



INNOVATIVE
RETAIL
MARKETPLACE
SOLUTIONS



**PROMENADE AT
CCOCONUT CREEK**
C/O HILL PARTNERS, INC.
4467 LYONS ROAD
SUITE 102-B
COCONUT CREEK, FL
33073

April 29, 2022

Liz Aguiar
City of Coconut Creek
Sustainable Development
4800 West Copans Road
Coconut Creek, FL 33063

RE: Promenade at Coconut Creek –
DRC Application

Dear Liz,

The ownership of the Promenade at Coconut Creek wishes to amend the current approved zoning plans with additional common area and building improvements at space 50-B7 at address 4413 Lyons Road, suite 107 (the prior Banana Republic premise). The goal of these improvements is to enable a new first class premier restaurant to join our tenancy. The building footprint will be unchanged, but the new premise will be 9,068sf. The exterior of the premise will be refinished removing some of the dated features and incorporating a new facade that will be coordinated into our repainting concept for the entire shopping center, which is currently approximately 50% completed. In addition, the restaurant will feature outdoor dining with a louvered canopy above that allows patrons to enjoy dining during varying weather conditions. Waste disposal will be easily handled by adding a compactor at the underutilized dock space behind the DSW premise.

Please find attached the complete package of documents and drawings for the project approval.

Thank you for your timely review of this submission.



SITE PLAN AESTHETIC DESIGN CRITERIA

Please fill out the following in COMPLETE DETAIL, a restatement does not satisfy code requirements.

AESTHETIC DESIGN CRITERIA (Section 13-37)	
1.	<i>Harmonious and efficient organizations.</i> The site plan shall be organized harmoniously and efficiently in relation to topography, the size and type of plot, the character of adjoining property, and the type and size of buildings. The site will be developed to facilitate orderly development of surrounding property. The Site Plan is existing. All modifications have been organized to fit with the existing design.
2.	<i>Preservation of natural state.</i> Desirable vegetation or other unique natural features shall be preserved in their natural state when practical. Tree and soil removal and filling of natural watercourses shall be minimized. The landscaping work consists of the removal of one above grade planter and New planters were added surrounding the new patio. Detailed landscape drawings will be submitted under a separate permit.
3.	<i>Enhancement of residential privacy.</i> The site plan shall provide reasonable visual and sound privacy for all adjacent dwelling units. Fences, walks, barriers and vegetation shall be arranged for protection and privacy. Existing visual and sound privacy will not be affected.
4.	<i>Emergency access.</i> Structures and other site features shall be arranged to permit practical emergency vehicle access to all sides of buildings. The existing emergency vehicle access will not be affected by the proposed design.
5.	<i>Access to public ways.</i> Every structure and dwelling unit shall have access to a public street, walkway or other area dedicated to common use. Existing access to public ways will not be affected by the proposed design.
6.	<i>Pedestrian circulation.</i> A pedestrian circulation system shall be provided which is separate from the vehicular circulation system. The existing mall has provided pedestrian and vehicular circulation. Refer to sheet A100
7.	<i>Design of access and egress drives.</i> The location, size, and numbers of ingress and egress drives to a site will be designed to minimize the negative impacts on public and private streets and on adjacent property. The existing ingress and egress drives will not be affected by the proposed design.
8.	<i>Coordination with off-site vehicular and pedestrian circulation systems.</i> The arrangement of rights-of-way or easements for vehicular and pedestrian circulation shall coordinate the pattern of existing and planned streets and pedestrian or bicycle pathways in the area. The existing circulation systems will not be affected by the proposed design.
9.	<i>Stormwater control.</i> Protective measures shall ensure that removal of stormwater runoff will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made for construction of wastewater facilities including grading, gutters, and piping to direct stormwater and prevent erosion. Surface water on all paved areas shall be collected at intervals which do not obstruct vehicular or pedestrian traffic. The new canopy above the patio will be connected to the existing storm sewer. Runoff calculations will be submitted under a separate permit.
10.	<i>Exterior lighting.</i> Location, type, size and direction of exterior lighting shall not glare or direct illumination which interferes with adjacent properties or safety of public rights-of-way. Existing exterior lighting will not interfere with adjacent properties or public rights-of-way. The new lighting consists of wall sconces and lighting under the patio canopy. A photometric plan has been provided showing the impact of the new fixtures.





DEPARTMENT OF SUSTAINABLE DEVELOPMENT
4800 WEST COPANS ROAD
COCONUT CREEK, FLORIDA 33063

11.	<i>Protection of property values. Elements of a site plan shall be arranged to have minimum negative impact on values of adjoining property.</i> The proposed work consists of the re-facing of one tenant within an open mall and will not affect the adjoining properties value.
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Note: All responses to this checklist are to reflect efforts ABOVE minimum code requirements.

LAND DEVELOPMENT CODE - Section 13-320: Green Building Construction

GREEN STANDARDS

DESCRIPTION (description of use in development)

13-320(b)(1)

LEED Accredited Professional	NOTED
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Sustainable Site Development

Construction Pollution Prevention	NOTED
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Construction site materials recycling	NOTED
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Stormwater management	N/A Per Linda and Liz
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Alternative transportation	EXISTING
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Minimizing heat island effect	DEVELOPMENT IS EXISTING
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Water Efficiency

Innovative water technologies	Code minimum flush rate for water closets is 1.6 GPF (Table 604.4 from the 2020 Florida Plumbing Code), we are specifying toilets with a 1.1 GPF flow rate. Code minimum flush rate for urinals is 1.0 GPF (Table 604.4 from the 2020 Florida Plumbing Code), we are specifying urinals with a 0.125 GPF flow rate. Code minimum flow rate for lavatory faucets is 0.5 GPM (Table 604.4 from the 2020 Florida Plumbing Code), we are specifying Lavatory faucets with a 0.35 GPM flow rate. See 'WC-1', 'WC-2', 'UR-1', 'L-1', and 'L-2'
Water efficient	

Energy Efficiency

Minimum energy performance	Per Table C403.2.3(1) of the 2020 FBC-Energy Conservation code we fall into the category requiring a minimum EER of 10.8 for 3 units and 9.8 for 1 unit respectively. AC-1, AC-2 & AC-3 are better than the 10.8 requirement by 10%. AC-4 is better than the 9.8 requirement by 9%. Per C403.2.9.1 of the 2020 FBC, all supply and return air duct located in a return air plenum (conditioned space) does not need insulation. However, all supply and return duct on this project is either lined or wrapped with insulation, exceeding the requirement.
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On-site renewable energy	The addition of three Solar powered LED wall packs will be utilized above the Cheesecake Factory rear delivery door, one above the Janitor Room & a third above the Remote Storage door
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Indoor Environmental Quality

Indoor air quality	There is no code that specifies what specific rating of filter we must use, however, we have revised our drawings to specify MERV 13 filters in our Air Conditioning units. This is above the minimally used MERV 4.
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Materials and Recycling

Recycling of demolition waste	GC to provide recycling and waste dumpsters during demo
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Storage and collection of recyclables post	Since dumpster location is shared, By Landlord to show
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Building re-use	Just stating that most of building will remain
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Regional materials	Refer to 2021 Corporate Social Responsibility Report (2021-CSR-Report-TheCheesecakeFactory.pdf) for sourcing information TCF as a company has set up.
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13-320(b)(3)	
Acknowledgement to maintain the green building components for the life of the building.	NOTED
Resolution 2020-063	
Green Event Checklist	Refer to 2021 Corporate Social Responsibility Report (2021-CSR-Report-TheCheesecakeFactory.pdf) for information on various programs TCF as a company has set up.
Water Fountains	DEVELOPMENT IS EXISTING. WATER WILL BE PROVIDED WITHIN THE NEW TENANT SPACE
Purchasing	Refer to 2021 Corporate Social Responsibility Report (2021-CSR-Report-TheCheesecakeFactory.pdf) for purchasing and sourcing information TCF as a company has set up.
Other	
GREEN PLAN ACTION ITEMS	
ACTION ITEMS	DESCRIPTION (description of use in development)
Action 1.6 – Ensure 100% of new development projects throughout the City contain <i>conspicuous displays of green technology</i> that function in the project design while providing a social, artistic, and	DEVELOPMENT IS EXISTING. REFER TO 2021 CORPORATE SOCIAL RESPONSIBILITY REPORT (2021-CSR-REPORT-THECHEESECAKEFACTORY.PDF) FOR SOURCING INFORMATION TCF AS A COMPANY HAS SET UP.
Action 2.1 – Achieve 40% tree canopy coverage throughout the City with maximum tree coverage on public and private land by 2020.	DEVELOPMENT IS EXISTING. NEW TREES WILL BE PLANTED AROUND THE PROPOSED OUTDOOR DINING AREA.
Action 2.2 – Achieve 40% greenroof coverage for new construction in MainStreet Project Area and 10% greenroof coverage for new construction for areas outside of MainStreet (i.e. high albedo paint on roof)	DEVELOPMENT IS EXISTING. REFER TO 2021 CORPORATE SOCIAL RESPONSIBILITY REPORT (2021-CSR-REPORT-THECHEESECAKEFACTORY.PDF) FOR SOURCING INFORMATION TCF AS A COMPANY HAS SET UP.
Action 5.1 – Increase recycling throughout the City by 25% by 2014 and 50% by 2020.	DEVELOPMENT IS EXISTING
Action 5.3 – Require all construction and demolition debris to divert 75% of waste from landfills.	NOTED
Action 6.2 – Bicycle parking on site	DEVELOPMENT IS EXISTING
Action 6.4 – Alternative vehicle parking/EV charging stations	DEVELOPMENT IS EXISTING

Note: All responses to this checklist are to reflect efforts ABOVE minimum code requirements.



05 SOURCING

IN THIS SECTION

- 31 Social
- 32 Environment
- 34 Animal Welfare
- 37 Training, Auditing & Governance

Sourcing

Since we first published our Sustainable Sourcing Policy and Sustainability Code of Conduct in 2016, a lot has changed, both for our own operations and in the market more broadly. We faced a global pandemic, experienced a challenging and rapidly changing supply chain, and added several new restaurant concepts, just to name a few. Through all of this we have continued to hold true to the commitments we made in 2016 and despite the multitude of unforeseen challenges, we have continued to make tangible and measurable progress for the people in our supply chain, the animals raised, and the quality of the ingredients we source.

Several of our key highlights include:

- Sourcing 100% cage-free eggs for our restaurants and working to accelerate this commitment for our bakeries.
- Advancing several pre-competitive working groups with Monterey Bay Aquarium-Seafood Watch® and the Global Coalition for Animal Welfare® to improve our sustainable seafood and animal welfare efforts.
- For the fourth time, we were recognized by the Business Benchmark for Farm Animal Welfare (BBFAW) at a tier 3 level.
- We continued to pursue a group-housed pork supply that has at a minimum <28 days of gestation crate use for pregnant sows, and due to our efforts in 2021, expect to transition the majority of our contracted pork to this standard in 2022.

Monterey Bay Aquarium® and Seafood Watch® are registered trademarks owned by the Monterey Bay Aquarium Foundation.

BELOW
SKINNYLICIOUS®
SHRIMP SOFT TACOS



Our Sustainable Sourcing Policy demonstrates our commitment to leading practices within our supply chain and establishes our buying preference for ingredients that are third-party certified for sustainability, that are environmentally and socially responsible, that promote animal welfare, and that are traceable back to the source or farm, as feasible and appropriate. **Our three key areas of focus include:**



SOCIAL

We strive to operate in a way that reflects fundamental respect for the rights of the staff members we employ, and the people who grow and produce the products we source.



ANIMAL WELFARE

We fundamentally understand that animal welfare is not a singular issue for a single species, but rather, a set of holistic and comprehensive principles for all animals throughout their lifecycles.



ENVIRONMENT

When it comes to our menu, we strive to source not only high-quality ingredients, but also those that are sustainably managed and produced.

We expect that any concept or business acquired and operated by us after January 1, 2018, will incorporate and meet our Sustainability Sourcing Policy and the Sustainability Code of Conduct within eight years from the date of the full acquisition and operation by us.



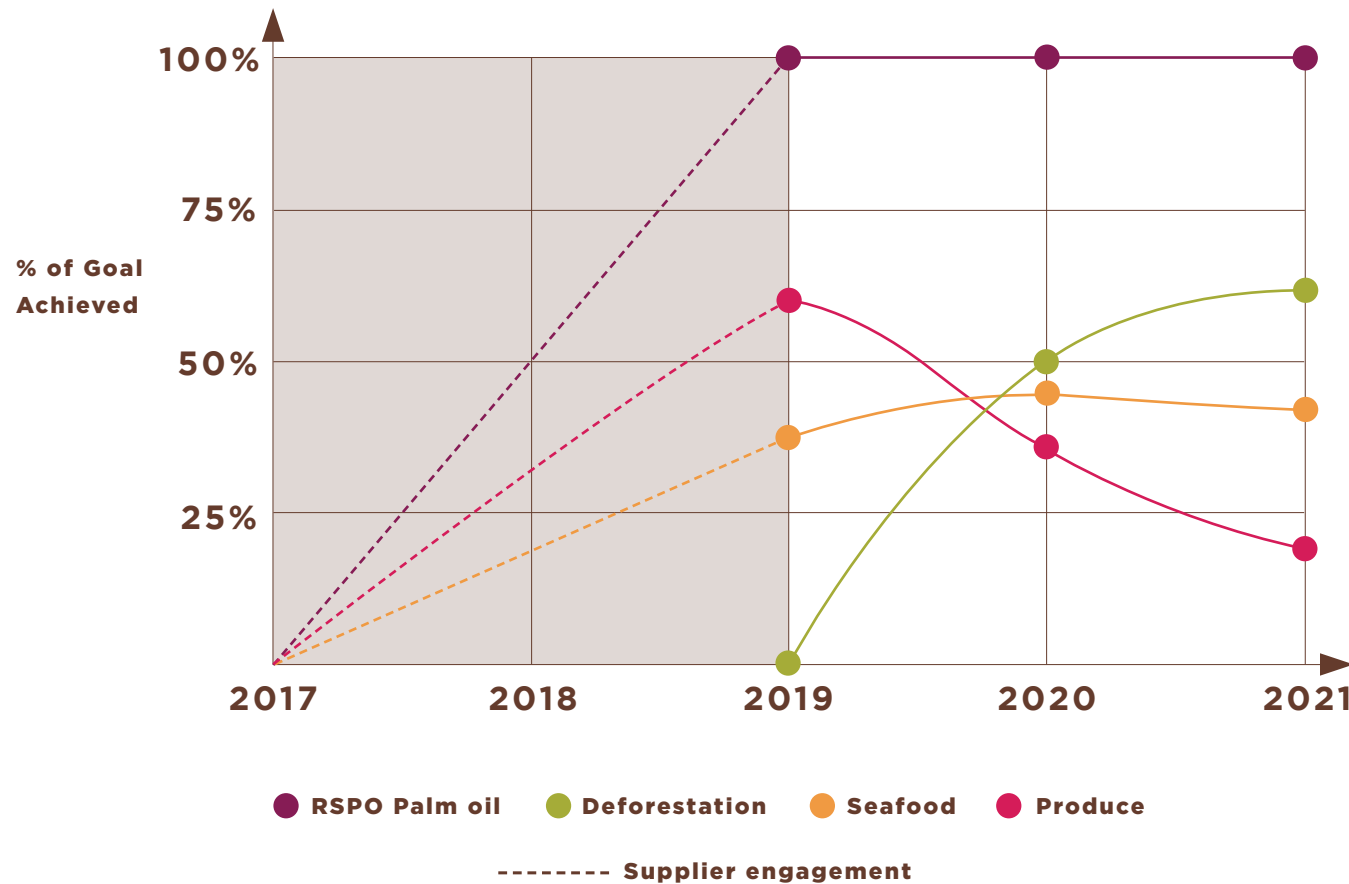


SOCIAL

When committing to serve fresh, delicious food made from scratch, ensuring a responsible supply chain is one of the key elements of this commitment. We are committed to managing our supply chain ethically and with respect for the rights and dignity of the people who help grow, produce, and make our ingredients and products. To help advance our commitment we use several tools, policies, and resources in different areas of our business. Our Sustainability Code of Conduct seeks to uphold our values and principles by establishing certain standards for our suppliers with respect to legal requirements, ethical practices, and environmental standards. The Sustainability Code of Conduct provides guidance and sets expectations of our suppliers in the following areas: Business Integrity, Freely Chosen Employment, Environmental Practices, Safe Working Conditions, Fair & Equal Treatment, Working Hours & Compensation, Communication & Implementation and Reporting & Record Keeping.

ENVIRONMENT

As we work to source ingredients that are sustainably managed and produced, we are keenly aware that we cannot do everything all at once, so we seek to focus on the highest priority issues for the ingredients we purchase. We are proud of the strides we have continued to make and realize there is still progress to be made.



RIGHT
SHEILA'S CHICKEN AND AVOCADO SALAD





Seafood

In 2021, almost 70% of our seafood sourcing met one of several respected third-party certifications, including Marine Stewardship Council® (MSC), Better Aquaculture Practice (BAP), and Aquaculture Stewardship Council® (ASC).



While many would stop at third-party certification, we have set our bar higher as we continue to pursue a benchmark of environmentally responsible (Best Choices or Good Alternatives) as set by Monterey Bay Aquarium - Seafood Watch. This means that in 2021, approximately 43% of our purchasing volume was rated as green or yellow per Monterey Bay Aquarium-Seafood Watch.



Produce

In an effort to ensure strong environmental performance across all our produce ingredients, we continue to expand the number of priority ingredients for which we require our suppliers to submit annual environmental data in areas including water consumption, pesticide use and toxicity, fertilizer use, biodiversity conservation and deforestation. This year, in addition to the 20 ingredients we reported on last year, we added nine additional ingredients, now representing nearly 70% of our annual produce purchases by volume. Due to

this expansion, many suppliers received our sustainability data request for the first time in 2021, and our progress towards our goals has, on average, held steady with 2020 data despite the larger pool of responding suppliers.



Palm Oil & Deforestation

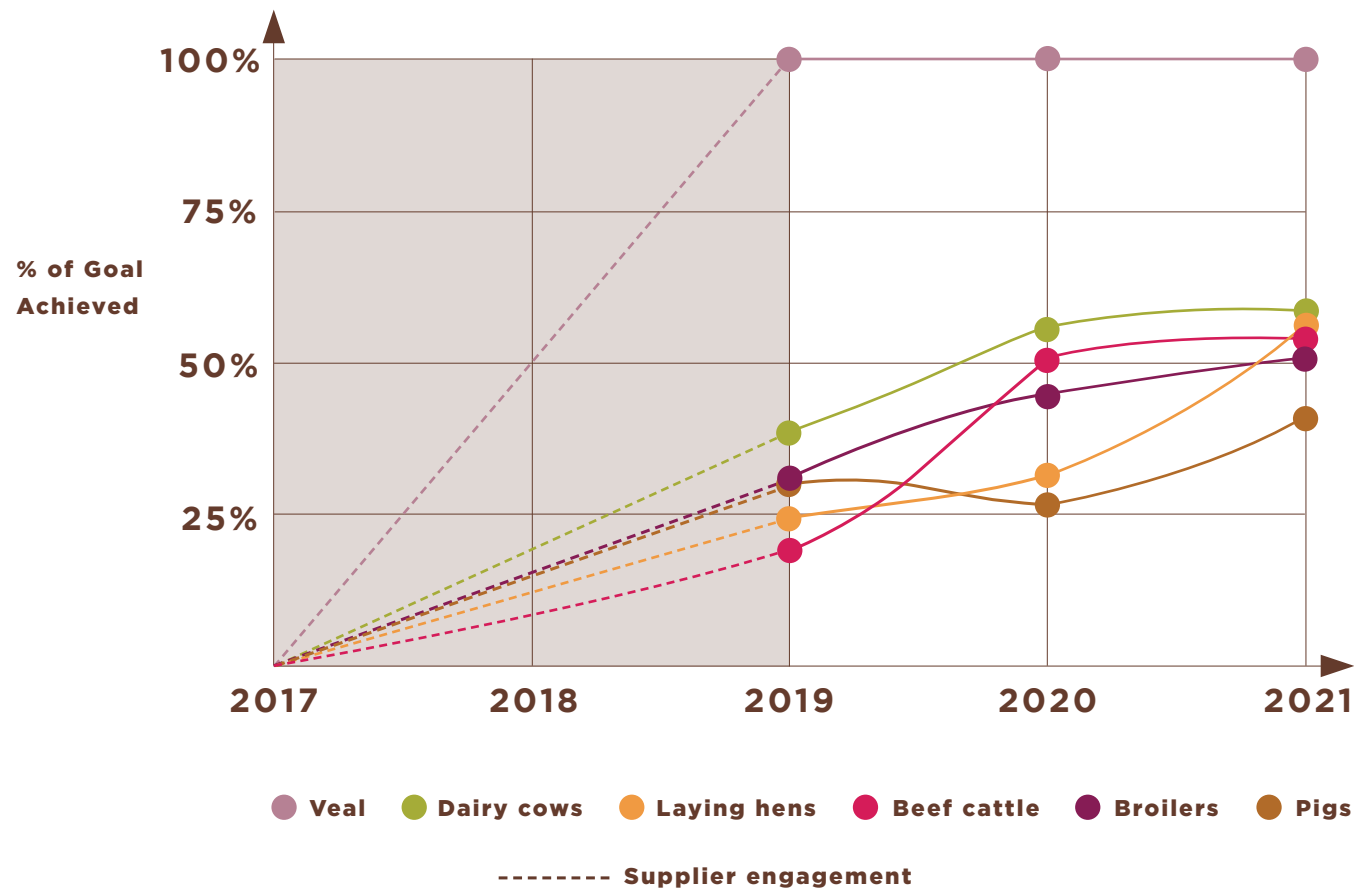
We have continued to maintain Roundtable for Sustainable Palm Oil (RSPO) certification for all our direct purchases of palm oil, and source from suppliers who have committed to no deforestation and no development on peat/high carbon stocks. Additionally, based on our expanded review of our key produce ingredients, we estimate 62% is free from deforestation, with the remaining percentage currently unknown due to insufficient local level data.

