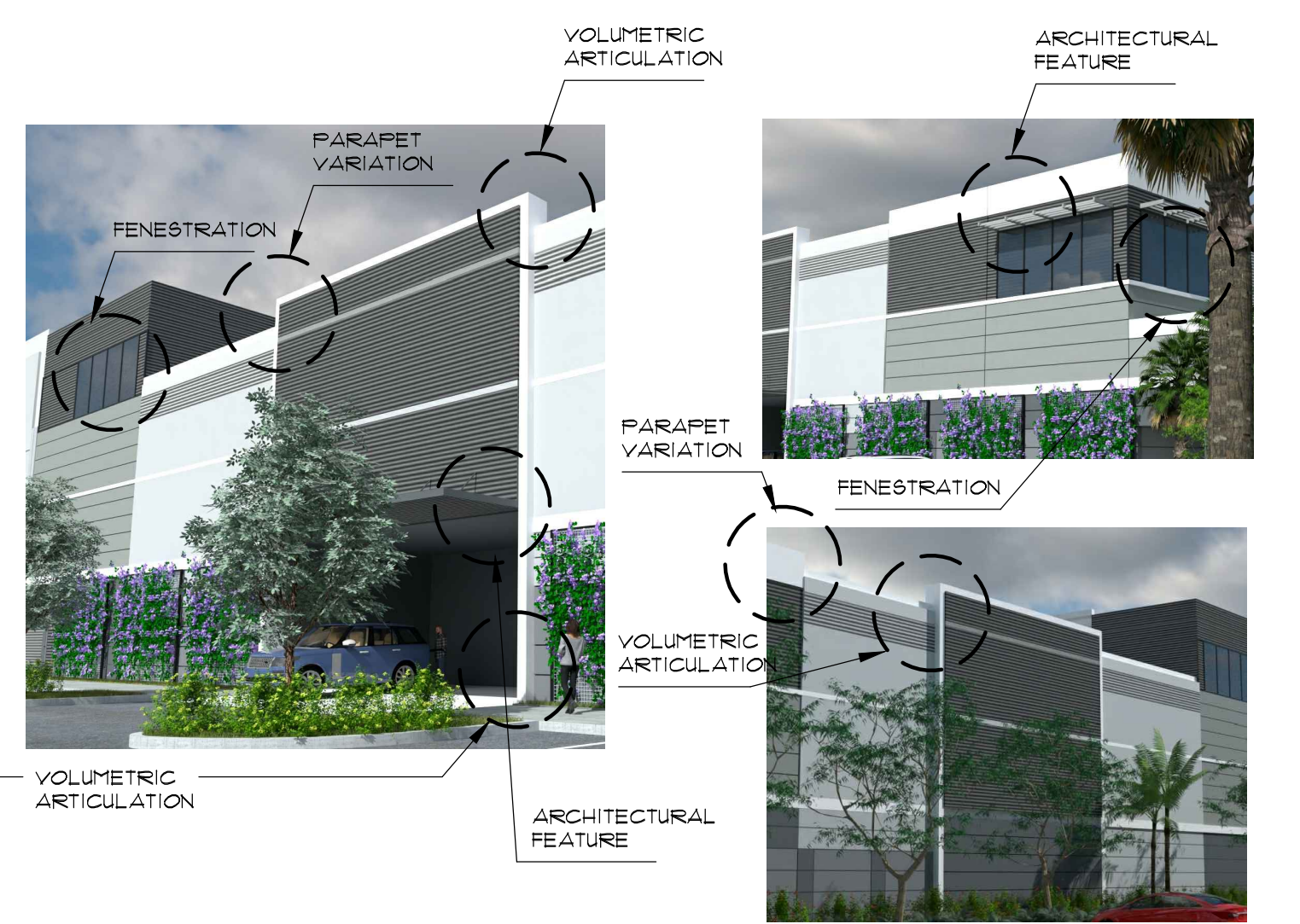
4 NORTH LOADING AREA DETAIL
1/8"=1'-0"



2 PARKING SIGNAGE DETAIL
NTS



5 BYCICLE RACK DETAIL
NTS



6 ARTICULATION DETAILS
NTS

13-320(b)(1)	
LEED Accredited Professional	Kurt Langford, LEED AP-BD+C (ID 10200727)
Sustainable Site Development	
Construction Pollution Prevention	An erosion and sedimentation control plan will be developed and implemented to control erosion and air born dust.
Construction site materials recycling	Utilizing construction waste management practices 75% of the project's construction waste will be recovered, reused and recycled. A regional waste management hauler shall be hired to haul, separate, sort and document all construction waste.
Stormwater management	Drainage system will incorporate a combination of swale and underground storage enhancing drainage sustainability.
Alternative transportation	County bus stops and local shuttle service are located adjacent to the site. Short term bicycle storage is provided on site. There will be 6 public electrical charging stations conveniently located.
Minimizing heat island effect	A white TPO roofing membrane will be installed with a Solar Reflectance Index of 102 and Solar Reflectance of 0.81.
Water Efficiency	
Innovative water technologies	Toilets, urinals, private lavatory faucets and shower heads shall be water sense labeled and/or meet/exceed the USGBC baseline consumption values (water closet 1.6 GPF, lavatory faucets (restroom) 0.5 GPM, kitchen faucet 2.2 GPM, shower head 2.5 GPM)
Water efficient	Reduction in outdoor water consumption through the selection of native plant species and xeriscaping design concept
Energy Efficiency	
Minimum energy performance	Building will be designed to meet the current Florida Building Code.
On-site renewable energy	EV charging station
Indoor Environmental Quality	Mechanically ventilated space will be designed to meet ASHREA interior paints and coatings, adhesives and sealants will be low or no voc. Standards 62.1-2004 - ventilation for acceptable indoor air quality
Indoor air quality	
Materials and Recycling	
Recycling of demolition waste	Utilizing construction waste management practices 75% of the project's construction waste will be recovered, reused and recycled. A regional waste management hauler shall be hired to haul, separate, sort and document all construction waste.
Storage and collection of recyclables post occupancy	On-site collection Based Storage, tenants are not allowed to leave anything behind which eliminates recycling at facility.
Building re-use	No Building Reuse possible.
Regional materials	The building will incorporate a high level of regional and recycled content material. Due to the nature of lift up construction, large amounts of concrete, steel rebar and metal decking waste will not be produced. Utilizing construction waste management practices the project will divert 75-80% of construction waste based on weight most of which will be concrete. A regional waste management hauler will be hired to haul, separate, sort and document all construction waste.
13-320(b)(3)	
Acknowledgement to maintain the green building components for the life of the building.	Owner agrees to maintain the building components for the life of the building
Resolution 2020-063	
Green Event Checklist	Develop a check list to ensure sustainable event planning.
Water Fountains	Provide smart water fountains/touchless bottle refill stations.
Purchasing	Commit to green products (no polystyrene) and earth-friendly cleaning supplies.
GREEN PLAN ACTION ITEMS	
ACTION ITEMS	DESCRIPTION (description of use in development)
Action 1.6 - Ensure 100% of new development projects throughout the City contain conspicuous displays of green technology that function in the project design while providing a social, artistic, and environmental value.	The applicant has created natural habitat for plants, birds and beneficial insects adjacent to the walkway on Hillsboro and by FDOT natural area on the southeast front of the site. Phase III also provides 6 public EV charging stations visible from Hillsboro Blvd. The charging stations will be phased in if and when demand warrants.
Action 2.1 - Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public and private land by 2020.	Project calculation with conservative assumptions is 36% land by 2020.
Action 2.2 - Achieve 40% greenroof coverage for new construction in MainStreet Project Area and 10% greenroof coverage for new construction for areas outside of MainStreet. (i.e. high albedo paint on roof)	A white TPO roofing membrane will be installed with a Solar Reflectance Index of 102 and Solar Reflectance of 0.81.
Action 5.1 - Increase recycling throughout the City by 25% by 2014 and 50% by 2020.	Although the site will have recycling as part of the business function, additional educational information will be displayed.
Action 5.3 - Require all construction and demolition debris to divert 75% of waste from landfills.	Utilizing construction waste management practices the project will divert 75-80% of construction waste based on weight, most of which will be concrete and metal. A regional waste management hauler will be hired to haul, separate, sort and document all construction waste.
Action 6.2 - Bicycle parking on site	5 bicycle spaces will be provided.
Action 6.4 - Alternative vehicle parking/EV charging stations	The PCD has a bus stop located in front of the site, to promote alternative modes of transportation and increase mobility in the city. There will be 6 public electrical vehicle charging stations in the front of the additional site visible for the public use. The charging stations will be phased in if and when demand warrants.
Note: All responses to this checklist are to reflect efforts ABOVE minimum code requirements.	

7 GREEN STANDARDS
NTS

4161 WEST HILLSBORO STORAGE
4161 WEST HILLSBORO
COCONUT CREEK, BROWARD, FL.

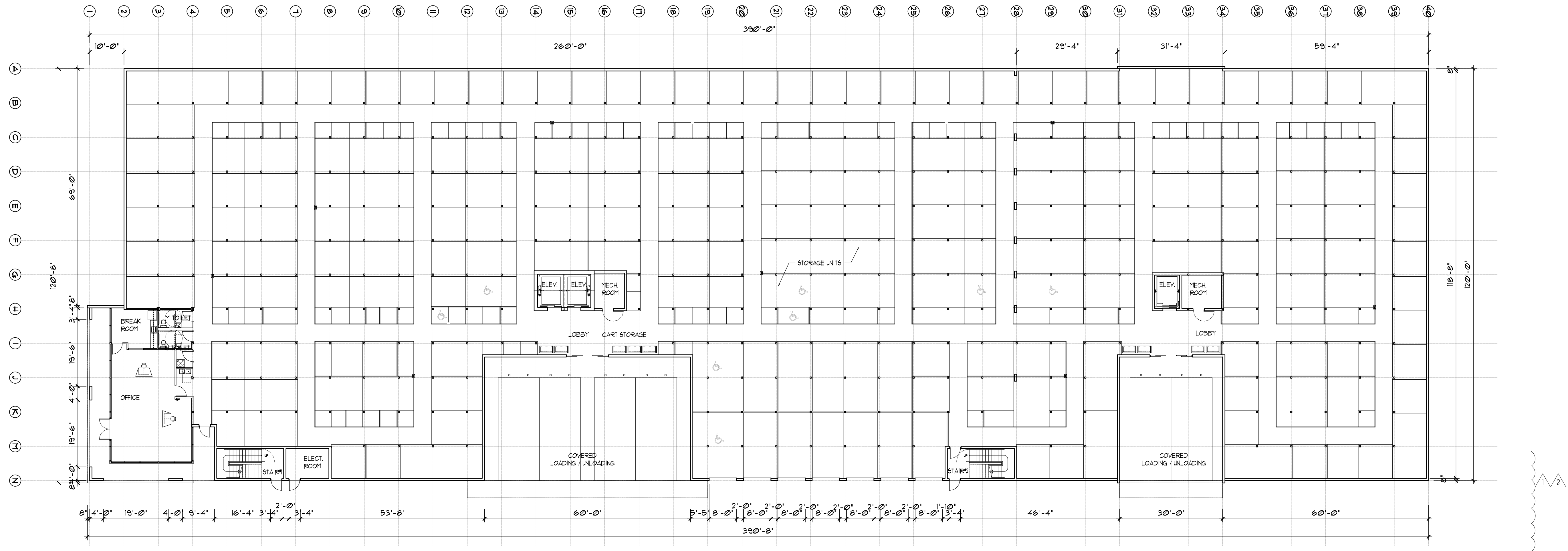
KENNETH R. CARLSON - ARCHITECT, P.A.
1166 W. NEWPORT CENTER DR., SUITE #311
DEERFIELD BEACH, FLORIDA 33442
PH. (954) 421 - 8848
e-mail: krc@krcarchitect.com

Rev/Iss: 12/07/21
DEC COMMENTS
08/15/2021
05/09/21
05/09/21
DEC COMMENTS

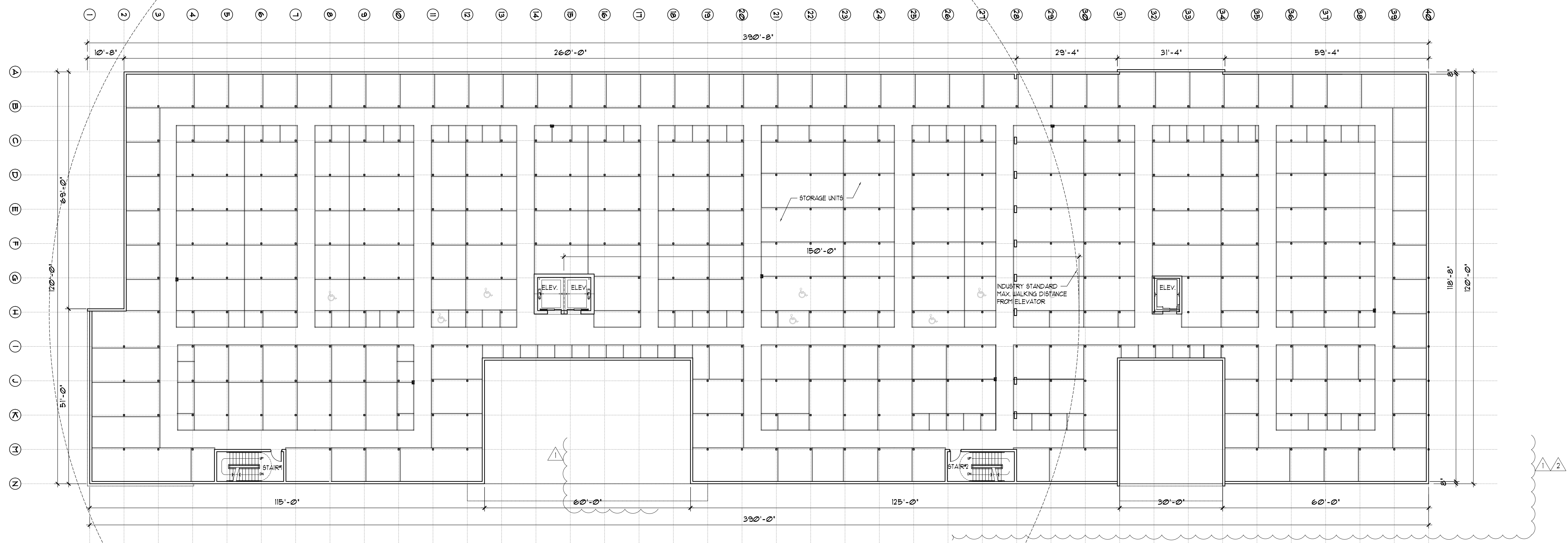
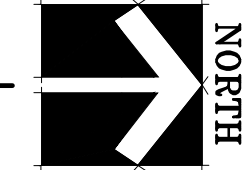
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CHECKED BY: KRC
DATE: 08/15/2021
SCALE: AS NOTED
PROJECT #: 21047
CAD DWG FILE: 21047

AR12546
KENNETH R. CARLSON

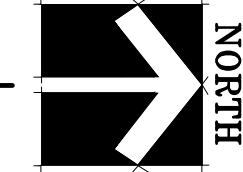
SHEET OF
A3.1
PAGE OF



1
A4.0
GROUND FLOOR PLAN
1/16" = 1'-0"



2
A4.0
SECOND FLOOR PLAN
1/16" = 1'-0"



4161 WEST HILLSBORO STORAGE
4161 WEST HILLSBORO
COCONUT CREEK, BROWARD, FL.

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PH. (954) 421 - 8848 FAX (954) 421 - 9929
e-mail: krc@krcarlson.com

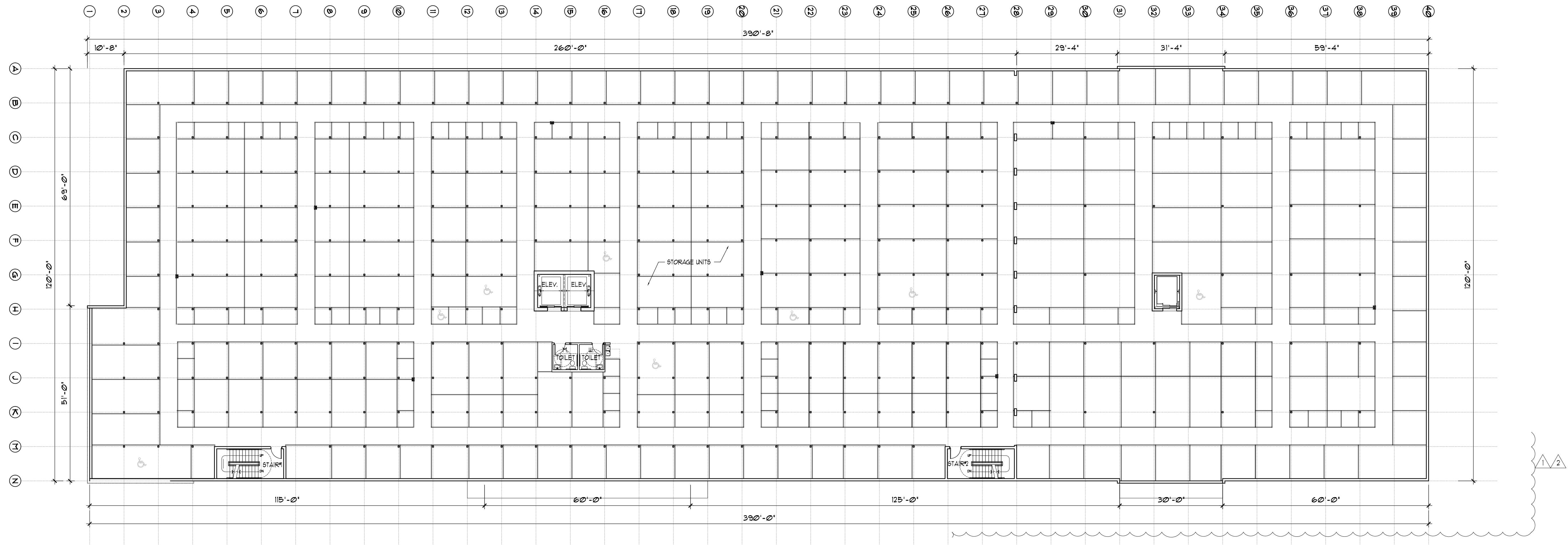
Revisions:

11/21/21	PRG COMMENTS
08/15/21	PRG COMMENTS

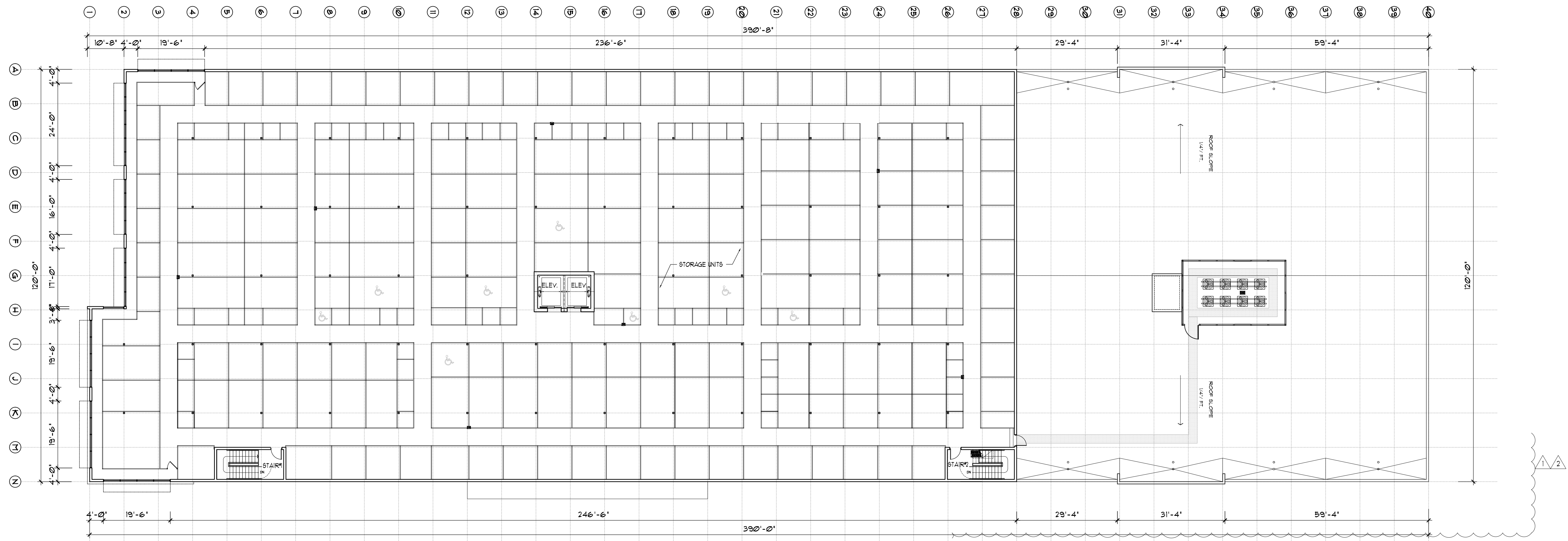
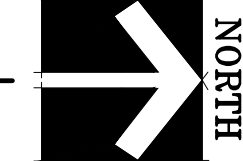
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SCALE: AS NOTED
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CAD DWG FILE:

AR2546
KENNETH R. CARLSON

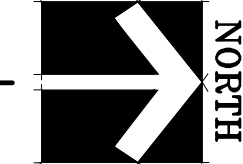
SHEET OF
A4.0
PAGE OF



1
A4.1
THIRD FLOOR PLAN
1/16" = 1'-0"



2
A4.1
FOURTH FLOOR PLAN
1/16" = 1'-0"



4161 WEST HILLSBORO STORAGE
4161 WEST HILLSBORO
COCONUT CREEK, BROWARD, FL.

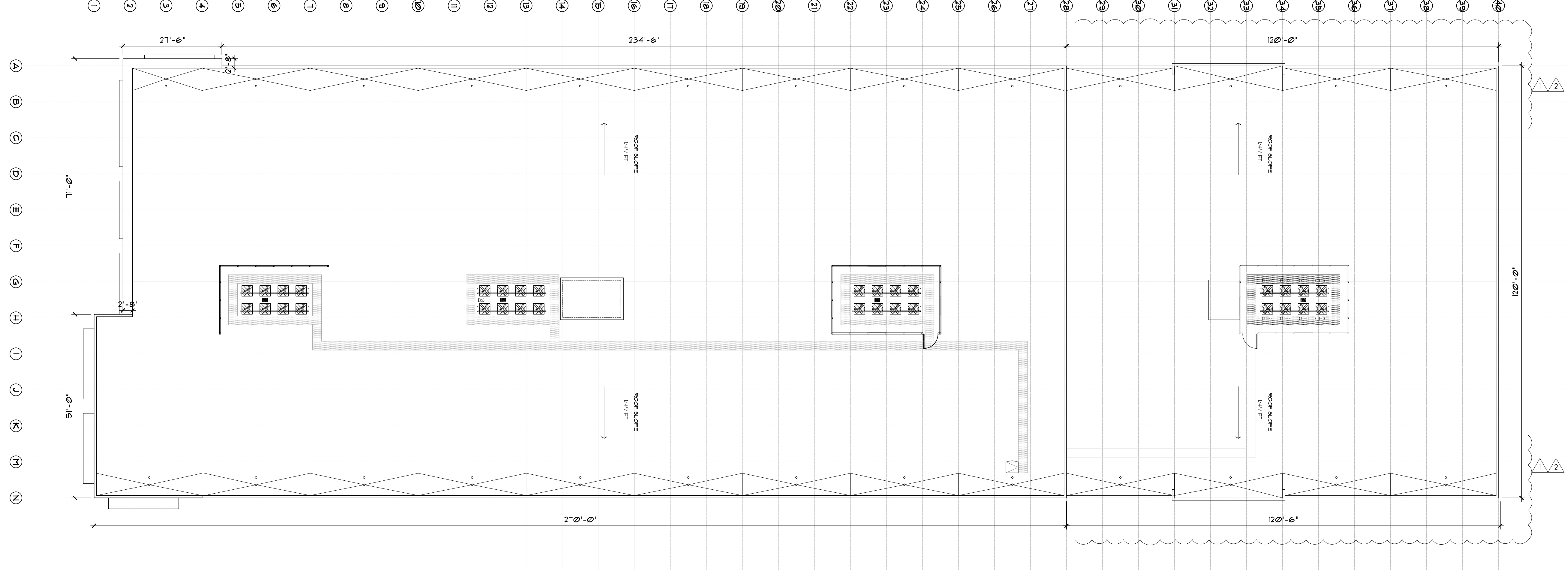
KENNETH R. CARLSON - ARCHITECT, P.A.
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e-mail: krc@krcarlson.com

Revisions:

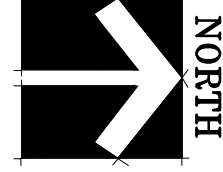
11/21	PREC COMMENTS
12/1	PREC COMMENTS
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2	
3	
4	

DRAWN BY: FS	CHECKED BY: KRC
DATE: 08/15/2011	SCALE: AS NOTED
PROJECT #: 21047	CAD DWG FILE:

KENNETH R. CARLSON
AR2546



1
A4.2 ROOF PLAN
1/16" = 1'-0"



Revisions:

△	11/1/21	PRE COMMENTS
△	08/15/21	PRE COMMENTS
△		
△		
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DRAWN BY:	FS
CHECKED BY:	KKC
DATE:	08/15/2021
SCALE:	AS NOTED
PROJECT #:	21024T
CAD DWG FILE:	

AR12546
KENNETH R. CARLSON

4161 WEST HILLSBORO STORAGE
4161 WEST HILLSBORO
COCONUT CREEK, BROWARD, FL.

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e-mail: krc@krcarlson.com

FLOOR LEVEL	OCCUPANCY (USE)	AREA IN SQ. FEET	FBC OCCUPANCY FACTOR (TABLE 1004.12)	FFPC OCCUPANCY FACTOR (TABLE 14.8.12)	HIGHEST OCCUPANCY LOAD
1ST FLOOR	OFFICE & BREAKROOM (BUSINESS)	924 SQ. FT.	1 / 150 GROSS	FBC GOVERNS PER FFPC 14.8.12	6.16
1ST FLOOR	ELECTRICAL	132 SQ. FT.	N/A	N/A	0
1ST FLOOR	STAIRS, # 1, 2	416 SQ. F.	N/A	N/A	0
1ST FLOOR	MEN & WOMEN	119 SQ. FT.	N/A	N/A	0
1ST FLOOR	ELEVATORS	341 SQ. FT.	N/A	N/A	0
1ST FLOOR	ELEV. MACH. ROOMS	253 SQ. FT.	N/A	N/A	0
1ST FLOOR	JANITOR RM.	31 SQ. FT.	N/A	N/A	0
1ST FLOOR	STORAGE (LESS ELEV & STAIRS)	39,691 SQ. FT.	1 / 500 GROSS	FBC GOVERNS PER FFPC 14.8.12	* 79.38
TOTAL 1ST FLOOR					85.54
2ND FLOOR	STAIRS, # 1, 2	416 SQ. F.	N/A	N/A	0
2ND FLOOR	ELEVATORS	341 SQ. FT.	N/A	N/A	0
2ND FLOOR	STORAGE (LESS ELEV & STAIRS)	41,421 SQ. FT.	1 / 500 GROSS	FBC GOVERNS PER FFPC 14.8.12	* 82.85
TOTAL 2ND FLOOR					82.85
3RD FLOOR	STAIRS, # 1, 2	416 SQ. F.	N/A	N/A	0
3RD FLOOR	ELEVATORS	341 SQ. FT.	N/A	N/A	0
3RD FLOOR	MEN & WOMEN	132 SQ. FT.	N/A	N/A	0
3RD FLOOR	STORAGE (LESS ELEV & STAIRS)	44,651 SQ. FT.	1 / 500 GROSS	FBC GOVERNS PER FFPC 14.8.12	* 89.30
TOTAL 3RD FLOOR					89.30
4TH FLOOR	STAIRS, # 1, 2	416 SQ. F.	N/A	N/A	0
4TH FLOOR	ELEVATORS	341 SQ. FT.	N/A	N/A	0
4TH FLOOR	STORAGE (LESS ELEV & STAIRS)	30,605 SQ. FT.	1 / 500 GROSS	FBC GOVERNS PER FFPC 14.8.12	* 61.21
TOTAL 4TH FLOOR					61.21
TOTAL OCCUPANT LOAD					318.9 + 319

* TOTAL GROSS FLOOR AREA FOR STORAGE USE, INCLUDES: CORRIDORS, DISPLAY AREAS, ELEVATOR LOBBIES, AND ALL STORAGE UNITS LOCATED WITHIN THE FLOOR LEVEL.

FIRE EXTINGUISHER NOTE:
FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A4.6

KEY LEGEND

- FE (in a square) FIRE EXTINGUISHER (RECESSED)
- FE (in a circle) FIRE EXTINGUISHER (SURFACE)
- (in a square) EXIT SIGNAGE

DOOR NOTES:

- DOORS IN MEANS OF EGRESS AND THEIR HARDWARE SHALL COMPLY WITH FFPC 5TH EDITION & IFPA 101 CHAPTER 7, REFER TO DOOR SCHEDULE AND DOOR HARDWARE SCHEDULE ON SHEET A12.0
- (KB) INDICATES LOCATION OF KNOX BOX 4400 SERIES MOUNTED AT 5'-0" AFF. FIELD VERIFY EXACT LOCATIONS WITH FIRE MARSHAL.
- SLIDING GLASS DOOR HAVE BREAK AWAY DOOR LEAFS FOR EGRESS.

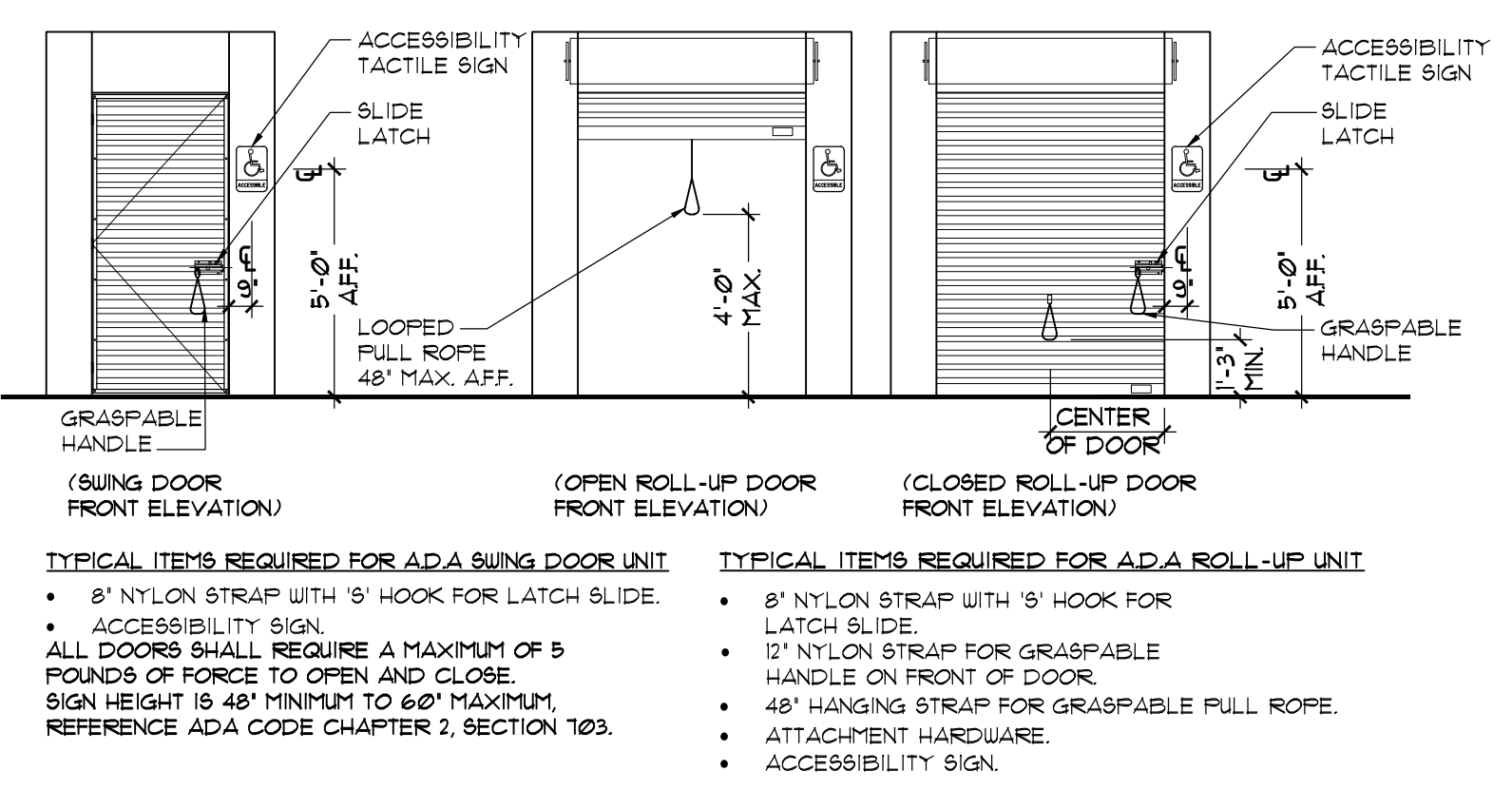
STORAGE UNIT NOTES:

- STORAGE UNITS TO BE JANUS INTERNATIONAL OR APPROVED EQUAL & TO COMPLY WITH ADA ACCESSIBILITY GUIDELINES.
- AMOUNT OF ACCESSIBLE STORAGE UNITS PER 6th EDITION (2017) FBC ACCESSIBILITY:
 - 10 UNITS PLUS 2% IF MORE THAN 200 UNITS.
 - TOTAL NUMBER OF STORAGE UNITS: 1300 - 200 = 1100 x .02 = 22 + 10 = 32 UNITS
 - REQUIRED: 32 ACCESSIBLE STORAGE UNITS
 - PROVIDED: 32 ACCESSIBLE STORAGE UNITS
- GROUND FLOOR: (8) ACCESSIBLE UNITS
- SECOND FLOOR: (8) ACCESSIBLE UNITS
- THIRD FLOOR: (8) ACCESSIBLE UNITS
- FOURTH FLOOR: (8) ACCESSIBLE UNITS

NOTES:

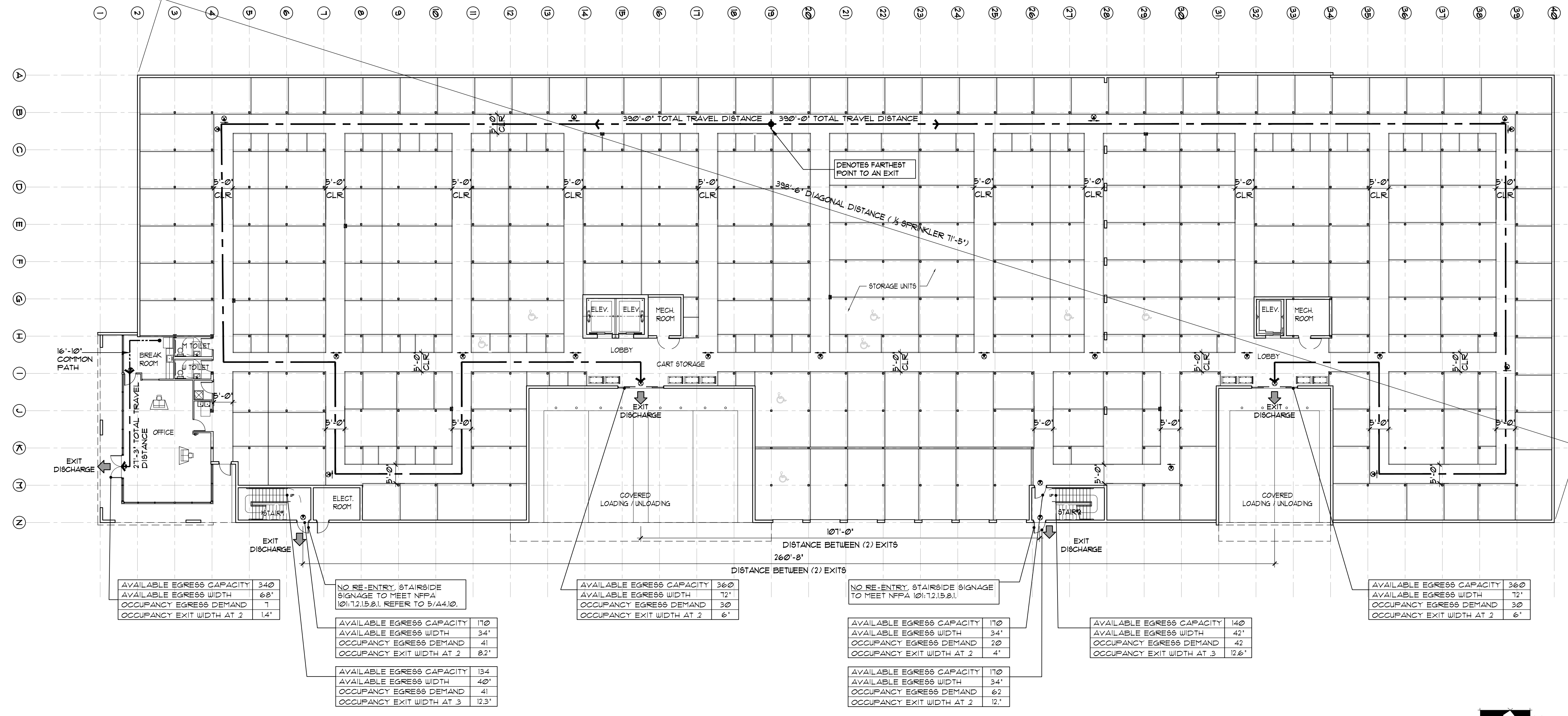
- ACCESSIBLE STORAGE UNITS TO BE DISPersed AMONG STORAGE UNIT SIZES, SEE FLOOR PLANS.
- EXPOSED STEEL COLUMNS IN STORAGE AREAS SHALL BE WRAPPED WITH JANUS PANELS TO 8'-0" AFF.
- ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS, INCLUDING HARDWARE, PULLS, & SIGNAGE.
- ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A MAX. THRESHOLD OF 1/2" TYP.

♿ DENOTES ADA ACCESSIBLE STORAGE UNIT.

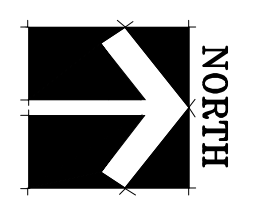


3 ADA COMPLIANT STORAGE UNIT DOORS
NT.S.

2 OCCUPANT LOAD CALCULATION
NT.S.



1 GROUND EGRESS PLAN
1/16" = 1'-0"



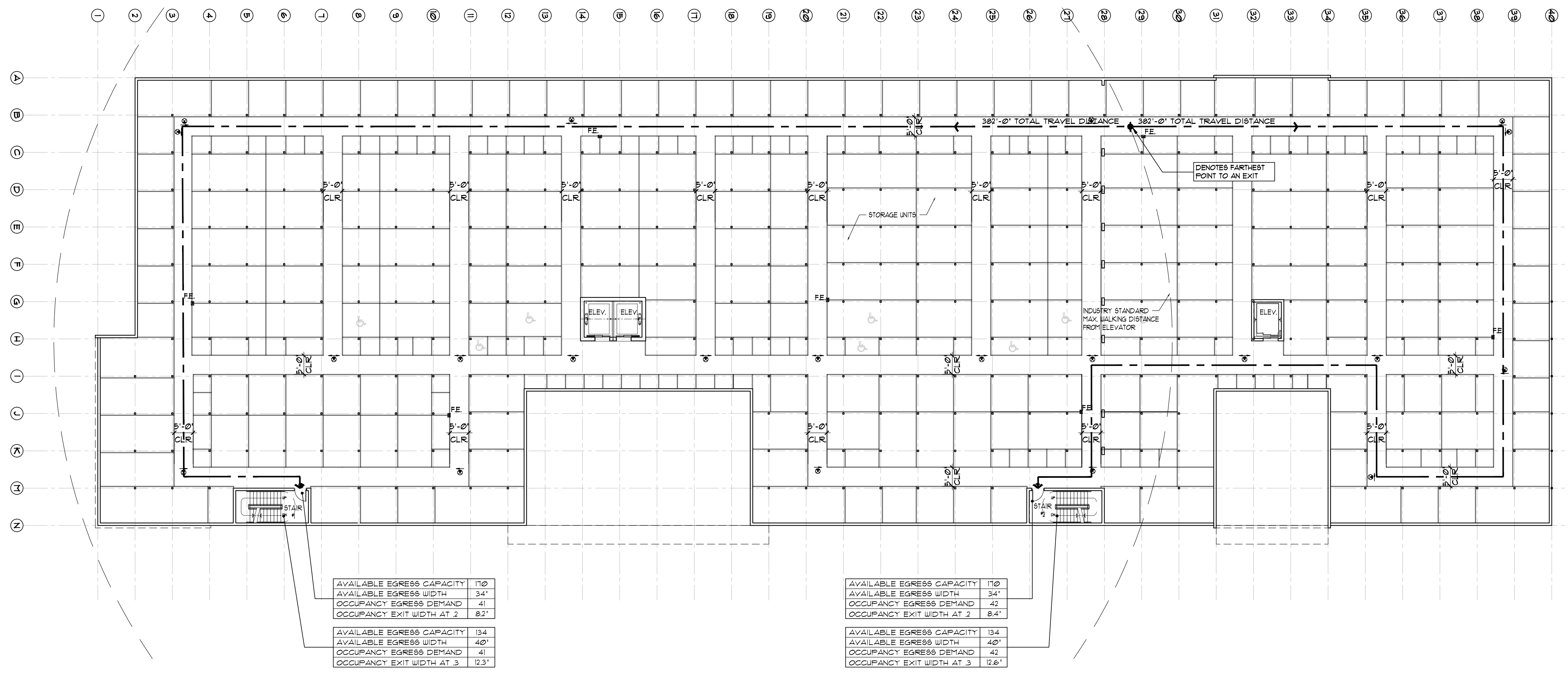
4161 WEST HILLSBORO STORAGE
4161 WEST HILLSBORO
COCONUT CREEK, BROWARD, FL.

KENNETH R. CARLSON - ARCHITECT, P.A.
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e-mail: krc@krcarchitect.com

Revisions:
05/09/22
DRC COMMENTS

DRAWN BY: TS
CHECKED BY: KRC
DATE: 08/15/2021
SCALE: AS NOTED
PROJECT #: 2104-T
CAD DWG FILE:

AR12546
KENNETH R. CARLSON



AVAILABLE EGRESS CAPACITY	110
AVAILABLE EGRESS WIDTH	34'
OCCUPANCY EGRESS DEMAND	41
OCCUPANCY EXIT WIDTH AT 2	82'

AVAILABLE EGRESS CAPACITY	134
AVAILABLE EGRESS WIDTH	40'
OCCUPANCY EGRESS DEMAND	41
OCCUPANCY EXIT WIDTH AT 3	123'

AVAILABLE EGRESS CAPACITY	110
AVAILABLE EGRESS WIDTH	34'
OCCUPANCY EGRESS DEMAND	42
OCCUPANCY EXIT WIDTH AT 2	84'

AVAILABLE EGRESS CAPACITY	134
AVAILABLE EGRESS WIDTH	40'
OCCUPANCY EGRESS DEMAND	42
OCCUPANCY EXIT WIDTH AT 3	126'

KEY LEGEND

FE [Symbol] FIRE EXTINGUISHER (RECESSED)
 FE [Symbol] FIRE EXTINGUISHER (SURFACE)
 [Symbol] EXIT SIGNAGE

FIRE EXTINGUISHER NOTE:
 FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A4.6

- DOOR NOTES:**
- DOORS IN MEANS OF EGRESS AND THEIR HARDWARE SHALL COMPLY WITH FFPC 5TH EDITION & NFPA 101, CHAPTER 7, REFER TO DOOR SCHEDULE AND DOOR HARDWARE SCHEDULE ON SHEET A12.0.
 - (KB) INDICATES LOCATION OF KNOX BOX 4400 SERIES MOUNTED AT 5'-0" AFF. FIELD VERIFY EXACT LOCATIONS WITH FIRE MARSHAL.
 - SLIDING GLASS DOOR HAVE BREAK AWAY DOOR LEAFS FOR EGRESS.

STORAGE UNIT NOTES:

A. STORAGE UNITS TO BE JANUS INTERNATIONAL OR APPROVED EQUAL 4 TO COMPLY WITH ADA ACCESSIBILITY GUIDELINES.

B. AMOUNT OF ACCESSIBLE STORAGE UNITS PER 6th EDITION (2017) FBC ACCESSIBILITY:
 - 10 UNITS PLUS 2% IF MORE THAN 200 UNITS.
 - TOTAL NUMBER OF STORAGE UNITS
 $1300 \cdot 200 = 1100 \cdot 200 = 22400 = 32$ UNITS
 REQUIRED: 32 ACCESSIBLE STORAGE UNITS
 PROVIDED: 32 ACCESSIBLE STORAGE UNITS

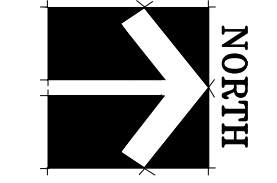
GROUND FLOOR: (8) ACCESSIBLE UNITS
 SECOND FLOOR: (8) ACCESSIBLE UNITS
 THIRD FLOOR: (8) ACCESSIBLE UNITS
 FOURTH FLOOR: (8) ACCESSIBLE UNITS

NOTES:

- ACCESSIBLE STORAGE UNITS TO BE DISPERSED AMONG STORAGE UNIT SIZES. SEE FLOOR PLANS.
- EXPOSED STEEL COLUMNS IN STORAGE AREAS SHALL BE WRAPPED WITH JANUS PANELS TO 8'-0" AFF.
- ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS, INCLUDING HARDWARE, PULLS, & SIGNAGE.
- ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A MAX. THRESHOLD OF 1/2" TYP.

[Symbol] DENOTES ADA ACCESSIBLE STORAGE UNIT

1 SECOND EGRESS PLAN
 A4.4 1/16" = 1'-0"



4161 WEST HILLSBORO STORAGE
 4161 WEST HILLSBORO
 COCONUT CREEK, BROWARD, FL.

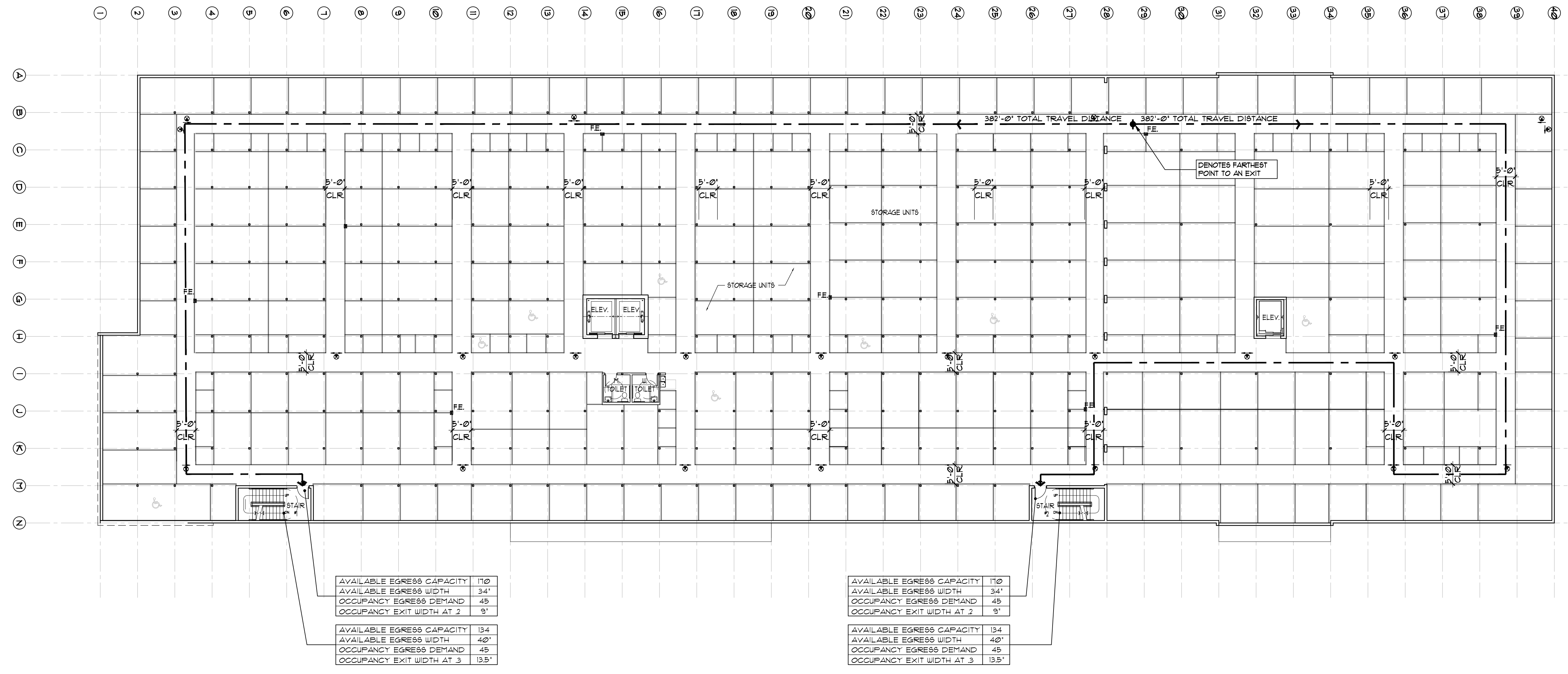
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Revisions:

08/09/22	DRG COMMENTS

DRAWN BY:	FS
CHECKED BY:	KRC
DATE:	08/15/2021
SCALE:	AS NOTED
PROJECT #:	21047
CAD DWG FILE:	

KENNETH R. CARLSON
 AR2546



KEY LEGEND

FE	FIRE EXTINGUISHER (RECESSED)
FE	FIRE EXTINGUISHER (SURFACE)
⊗	EXIT SIGNAGE
□	

FIRE EXTINGUISHER NOTE:
 FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A4.6

DOOR NOTES:

- DOORS IN MEANS OF EGRESS AND THEIR HARDWARE SHALL COMPLY WITH FPFC 5TH EDITION 4 NFPA 101, CHAPTER 7, REFER TO DOOR SCHEDULE AND DOOR HARDWARE SCHEDULE ON SHEET A12.0
- (KB) INDICATES LOCATION OF KNOX BOX 4400 SERIES MOUNTED AT 5'-0" AFF. FIELD VERIFY EXACT LOCATIONS WITH FIRE MARSHAL.
- SLIDING GLASS DOOR HAVE BREAK AWAY DOOR LEAFS FOR EGRESS.