Marine Stewardship Council® and Aquaculture Stewardship Council are registered trademarks owned by the Marine Stewardship Council limited company and Aquaculture Stewardship Council Inc., respectively.

LEFT
HERB CRUSTED FILET OF SALMON

ANIMAL WELFARE

We fundamentally understand that animal welfare is not a singular issue for a single species, but rather, a set of holistic and comprehensive principles for all animals throughout their lifecycles. As a part of our Sustainable Sourcing Policy, we are currently working towards a number of animal welfare goals, and our specific performance in 2021 for these goals can be viewed in our *Appendix: Sustainable Sourcing Update*.



RIGHT
HIBACHI STEAK





Key highlights of our performance in 2021 and planned progress include:



Dairy Cows

A number of our core and longer-term suppliers have helped us make strong progress towards our goals, including reaching greater than 90% achievement for eliminating the use of rBST/rBGH, using holistic feed, and removing the practice of tail docking. We have also made progress ensuring cows are not tethered (except during milking or veterinary care) and are provided pain relief during dehorning and disbudding.



Beef Cattle

Due to the dispersed nature of the beef industry in the U.S., it has been difficult to make consistent progress on all of our goals, but we saw several positive trends emerge since our last CSR report in 2020 with our beef supply including: strong growth in the provision of pain relief, use of best practices when dehorning or disbudding, and further reductions in the use of antibiotics from both “responsible use” and “no antibiotic ever” (NAE) programs.



Pigs

While only 29% of our pork supply in 2021 was housed in gestation crates for less than 28 days, we have begun a unique partnership with our key suppliers which is designed to facilitate significant progress by the end of 2022. We are committed to sourcing pork that is raised in alignment with CA Prop 12 standards that specifically prohibit animals from being confined in a manner that prevents lying down, standing up, fully extending limbs, or turning around freely and prohibits confining a breeding pig with less than 24 square feet of usable floor-space per pig. In partnership with our suppliers, we have reinforced our commitments to sourcing gestation-crate-free pork and are striving to transitioning 75% of our pork supply to crate-free by the end of 2022.

LEFT
BRULÉED FRENCH TOAST WITH BACON



Laying Hens

We were pleased to have met our 100% cage-free egg goal for our restaurants last year and to have also transitioned one of our two bakeries to cage-free eggs. We have since made [several key announcements](#) regarding our egg sourcing, including our intention to meet our 100% cage-free egg goal for both of our bakeries by the end of 2022, which will be three years ahead of schedule. We also began work with our international licensees to transition all eggs used in their restaurant operations to cage-free and are currently discussing a plan and timeline for reaching that goal by or before 2030. In addition to the progress on cage-free egg sourcing, we saw several jumps in performance improvement for antibiotic usage, beak trimming, and the use of environmental enrichments in 2021.



Broiler Chickens

2021 was a challenging year for us to make broad progress on our goals for broiler chickens due to supply disruptions and shortages across our restaurants and the wider industry. However, we did see progress on several goals including no antibiotics ever, use of holistic and whole-some feed, and an increased use of controlled atmosphere stunning.



RIGHT
BUFFALO CHICKEN STRIPS

TRAINING, AUDITING & GOVERNANCE

We recognize that strong performance in social, environmental, and animal welfare requires mutual commitment and cooperation throughout the entire supply chain. To facilitate engagement, we have an established internal framework that allows us to leverage multiple direct touch points with our suppliers as we work together to achieve these goals by 2025.

Our Sustainability department, which reports directly to the company's President, plays the key role in supporting the day-to-day implementation of our animal welfare and sustainability policies. The department conducts a wide range of activities and oversees multiple responsibilities. Members of the department forge and manage partnerships with sustainability NGOs, provide updates and strategic plans to our senior

management and Board of Directors, integrate compliance with animal welfare and sustainability standards into supplier contracts in collaboration with our Purchasing department, and work with our Quality Assurance department to identify suppliers at risk of non-compliance for animal welfare, environmental, or social auditing and monitoring.

We are continuing to source products from suppliers who adhere to industry programs such as the National Dairy Program – Farmers Assuring Responsible Management® (FARM), Pork Quality Assurance Plus® (PQA+), Beef Quality Assurance® (BQA), National Chicken Council® (NCC), United Egg Producers® (UEP), Transport Quality Assurance® (TQA), North American Meat Institute® (NAMI), and others.

PARTNERING FOR PROGRESS

We have a number of key partnerships that continue to help us advance our sustainable sourcing and ensure we are staying up to date with the latest science and best practices, so that in turn, we can apply these learnings to our supply chain.



**Monterey Bay
Aquarium®**

Pork Quality Assurance®, National Chicken Council®, Transport Quality Assurance® and North American Meat Institute® are registered trademarks owned by the National Pork Producers Council, National Chicken Council, Incorporated, National Pork Board and North American Meat Institute non-profit corporation, respectively.

EVALUATION & ADHERENCE PROCESS





06 ENVIRONMENT

IN THIS SECTION

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- 41 Packaging
- 42 Climate

Environment

Beyond how we are working to build a more sustainable supply chain, we continue to focus on ways to reduce our environmental impact across our operations. We focus our efforts on energy, water, waste, packaging, and climate.

KEY HIGHLIGHTS

- Since 2015, we have reduced our restaurant portfolio GHG intensity per square foot by over 20% while creating an absolute GHG reduction of approximately 3%.
- Compared to prior year (2020) we were able to further improve our diversion rate by 8%, keeping nearly an additional 10,000 metric tons (mt) out of the landfill.

ENERGY

Our energy usage and procurement continue to be key areas of focus for us. We have maintained our sourcing of

renewable energy at 39% of our overall usage, while also reducing our energy usage per square foot by 8% since 2015. From the installation of solar thermal systems on our restaurant roofs and Leadership in Energy and Environmental Design (“LEED”) certifications, to changes in staff and equipment procedures, we are working to reduce and improve our energy usage.

WASTE

We continue to find ways to better manage and reduce waste across our operations, from efficient inventory management and food preparation techniques, to reducing food waste and packaging in our kitchens. At the end of 2021, more than 176 of our restaurants had a recycling program and an additional 61 were composting. In 2021, these efforts have allowed us to make strides with our diversion rate, improving to 25% and keeping almost 23,000 mt out of the landfill.

8% increase in our diversion rate since 2020

WATER

As an invaluable resource and integral ingredient to our business, we continue to look for opportunities to conserve and reduce water consumption. The biggest positive impact we can have on water conservation is in our supply chain with the producers and growers of our ingredients. Since we set our water reduction goals in 2016 and began collecting information from our suppliers on their water conservation practices, we have reduced our water consumption by 3%.

For additional details, please see chapter 5, on Sourcing. In our restaurants we look to make continual improvements in water efficiency through design, equipment, procedures, and tracking. As of the date of this report, about 16% of our restaurants, corporate offices, and bakeries are located in areas of high-water stress.

PACKAGING

Our efforts to redesign our to-go packaging before the pandemic, which helped us reduce the amount of material used, and use only polypropylene and 100% post-consumer recycled polyethylene, allowed us to mitigate our environmental impact when our to-go sales increased. These packaging improvements have also led to an improved guest experience by helping to better maintain the temperature and structural integrity of the dish.

RIGHT
CAESAR SALAD WITH LOUISIANA CHICKEN
AND GRILLED ONIONS TO GO





SCIENCE BASED TARGETS

DRIVING AMBITIOUS CORPORATE CLIMATE ACTION

CLIMATE

Addressing climate change is an important priority for us. In early 2022, we joined the Science Based Targets initiative (SBTi) and [established our intent](#) to pursue a net zero by 2050 GHG reduction strategy, in alignment with the 1.5° pathway called for by the Paris Agreement. This marks an important step in our efforts to combat climate change and will be a key feature of our efforts and communications over the coming years.

We continue to track and quantify our GHG footprint and are continuing to assess ways to improve our climate performance from enhanced GHG tracking and lower impact building practices to more climate friendly sourcing opportunities.

Working Towards Climate Adaptation

Climate change is and will continue to present our industry and the broader world with a multitude of challenges.

Along with our peers and other companies, we are working to determine how best to anticipate business risks resulting from climate change, so that we can proactively address potential challenges. Several steps we have taken to enhance our climate strategy and adaptation work include:

- Establishing Board oversight of ESG issues including climate change.
- For 2022, all corporate leadership and bonus eligible staff, including executives, will have a portion of their bonus compensation tied to our sustainable sourcing policy and climate commitments.
- A commitment to developing a SBTi near-term and net zero target.
- Achieving over a 20% reduction in restaurant portfolio GHG emission intensity per square foot since 2015.
- 57% of our key commodity suppliers have established their own climate strategy.

LEFT
VEGGIE BURGER

Our GHG inventory

SCOPE 1

Our scope 1 emissions include stationary combustion for our restaurants, corporate offices, and bakeries; as well as mobile combustion from our fleet of vehicles provided to our restaurant General Managers, Field Staff, and Corporate Vice-President and above.

SCOPE 2

Our scope 2 emissions include indirect emissions from purchased electricity, steam and heat used at our North American restaurants, two bakery facilities, and Corporate Support Center office buildings.

SCOPE 3

Our scope 3 emissions include business travel (both air and vehicle), as well as emissions from landfilled, recycled, and composted waste. Consistent with our commitment to setting a SBTi target, we are further working to quantify scope 3 emissions from our value chain, including purchases of our key food ingredients, packaging, and supplies.



Josefina Bussola

From: Morrison, Karen <KMorrison@republicservices.com>
Sent: Monday, June 20, 2022 4:05 PM
To: Josefina Bussola
Subject: RE: 4401 Lyons Rd. - Request for New Dumpster

Hello Josefina. You can proceed as planned. There is adequate room to fit another compactor and for the truck to access without issue.

Thank you,
-Karen

Karen Morrison

Territory Executive

Commercial and Industrial Sales and Retention

Is compacting for you? [Compactor Rental Solutions](#)

Who are we? <https://www.youtube.com/channel/UCfpPxmX8j04YOCNtE0njz0w>

751 NW 31st Avenue

e kmorrison@republicservices.com

o (954) 327-9540 c (954) 205-0720

f (954) 327-9521 w www.republicservices.com



We'll handle it from here.™



We appreciate customer feedback. Please leave us a [Google review here](#)

From: Josefina Bussola <jbussola@dorskyyue.com>
Sent: Friday, June 17, 2022 1:42 PM
To: Morrison, Karen <KMorrison@republicservices.com>
Subject: 4401 Lyons Rd. - Request for New Dumpster

This Message Is From an External Sender

This message came from outside your organization.

Karen,

Per our conversation, please see the attached proposed plan for the new dumpster. The existing enclosure will be enlarged to fit the new dumpster next to the existing compactor.

Let me know if you have any questions or concerns.

Thank you in advance,

Josefina Bussola

DORSKY+YUE INTERNATIONAL LLC
ARCHITECTURE

101 NE 3rd Avenue, Suite 500
Fort Lauderdale, Florida 33301

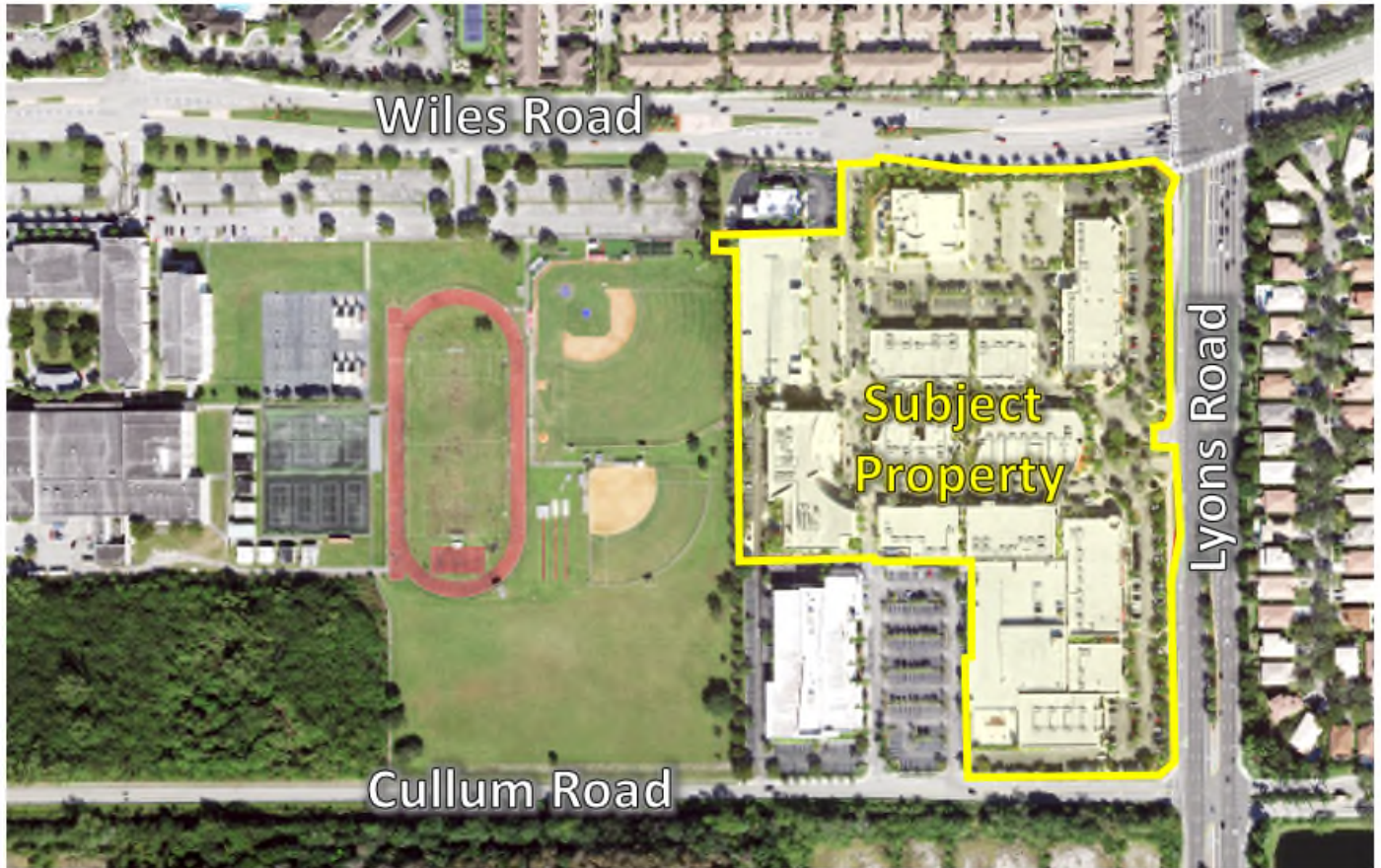
T 954-703-7830

jbussola@dorskyyue.com

www.dorskyyue.com

Community Meeting Invitation

We are inviting you to attend a community meeting to discuss applications submitted to the City of Coconut Creek. This meeting is being held to discuss the development proposed for the property at 4413 Lyons Road identified in the location map below. All interested parties are encouraged to participate in this community meeting. Representatives of the applicant and the project team will be available during the meeting to present the proposed plan and address questions.



COMMUNITY MEETING DETAILS

Meeting Date & Time: **July 7, 2022, 8:00 – 9:00 PM**

Meeting Location: **1100 Lyons Road, Coconut Creek, FL 33063 in the South Community Center Auditorium.**

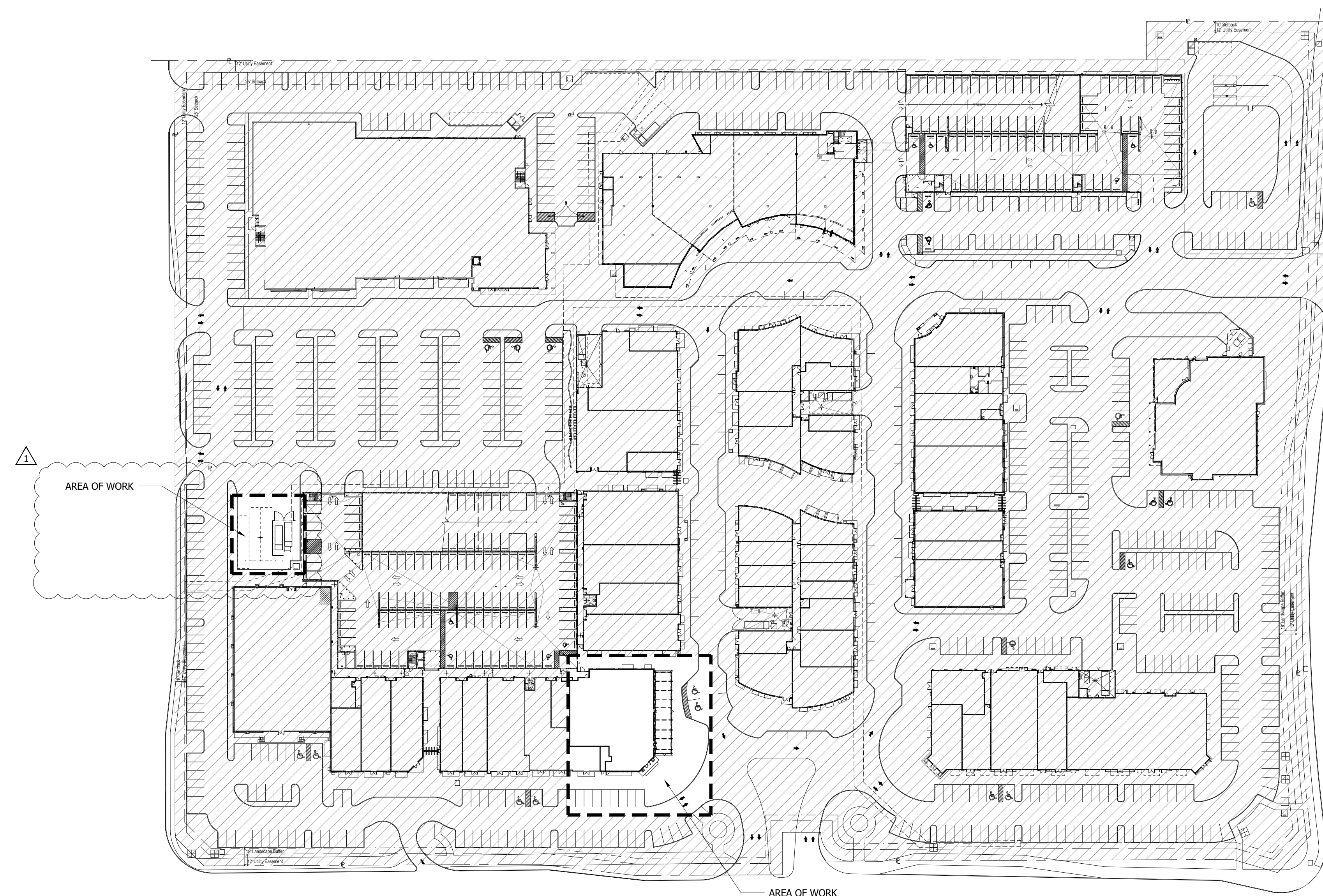
If you have specific questions regarding the proposed development that you would like answered during the community meeting, we request that you send them to Shane Zalonis via e-mail to Shane.Zalonis@gmlaw.com in advance of the meeting.

PROMENADE AT COCONUT CREEK

SITE PLAN IMPROVEMENTS - TENANT 50-B7

COCONUT CREEK, FL.

06/20/2022



OWNER: MCA Promenade Owner, LLC.
2201 South Boulevard, Suite 400
Charlotte, NC 28203
Telephone: (704) 551-2202

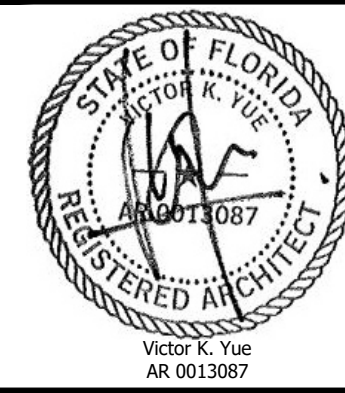
ARCHITECT: Dorsky Yue International, LLC
101 N.E. 3rd Avenue, Suite 500
Fort Lauderdale, FL 33301
Telephone: (954) 703-7830

LANDSCAPE: Architectural Alliance
612 S.W. 4th Avenue
Fort Lauderdale, FL 33315
Telephone: (954) 764-8858

DORSKY+YUE INTERNATIONAL LLC
ARCHITECTURE

CLEVELAND
P: 216.468.1850
F: 216.464.3610

FORT LAUDERDALE
P: 954.703.7830
F: 954.524.8604



AA26002045

Issue: _____ Date: _____

SITE PLAN 05-02-20

COMMENTS RESPONSE 06-20-20

DORSKY+YUE INTERNATIONAL^{CO}

CLEVELAND
P: 216.468.1850
F: 216.464.3610

CLEVELAND
P: 216.468.1850
F: 216.464.3610

PROMENADE AT COCONUT CREEK

SITE PLAN IMPROVEMENTS

COCONUT CREEK, FLORIDA

ALL RIGHTS RESERVED

DRAWING INDEX

Job No.: Y201627

Checked:

Date: 6/20/2022

A001

DRAWING INDEX

SITE PLAN APPROVAL: 05-02-2022

SITE PLAN APPROVAL: 05-02-2022
DRC COMMENTS RESPONSE: 06-20

CS COVER SHEET

A001 DRAWING INDEX

LANDSCAPE

L100	HARDSCAPE PLAN AND DETAILS
L200	TREE DISPOSITION PLAN
L210	LANDSCAPE PLAN
L211	LANDSCAPE NOTES AND DETAILS
L300	IRRIGATION PLAN
L310	IRRIGATION NOTES AND DETAILS

ARCHITECTURAL

A100	SITE PLAN
A100.1	UTILITY PLAN
LS01	LIFE SAFETY PLAN
A101	ENLARGED EXISTING FLOOR PLAN
A102	ENLARGED PROPOSED FLOOR PLAN
A103	ENLARGED DUMPSTER ENCLOSURE PLAN
A104	VALET OPERATIONS KEY PLAN

A105 VALET OPERATIONS PLAN

A210 ENLARGED ROOF PLAN

A300 EXTERIOR ELEVATIONS

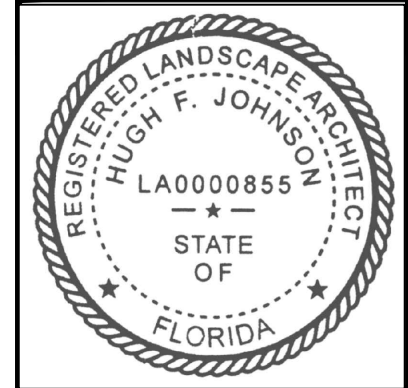
A301 COLORED EXTERIOR ELEVATIONS

PH100 PHOTOMETRIC PLAN

SIGNAGE

AS100 SIGNAGE DRAWINGS

AS101 SIGNAGE DRAWINGS



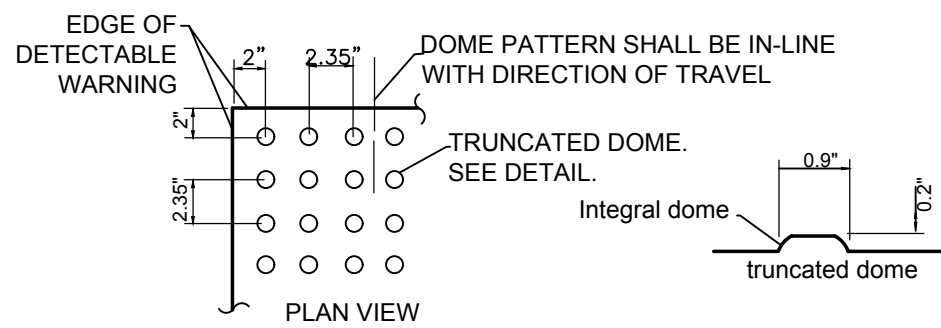
AA26002045
Issue: Date:
SITE PLAN 05-02-2022

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ARCHITECTURE
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P. 954.524.8800
F. 954.524.8804
CLEVELAND
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PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS
COCONUT CREEK, FLORIDA
ALL RIGHTS RESERVED

HARDSCAPE PLAN AND DETAILS
Job No.: DY201627
Date: 4/19/2022
Checked:
Drawn:

L-100
NEW SHEET



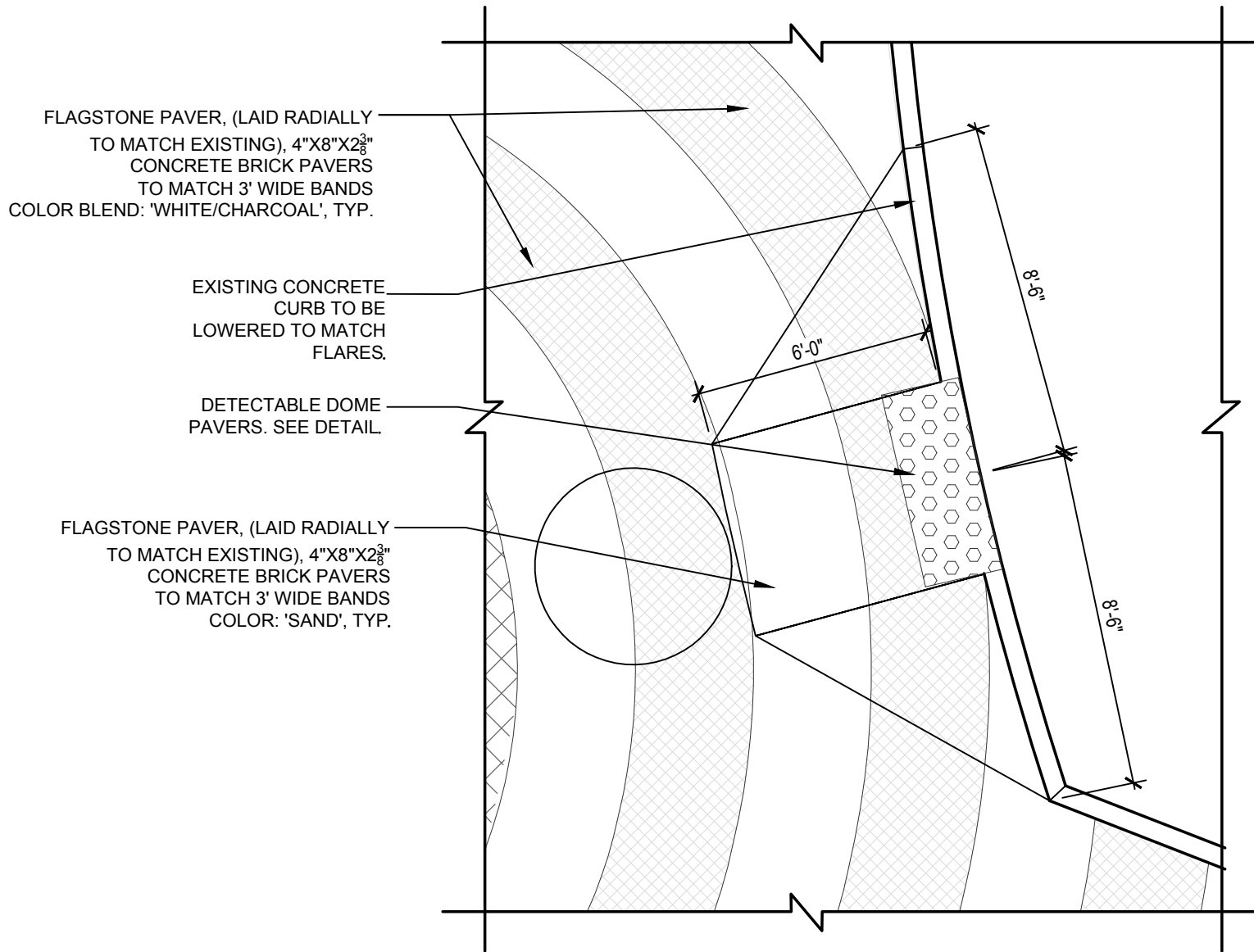
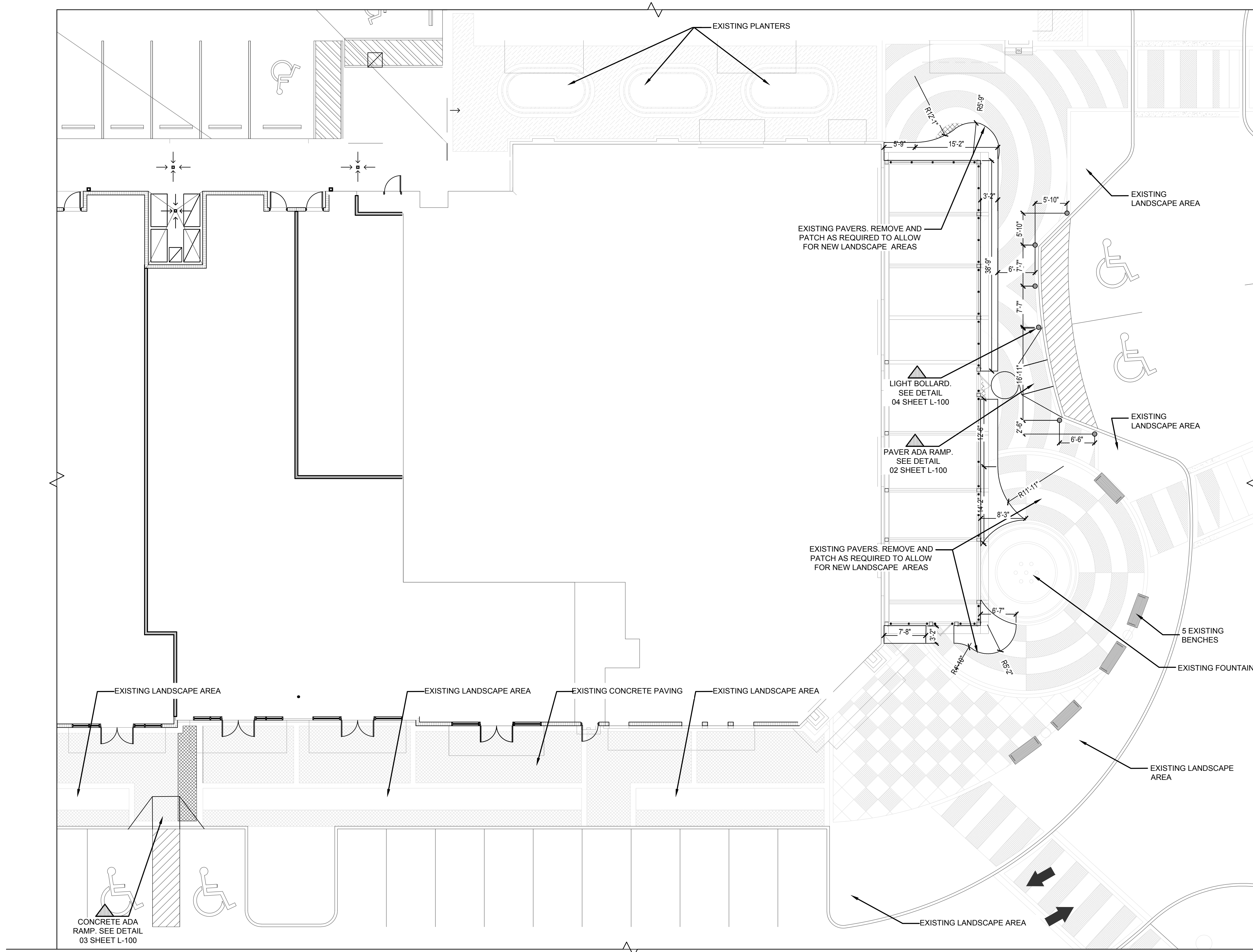
ALL SIDEWALK CURB RAMPS / STEPS LEADING TO VEHICULAR CIRCULATION SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP/STEPS AND IN DIRECTION OF TRAVEL 24 INCHES

- GENERAL NOTES:
1. IF A RAMP IS CONSTRUCTED WHERE PEDESTRIANS MUST WALK, THEN IT SHALL HAVE FLARED SIDES, MAX. SLOPE OF FLARE TO BE 1:12.
 2. RAMPS SHALL HAVE A TACTILE SURFACE, TEXTURED TO A DEPTH NOT EXCEEDING $\frac{1}{8}$ ".
 3. RAMPS CONSTRUCTED SHALL HAVE 6" MIN. PEDESTRIAN CROSSWALK OVER DRIVEWAYS.

* TRUNCATED DOME DETECTABLE WARNING SURFACE TO BE OF 4"x8"x2" STANDARD CONCRETE PAVERS SET IN RUNNING BOND PATTERN. COLOR: TO MATCH EXISTING ON SITE.

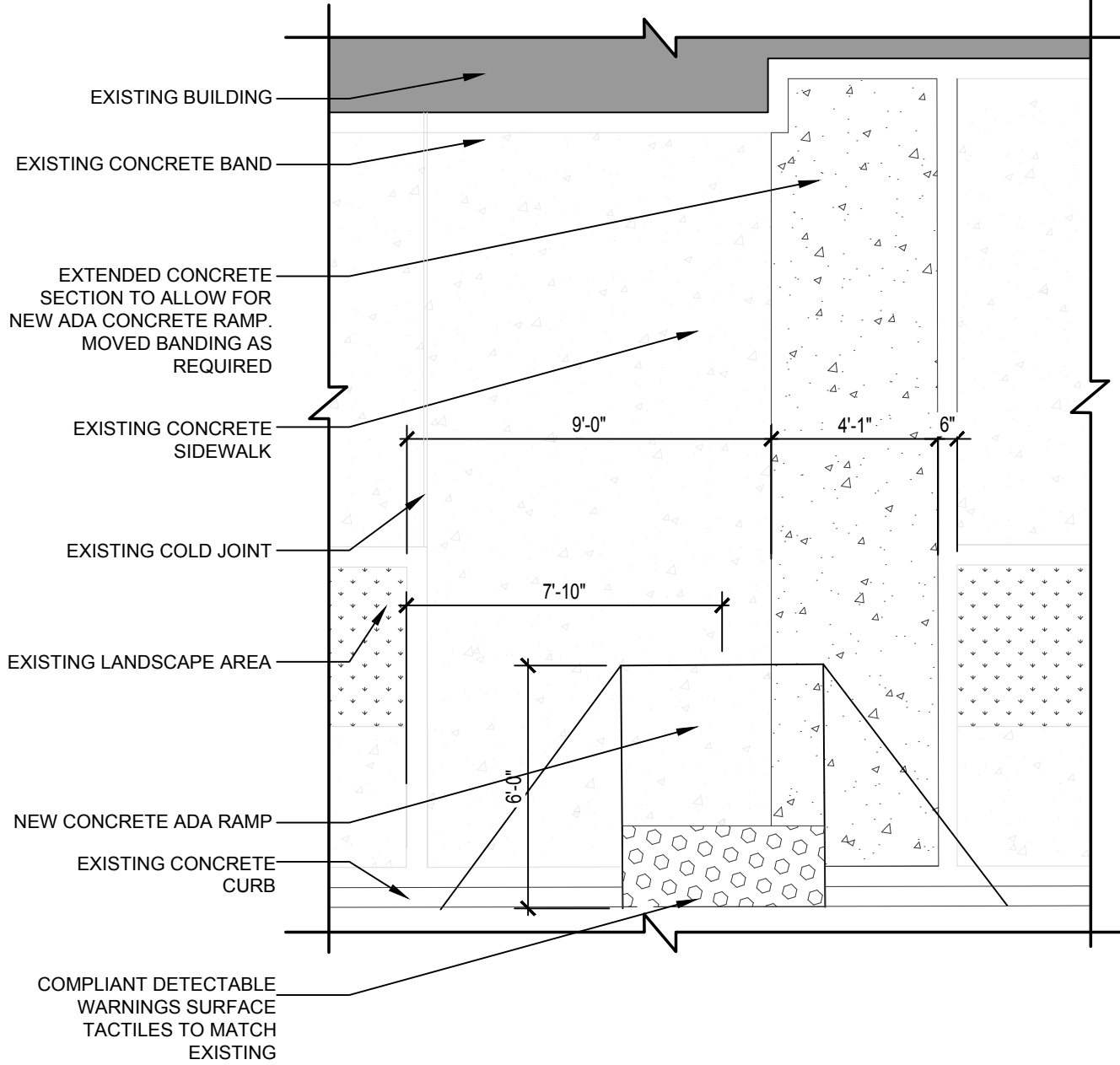
01 - PAVER ADA RAMP DETAIL

SCALE: 3/4" = 1'-0"