STORAGE UNIT NOTES:

A. STORAGE UNITS TO BE JANUS INTERNATIONAL OR APPROVED EQUAL 4 TO COMPLY WITH ADA ACCESSIBILITY GUIDELINES.

B. AMOUNT OF ACCESSIBLE STORAGE UNITS PER 6th EDITION (2017) FBC ACCESSIBILITY:
 -10 UNITS PLUS 2% IF MORE THAN 200 UNITS.
 -TOTAL NUMBER OF STORAGE UNITS
 $1300 \cdot 200 = 1100 \cdot 20 = 2200 = 32$ UNITS
 REQUIRED: 32 ACCESSIBLE STORAGE UNITS
 PROVIDED: 32 ACCESSIBLE STORAGE UNITS

GROUND FLOOR: (8) ACCESSIBLE UNITS
 SECOND FLOOR: (8) ACCESSIBLE UNITS
 THIRD FLOOR: (8) ACCESSIBLE UNITS
 FOURTH FLOOR: (8) ACCESSIBLE UNITS

NOTES:

A. ACCESSIBLE STORAGE UNITS TO BE DISPERSED AMONG STORAGE UNIT SIZES. SEE FLOOR PLANS.

B. EXPOSED STEEL COLUMNS IN STORAGE AREAS SHALL BE UNRAFFED WITH JANUS PANELS TO 8'-0" AFF.

C. ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS, INCLUDING HARDWARE, PULLS, 4 SIGNAGE.

D. ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A MAX. THRESHOLD OF 1/2" TYP.

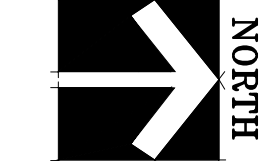
♿ DENOTES ADA ACCESSIBLE STORAGE UNIT

AVAILABLE EGRESS CAPACITY	110
AVAILABLE EGRESS WIDTH	34'
OCCUPANCY EGRESS DEMAND	45
OCCUPANCY EXIT WIDTH AT 2	9'

AVAILABLE EGRESS CAPACITY	134
AVAILABLE EGRESS WIDTH	40'
OCCUPANCY EGRESS DEMAND	45
OCCUPANCY EXIT WIDTH AT 3	13.5'

AVAILABLE EGRESS CAPACITY	110
AVAILABLE EGRESS WIDTH	34'
OCCUPANCY EGRESS DEMAND	45
OCCUPANCY EXIT WIDTH AT 2	9'

AVAILABLE EGRESS CAPACITY	134
AVAILABLE EGRESS WIDTH	40'
OCCUPANCY EGRESS DEMAND	45
OCCUPANCY EXIT WIDTH AT 3	13.5'



4161 WEST HILLSBORO STORAGE
 4161 WEST HILLSBORO
 COCONUT CREEK, BROWARD, FL.

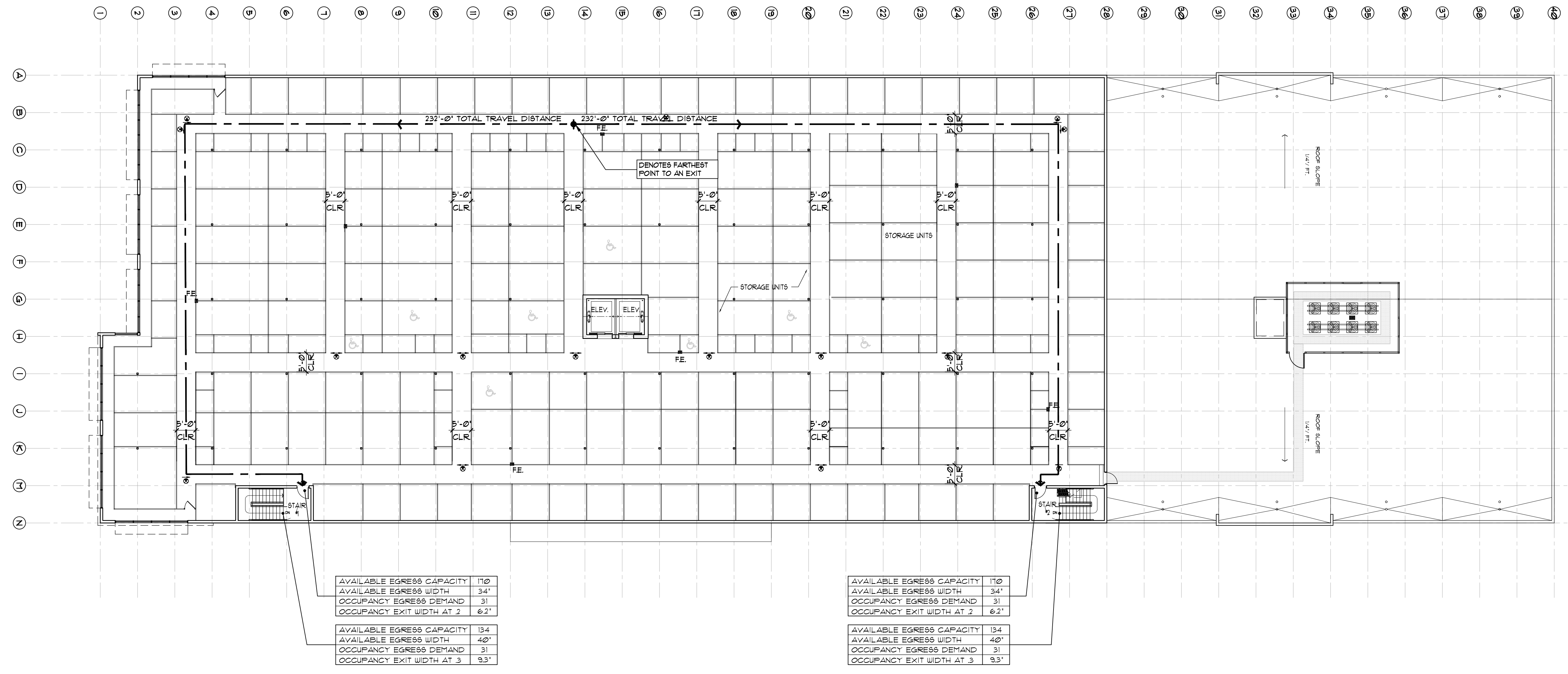
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Revisions:

08/09/22	DRC COMMENTS
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DRAWN BY: FS	DATE: 08/15/2021
CHECKED BY: KRC	SCALE: AS NOTED
PROJECT #: 2104-T	CAD DWG FILE:

KENNETH R. CARLSON
 AR12546



AVAILABLE EGRESS CAPACITY	110
AVAILABLE EGRESS WIDTH	34'
OCCUPANCY EGRESS DEMAND	31
OCCUPANCY EXIT WIDTH AT 2	6.2'

AVAILABLE EGRESS CAPACITY	134
AVAILABLE EGRESS WIDTH	40'
OCCUPANCY EGRESS DEMAND	31
OCCUPANCY EXIT WIDTH AT 3	9.3'

AVAILABLE EGRESS CAPACITY	110
AVAILABLE EGRESS WIDTH	34'
OCCUPANCY EGRESS DEMAND	31
OCCUPANCY EXIT WIDTH AT 2	6.2'

AVAILABLE EGRESS CAPACITY	134
AVAILABLE EGRESS WIDTH	40'
OCCUPANCY EGRESS DEMAND	31
OCCUPANCY EXIT WIDTH AT 3	9.3'

KEY LEGEND

FE	FIRE EXTINGUISHER (RECESSED)
FE	FIRE EXTINGUISHER (SURFACE)
⊗	EXIT SIGNAGE

FIRE EXTINGUISHER NOTE:
 FOR FIRE EXTINGUISHER (FE) EGRESS NOTES AND CODE DATA INFORMATION REFER TO SHEET A4.6

DOOR NOTES:

- DOORS IN MEANS OF EGRESS AND THEIR HARDWARE SHALL COMPLY WITH FPFC 5TH EDITION & NFPA 101, CHAPTER 7, REFER TO DOOR SCHEDULE AND DOOR HARDWARE SCHEDULE ON SHEET A12.0.
- (KB) INDICATES LOCATION OF KNOX BOX 4400 SERIES MOUNTED AT 5'-0" AFF. FIELD VERIFY EXACT LOCATIONS WITH FIRE MARSHAL.
- SLIDING GLASS DOOR HAVE BREAK AWAY DOOR LEAFS FOR EGRESS.

STORAGE UNIT NOTES:

A. STORAGE UNITS TO BE JANUS INTERNATIONAL OR APPROVED EQUAL 4 TO COMPLY WITH ADA ACCESSIBILITY GUIDELINES.

B. AMOUNT OF ACCESSIBLE STORAGE UNITS PER 6th EDITION (2011) FBC ACCESSIBILITY:
 - 10 UNITS PLUS 2% IF MORE THAN 200 UNITS.
 - TOTAL NUMBER OF STORAGE UNITS: 1300 - 200 = 1100 x .02 = 22 + 10 = 32 UNITS
 REQUIRED: 32 ACCESSIBLE STORAGE UNITS
 PROVIDED: 32 ACCESSIBLE STORAGE UNITS

GROUND FLOOR: (8) ACCESSIBLE UNITS
 SECOND FLOOR: (8) ACCESSIBLE UNITS
 THIRD FLOOR: (8) ACCESSIBLE UNITS
 FOURTH FLOOR: (8) ACCESSIBLE UNITS

NOTES:

A. ACCESSIBLE STORAGE UNITS TO BE DISPERSED AMONG STORAGE UNIT SIZES. SEE FLOOR PLANS.

B. EXPOSED STEEL COLUMNS IN STORAGE AREAS SHALL BE WRAPPED WITH JANUS PANELS TO 9'-0" AFF.

C. ACCESSIBLE UNITS SHALL MEET ALL REQUIRED ADA STANDARDS, INCLUDING HARDWARE, PULLS, & SIGNAGE.

D. ACCESSIBLE EXTERIOR DRIVE UP STORAGE UNITS TO HAVE A MAX. THRESHOLD OF 1/2" TYP.

⊗ DENOTES ADA ACCESSIBLE STORAGE UNIT

FOURTH EGRESS PLAN

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 4161 WEST HILLSBORO
 COCONUT CREEK, BROWARD, FL.

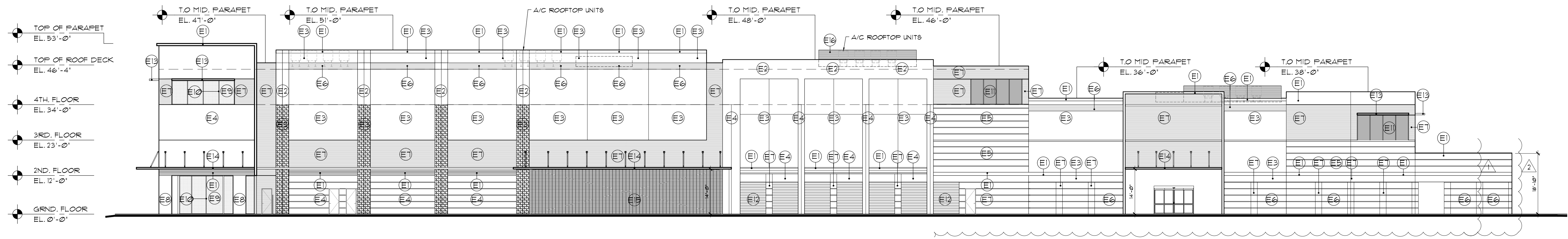
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Revisions:

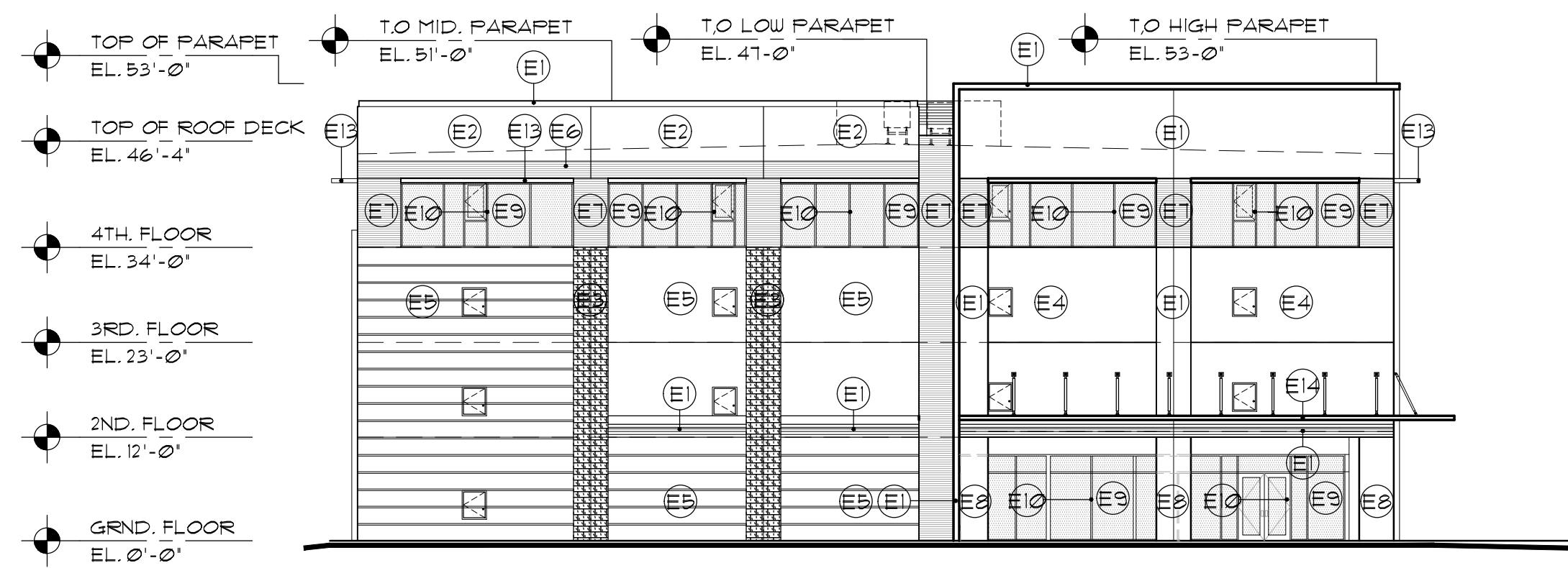
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DRAWN BY: FS
 CHECKED BY: KRC
 DATE: 08/15/2021
 SCALE: AS NOTED
 PROJECT #: 2104-T
 CAD DWG FILE:

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 AR12546



1 EAST ELEVATION
1/16"=1'-0"



2 SOUTH ELEVATION
1/16"=1'-0"

MARK	DESCRIPTION	MATCH MANUF.	CATALOG NO.	COLOR	TYPE	FINISH	COATS	NOTE:	COMMON NAME
E1	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1006	EXTRA WHITE	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	WHITE
E2	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7661	REFLECTION	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	LIGHT GRAY
E3	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1011	GRAY SCREEN	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	MEDIUM GRAY
E4	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 6254	LAZY GRAY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	MEDIUM GRAY
E5	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7660	EARL GREY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	GRAY
E6	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1014	SOFTWARE	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	DARK GRAY
E7	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1015	WEB GRAY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	DARK GRAY
E8	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 6258	TRICORN BLACK	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	BLACK
E9	STOREFRONT GLAZING	YKK	LIGHT GRAY	LIGHT GRAY	IMPACT	-	-	IMPACT RATED	LIGHT GRAY
E10	STOREFRONT FRAMES	YKK	BLACK	BLACK	ANODIZED	-	BY MANUF.	BY MANUF.	BLACK
E11	SPANDREL GLAZING	YKK	BLACK	BLACK	TEMP	FLOAT	-	-	DARK GRAY
E12	OVERHEAD ROLL-UP DOOR	-	TO MATCH SW 1015	WEB GRAY	EXTERIOR LATEX	SEMI-GLOSS	BY MANUF.	BY MANUF.	DARK GRAY
E13	ALUMINUM SILVER POWDER COATED LOUVERED AWNING	YKK	ALUM. SUN CONTROL SYSTEMS-THERMA SHADE	MILL	ANODIZED	-	BY MANUF.	PREFINISHED	MILL
E14	PREFAB METAL CANOPY	-	TO MATCH SW 6258	TRICORN BLACK	ANODIZED	BY MANUF.	BY MANUF.	PREFINISHED	BLACK
E15	OVER-HEAD ROLL UP GRATE	-	PER MANUFACTURER	MILL	EVERSERVE - GRILLE	BY MANUF.	BY MANUF.	BY MANUF.	MILL
E16	PREFINISHED METAL SCREENING	-	TO MATCH SW 6254	LAZY GRAY	PREFINISHED	SEMI-GLOSS	BY MANUF.	BY MANUF.	MEDIUM GRAY

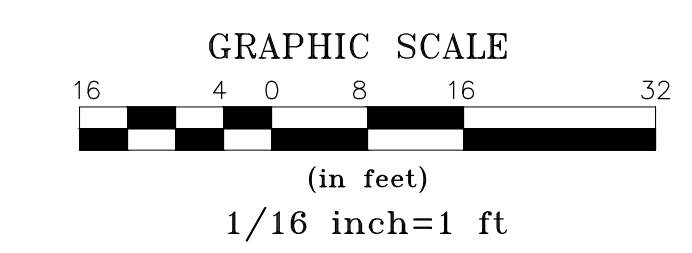
4161 WEST HILLSBORO STORAGE
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COCONUT CREEK, BROWARD, FL.

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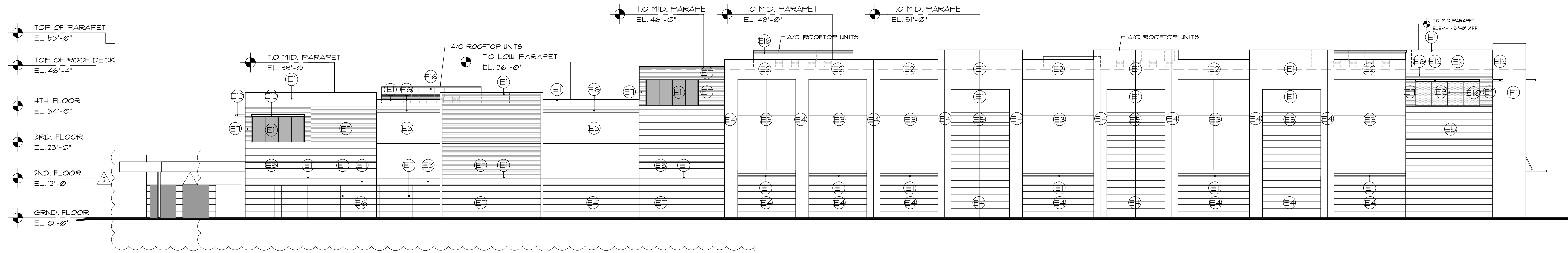
Revisions:
11/2/21
DEC COMMENTS
08/15/21
DEC COMMENTS