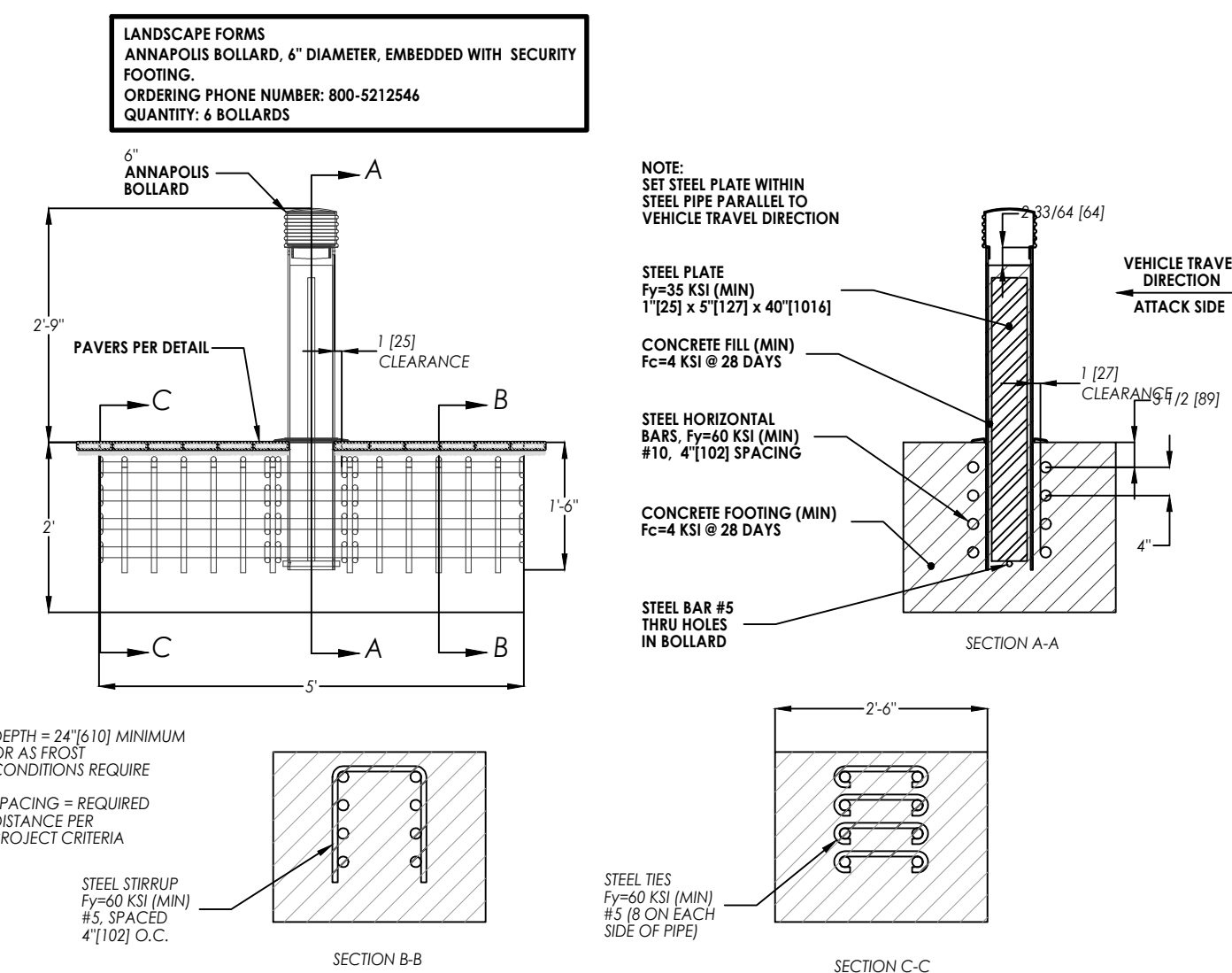
02 - PAVER ADA RAMP DETAIL

SCALE: 3/4" = 1'-0"



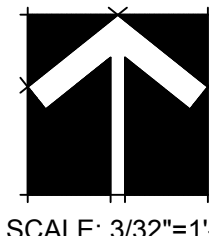
03 - CONCRETE ADA RAMP ENLARGEMENT

SCALE: 3/4" = 1'-0"



04 - LIGHT BOLLARD DETAIL

SCALE: 1/2" = 1'-0"



PROMENADE AT COCONUT CREEK							
6/14/2022							
Tree Survey							
#	Scientific Name	Common Name	DBH (in.)	Height (ft.)	Spread	Condition	Disposition
1	<i>Veitchia Montomeriana</i>	Montgomery Palm	10 Double	22	6	60%	Existing to remain
2	<i>Veitchia Montomeriana</i>	Montgomery Palm	12 Triple	22	7	60%	Existing to remain
3	<i>Veitchia Montomeriana</i>	Montgomery Palm	12 Triple	22	7	60%	Existing to remain
4	<i>Veitchia Montomeriana</i>	Montgomery Palm	10 Double	22	6	60%	Existing to remain
5	<i>Veitchia Montomeriana</i>	Montgomery Palm	12 Triple	22	7	60%	Existing to remain
6	<i>Veitchia Montomeriana</i>	Montgomery Palm	12 Triple	22	7	60%	Existing to remain
7	<i>Coccoloba diversifolia</i>	Pigeon Plum	6	14	12	65%	Existing to remain
8	<i>Conocarpus erectus sericeus</i>	Silver Buttonwood	6	18	10	65%	Existing to relocate
9	<i>Conocarpus erectus sericeus</i>	Silver Buttonwood	6	18	10	65%	Existing to relocate
10	<i>Roystonea elata</i>	Florida Royal Palm	16	30	16	70%	Existing to remain
11	<i>Roystonea elata</i>	Florida Royal Palm	16	30	16	70%	Existing to remain
12	<i>Roystonea elata</i>	Florida Royal Palm	16	30	16	70%	Existing to remain
13	<i>Roystonea elata</i>	Florida Royal Palm	16	30	16	70%	Existing to remain
14	<i>Roystonea elata</i>	Florida Royal Palm	16	30	16	70%	Existing to remain
15	<i>Roystonea elata</i>	Florida Royal Palm	16	30	16	70%	Existing to remain
16	<i>Lagerstroemia indica</i>	Crape myrtle	6	16	10	70%	Existing to remain
17	<i>Lagerstroemia indica</i>	Crape myrtle	6	16	10	70%	Existing to remain
18	<i>Lagerstroemia indica</i>	Crape myrtle	6	16	10	70%	Existing to remain
19	<i>Lagerstroemia indica</i>	Crape myrtle	6	16	10	70%	Existing to remain
20	<i>Lagerstroemia indica</i>	Crape myrtle	6	16	10	70%	Existing to remain
21	<i>Lagerstroemia indica</i>	Crape myrtle	6	16	10	70%	Existing to remain
22	<i>Lagerstroemia indica</i>	Crape myrtle	6	16	10	70%	Existing to relocate
23	<i>Roystonea elata</i>	Florida Royal Palm	16	30	16	70%	Existing to remain

Heights for the palms are indicated as Clear Trunk Heights not overall heights.

LEGEND

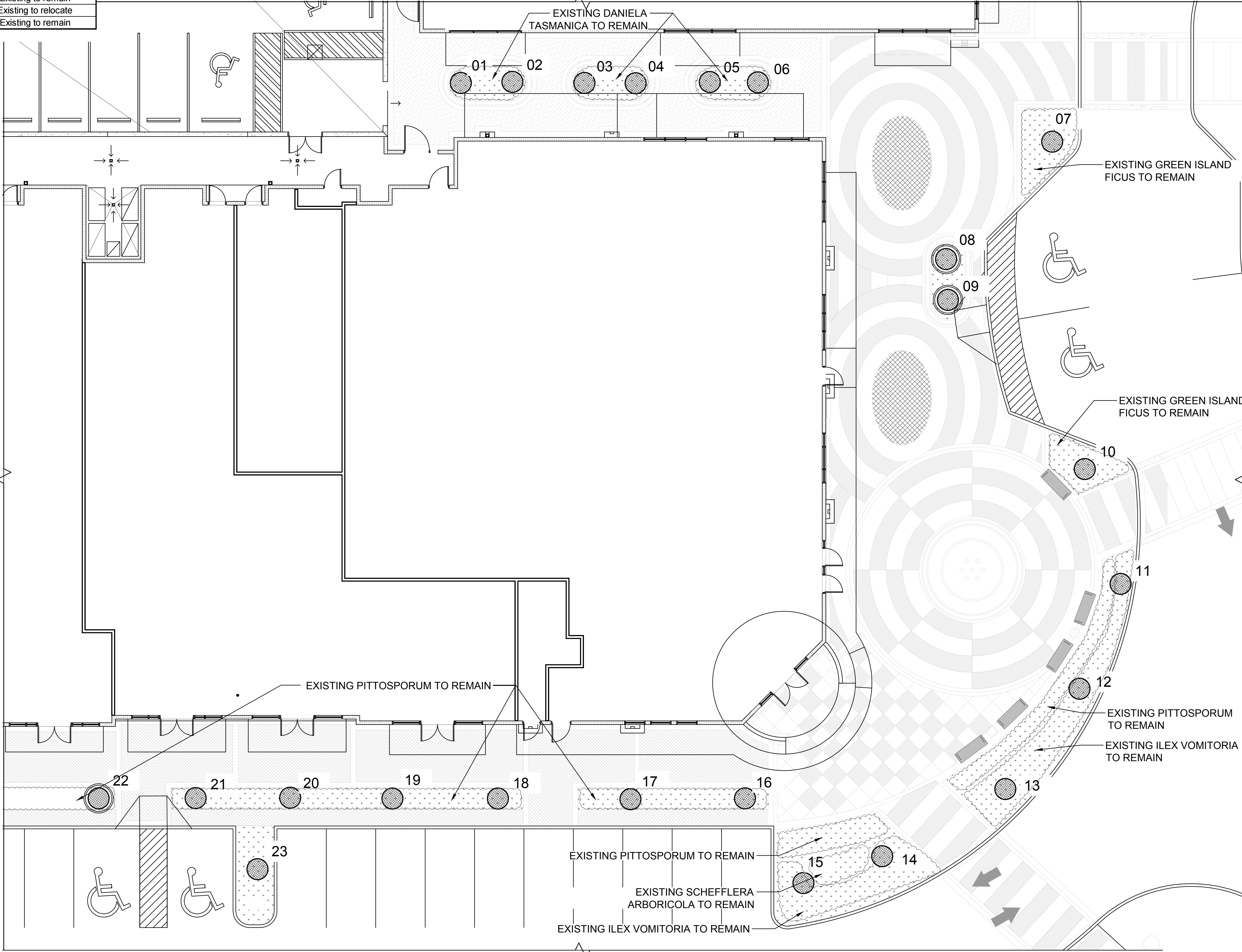
EXISTING TREE TO REMAIN

EXISTING TREE TO BE RELOCATED

EXISTING TREE TO BE REMOVED

KEY PLAN

SCALE: N.T.S.



AA26002045

Issue: Date:

SITE PLAN 05-02-2022

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INTERNATIONAL

ARCHITECTURE

FORT LAUDERDALE

1000 N. UNIVERSITY BLVD.

FL 33305

F: 954.524.8894

CLEVELAND

1000 N. UNIVERSITY BLVD.

FL 33305

F: 216.464.3510

PROMENADE AT COCONUT CREEK

SITE PLAN IMPROVEMENTS

COCONUT CREEK, FLORIDA

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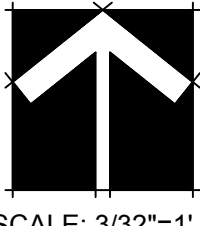
TREE DISPOSITION PLAN

Job No.: DY201627

Drawn: Checked: Date: 4/19/2022

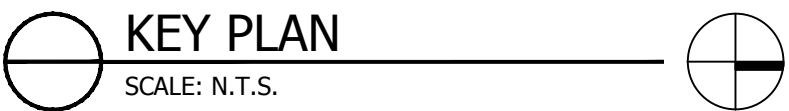
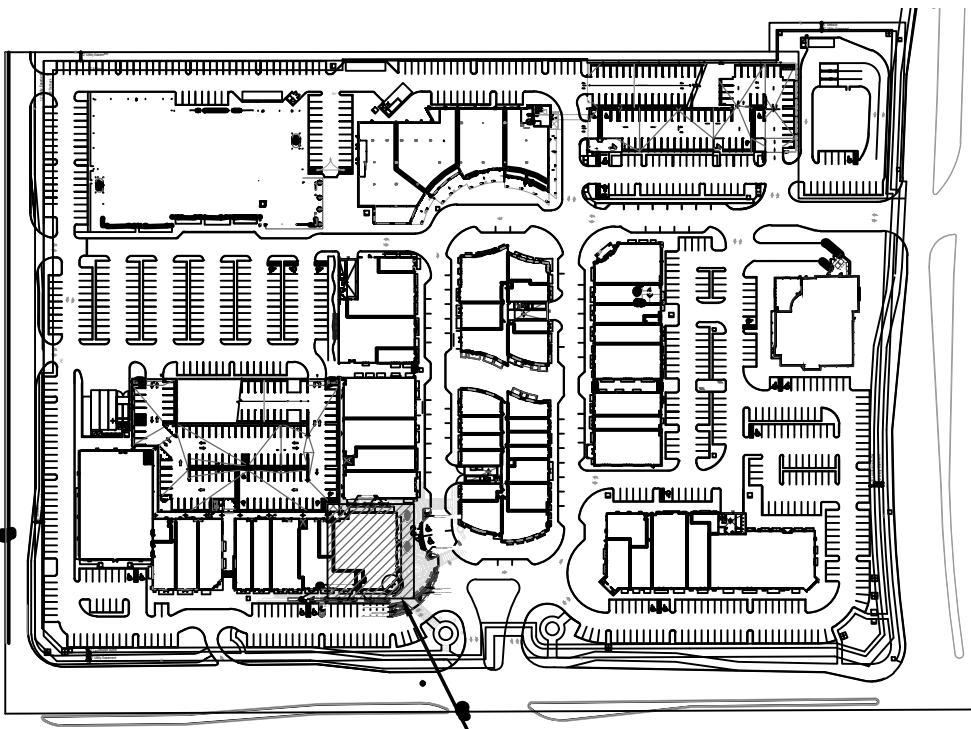
L-200

NEW SHEET



PLANT SCHEDULE									
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE	DROUGHT		REMARKS
ED	3	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY TREE	30 GAL	8" OA, FULL TO BASE	NO	HIGH		
EXISTING PALMS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE	DROUGHT		REMARKS
RE	7	ROYSTONEA ELATA	FLORIDA ROYAL PALM	EXISTING		YES	HIGH		
VME	6	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	EXISTING		NO	HIGH		
EXISTING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE	DROUGHT		REMARKS
CDE	1	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	EXISTING		YES	HIGH		
LIE	6	LAGERSTROEMIA INDICA	CRAPE MYRTLE	EXISTING		NO	HIGH		
RELOCATED TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE	DROUGHT		REMARKS
CSR	2	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTONWOOD	RELOCATED		YES	HIGH		
LIR	1	LAGERSTROEMIA INDICA	CRAPE MYRTLE	RELOCATED		NO	HIGH		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE	DROUGHT		REMARKS
ABE	4	AECHMEA MALVA	GIANT PURPLE VASE BROMELIAD	EXISTING		NO	MEDIUM		
ADF	45	ASPARAGUS DENSIFLORUS 'MYERS'	MYERS ASPARAGUS	3 GAL	18"X18"	NO	HIGH		
CRS	12	CORDYLINE FRUTICOSA 'RED SISTER'	RED SISTER TI	-	24"H X18" SPREAD	NO	MEDIUM		
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE	DROUGHT	SPACING	REMARKS
DT	16	DIANELLA TASMANICA	FLAX LILY	-	14" HT X 14" SPR	NO	HIGH	16" o.c.	
FMG	48	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL.,	14" HT X 16" SPR	NO	HIGH	18" o.c.	
IVD	44	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPOH HOLLY	3 GAL.,	14" HT X 16" SPR	YES	HIGH	20" o.c.	
SGG	26	SCHEFFLERA ARBORICOLA 'GOLD CAPELLA'	GOLD CAPELLA ARBORICOLA	-	24"HT X 24"SPR	NO	HIGH	18" o.c.	

CITY OF COCONUT CREEK PLANTING CALCULATIONS		
Landscape Requirements (Proposed landscape material only)		
Native Calculations (50% Minimum Native Plant Material)	Provided	Percent
Total Trees	22 (19 Exist)	
Total Native Trees	10 Existing	45%
% Native Trees (10 / 19 = .45)		
Total Shrubs + Groundcover	216	
Total Native Shrubs + Groundcover	44	
% Native Shrubs + Groundcover (44 / 193 = .23)		23%
Diversity Calculations (25% Maximum Use of One Species)	Provided	Percent
Elaeocarpus Decipiens	3	1.3%
Roystonea Elata	7	3.2%
Veitchia Montgomeryana	6	2.7%
Coccoloba Diversifolia	1	0.5%
Lagerstroemia Indica	7	3.0%
Conocarpus Erectus Sericeus	2	1.0%
Aechmea malva	4	2.0%
Asparagus Densiflorus	45	21%
Cordyline Fructicosa	12	5.5%
Daniella Tasmanica	15	7.0%
Ficus Microcarpa	48	21%
Ilex vomitoria 'Stokes Dwarf'	44	20%
Schefflera Arboricola 'Gold Capella'	26	12%
Total	220	100%



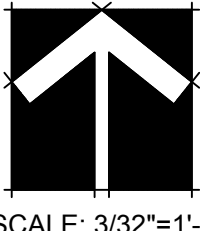
AA26002045
Issue: Date:
SITE PLAN 05-02-2022

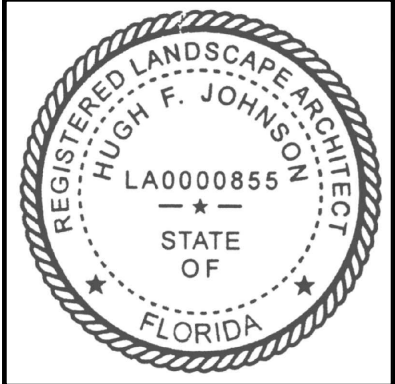
DORSKY + YUE INTERNATIONAL
ARCHITECTURE
FORT LAUDERDALE
1500 N. W. 10TH AVE.
F: 954.524.8894
CLEVELAND
P: 216.464.3500
F: 216.464.3510

PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS
COCONUT CREEK, FLORIDA
ALL RIGHTS RESERVED

LANDSCAPE PLAN
Job No.: DY201627
Date: 4/19/2022
Checked:
Drawn:
NEW SHEET

L-210
NEW SHEET





AA26002045	Issue:	Date:
SITE PLAN		05-02-2022

NOTES: GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material (except SOD) as included herein shall be warranted by the landscape contractor for a minimum period of 12 months,

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications. Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

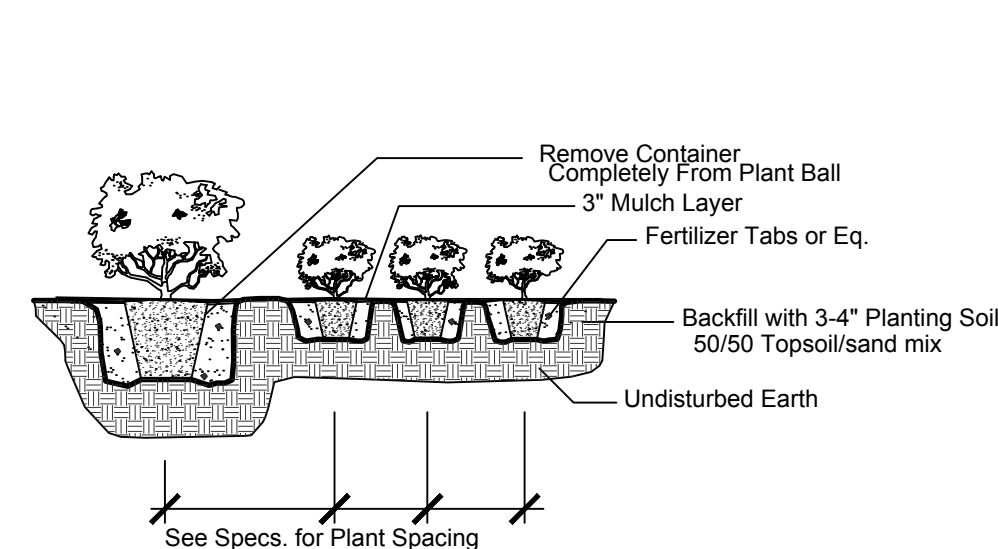
All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Architectural Alliance Landscape. The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

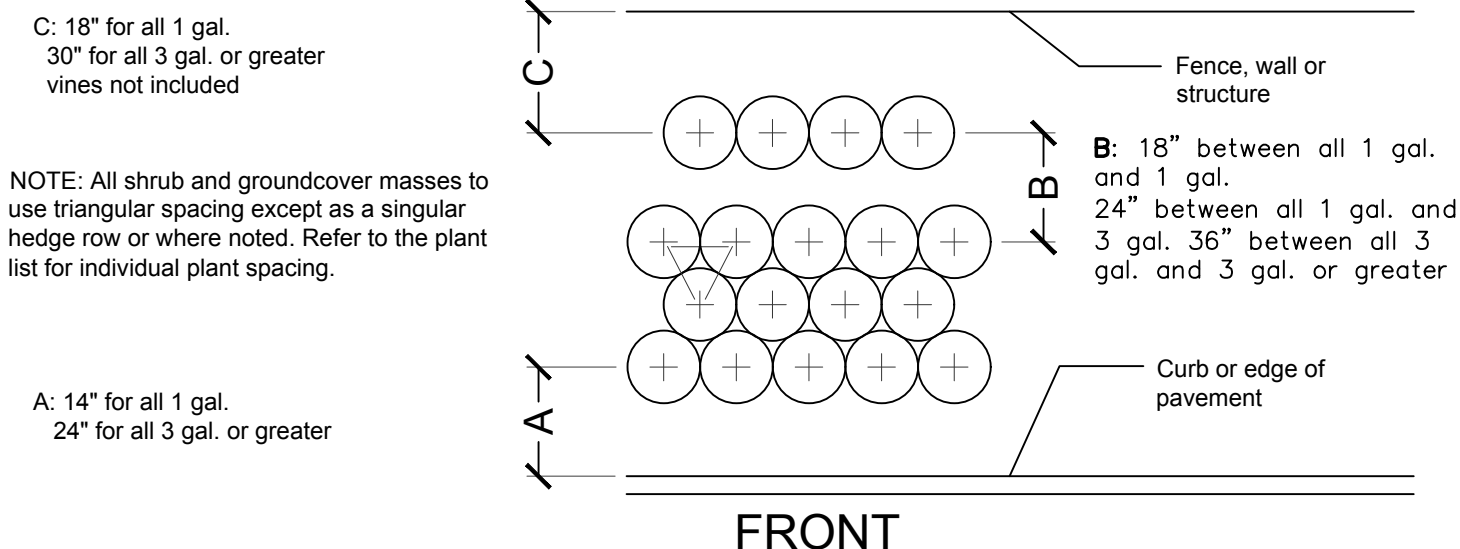
All sod areas as indicated on the planting plan shall receive Stenotaphrum Zoysia, Southern Drought tolerant Zoysia solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

Root barrier shall be installed around storm structure at the SW landscape island.



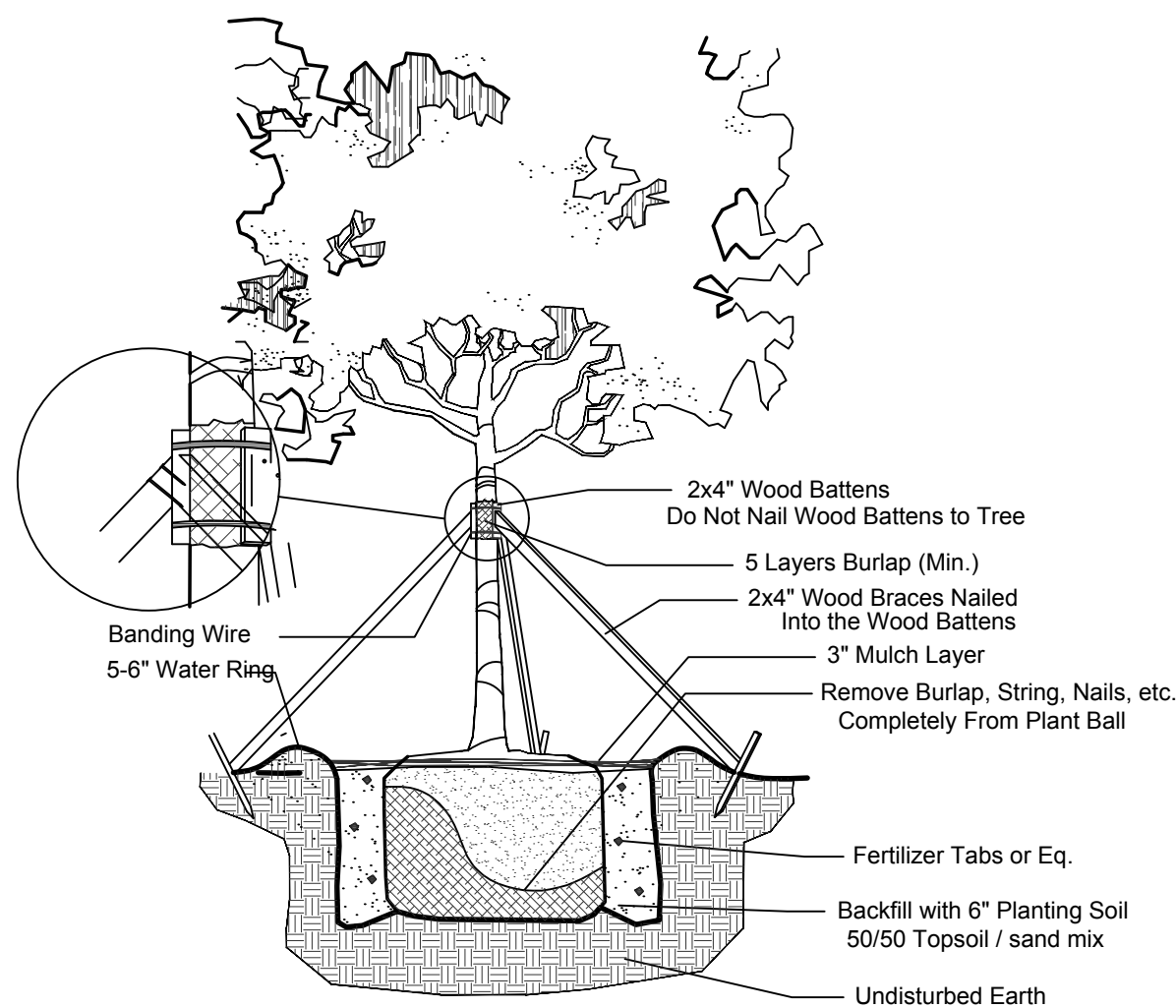
Shrub & Ground Cover Planting Detail

NTS



Typical Plant Spacing

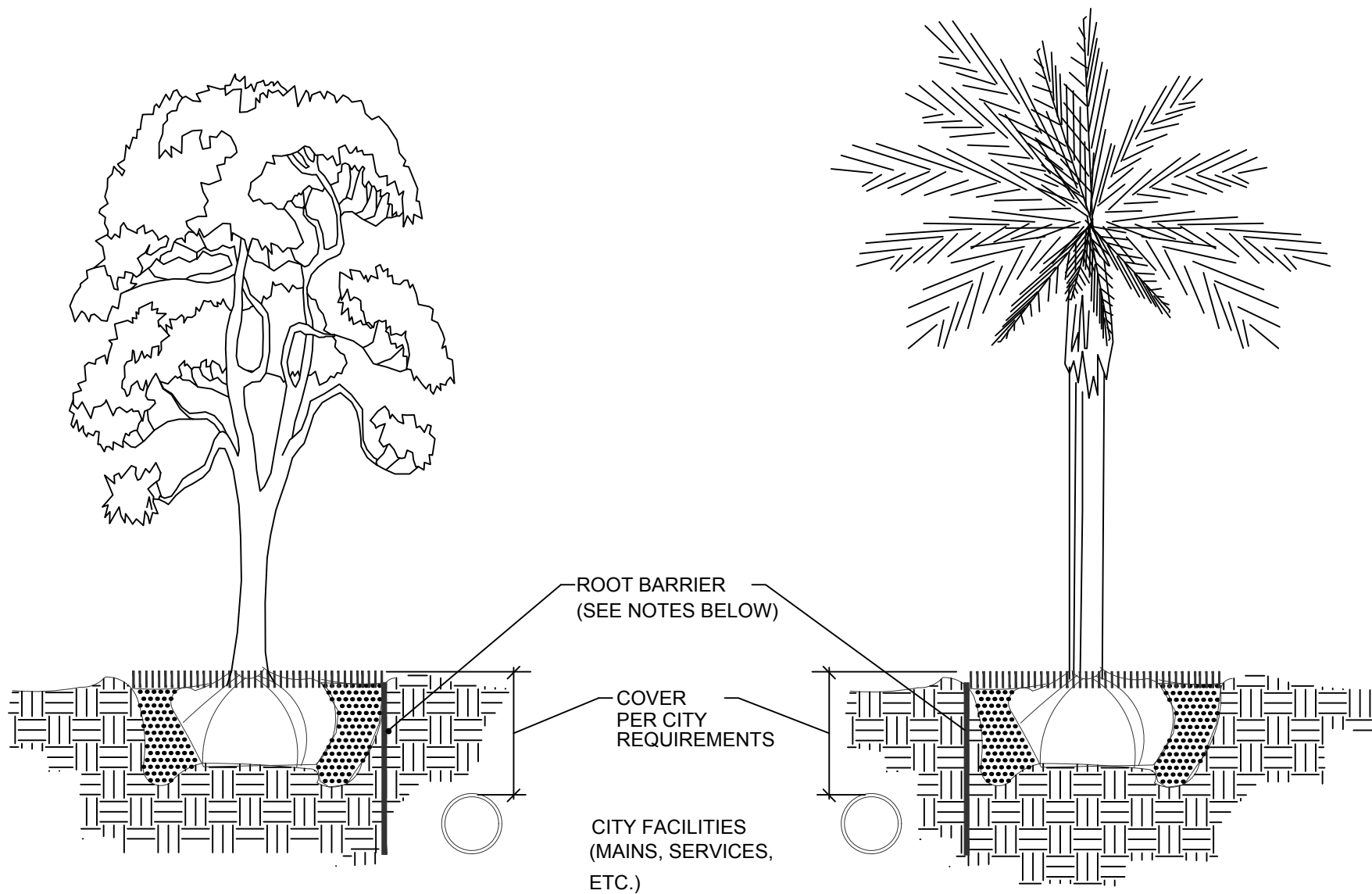
NTS



Large Tree Planting Detail

NTS

NOTE:
PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH MINIMUM CLEARANCE WITH UTILITIES.
MINIMUM CLEARANCE OF 5' FT FOR PALMS AND SMALL TREES AND 10' FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS. SEE TYPICAL DETAIL BELOW.

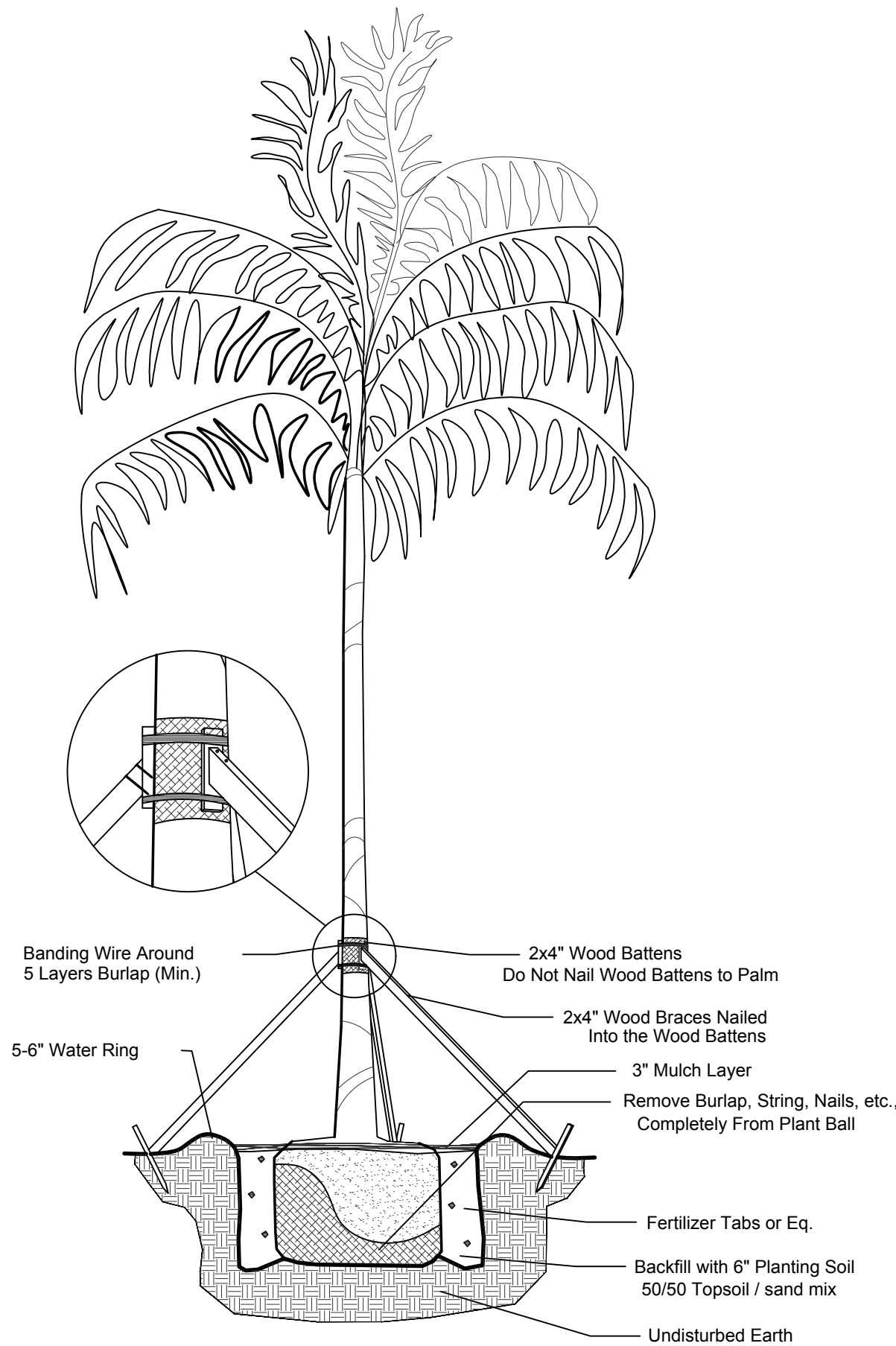


NOTES:

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

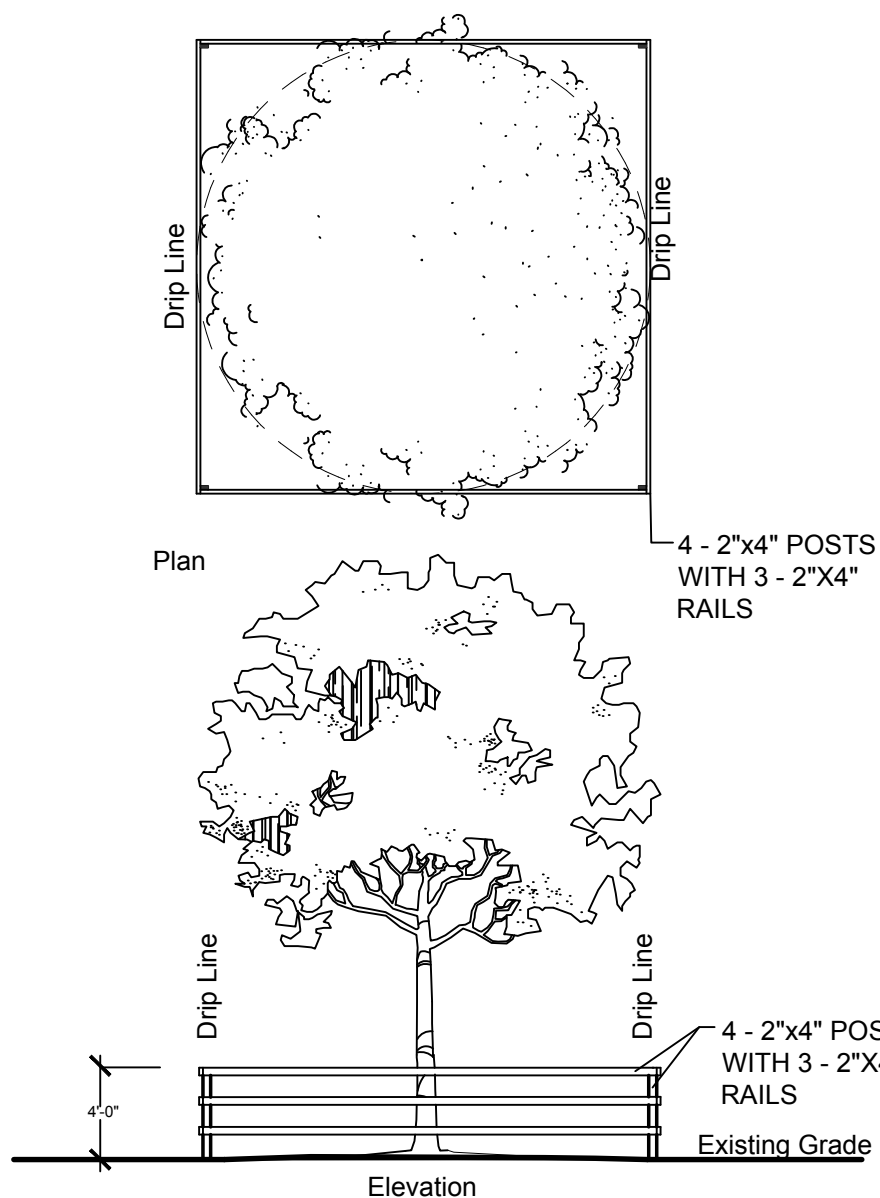
Typical Root Barrier Detail

NTS



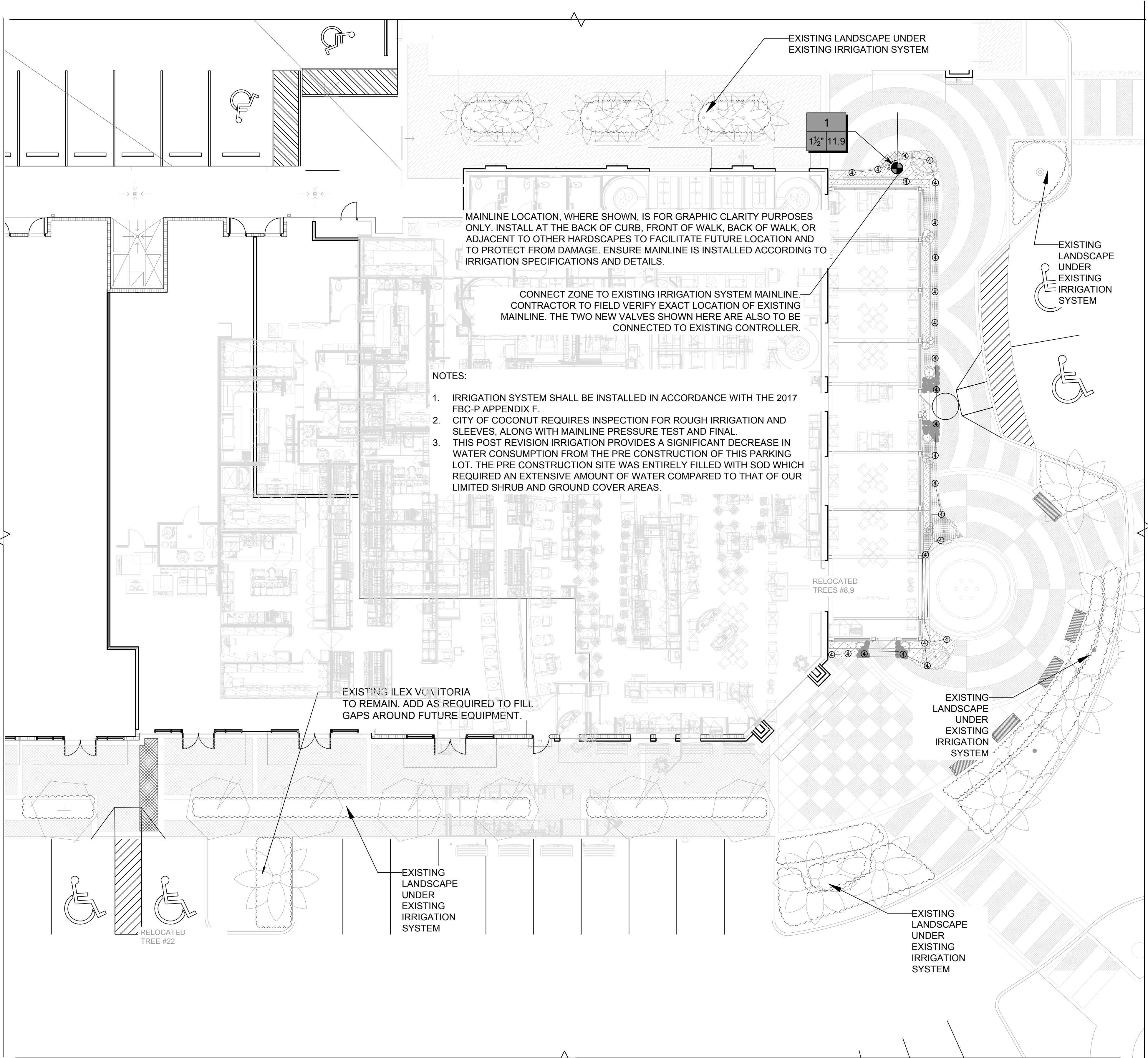
Palm Planting Detail

NTS



Existing Tree(s) Protection Detail

NTS



MAINLINE LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO IRRIGATION SPECIFICATIONS AND DETAILS.