DRAWN BY: FS
CHECKED BY: KRC
DATE: 08/15/2021
SCALE: AS NOTED
PROJECT #: 21047
CAD DWG FILE: A5.0

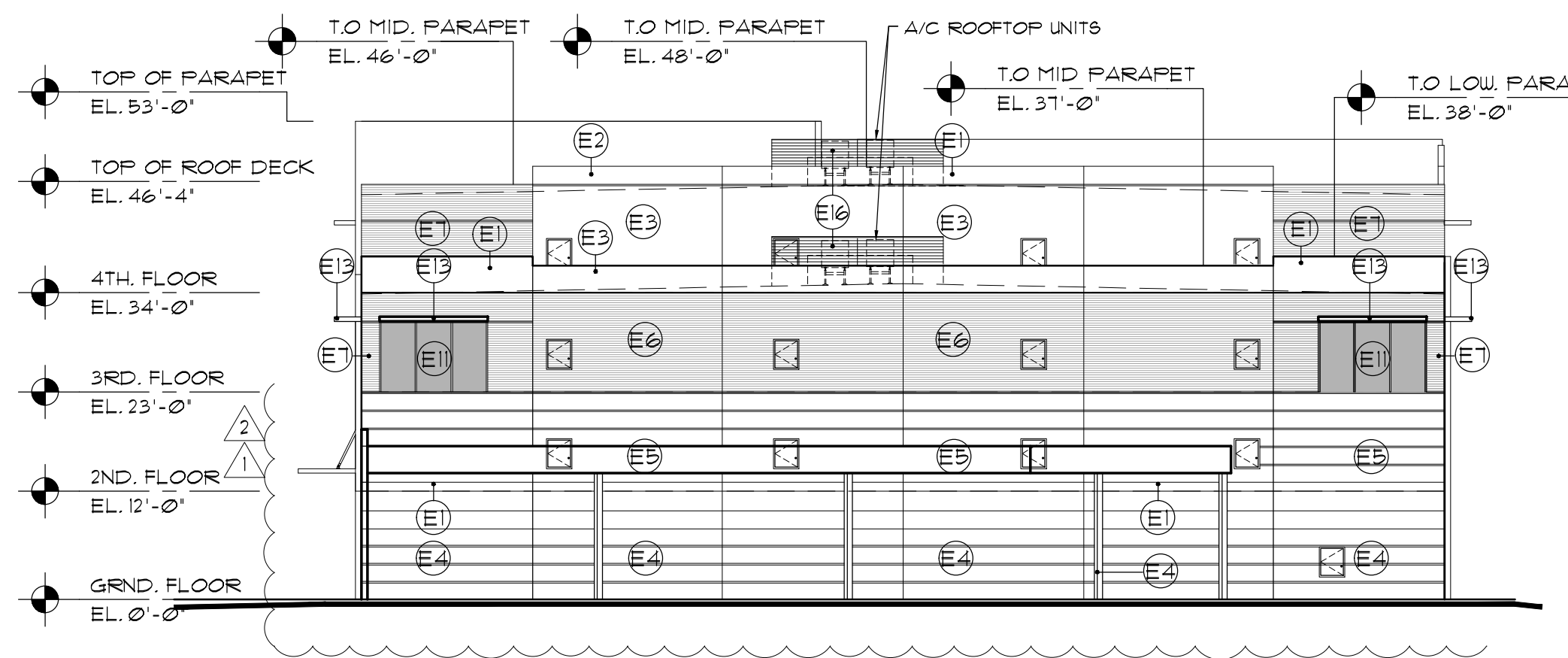
KENNETH R. CARLSON
AR2546



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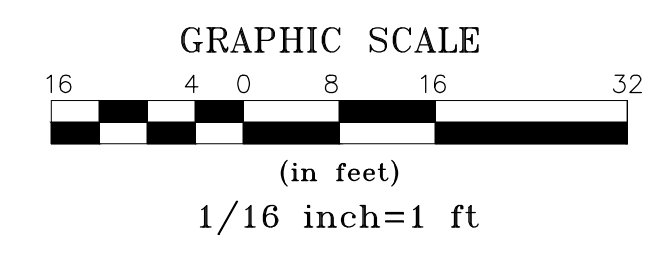


1 WEST ELEVATION
1/16"=1'-0"



2 NORTH ELEVATION
1/16"=1'-0"

MARK	DESCRIPTION	MATCH MANUF.	CATALOG NO.	COLOR	TYPE	FINISH	COATS	NOTE:	COMMON NAME
E1	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7006	EXTRA WHITE	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	WHITE
E2	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7661	REFLECTION	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	LIGHT GRAY
E3	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1071	GRAY SCREEN	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	MEDIUM GRAY
E4	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 6254	LAZY GRAY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	MEDIUM GRAY
E5	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1660	EARL GREY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	GRAY
E6	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1014	SOFTWARE	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	DARK GRAY
E7	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 1075	WEB GRAY	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	DARK GRAY
E8	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 6258	TRICORN BLACK	EXTERIOR ACRYLIC	FLAT	2 OVER 1 PRIMER	TEX-COTE XL10 ON TEX-COTE PRIMER - SOLVENT BASED	BLACK
E9	STOREFRONT GLAZING	YKK	LIGHT GRAY	LIGHT GRAY	IMPACT	-	-	IMPACT RATED	LIGHT GRAY
E10	STOREFRONT FRAMES	YKK	BLACK	BLACK	ANODIZED	-	BY MANUF.	BY MANUF.	BLACK
E11	SPANDREL GLAZING	YKK	BLACK	BLACK	TEMP	FLOAT	-	-	DARK GRAY
E12	OVERHEAD ROLL-UP DOOR	-	TO MATCH SW 1075	WEB GRAY	EXTERIOR LATEX	SEMI-GLOSS	BY MANUF.	BY MANUF.	DARK GRAY
E13	ALUMINUM SILVER POWDER COATED LOUVERED AWNING	YKK	ALUM. SUN CONTROL SYSTEMS-THERMA SHADE	MILL	ANODIZED	-	BY MANUF.	PREFINISHED	MILL
E14	PREFAB METAL CANOPY	-	TO MATCH SW 6258	TRICORN BLACK	ANODIZED	BY MANUF.	BY MANUF.	PREFINISHED	BLACK
E15	OVERHEAD ROLL UP GRATE	-	PER MANUFACTURER	MILL	EVERSERVE - GRILLE	BY MANUF.	BY MANUF.	BY MANUF.	MILL
E16	PRE-FINISHED METAL SCREENING	-	TO MATCH SW 6254	LAZY GRAY	PRE FINISHED	SEMI-GLOSS	BY MANUF.	BY MANUF.	MEDIUM GRAY



4161 WEST HILLSBORO STORAGE
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Revisions:
11/2/21
BY: [initials]
DATE: [initials]
BY: [initials]
DATE: [initials]

DRAWN BY: FS
CHECKED BY: KRC
DATE: 08/15/2021
SCALE: AS NOTED
PROJECT #: 21047
CAD DWG FILE: A5.1

KENNETH R. CARLSON
AR2546

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A5.1
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WEST HILLSBORO STORAGE
4161 WEST HILLSBORO, COCONUT CREEK, FLORIDA

**KENNETH
CARLSON**
ARCHITECT- P.A.
DESIGN
PLANNING
INTERIORS



WEST HILLSBORO STORAGE
4161 WEST HILLSBORO, COCONUT CREEK, FLORIDA

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ARCHITECT- P.A.
DESIGN
PLANNING
INTERIORS

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

**LEDER
4161 HILLSBORO
STORAGE**

SCALE: AS NOTED
DATE ISSUED: 09/21/2021
DRAWN BY: SR
DESIGNED BY: MP
CHECKED BY: MP

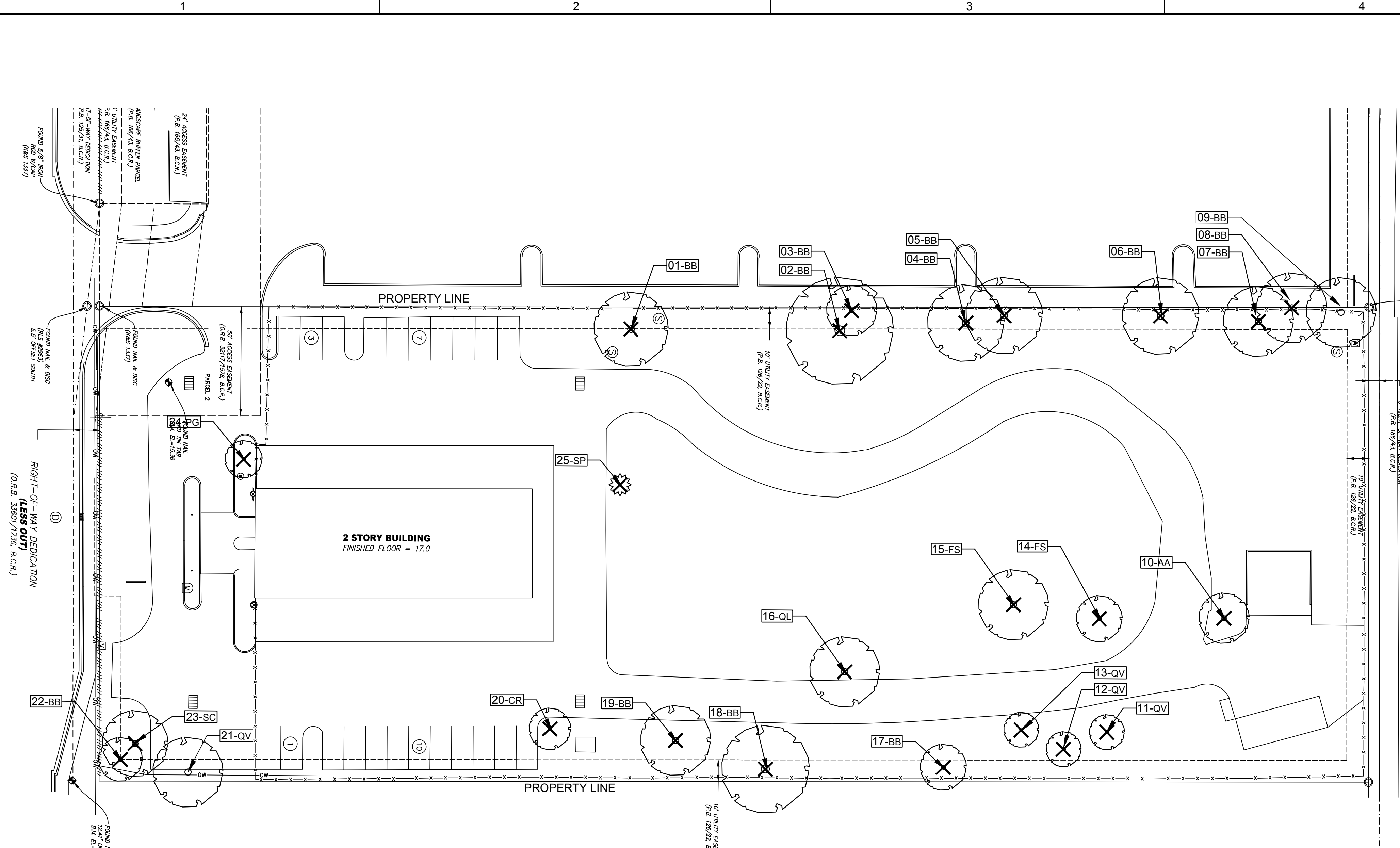
MICHAEL J. PHILLIPS, RLA
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

SHEET TITLE

**TREE DISPOSITION
PLAN**

SHEET NUMBER
LD-101

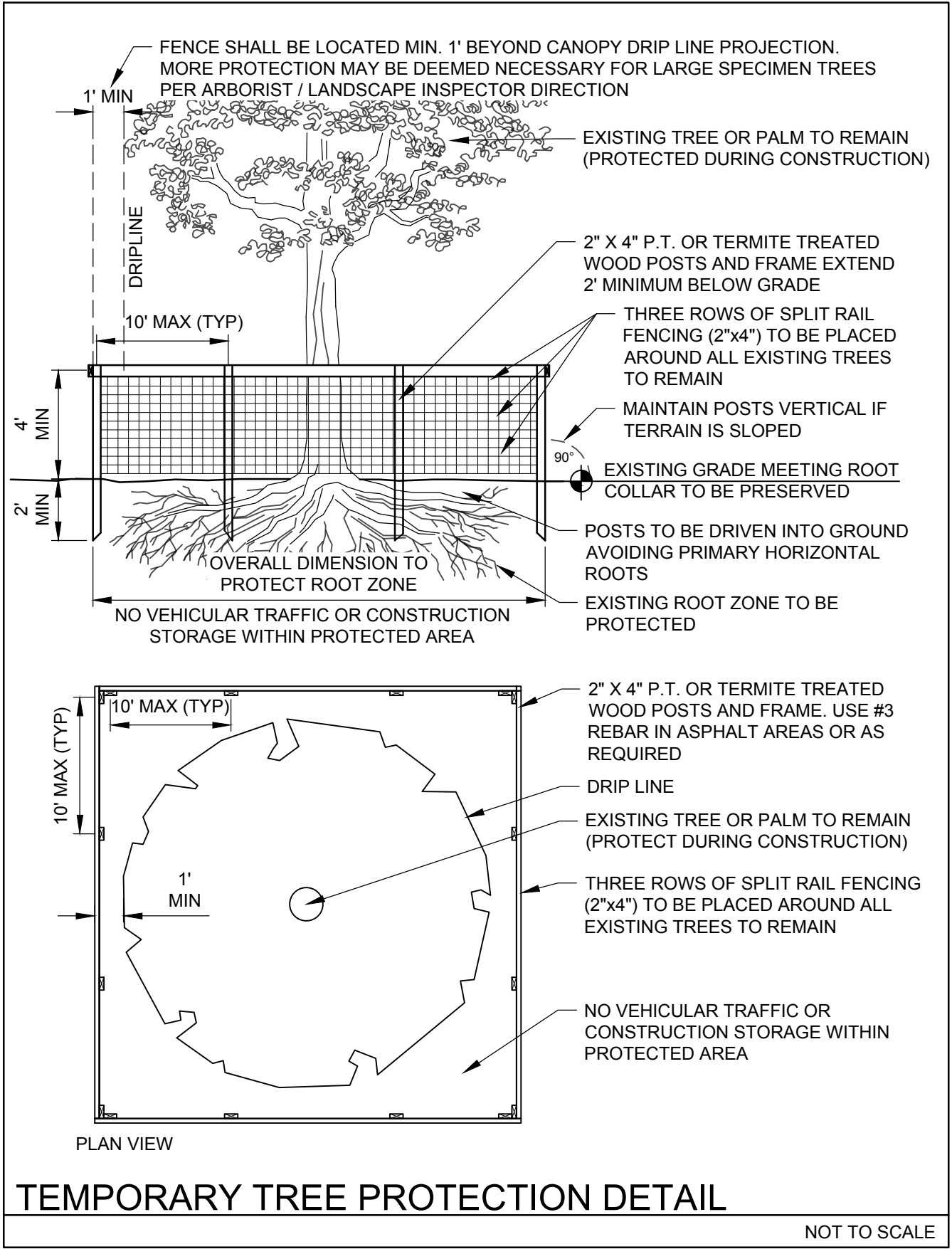
PROJECT NO. **09675.01**



TREE DISPOSITION LEGEND:

(NO SYMBOL)	EXISTING TREE/PALM TO REMAIN (NO SYMBOL); TO BE PROTECTED DURING CONSTRUCTION
△	EXISTING TREE/PALM TO RELOCATE REFER TO LANDSCAPE PLAN FOR NEW LOCATION
X	EXISTING TREE/PALM TO REMOVE REMOVE ALL CAT 1 INVASIVE EXOTICS (EX: BRAZ. PEPPER)
XXX-XX	EXISTING TREE/PALM NUMBER REFER TO TREE DISPOSITION TABLE ON LD-102

- TREE DISPOSITION NOTES:**
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
 - SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
 - CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
 - TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
 - ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER.
 - BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
 - REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
 - ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.

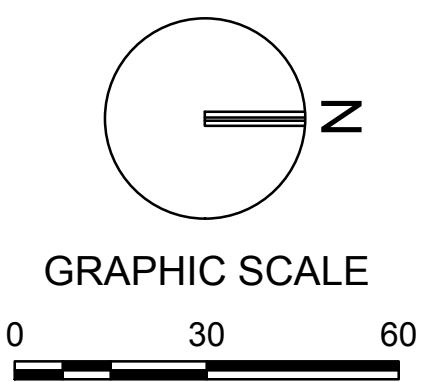


TREE DISPOSITION TABLE

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH IN.	HT. FT.	CNPLY FT.	TREE % CONDITION	TREE DISPOSITION	TREE CANOPY S.F.	COMMENTS
1	BLACK OLIVE	"Bucida buceras"	13	30	35	50	REMOVE	962	poor branching, inclusions, leaning, storm damag
2	BLACK OLIVE	"Bucida buceras"	22	35	50	40	REMOVE	1962	TD, BD, shared canopy, storm damage, dieback
3	BLACK OLIVE	"Bucida buceras"	14	35	18	25	REMOVE	254	TD, BD, shared canopy, storm damage, dieback
4	BLACK OLIVE	"Bucida buceras"	18	35	35	50	REMOVE	962	TD, BD, shared canopy, storm damage, dieback
5	BLACK OLIVE	"Bucida buceras"	13	30	35	50	REMOVE	962	BD, shared canopy, shaded, storm damage
6	BLACK OLIVE	"Bucida buceras"	12	30	35	60	REMOVE	962	TD, BD, shared canopy, storm damage
7	BLACK OLIVE	"Bucida buceras"	15	30	30	60	REMOVE	706	BD, shared canopy, storm damage, dieback
8	BLACK OLIVE	"Bucida buceras"	12	30	30	40	REMOVE	706	BD, shared canopy, inclusions, poor branching
9	BLACK OLIVE	"Bucida buceras"	15	30	30	40	REMAIN	706	BD, shared canopy, co-dom, inclusions, poor branching
10	EARLEAF ACACIA	"Acacia auriculiformis"	19	30	20	65	REMOVE	314	invasive exotic, co-dom, damaged
11	LIVE OAK	"Quercus virginiana"	5	20	12	50	REMOVE	113	TD
12	LIVE OAK	"Quercus virginiana"	2,3	12	10	50	REMOVE	79	multi-stem.
13	LIVE OAK	"Quercus virginiana"	5	12	8	50	REMOVE	50	TD, BD
14	FICUS	"Ficus spp."	15	30	20	30	REMOVE	314	TD, BD, multi-stem
15	FICUS	"Ficus spp."	8,8	30	30	40	REMOVE	706	co-dom, BD, dieback
16	LAUREL OAK	"Quercus laurifolia"	16	40	30	15	REMOVE	706	co-dom, BD, poor branching, severe dieback
17	BLACK OLIVE	"Bucida buceras"	9	20	20	20	REMOVE	314	storm damage, top half snapped off
18	BLACK OLIVE	"Bucida buceras"	20	40	40	50	REMOVE	1256	TD, BD, shared canopy, shaded, dieback
19	BLACK OLIVE	"Bucida buceras"	18	30	30	40	REMOVE	706	TD, BD, shared canopy, shaded, dieback
20	PITCH APPLE	"Clusia rosea"	12	20	16	30	REMOVE	201	TD, BD, multi-stem
21	LIVE OAK	"Quercus virginiana"	16	25	30	50	REMAIN	706	BD, shared canopy, roots/paving
22	BLACK OLIVE	"Bucida buceras"	11	20	16	50	REMOVE	201	BD, shared canopy
23	JAMBOLAN PLUM	"Syzygium cumini"	22	25	25	50	REMOVE	N/A	BD, shared canopy
24	YEW	"Podocarpus gracilior"	11	18	14	40	REMOVE	154	BD, poor branching, dieback
25	CABBAGE PALM	"Sabal palmetto"	10	20	12	60	REMOVE	113	
								12,590	Total S.F. canopy of trees removed

REPLACEMENT CATEGORY	EQUIVALENT REPLACEMENT VALUE	PROVIDED QTY.	PROVIDED CANOPY
CATEGORY 1 TREES	(300 SF)	66	= 19,800 SF
CATEGORY 2 TREES	(150 SF)	9	= 1,350 SF
CATEGORY 3 TREES	(100 SF)	50	= 5,000 SF
CATEGORY 4 TREES	(50 SF)	9	= 450 SF
			12,590 SF
			26,600 SF

TOTAL CANOPY LOSS
TOTAL CANOPY REPLACEMENT



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

City of Coconut Creek - Landscape Requirements		
Zoning	PCD	
Net Site Area	126,976 SF	2.91 AC
Total Pervious Area	37,207 SF	
Minimum Landscape Requirements		
	REQUIRED	PROVIDED
1 Tree per 1000 SF (Min.) 37,207/1000 =	37 TREES	37 TREES
5 shrubs per 1000 SF (Min.)	186 SHRUBS	186 SHRUBS
* Includes Existing Trees		
Buffer/Perimeter Trees		
	REQUIRED	PROVIDED
West (583') 1 tree per 40 LF	N/A	N/A
East (583') 1 tree per 40 LF	15	15 TREES
Roadway Buffer Requirement		
	REQUIRED	PROVIDED
1 tree per 2000 SF of total land area		
40 shrubs per 2000 SF plus continuous hedge (3 tiers)		
North (NW 71st St) - 3,270 SF/2000 SF =	2 TREES	4 TREES
	65 SHRUBS	108 SHRUBS
South (Hillsboro Blvd) - 5,450/2000 SF =	3 TREES	3 TREES
	109 SHRUBS	978 SHRUBS
Street Trees		
	REQUIRED	PROVIDED
North (218') 1 tree per 40 LF	6 TREES	6 TREES
South (218') 1 tree per 30 LF (overhead wires)	8 TREES	8 TREES
VUA Requirement		
VUA Impervious Area	41,379 SF	
	REQUIRED	PROVIDED
1 SF of Landscape area required per 100 SF of paved area	414 SF	26,981 SF
Parking Islands - 1 tree per island	9 TREES	9 TREES
Building Foundation (sec. 13-443 (7) c)		
	REQUIRED	PROVIDED
1 tree, 20 shrubs, 30 gc per 40 LF (tiered)	1 tree	4 palms, 50 shrubs, 0 GC
North side (26 LF)	3 trees	4 trees, 4 shrubs, 74 GC
South side (109 LF)	5 trees	3 trees, 3 shrubs, 313 GC
East side (206 LF)	10 trees	12 trees, 12 shrubs, 200 GC
West side (380 LF)	190 shrubs, 285 GC	
TOTAL TREES REQUIRED		
Includes buffer trees, street trees, parking island trees, bldg foundation and min tree code required	97	117*
Native Requirement		
	REQUIRED	PROVIDED
Trees - 50% of required trees	49 TREES	85
Shrubs - 50% of required shrubs	343 SHRUBS	2,977 SHRUBS
Tree Requirement		
	REQUIRED	PROVIDED
Canopy Trees - minimum 40% of required trees	39	68*
Intermediate Trees - minimum 30% of required trees	29	14
Small Trees - minimum 10% of required trees	10	8
Palms - 3:1= canopy tree; 50% of required max		36 (12 TREES)

*Includes Existing
***Trees/Shrubs added to adjacent buffer

NOTES

- SOD TO BE ST. AUGUSTINE 'FLORATUM', CONTRACTOR TO DETERMINE QUANTITY.
- ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
- ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
- NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

CITY STANDARD LANDSCAPE NOTES

- All landscape and specifications shall meet or exceed the minimum requirements as provided in the City of Coconut Creek Land Development Code. Plans are incomplete without written notes and specifications.
 - All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition. Trees shall not be tipped, topped, or shaped prior to installation.
 - Landscape shall be placed to edge of abutting streets, canals, lakes or other lands.
 - All mechanical equipment, air conditioning, irrigation pump stations and equipment, FPL transformers, pool pumps, etc., must be screened on three (3) sides by landscape shrubs.
- NOTE: The quantity of screening shrubs is in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust on-center spacing as necessary and/or provide additional plants to provide an adequate screen.
- Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two inches, tree trunks excluded. Measurement shall be made from top of root ball planted at proper elevation.
 - Guying/staking practices shall not permit nails, screws, wires, etc., to penetrate outer surfaces of trees, palms or other plant material. Trees, palms and plant material rejected due to this practice shall be replaced with the inspector on site.
 - Burlap material, wire cages, plastic/canvas straps, etc., must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material REMOVED ENTIRELY prior to planting the tree or shrub.
 - All plant material shall be free of pests, insects, disease, weeds, etc.
 - All required landscape material shall be installed using a planting soil mix comprised of a type appropriate to the individual proposed plant material and the native soil found on the site.
 - All plant material shall be planted at the proper depth, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
 - All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area.
 - Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit to the satisfaction of the inspector.
 - Refer to Coconut Creek Fire Equipment Clear Zone diagram to maintain a safe zone fronting fire hydrants.
 - Do not plant trees, shrubs or groundcover within Electric Meter Clear Zone. Provide a safe zone as described by the Electrical Inspector.
 - All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with 50% overlap (minimum) using rust free water, except preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agency.
 - Irrigation permits and plans shall be submitted for approval at time of building permits.
 - All non-single family or duplex irrigation systems other than City water systems shall require a South Florida Water Management District water use permit prior to issuance of an irrigation permit and installation of the irrigation system as required.
 - All site amenities to include site street lights, landscape common open space, irrigation common open space, buffers, berms, landscape entry features, etc. leading up to and including the model center and/or first certificate of occupancy must be completed and functional prior to issuance of the first requested certificate of occupancy.
 - The height of all required, designed and installed berms shall be from the highest adjacent point whether it is the sidewalk, parking area, vehicular use area, surrounding ground, etc. Where a berm abuts a sidewalk, there shall be a one (1) foot level sod area adjacent to the sidewalk prior to the start of incline for the berm.
 - An inspection is required prior to the backfilling of trees/palms in all parking medians and islands.

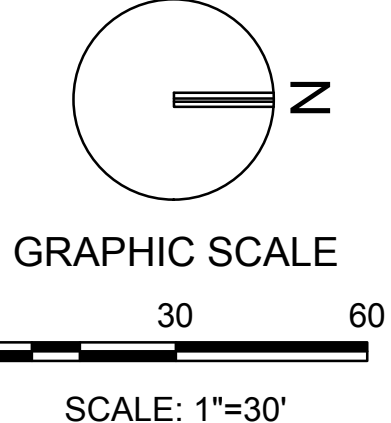
PLANT LIST

SHRUBS & GROUNDCOVERS					
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	SPECIE %
375	**	ARA	<i>Arachis glabrata</i> PERENNIAL PEANUT	6" HT; 12" SPRD; 12" O.C.	8.5%
178	**	CLU	<i>Clusia guttifera</i> SMALL LEAF CLUSIA	36" HT; 30" SPRD; FULL TO BASE; 30" O.C.	4%
90	**N	CHH	<i>Chrysobalanus icaco</i> 'Horizontal' HORIZONTAL COCOPLUM	18" HT; 20" SPRD; 24" O.C.	2%
285	**N	CHR	<i>Chrysobalanus icaco</i> COCOPLUM	24" HT; 24" SPRD; 24" O.C.	7%
74	**N	CRN	<i>Clusia rosea</i> 'Nana' DWARF CLUSIA	12" HT; 16" SPRD; 18" O.C.	2%
593	**N	ERN	<i>Ernodia littoralis</i> GOLDEN CREEPER	12" HT; 14" SPRD; 16" O.C.	15%
35	*	GAL	<i>Galphimia gracilis</i> THRYALLIS	24" HT; 24" SPRD; 24" O.C.	1%
11	**N	HAM	<i>Hamelia patens</i> FIREBUSH	5' HT; 36" SPRD; FULL; TREE FORM	.02%
219	**	HPD	<i>Hamelia nodosa</i> DWARF FIREBUSH	24" HT; 24" SPRD; 24" O.C.; FULL TO BASE	5%
95	**	JUN	<i>Juniperus conferta</i> 'Parsonii' PARSON'S JUNIPER	12" HT; 16" SPRD; 18" O.C.	2.5%
105	**	LAM	<i>Lantana montividentis</i> Trailing Lantana	12" HT; 14" SPRD; 18" O.C.	2.5%
213	**N	MUH	<i>Muhlenbergia capillaris</i> GULF MUHLY GRASS	24" HT; 24" SPRD; 30" O.C.	5%
305	**N	NEP	<i>Neprotlapsis exaltata</i> SWORD FERN	12" HT; 14" SPRD; 24" O.C. CERTIFIED NATIVE ONLY	9%
7	*	PAS	<i>Passiflora incarnata</i> PURPLE PASSION VINE	6' HT; FULL VINE; ATTACH TO WALL GRID	.01%
315	**N	PSY	<i>Psychotria nervosa</i> WILD COFFEE	20" HT; 24" SPRD; 24" O.C.	10%
50	*	RON	<i>Rondeletia splendens</i> PANAMA ROSE	24" HT; 24" SPRD; 24" O.C.	1%
35	**N	SER	<i>Sereoa repens</i> SAW PALMETTO	18" HT; 18" SPRD; 36" O.C.	1%
75	**N	STJ	<i>Stachytarpheta jamaicensis</i> NATIVE PORTERWEED	12" HT; 16" SPRD; 24" O.C.	2%
28	*	TFP	<i>Tabernaemontana 'Flore Pleno'</i> CRAPE JASMINE	36" HT; 36" SPRD; FULL CANOPY; TREE STANDARD	1%
265	**N	TRD	<i>Trachelospemum floridanum</i> DW FAKAHATCHEE GRASS	24" HT; 24" SPRD; 30" O.C.	4%
1300	**N	WET	<i>Sagittaria, Pontederia, Juncus</i> WETLAND MIX	12" HT; BARE ROOT; 24" O.C.; 40%, 20%, 40% QTY.	29%
175	**N	ZAM	<i>Zamia pumila (Zamia floridana)</i> COONTIE	20" HT; 20" SPRD; 24" O.C.	4%
		SOD	ST. AUGUSTINE 'FLORATUM'	SOLID SOD	

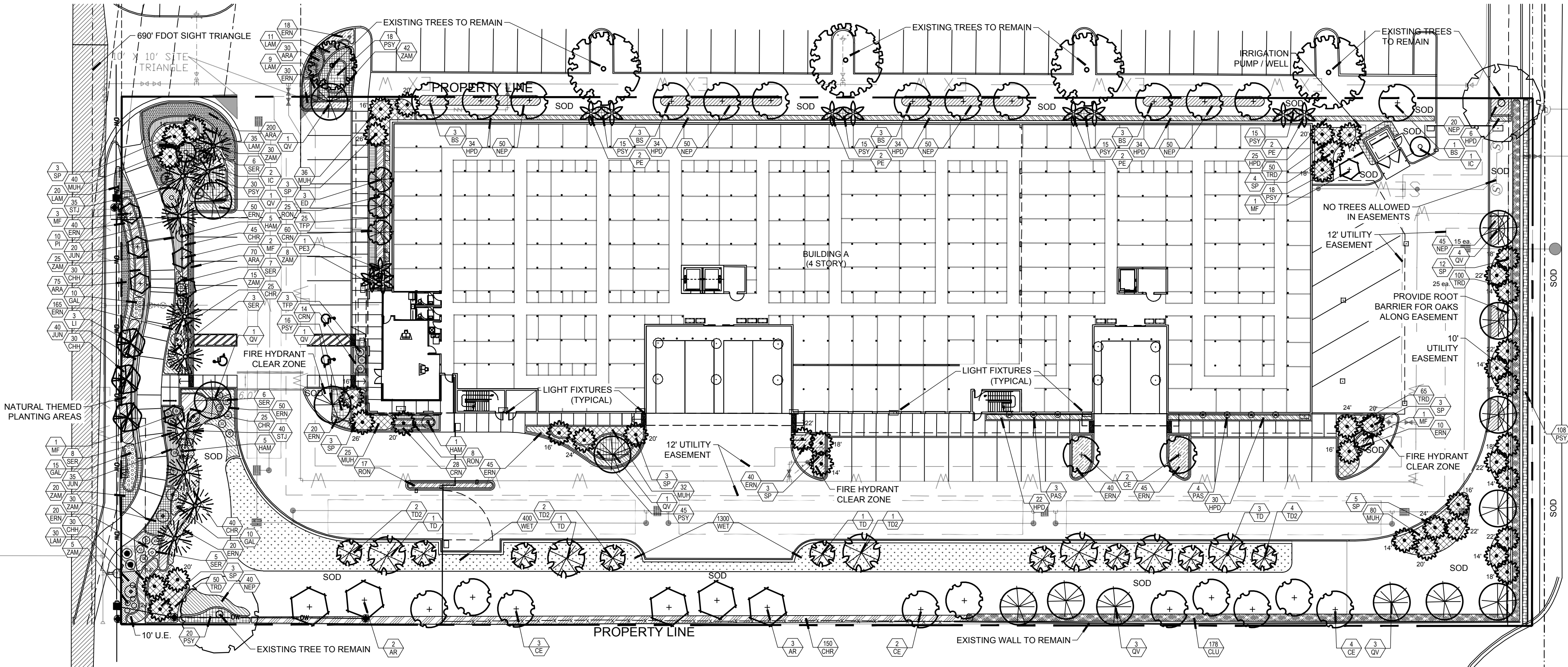
- N DENOTES NATIVE SPECIES
- ** DENOTES HIGH DROUGHT TOLERANT SPECIES
- ** DENOTES MODERATE DROUGHT TOLERANT SPECIES

PLANT LIST

TREES						
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS	SPECIE %	REPL CAT
5	**N	AR	<i>Acer rubrum</i> RED MAPLE	15' HT; 7' SPRD; FULL CANOPY	3%	1
12	**N	CE	<i>Conocarpus erectus</i> GREEN BUTTONWOOD	12' HT; 6' SPRD; FULL CANOPY	9%	1
13	**N	BS	<i>Bursera Simaruba</i> GUMBO LIMBO	12' HT; 6' SPRD; FULL CANOPY	9%	1
3	**N	IC	<i>Ilex cassine</i> DAHOON HOLLY	10' HT; 4' SPRD; FULL CANOPY	2%	3
4	**	ED	<i>Eleocharis decipiens</i> JAPANESE BLUEBERRY	12' HT; 5' SPRD; FULL CANOPY	3%	2
3	**	LI	<i>Lagerstroemia indica</i> CRAPE MYRTLE	10' HT; 5' SPRD; MULTI-STEM; FULL CANOPY	2%	3
8	**N	MF	<i>Myrcianthes fragrans</i> SIMPSON STOPPER	8' HT; 5' SPRD; MULTI-STEM; FULL CANOPY	6%	3
10	**N	PI	<i>Pinus Elliottii</i> SLASH PINE	12-15' STAGGERED HTS; 6-7' SPRD; FULL CANOPY	4%	1
15	**N	QV	<i>Quercus virginiana</i> LIVE OAK	15' HT; 7' SPRD; FULL CANOPY	11%	1
6	**N	TD	<i>Taxodium distichum</i> BALD CYPRESS	15' HT; 6' SPRD; FULL CANOPY	4%	1
9	**N	TD2	<i>Taxodium distichum</i> BALD CYPRESS	10' HT; 4' SPRD; FULL CANOPY	7%	3
-	**	TH	<i>Tabebuia heterophylla</i> PINK TRUMPET	12' HT; 6' SPRD; FULL CANOPY	3%	2
8	**	PE	<i>Ptychosperma elegans</i> SOLITAIRE PALM	8' & 12' CT; STAGGERED HTS; SINGLE	6%	4
1	**	PE3	<i>Ptychosperma elegans</i> SOLITAIRE PALM	8' - 12' CT; STAGGERED HTS; TRIPLE	1%	4
42	**N	SP	<i>Sabal palmetto</i> CABBAGE PALM / SABAL PALM	14 - 28' STAGGERED CT HTS; SLICK; SEE PLAN	20%	3



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



KEITH
Corporate Office
301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643
(954) 788-3400

Miami-Dade County
2160 NW 82 Avenue
Doral, Florida 33122

Palm Beach County
120 N Federal Highway, Suite 208
Lake Worth, Florida 33460

Orange County
2948 E Livingston Street
Orlando, Florida 32803

State of Florida Certificate of Authorization Number - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