CONNECT ZONE TO EXISTING IRRIGATION SYSTEM MAINLINE. CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF EXISTING MAINLINE. THE TWO NEW VALVES SHOWN HERE ARE ALSO TO BE CONNECTED TO EXISTING CONTROLLER.

NOTES:

1. IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE 2017 FBC-P APPENDIX F.
2. CITY OF COCONUT REQUIRES INSPECTION FOR ROUGH IRRIGATION AND SLEEVES, ALONG WITH MAINLINE PRESSURE TEST AND FINAL.
3. THIS POST REVISION IRRIGATION PROVIDES A SIGNIFICANT DECREASE IN WATER CONSUMPTION FROM THE PRE CONSTRUCTION OF THIS PARKING LOT. THE PRE CONSTRUCTION SITE WAS ENTIRELY FILLED WITH SOD WHICH REQUIRED AN EXTENSIVE AMOUNT OF WATER COMPARED TO THAT OF OUR LIMITED SHRUB AND GROUND COVER AREAS.

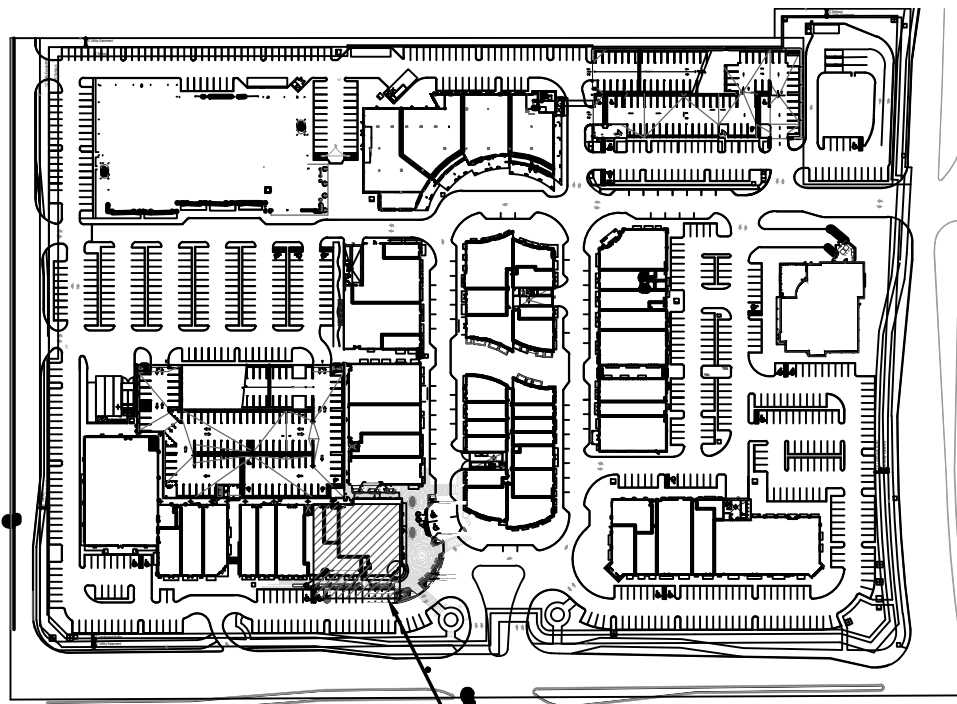
EXISTING ILEX VOMITORIA TO REMAIN. ADD AS REQUIRED TO FILL GAPS AROUND FUTURE EQUIPMENT.

EXISTING LANDSCAPE UNDER EXISTING IRRIGATION SYSTEM

EXISTING LANDSCAPE UNDER EXISTING IRRIGATION SYSTEM

RELOCATED TREES #8,9

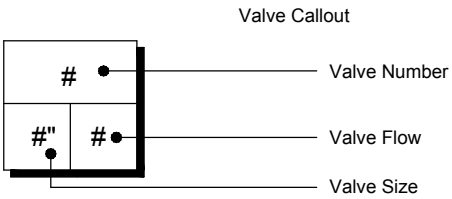
RELOCATED TREE #22



KEY PLAN
SCALE: N.T.S.

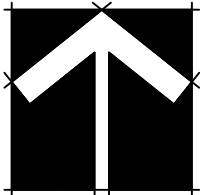
IRRIGATION SCHEDULE IRRIGATION

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1800-PA-8S-PRS ADJ SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.	25	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	144.3 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	10.5 L.F.	
	PIPE SLEEVE: CPVC SCHEDULE 40	17.3 L.F.	



SLEEVING SCHEDULE

PIPE SIZE	SLEEVING PIPE SIZE
3/4"	2"
1"	2"
1-1/4"	3"
1-1/2"	3"
2"	4"
3"	6"
4"	8"
6"	12"
8"	16"



SCALE: 3/32"=1'-0"



AA26002045

Issue: Date:
SITE PLAN 05-02-2022

DORSKY+YUE INTERNATIONAL
ARCHITECTURE

FORT LAUDERDALE
CLEVELAND
P: 954-524-8850
F: 954-524-8894
F: 216-464-3510

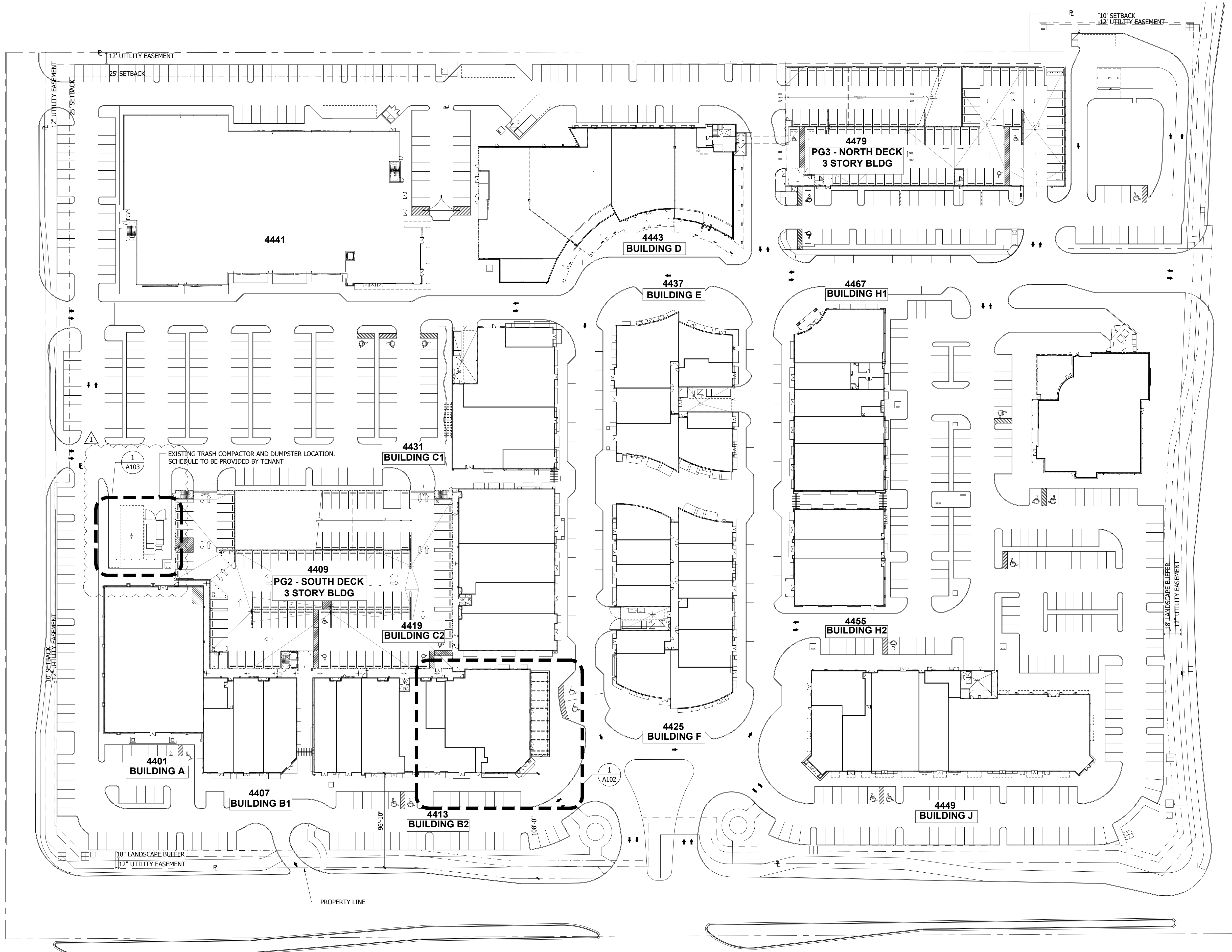
PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

IRRIGATION PLAN

Job No.: DY201627
Drawn: Checked: Date: 4/19/2022

COCONUT CREEK, FLORIDA
ALL RIGHTS RESERVED

L-300
NEW SHEET



1 SITE PLAN
A100 SCALE: 1"=50'-0"

TOTAL GLA INCLUDING FUTURE BLDG G + OUTDOOR AREAS	332,849 SF
---	------------

PARKING REQUIRED	
PER MAINSTREET DESIGN STANDARDS	
3 SPACES PER 1000	
COMMERCIAL PARKING REQUIRED (FOR EXISTING AND PROPOSED BUILDING AREA): 999 SPACES	
EXISTING	
PG-2	342 SPACES
PG-3	276 SPACES
SURFACE:	798 SPACES
COMMERCIAL PARKING PROVIDED (FOR EXISTING AND PROPOSED BUILDING AREA): 1,416 SPACES	

OPEN SPACE				
OPEN SPACE (ALL PVIOUS AREA)	EXISTING AREA (SF)	EXISTING PERCENTAGE	PROPOSED AREA (SF)	PROPOSED PERCENTAGE
TOTAL PROPERTY AREA	1,001,053.00	100.00%	1,001,053.00	100.00%
TOTAL REQUIRED	160,168.48	16.00%	160,168.00	16.00%
TOTAL PROVIDED (SEE BELOW)	231,870.00	23.16%	219,852.00	22.00%
PERIMETER GREENWAY	57,395.00	5.70%	57,395.00	5.70%
LANDSCAPE BUFFERS	22,396.00	2.20%	24,873.00	2.50%
OTHER PVIOUS AREAS	152,079.00	15.19%	137,584.00	13.70%
OPEN SPACE (HARDSCAPE / NON PVIOUS)	EXISTING AREA (SF)	EXISTING PERCENTAGE	PROPOSED AREA (SF)	PROPOSED PERCENTAGE
TOTAL PROPERTY AREA	1,001,053.00	100.00%	1,001,053.00	100.00%
TOTAL REQUIRED	200,211.00	20.00%	220,211.00	20.00%
TOTAL PROVIDED (SEE BELOW)	252,549.00	25.20%	252,277.00	25.20%
PERIMETER GREENWAY	14,713.00	1.50%	14,713.00	1.00%
PLAZAS	141,287.00	14.10%	141,287.00	14.00%
PEDESTRIAN ACCESS	96,549.00	9.64%	96,277.00	9.62%

PARKING PARCEL VERTICAL GREEN PANELS	1,150.00 SF
--------------------------------------	-------------

NOTE:
OPEN SPACE DATA HAS BEEN MODIFIED FROM A PREVIOUSLY APPROVED APPLICATION BY LANGAN ENGINEERS DATE OCTOBER 26, 2017



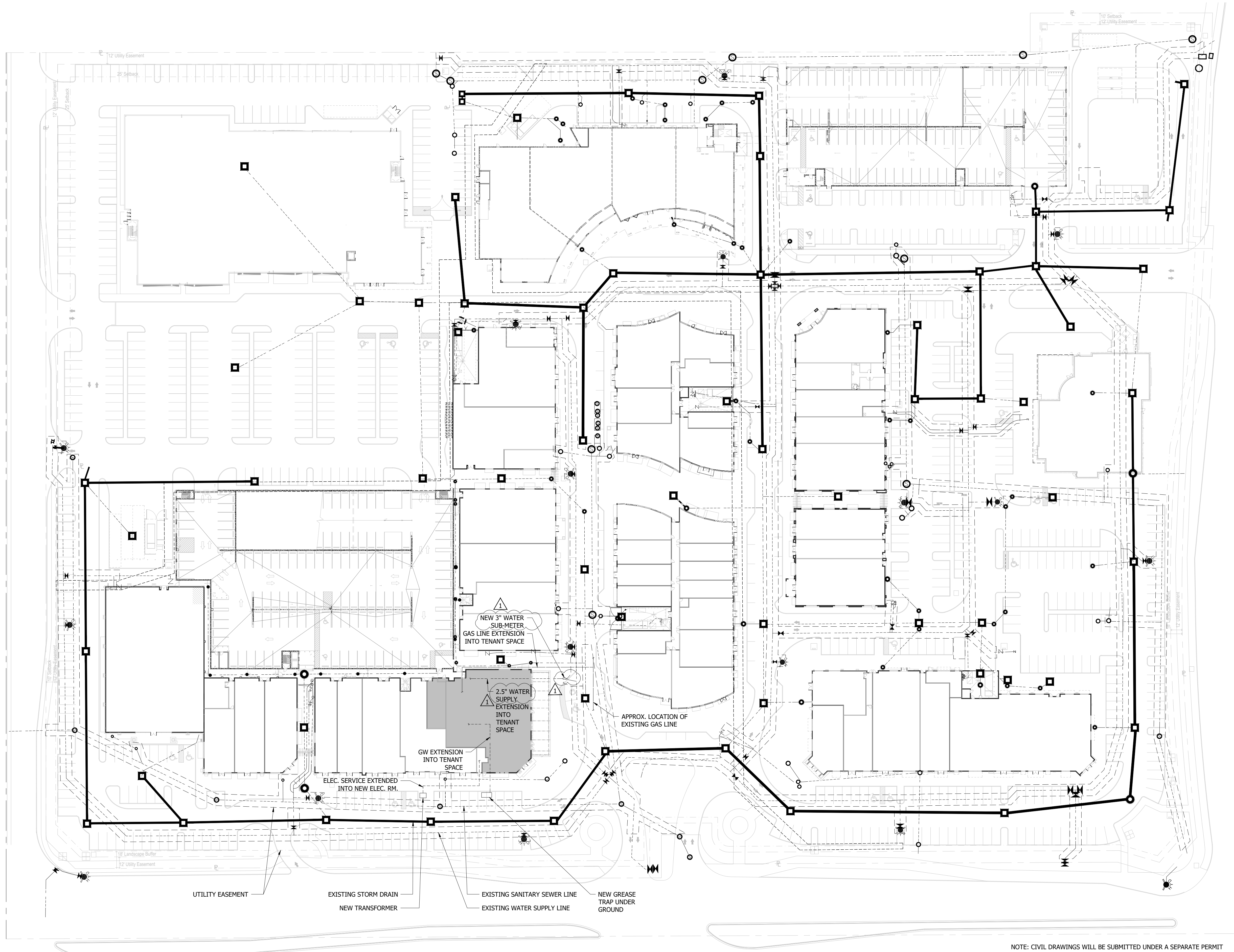
AA26002045
Issue: Date:
SITE PLAN 05-02-2022
DRC - COMMENTS RESPONSE 06-20-2022

DORSKY+YUE INTERNATIONAL
ARCHITECTURE
FORT LAUDERDALE
P: 954.703.7830
F: 954.524.8604
CLEVELAND
P: 216.468.1850
F: 216.464.5610

PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

SITE PLAN
Job No.: Drawn: Checked: Date:
DY201627 6/17/2022

A100



NOTE: CIVIL DRAWINGS WILL BE SUBMITTED UNDER A SEPARATE PERMIT

1
A100.1 **UTILITY PLAN**
SCALE: 1"=50'-0"



AA26002045
Issue: Date:
SITE PLAN 05-02-2022
DRC - COMMENTS RESPONSE 06-20-2022

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ARCHITECTURE

CLEVELAND
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FORT LAUDERDALE
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F: 954-524-8604

PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

UTILITY PLAN	Job No.: DY201627	Drawn:	Checked:	Date: 6/17/2022
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A100.1

PLUMBING FIXTURE COUNT SUMMARY

PLUMBING FIXTURES REQUIRED CALCULATED PER 2020 FLORIDA BUILDING CODE, TABLE 403.1

NOTE: OCCUPANT LOAD FOR PLUMBING FIXTURES IS CALCULATED PER FLORIDA FIRE PREVENTION CODE (FFPC) 101, 7TH EDITION, TABLE 7.3.1.2.

OCCUPANT LOAD (INT. & EXT.): 515 OCCUPANTS (CUSTOMERS)
ASSUME 50% MEN ≈ 258 & 50% WOMEN ≈ 258

WATER CLOSETS: 258 / 75 = 3.44 ≈ 4 REQUIRED FOR EACH MEN AND WOMEN

LAVATORIES: 258 / 200 = 1.29 ≈ 2 REQUIRED FOR EACH MEN AND WOMEN

DESCRIPTION	REQUIRED	PROVIDED (a)
WATER CLOSETS		
MEN	4	2 (b)
WOMEN	4	4
LAVATORIES		
MEN	1	4
WOMEN	1	4
URINALS		
MEN	0	2 (b)

(a) INCLUDES WATER CLOSETS AND LAVATORIES PROVIDED IN STAFF RESTROOMS.

(b) TWO URINALS SUBSTITUTED FOR TWO WATER CLOSETS PER 2020 FLORIDA PLUMBING CODE, SECTION 424.2.