**LEDER
4161 HILLSBORO
STORAGE**

SCALE:	AS NOTED
DATE ISSUED:	09/21/2021
DRAWN BY:	MP, KS
DESIGNED BY:	MP
CHECKED BY:	KS

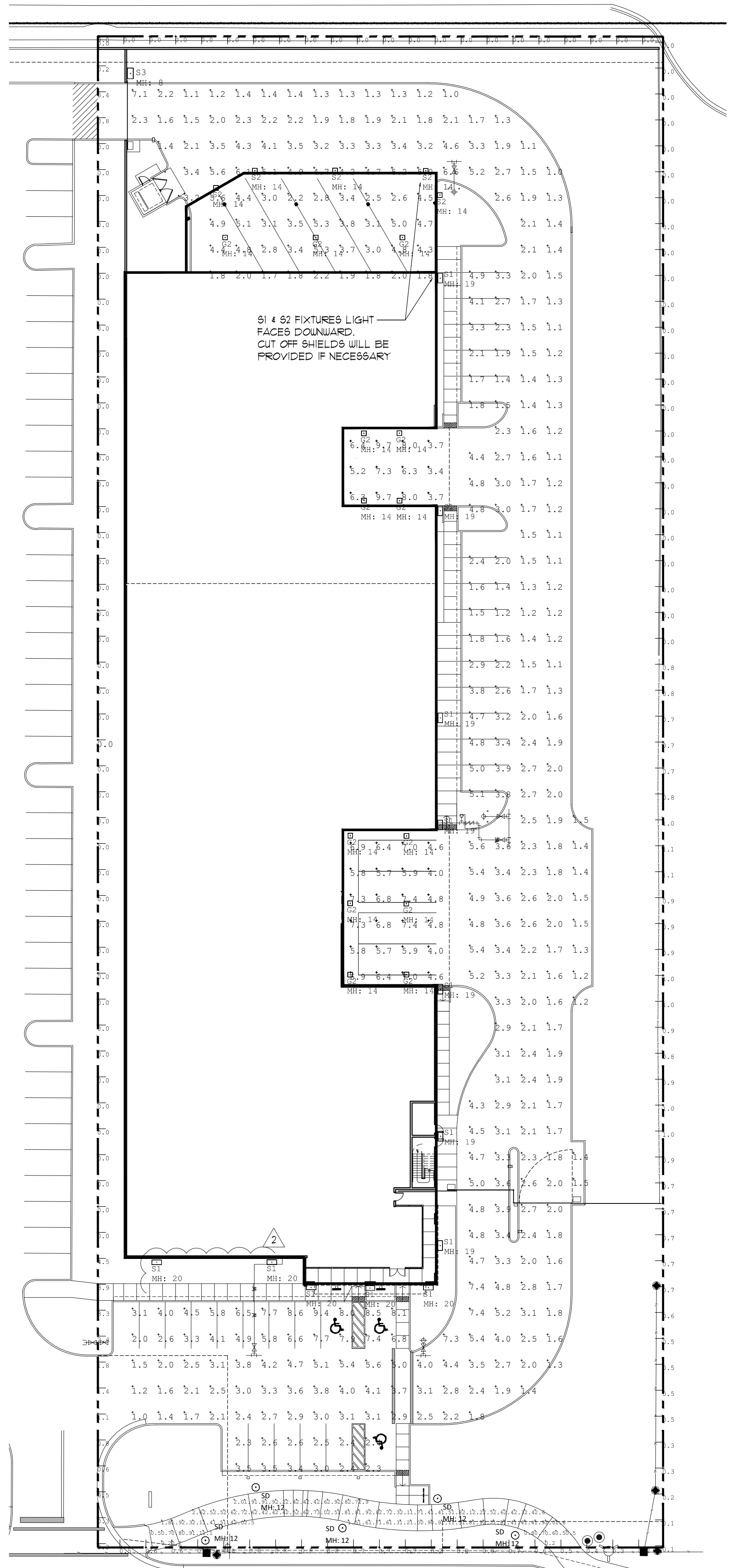
MICHAEL J. PHILLIPS, RLA
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
LP-101

PROJECT NO. **09675.01**

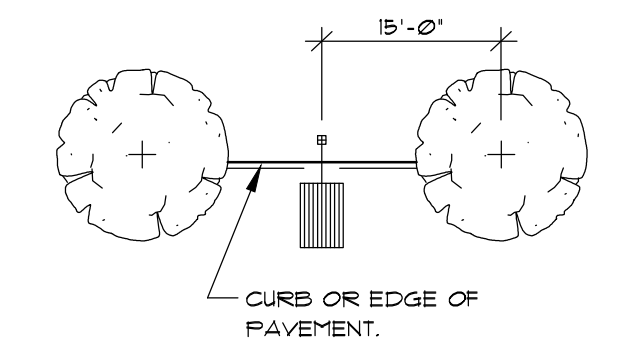
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Symbol	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
○	SD	SINGLE	N.A.	0.900	EMM-E01-LED-E1-SL2-HSS	24.7
□	G2	SINGLE	N.A.	0.900	CLCS17S-40W-4000K	37.5
□	S1	SINGLE	N.A.	0.900	GWC-SA2C-740-U-T4FT	113
□	S2	SINGLE	N.A.	0.900	GWC-SA1A-740-U-T4FT	34
□	S3	SINGLE	N.A.	0.900	PRV-P-PA1A-730-U-T2R-HSS	30.7

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
NORTH COVERED LOADING	Illuminance	Fc	6.48	9.7	3.4	1.91	2.85
PARKING AND DRVELANE	Illuminance	Fc	2.98	9.4	1.0	2.98	9.40
FED WALKWAY	Illuminance	Fc	1.83	3.0	0.2	9.15	15.00
PROPERTY LINE	Illuminance	Fc	0.38	4.5	0.0	N.A.	N.A.
SOUTH COVERED LOADING	Illuminance	Fc	6.05	7.4	4.0	1.51	1.85

Lamp description	Qty.	Luminare Lumens	Total
S1 LED wallpack	12	14850	178200
S2 LED wallpack	5	5008	25040
S3 LED wallpack	1	3394	3394
Total Luminare Lumens			206634
Site allowed			326471.6
Project is compliant?			Yes



3 LIGHT/TREE SPACING

1. ILLUMINANCE IS GIVEN IN HORIZONTAL FOOTCANDLES
 2. LIGHTING DESIGN DERIVED FROM PUBLISHED IES PHOTOMETRIC FILES

CROSS VERIFY VOLTAGE / PHASE W/ PROJECT CONDITIONS PRIOR TO ORDERING W/ ARCHITECT / OWNER. LIGHTING FIXTURES MARKED WITH (*) ARE PRODUCT SPECIFIC AND ARE NOT TO BE SUBSTITUTED WITHOUT SPECIFIC APPROVAL WITH ARCHITECT / OWNER PRIOR TO START OF CONSTRUCTION. THESE FIXTURES ARE PART OF A LIGHTING ANALYSIS FOR THE EXTERIOR OF THE BUILDING. FOR ADDITIONAL INFORMATION REGARDING LIGHTING PRODUCTS CONTACT "MATT MARSHALL" AT "LIGHTING DYNAMICS, INC." 1835 W. COMMERCIAL BLVD. TAMARAC, FL 33351 (954) 944-0286

SUBMITTALS OF ALTERNATE LIGHT FIXTURES REQUIRE COMPLETE PHOTOMETRICS SIGNED AND SEALED BY FLORIDA REGISTERED LICENSED ELECTRICAL ENGINEER FOR ARCHITECTS REVIEW AND IF ACCEPTABLE SUBMITTAL TO BUILDING DEPARTMENT FOR PERMIT REVISION BY GENERAL CONTRACTOR AT CONTRACTOR'S EXPENSE.

NOTE:
 AN OUTDOOR LIGHTING INSTALLATION SHALL NOT BE PLACED IN PERMANENT USE UNTIL A LETTER OF COMPLIANCE SIGNED AND SEALED BY A REGISTERED ENGINEER OR ARCHITECT IS PROVIDED TO THE CITY STATING THE LIGHTS HAVE BEEN FIELD-TESTED AND MEET THE STANDARDS OF THIS CODE.

S1-S2

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison
GWC Galleon Wall
Wall Mount Luminaire

Product Features

- Choice of thirteen high-efficiency, patented AcOLED Optics™
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

Dimensional Details



Lumark
Prevail Petite Discrete Wall
Wall Mount Luminaire

Product Certifications



Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual
- Lumen packages range from 4,300 - 11,300 lumens (30W - 100W)
- Replaces 70W up to 250W HID equivalents
- Efficacies up to 147 lumens per watt
- Surface mount configuration with standard conduit entry

Dimensional Details



S3

Project	Catalog #	Type
Prepared by	Notes	Date



Lumark AP
CLCS Canopy
Surface / Canopy Luminaire

Product Features

- Fixed output and selectable configurations available across 2 housing sizes
- Lumen packages range from 5,500 - 17,600 lumens (40W - 120W)
- Replaces 150W up to 400W HID equivalent
- Efficacies up to 153 lumens per watt at maximum output
- Energy and maintenance savings up to 86% versus HID solutions

Dimensional Details



Invue

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

SPECIFICATION FEATURES

Construction
 TOP Cast aluminum top housing attaches to cast aluminum mounting arm with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and condensation. (See the mounting accessories section for a full selection of mounting arms. (Only these arms are compatible with the EPIC luminaire).

MIDSECTION
 Continuous silicone gasket seals lens to top casting and shade. The mid-section features cast aluminum construction and stainless steel assembly. SHAKES: Heavy gauge precision spun aluminum shade offer superior surface finish and consistency in form. DOORFRAME: Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Options
 Choice of twelve patented, high-efficiency AcOLED Optics™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application specific. AcOLED Optics™ technology creates consistent distribution with the scalability to meet customized application requirements. Offered Standard in 4000K (or 2700K CCT and optional 3000K CCT and 5000K CCT. For the ultimate level of light control, an optional stainless steel shade accessory can be field or factory installed. The house-side shade is designed to seamlessly integrate with the SL2, SL3 or SL4 optic.


Electrical
 LED driven mount to direct aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz, 30V 60Hz or 48V 60Hz operation, greater than 0.5 power factor, less than 20% harmonic distortion, and is suitable for operation in 40°C to 40°C ambient environments. All fixtures are shipped standard with 100%/10A common and differential mode surge protection. LightBARs feature LED protection ring and maintain greater than 95% lumen maintenance at 50,000 hours per ENEMA TM-21. Occupancy sensor and dimmers options available.

Finish
 Housing is finished in five-stage super TIG polymer powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection. Options to meet Buy American Act requirements.

Warranty
 Five-year warranty.

G2

Project	Catalog #	Type
Prepared by	Notes	Date

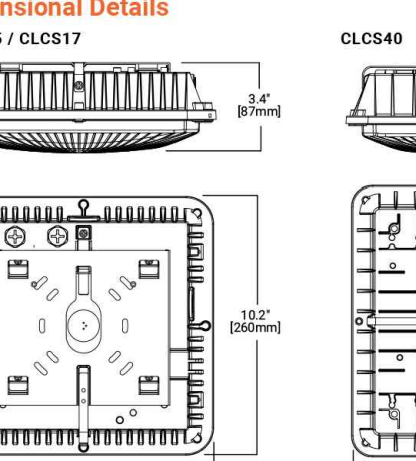


Lumark AP
CLCS Canopy
Surface / Canopy Luminaire

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Invue

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 Continuous silicone gasket seals lens to top casting and shade. The mid-section features cast aluminum construction and stainless steel assembly. SHAKES: Heavy gauge precision spun aluminum shade offer superior surface finish and consistency in form. DOORFRAME: Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Options
 Choice of twelve patented, high-efficiency AcOLED Optics™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application specific. AcOLED Optics™ technology creates consistent distribution with the scalability to meet customized application requirements. Offered Standard in 4000K (or 2700K CCT and optional 3000K CCT and 5000K CCT. For the ultimate level of light control, an optional stainless steel shade accessory can be field or factory installed. The house-side shade is designed to seamlessly integrate with the SL2, SL3 or SL4 optic.

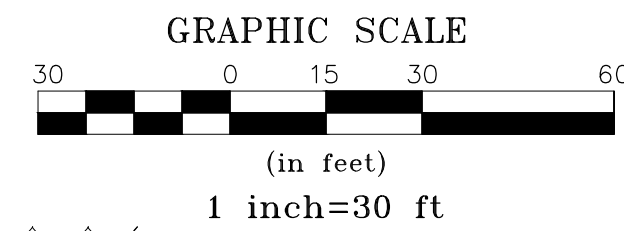
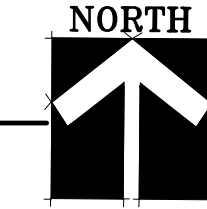
Electrical
 LED driven mount to direct aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz, 30V 60Hz or 48V 60Hz operation, greater than 0.5 power factor, less than 20% harmonic distortion, and is suitable for operation in 40°C to 40°C ambient environments. All fixtures are shipped standard with 100%/10A common and differential mode surge protection. LightBARs feature LED protection ring and maintain greater than 95% lumen maintenance at 50,000 hours per ENEMA TM-21. Occupancy sensor and dimmers options available.

Finish
 Housing is finished in five-stage super TIG polymer powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection. Options to meet Buy American Act requirements.

Warranty
 Five-year warranty.

1 SITE PHOTOMETRIC (WORKING HOURS)

SCALE: 1" = 30'-0"



2 LIGHTING FIXTURES

N.T.S.

4161 WEST HILLSBORO STORAGE
 4161 WEST HILLSBORO
 COCONUT CREEK, BROWARD, FL.

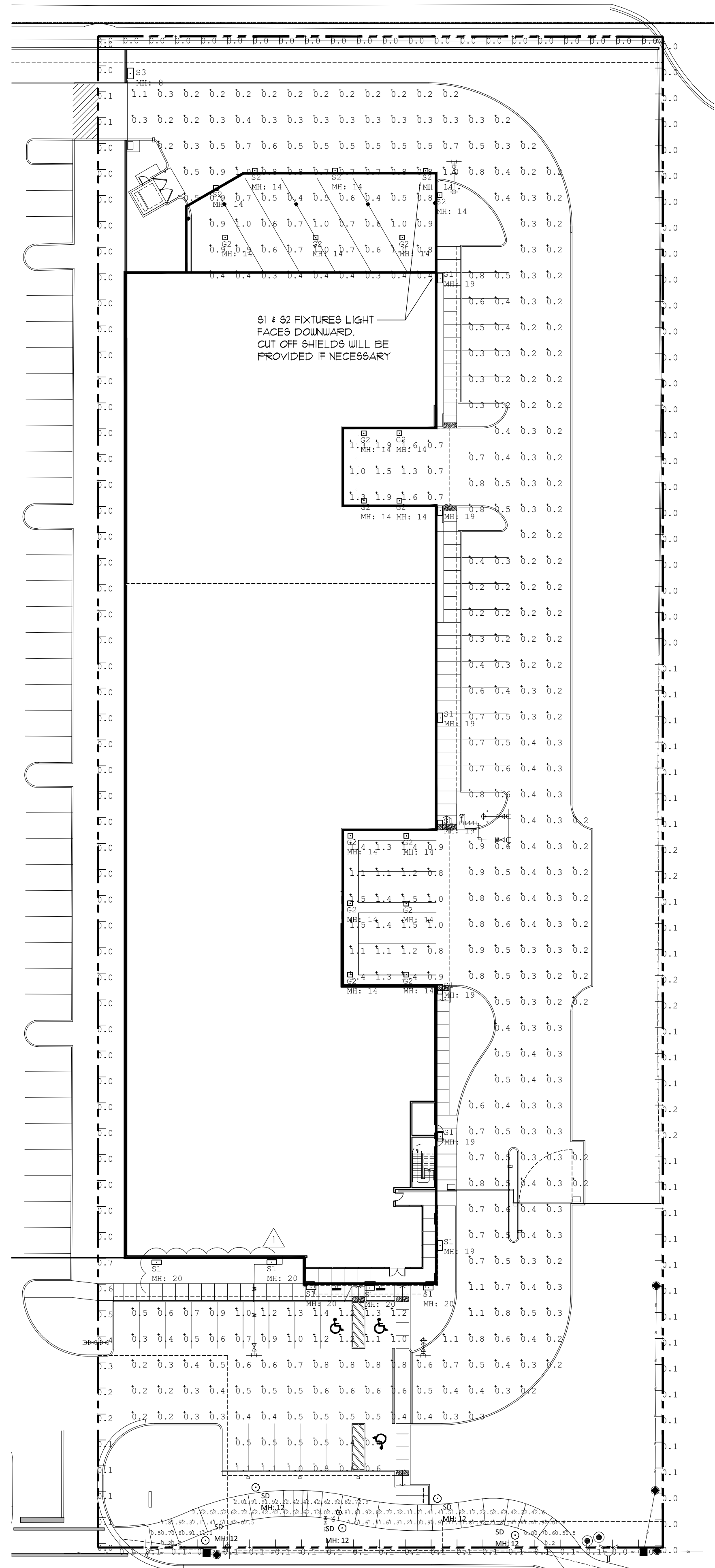
KENNETH R. CARLSON - ARCHITECT, P.A.
 1166 W. NEWPORT CENTER DR., SUITE #311
 DEERFIELD BEACH, FLORIDA 33442
 PH. (954) 421 - 8848
 e-mail: krc@krcarchitect.com

Rev/Iss: 03/22/22
 02/22/22
 02/22/22
 02/22/22

DRAWN BY: FS
 CHECKED BY: KRC
 DATE: 06/15/2021
 SCALE: AS NOTED
 PROJECT #: 21047
 CAD DWG FILE(S): 1

AR12546
 KENNETH R. CARLSON

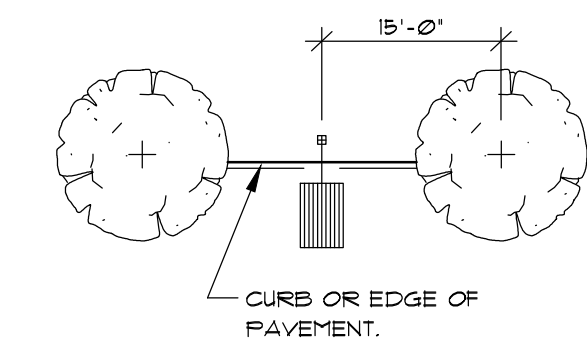
SHEET OF
 SL-1
 PAGE OF



Symbol	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
○	SD	SINGLE	N.A.	0.900	EMM-E01-LED-E1-SL2-HSS	24.7
□	G2	SINGLE	N.A.	0.900	CLCS17S-40W-4000K	37.5
□	S1	SINGLE	N.A.	0.900	GWC-SA2C-740-U-T4FT	113
□	S2	SINGLE	N.A.	0.900	GWC-SA1A-740-U-T4FT	34
□	S3	SINGLE	N.A.	0.900	PRV-P-PA1A-730-U-T2R-HSS	30.7

Channel	Switched	Dimming	# Lums
G2	On	0.20	13
S1	On	0.15	12
S2	On	0.15	5
S3	On	0.15	1

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
NORTH COVERED LOADING	Illuminance	Fc	1.29	1.9	0.7	1.84	2.71
PARKING AND DRVELANE	Illuminance	Fc	0.98	3.5	0.3	3.27	11.67
FED WALKWAY	Illuminance	Fc	1.83	3.0	0.2	9.15	15.00
PROPERTY LINE	Illuminance	Fc	0.12	0.7	0.0	N.A.	N.A.
SOUTH COVERED LOADING	Illuminance	Fc	1.22	1.5	0.8	1.53	1.88



3 LIGHT/TREE SPACING
NTS

S1-S2

Project	Catalog #	Type
Prepared by	Notes	Date

McGraw-Edison
GWC Galleon Wall
Wall Mount Luminaire

Product Features

- Ordering Information page 2
- Product Specifications page 3
- Optical Configurations page 4
- Energy and Performance Data page 4
- Control Options page 5

Quick Facts

- Choice of thirteen high-efficiency, patented AccoLED Optics™
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

Dimensional Details

Lumark
Prevail Petite Discrete Wall
Wall Mount Luminaire

Product Features

- Ordering Information page 2
- Mounting Details page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual
- Lumen packages range from 4,300 - 11,200 lumens (30W - 100W)
- Replaces 70W up to 250W HID equivalents
- Efficacies up to 147 lumens per watt
- Surface mount configuration with standard conduit entry

Dimensional Details

G2

Project	Catalog #	Type
Prepared by	Notes	Date

Lumark AP
CLCS Canopy
Surface / Canopy Luminaire

Product Features

- Ordering Information page 2
- Product Specifications page 2
- Energy and Performance Data page 2

Quick Facts

- Fixed output and selectable configurations available across 2 housing sizes
- Lumen packages range from 5,500 - 17,600 lumens (40W - 120W)
- Replaces 150W up to 400W HID equivalent
- Efficacies up to 153 lumens per watt at maximum output
- Energy and maintenance savings up to 86% versus HID solutions

Dimensional Details

Invue

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

SPECIFICATION FEATURES

Construction
TOP Cast aluminum top housing attaches to cast aluminum mounting arm with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and condensation. (See the mounting accessories section for a full selection of mounting arms. Only these arms are compatible with the EPIC luminaire.)

MIDSECTION
Continuous silicone gasket seals lens to top casting and shade. The midsection features cast aluminum construction and stainless steel assembly. SHAKES: Heavy gauge precision spun aluminum shade offer superior surface finish and consistency in form. DOORFRAME: Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick seal continuous silicone gasket. Mounting hub ships attached to mounting arm.

Options
Choice of twelve patented, high-efficiency AccoLED Optics™ technology manufactured from technology precisely designed to shape the optics, maximizing efficiency and application accuracy. AccoLED Optics™ technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (ex. 2700K CCT and nominal 70 CRI. Optional 3000K CCT and 8000K CCT. For the ultimate level of light control, an optional stainless steel shade accessory can be field or factory installed. The house-side shade is designed to seamlessly integrate with the SL2, SL3 or SL4 optic.

Electrical
LED driven mount to direct aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz, 30V 60Hz or 48V 60Hz operation, greater than 0.5 power factor, less than 20% harmonic distortion, and is suitable for operation in 40°C to 40°C ambient environments. All fixtures are shipped standard with 100%/10A common and differential mode surge protection. LightBARs feature and maintain greater than 95% lumen maintenance at 50,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Finish
Housing is finished in five-stage super TIG polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection. Options to meet Buy American Act requirements.

Warranty
Five-year warranty.

ENERGY DATA
See datasheet for more detailed information.

S3

Project	Catalog #	Type
Prepared by	Notes	Date

COOPER
Lighting Solutions

December 8, 2012 2:52 PM

Invue

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

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Warranty
Five-year warranty.

ENERGY DATA
See datasheet for more detailed information.

ECM/EMM EPIC MEDIUM LED

Mounting Accessories

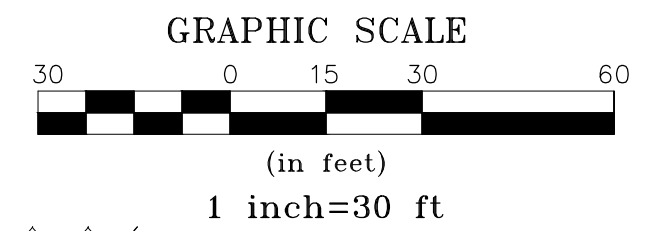
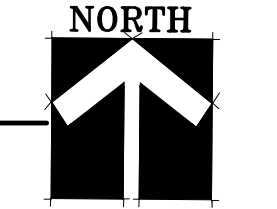
ENERGY DATA
See datasheet for more detailed information.

SHIPPING DATA
Approximate Net Weight: 41 lbs. (20 lbs)

COOPER
Lighting Solutions

December 8, 2012 2:58 PM

1 SITE PHOTOMETRIC (AFTER HOURS)
SCALE: 1" = 30'-0"



2 LIGHTING FIXTURES
N.T.S.

4161 WEST HILLSBORO STORAGE
4161 WEST HILLSBORO
COCONUT CREEK, BROWARD, FL.

KENNETH R. CARLSON - ARCHITECT, P.A.
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PH. (954) 421 - 8848
FAX (954) 421 - 9929
e-mail: krc@krcarchitect.com

Revisions:
06/09/12
06/15/12
06/15/12
06/15/12

DRAWN BY: FS
CHECKED BY: KRC
DATE: 06/15/12
SCALE: AS NOTED
PROJECT #: 21047
CAD DWG FILE(S): 1

AR12546
KENNETH R. CARLSON

SHEET OF
SL-2
PAGE OF

May 17, 2022

VIA EMAIL: laguiar@coconutcreek.net

Liz Aguiar, AICP
Principal Planner
City of Coconut Creek
Department of Sustainable Development
4800 West Copans Road
Coconut Creek, FL 33063

Re: Community Meeting Summary – Hillsboro Self-Storage
4161 Hillsboro Boulevard – PZ-21090005

Dear Ms. Aguiar:

On behalf of 4161 Hillsboro, LLC, (“Applicant”), please consider this letter as a summary report of community outreach efforts undertaken in relation to the proposed rezoning and site plan applications regarding the above referenced matter.

At 6:00 p.m. on May 16, 2022, we held a community meeting in the office of the Extra Space Self Storage building located at 4191 W. Hillsboro Boulevard. An invitation was mailed on May 5 to all property owners within the City’s required 500 ft. notice radius of the entire PCD boundary, to the additional residents within the Crescent Creek community outside of the notice radius, and to the tenants at 4171 W. Hillsboro Boulevard. Five (5) individuals attended the meeting. The applicant team consisted of Sean Leder and Dennis Mele and Julian Bobilev from Greenspoon Marder LLP. Commissioner Josh Rydell was also in attendance. The attendee list is as follows:

1. Dee Buys
2. Gary Lobban
3. Cecile Lobban
4. Charmaine Buchanan
5. Jonathan Ormon

Dennis Mele introduced the project and noted that it had been revised twice; once to shift the main building “A” from the eastern property line to the western property line, and a second time to eliminate all the single-story buildings per City direction. Mr. Mele also noted there would be no access from the site onto NW 71st Street.

Mr. Mele then invited the residents to look out the windows of the self-storage facility towards the shopping center to the west. He noted that the distance from the drive aisle curb to the property line wall was approximately 15-20 feet, with a drainage swale and landscaping adjacent to the wall. In the new project, on the other hand, the distance from the drive aisle curb to the property line wall would be 35 feet, with an initial line of trees, drainage swale, hedge, and a second line of trees. Since the new project would be adjacent to residential rather than a shopping center, it is required to have more landscaping.

Mr. Mele concluded the project would likely go to PZB in July, and a date would be notated on the public notice sign in front of the property once it was known. Commissioner Josh Rydell noted that this would require a 1,000-foot notice. The project would also be in front of the City Commission for two readings likely in August.

Below is a summary of questions and comments from the attendees and the responses provided by the development team.

Landscaping and Buffering

Q: *Gary Lobban:* How high would the trees on the eastern property line be?

A: Trees would be 15 feet in height with a 7-foot spread at the time of planting. They would be live oaks.

Q: *Charmaine Buchanan:* Live oaks' roots can spread to our property and cause damage.

A: We have a 35-foot area so there is plenty of room for the planting.

A resident suggested palm trees. *Gary Lobban* stated that palm trees are not canopy trees so they would not have the desired buffering effect. Dennis Mele also stated palm trees would not work well to shield the building from view.

Q: *Cecile Lobban:* Who is going to maintain the landscaping?

A: It will be on the applicant's side of the property line and they will be responsible for maintaining the landscaping.

Building Height

Q: *Gary Lobban:* Having a high building behind our homes is a privacy issue.

A: The good thing about self-storage versus another use is there are no windows, so nobody can look out. With office use, you could look out. It is also a low traffic generator.

Q: *Charmaine Buchanan:* Do you have an RV storage area?

A: There are six (6) parking spaces in the back where you could store RVs. At one point we were proposing doing a whole parking lot for RV storage, but the City pushed back.

There will be a metal canopy and RVs will have to fit under there. You won't be able to see much of anything with the canopy and the landscaping.

Q: *Charmaine Buchanan:* Even with the wall, from my second story we can see everything going on in the Sherwin Williams building.

A: Right now you only have a wall and not landscaping. Sean Leder put in the wall much earlier than he is required to do. Landscaping cannot be put in without irrigation and right now there is no electricity to run the irrigation.

Q: *Cecile Lobban:* It's going to be an eyesore. My only concern is the 3-story portion.

A: Think about what else could be built in the CF district, like a church, playground, basketball court, school, etc, all of which would be more impactful uses.

Lighting

Q: *Cecile Lobban:* What about the lighting?

A: Coconut Creek has a dark sky ordinance. Not only can you not have light spill onto the ground of the adjoining property, but you also can't have glare onto the adjoining property. The City makes us do a photometric plan for every light on the outside of the property.

Construction Vibration

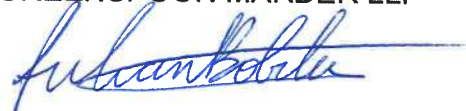
Q: *Charmaine Buchanan:* When the other self-storage was being constructed, my house was shaking due to vibration. I was concerned about cracks in the pool or the foundation. This construction is going to be that much closer.

A: We will not be using dynamic compaction. We will be using standard construction methods since the soil is good.

Please contact me at (954) 527-2485 if you have any questions or comments regarding this summary letter or the community outreach meeting.

Sincerely,

GREENSPOON MARDER LLP



Julian Bobilev, AICP

Attachments:

1. Notice Certification
2. May 16, 2022 Applicant PowerPoint Presentation
3. May 16, 2022 Community Meeting Sign-In Sheet



CERTIFICATION LETTER

City of Coconut Creek

Date: May 5, 2022

Applicant: Greenspoon Marder LLP.

Subject Property: Parcel A of Workingman's Nursery Plat as recorded in Plat Book 126 Page 22 of the Public Records of Broward County, Florida

General Location: 4161 W. Hillsboro Boulevard

This letter also certifies that the attached mailing lists are a complete and accurate representation of the property owners within 500 feet of the subject property listed above, all parcels within the Crescent Creek Homeowner's Association, and the tenants of 4171 W. Hillsboro Boulevard.

This letter certifies that the attached notice was mailed on May 5, 2022.

Sincerely,

A handwritten signature in blue ink, appearing to read "Christina Mathews", is written over a horizontal line.

Christina Mathews

Sworn and subscribed before me this 5th day of
May, 2021.

A handwritten signature in blue ink, appearing to read "Jefferson Durham", is written over a horizontal line.

Signature of Notary



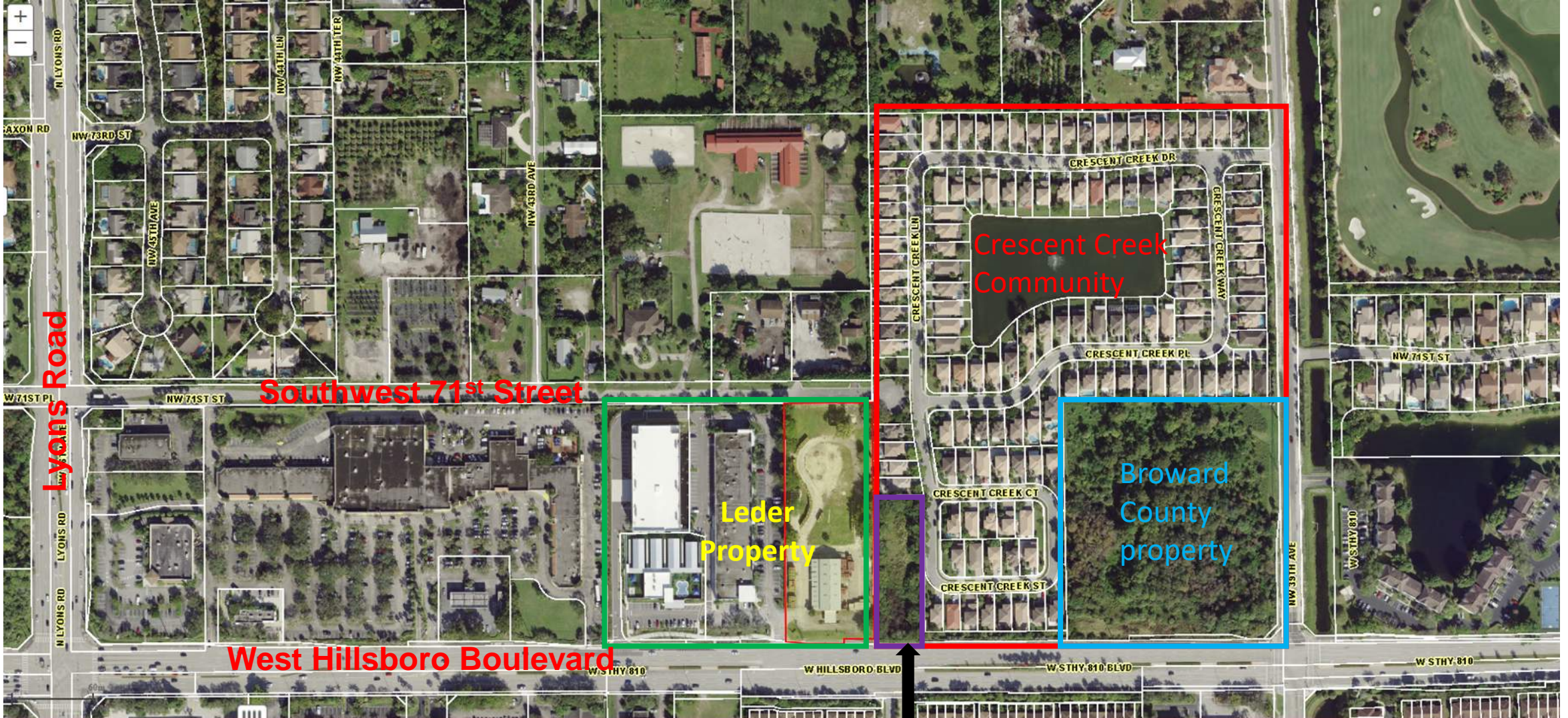
1025 Yale Drive
Hollywood, Florida 33021
954-920-2205

Email: cutroplanning@yahoo.com

4161 Hillsboro Blvd project Community Meeting

May 16, 2022

6:00 PM



Location Map

FDOT property

Building and Site Design Prior to Presentation to the Crescent Creek Community HOA

Buildings:

Bldg. A: 86,400 SF, 3 stories, 40' high

Bldg. B: 7,500 SF

Bldg. C: 3,000 SF

Bldg. D: 3,800 SF

Bldg. E: 4,200 SF

Bldg. F: 4,200 SF

(Bldgs. B through F are all 1 story and a max. of 17' high)



Original Site Layout



5 Original Site Rendering 3D View

Building and Site Design After Presentation to the Crescent Creek Community HOA

Buildings:

Bldg. A: 114,000 SF, 4 stories, 53' high

Bldg. B: 10,250 SF

Bldg. C: 3,800 SF

Bldg. D: 4,200 SF

Bldg. E: 4,200 SF

Bldg. F: 3,800 SF

(Bldgs. B through F are all 1 story and a max. of 17' high)

Design Changes:

Buildings A and B have been flipped so that the larger Bldg. A is on the west side, farther from residences.





8 Site Rendering #2, 3D View

Building and Site Design After Engaging in Development Review Committee Process with City of Coconut Creek Department of Sustainable Development

Buildings:

One building only:

166,604 SF

4 stories @53'

3 stories @38'

Design Changes:

Per City staff comments, all single-story buildings have been eliminated and incorporated into the main building to keep the entire massing away from residential property line.





11 Site Rendering #3, 3D View





WEST HILLSBORO STORAGE
4161 WEST HILLSBORO, COCONUT CREEK, FLORIDA





WEST HILLSBORO STORAGE
4161 WEST HILLSBORO, COCONUT CREEK, FLORIDA





WEST HILLSBOFO STORAGE
4161 WEST HILLSBOFO, COCONUT CREEK, FLORIDA





16 Site Rendering #3, 3D View



WEST HILLSBORO STORAGE
4161 WEST HILLSBORO, COCONUT CREEK, FLORIDA