EXISTING BUILDING CONSTRUCTION TYPE: IIB
GROUP: M

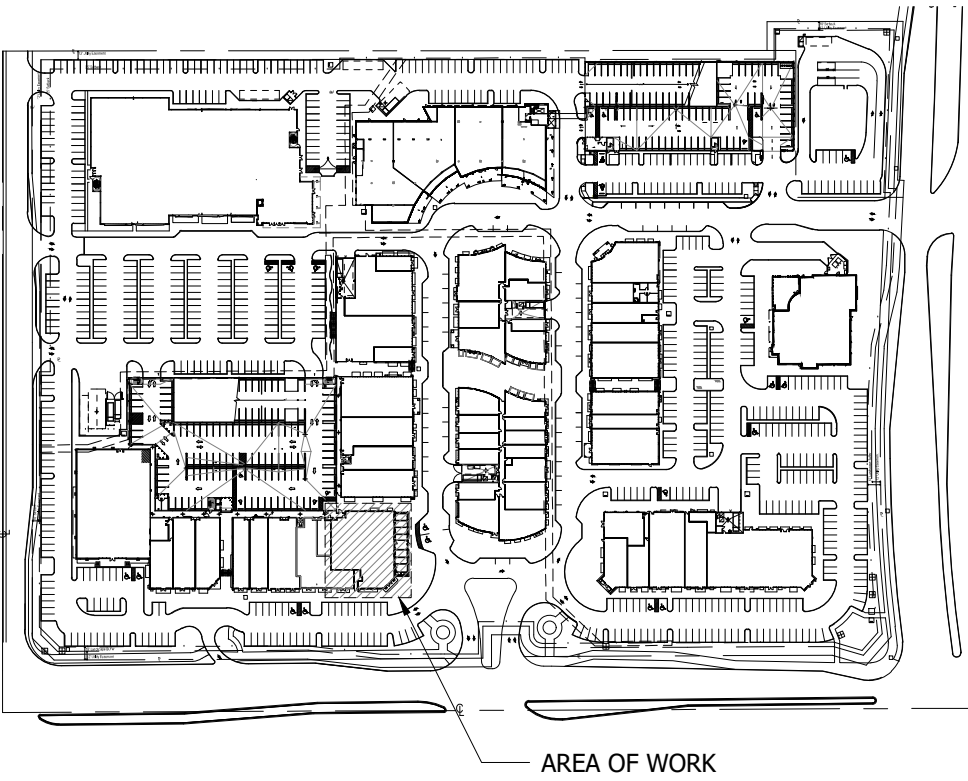
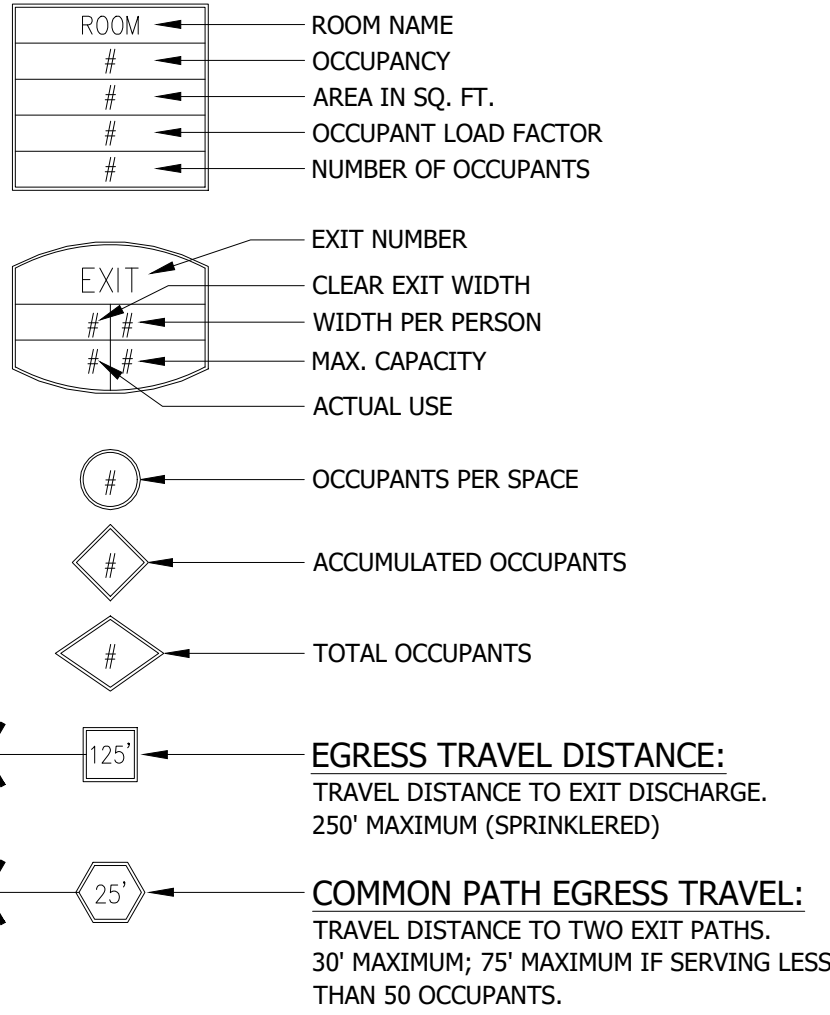
OCCUPANT LOAD SUMMARY			
FLORIDA FIRE PREVENTION CODE (FFPC) 101, 7TH EDITION, TABLE 7.3.1.2			
INTERIOR PUBLIC ASSEMBLY			
DESCRIPTION	LOAD FACTOR	AREA SQ. FT.	OCC. LOAD
DINING & LOUNGE (FIXED SEATS)	1 : 18"	N/A	254
DINING & LOUNGE (NON-FIXED SEATS)	15	SEE PLAN	53
WAITING	5	239	48
RESTROOMS	100	378	4
RETAIL	30	128	5
BAR	100	292	3
BAKERY	100	289	3
HOST	100	43	1
FROM KITCHEN	100	SEE PLAN	10
TOTAL			389

INTERIOR NON-ASSEMBLY			
DESCRIPTION	LOAD FACTOR	AREA SQ. FT.	OCC. LOAD
KITCHEN	100	SEE PLAN	9
RAPID COOLER	300	84	1
GENERAL COOLER	300	122	1
DRY STORAGE	300	86	1
BEER COOLER/LIQUOR SUPPLIES	300	73	1
BAKERY FREEZER	300	89	1
MANAGER'S OFFICE	100	91	1
STAFF RESTROOM #1	100	46	1
STAFF RESTROOM #2	100	45	1
LOCKERS	50	80	2
REMOTE STORAGE	300	703	3
PLUMBING ROOM	300	84	1
ELECTRICAL ROOM	300	135	1
TOTAL			24

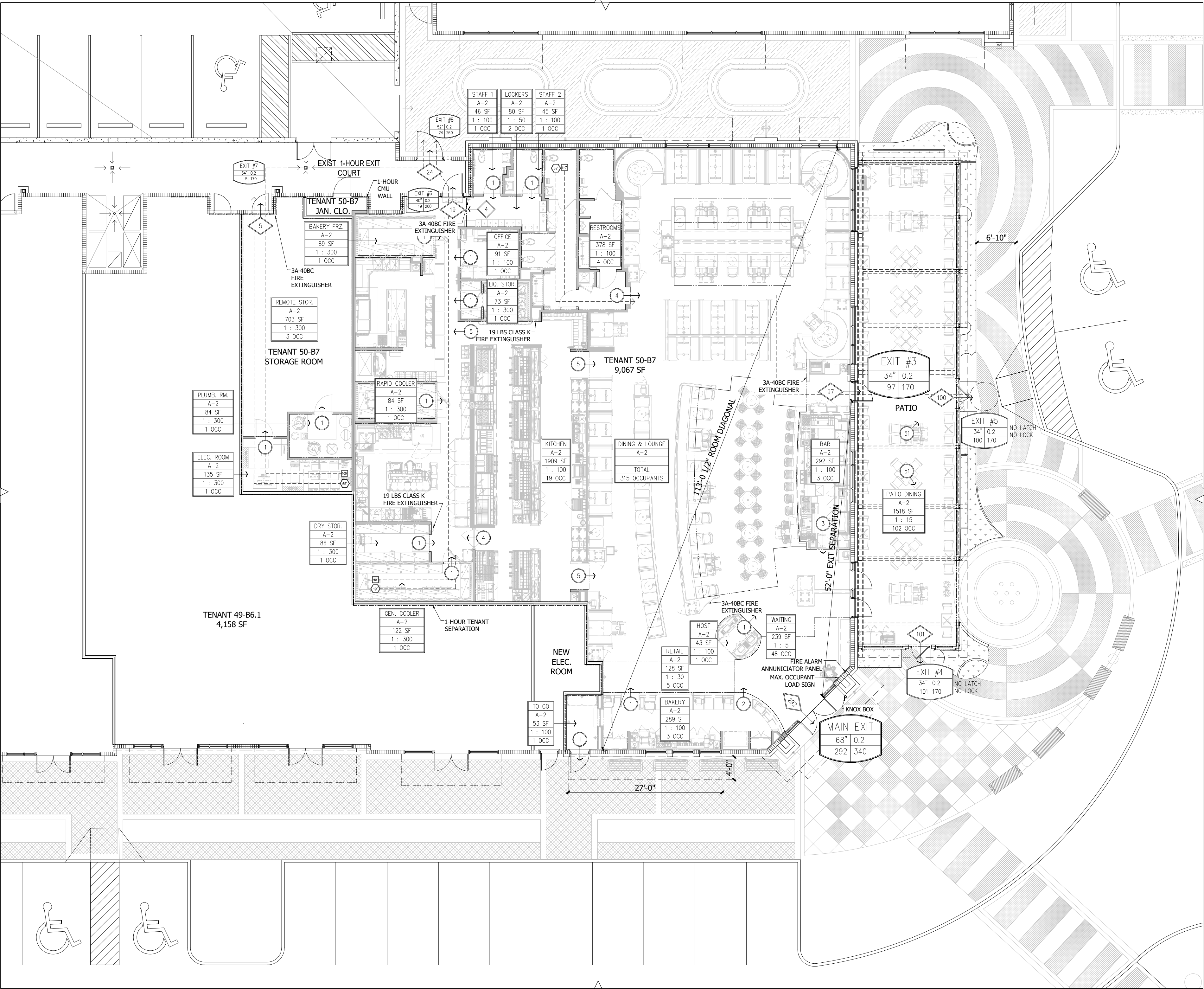
TOTAL OCCUPANT LOAD	413
NUMBER OF EXITS REQUIRED	2

PATIO DINING (EXTERIOR)			
DESCRIPTION	LOAD FACTOR	AREA SQ. FT.	OCC. LOAD
PATIO DINING (FIXED SEATS)	1 : 18"	N/A	N/A
PATIO DINING (NON-FIXED SEATS)	15	1518	102
TOTAL			102

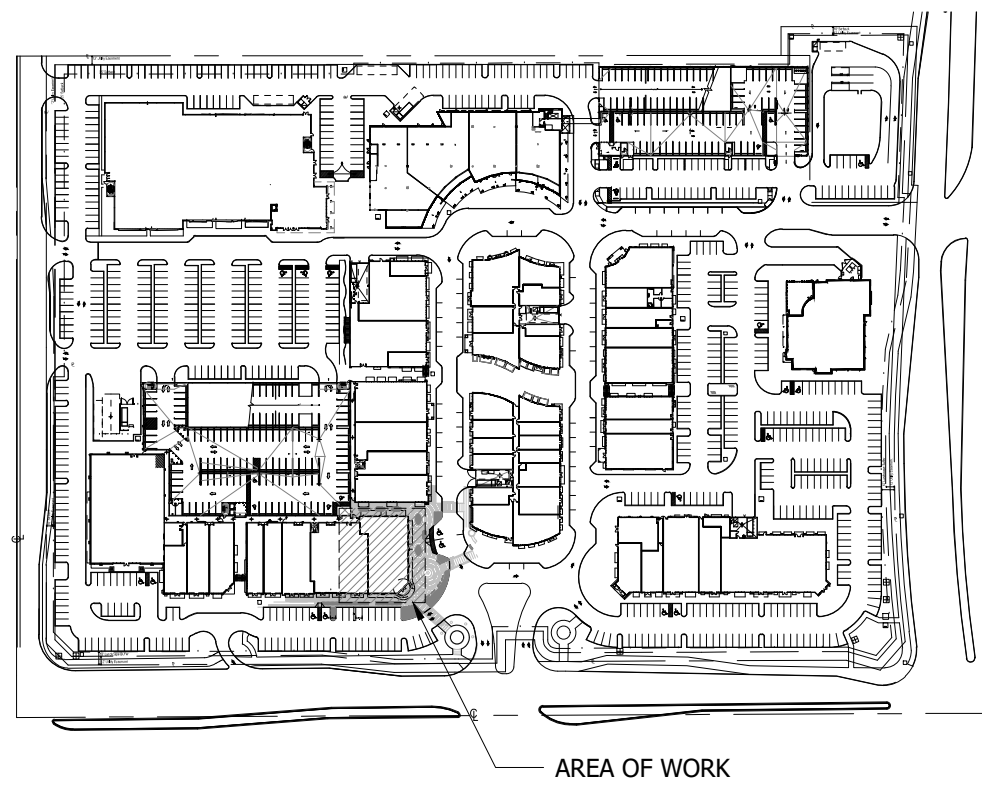
OCCUPANT LOAD & EGRESS LEGEND



KEY PLAN
SCALE: N.T.S.



1 LIFE SAFETY PLAN
SCALE: 3/32"=1'-0"

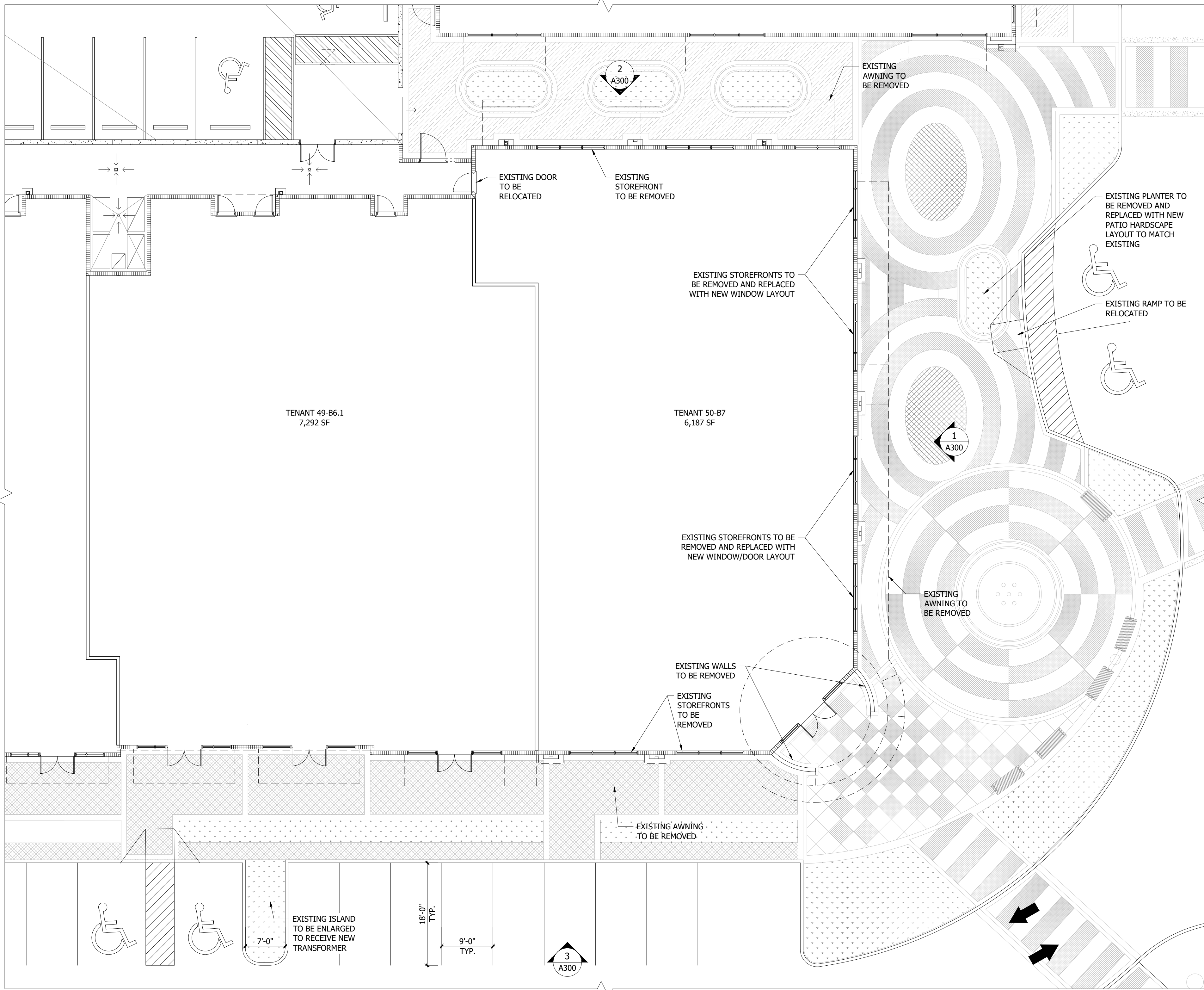


KEY PLAN
SCALE: N.T.S.



AA26002045

Issue: Date:
SITE PLAN 05-02-2022
DRC - COMMENTS RESPONSE 06-20-2022



HATCH DENOTES EXTENTS OF LANDSCAPING.
REFER TO LANDSCAPE PLANS

EXISTING FLOOR PLAN
SCALE: 3/32"=1'-0"

DORSKY+YUE INTERNATIONAL³
ARCHITECTURE

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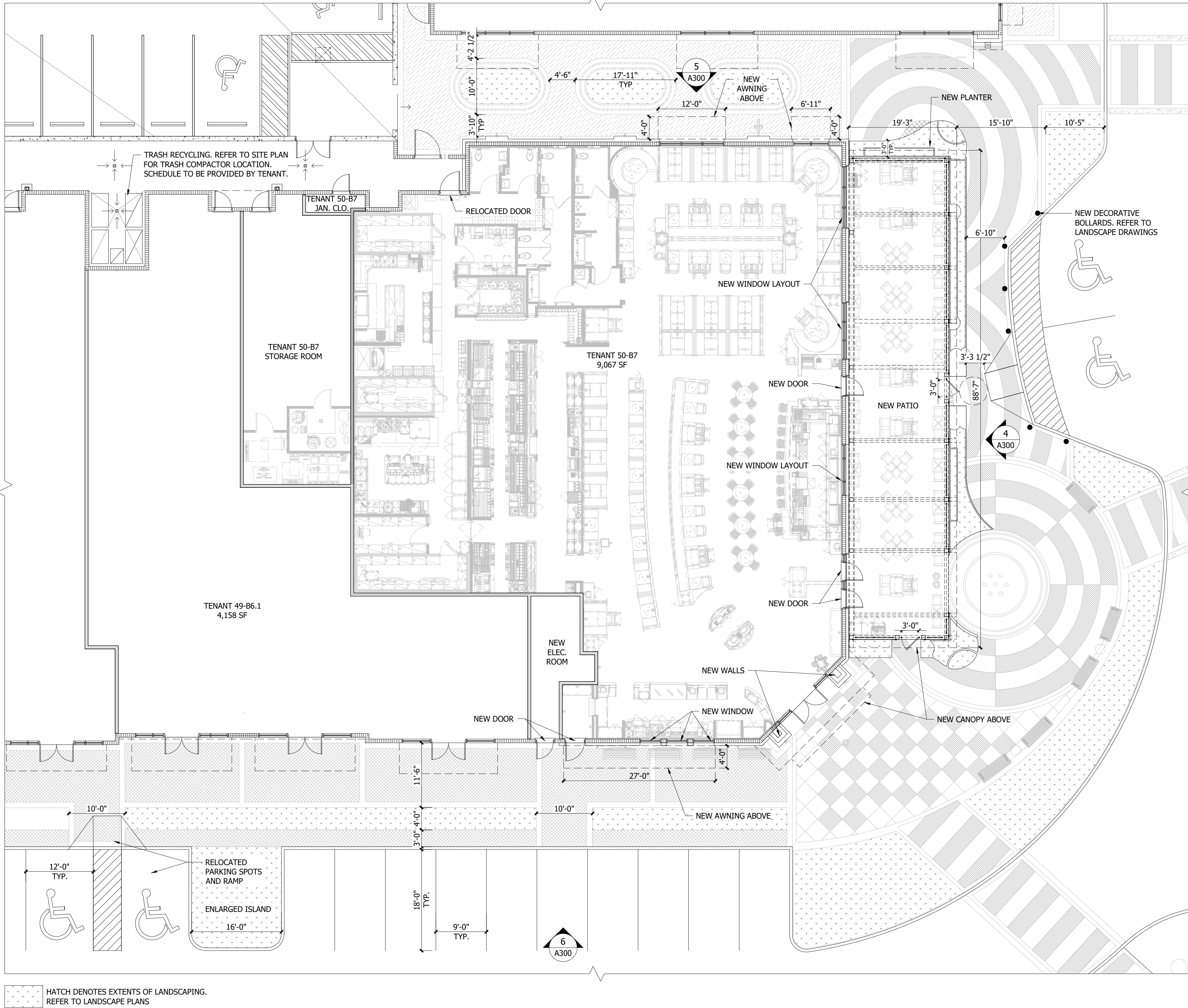
PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

COCONUT CREEK, FLORIDA
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EXISTING FLOOR PLAN

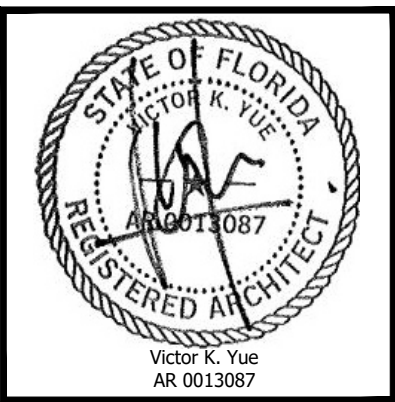
Job No.:
DY201627
Date:
6/20/2022
Checked:
Drawn:

A101
ENTIRE SHEET REVISED



1
A102
PROPOSED FLOOR PLAN
SCALE: 3/32=1'-0"

KEY PLAN
SCALE: N.T.S.



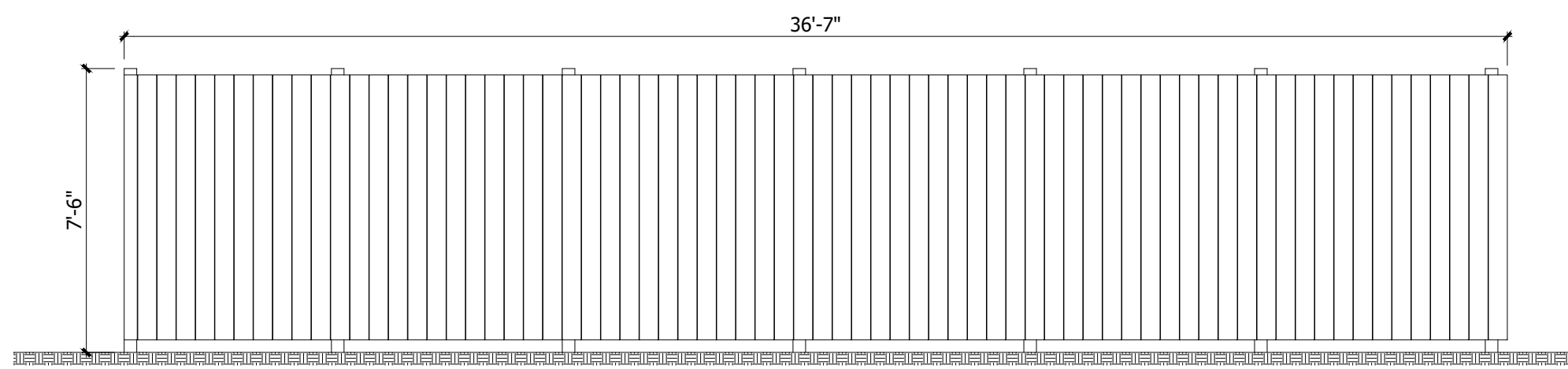
AA26002045
Issue: Date:
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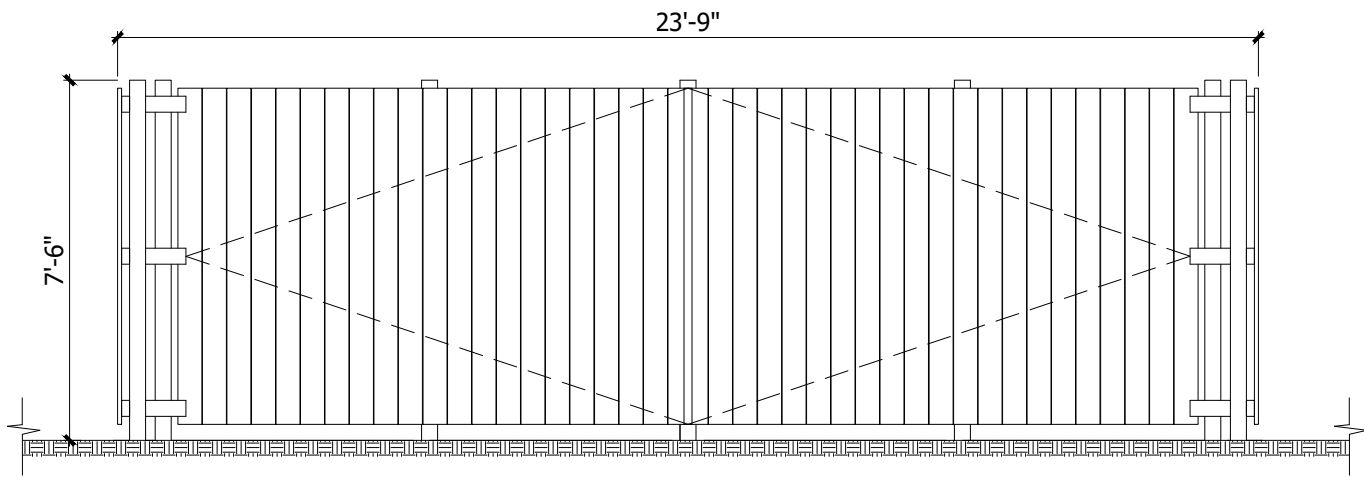
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PROPOSED FLOOR PLAN
Job No.:
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Drawn:
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Date:
6/20/2022

A102
NEW SHEET

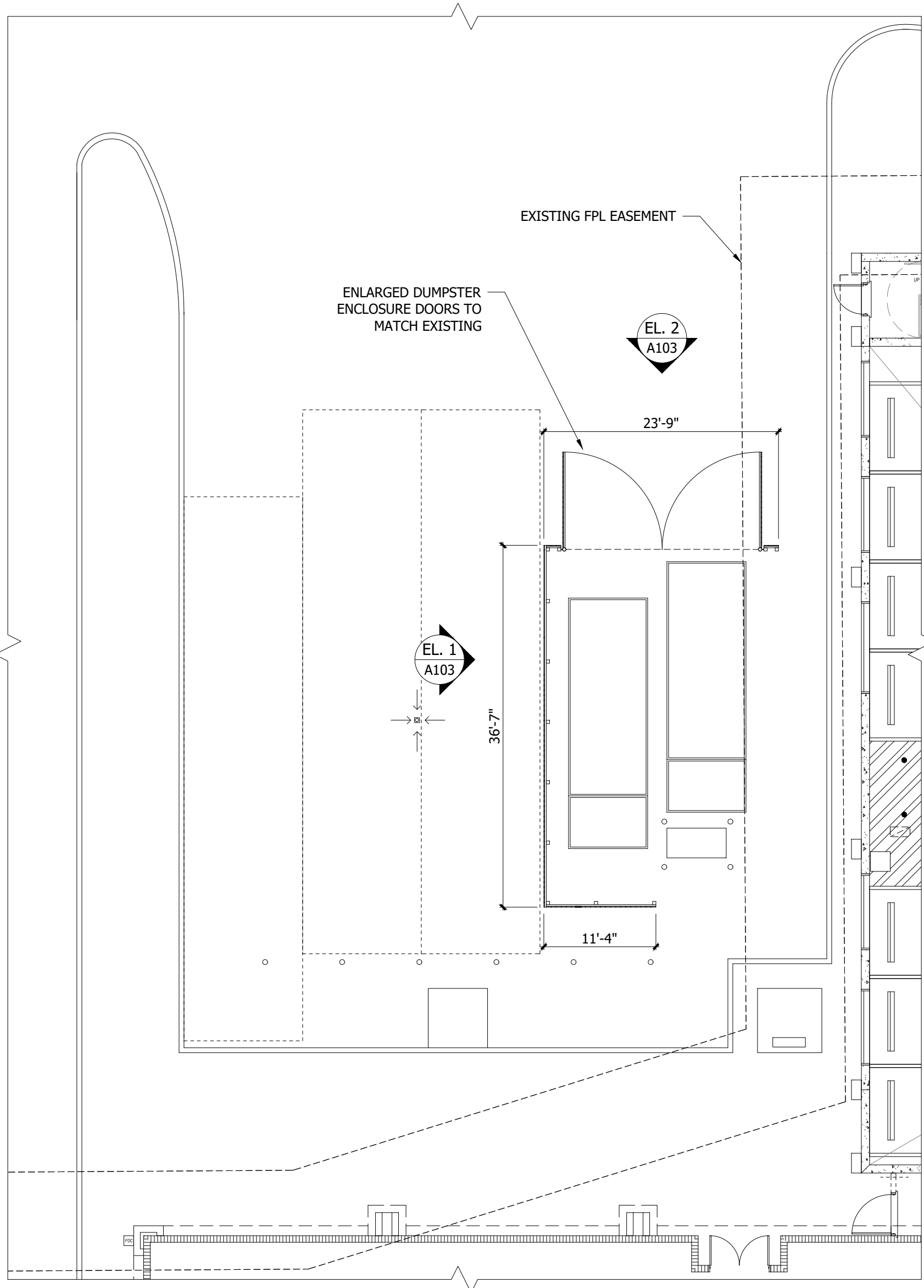


ELEVATION 1

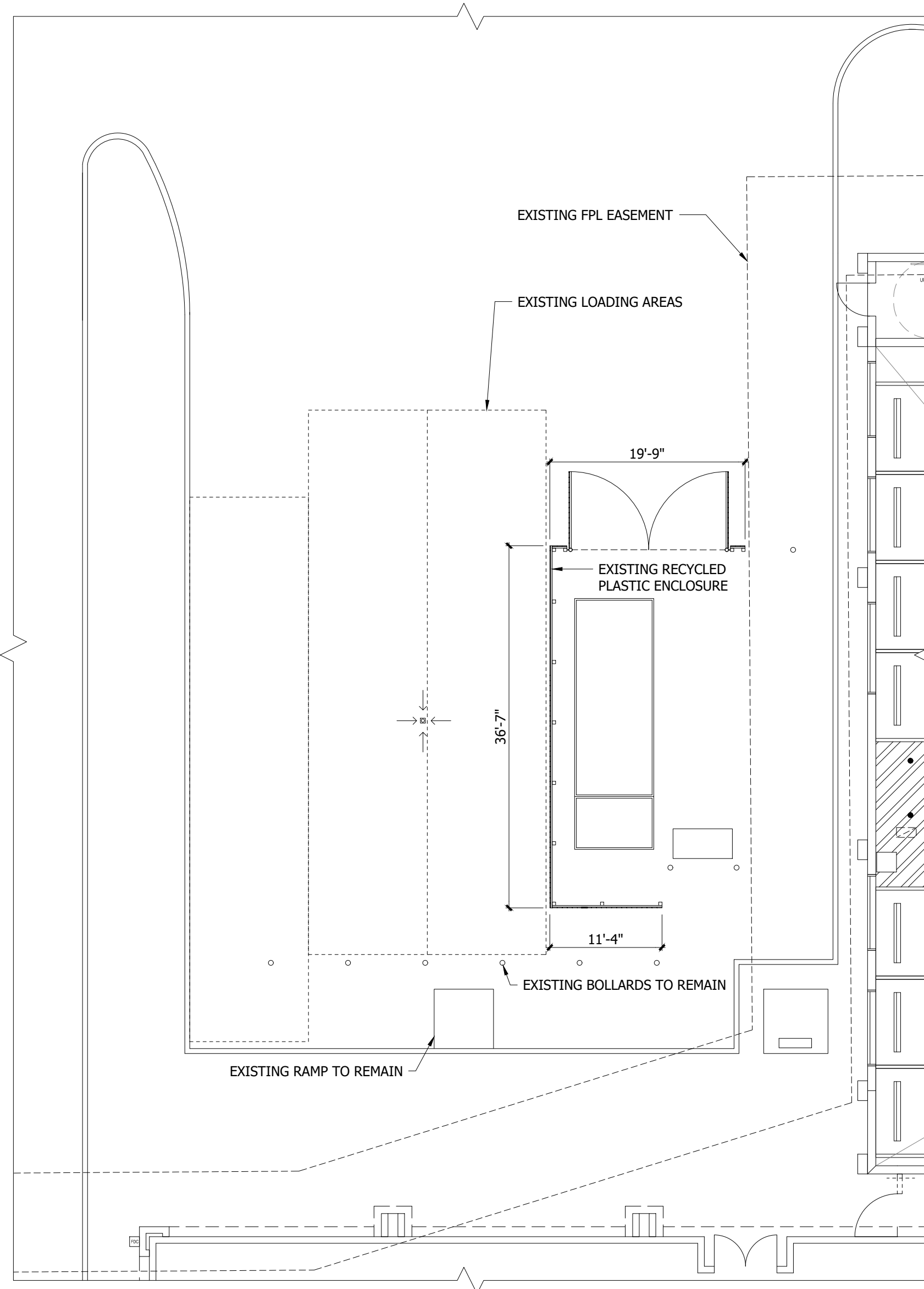


ELEVATION 2

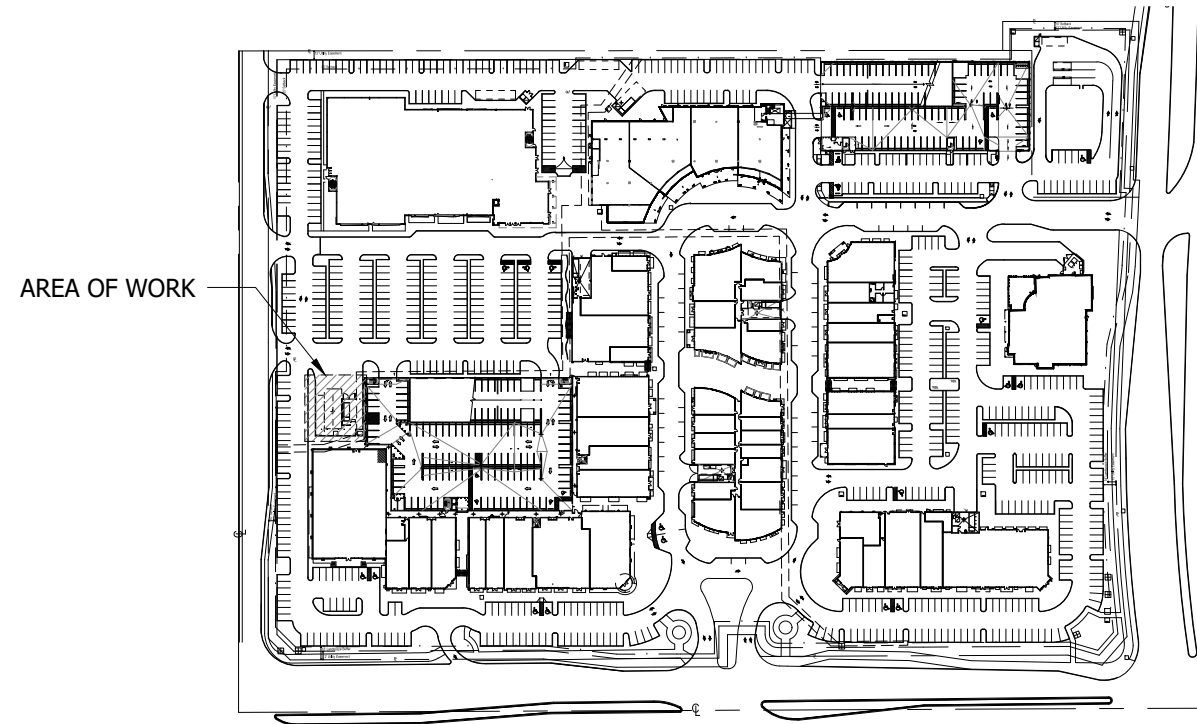
3
A103 **DUMPSTER ENCLOSURE ELEVATIONS**
SCALE: 1/4"=1'-0"



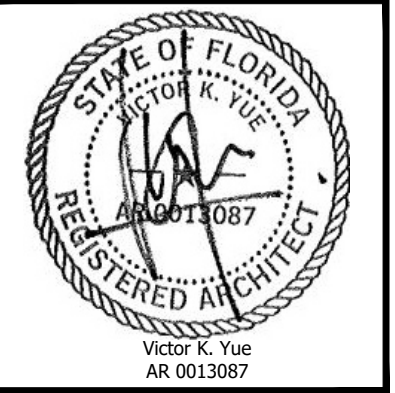
2
A103 **PROPOSED DUMPSTER ENCLOSURE PLAN**
SCALE: 3/32"=1'-0"



1
A103 **EXISTING DUMPSTER ENCLOSURE PLAN**
SCALE: 3/32"=1'-0"



KEY PLAN
A102 SCALE: N.T.S.



AA26002045

Issue:	Date:
SITE PLAN	05-02-2022
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COMMENTS RESPONSE	06-20-2022

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SITE PLAN IMPROVEMENTS

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DUMPSTER ENCLOSURE PLAN

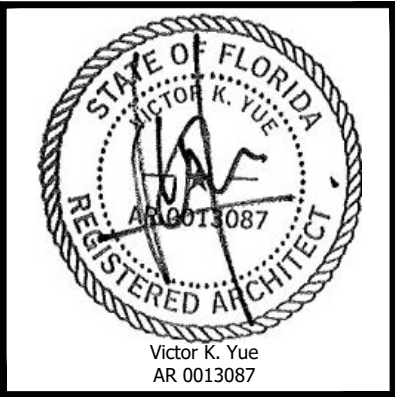
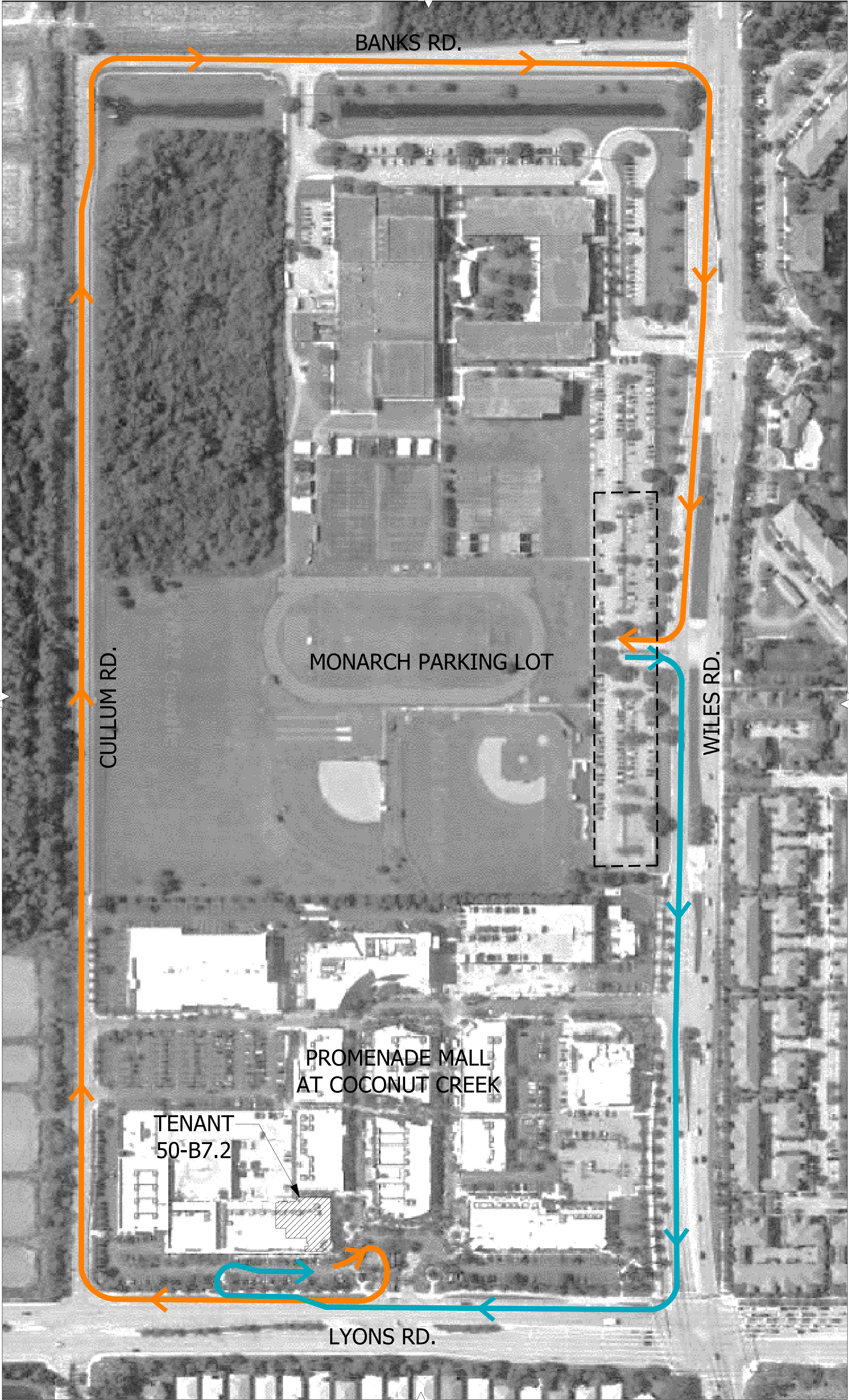
Job No.:
DY201627

Drawn:

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Date:
6/17/2022

A103
NEW SHEET



AA26002045	
Issue:	Date:
SITE PLAN	05-02-2022
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COMMENTS RESPONSE	06-20-2022

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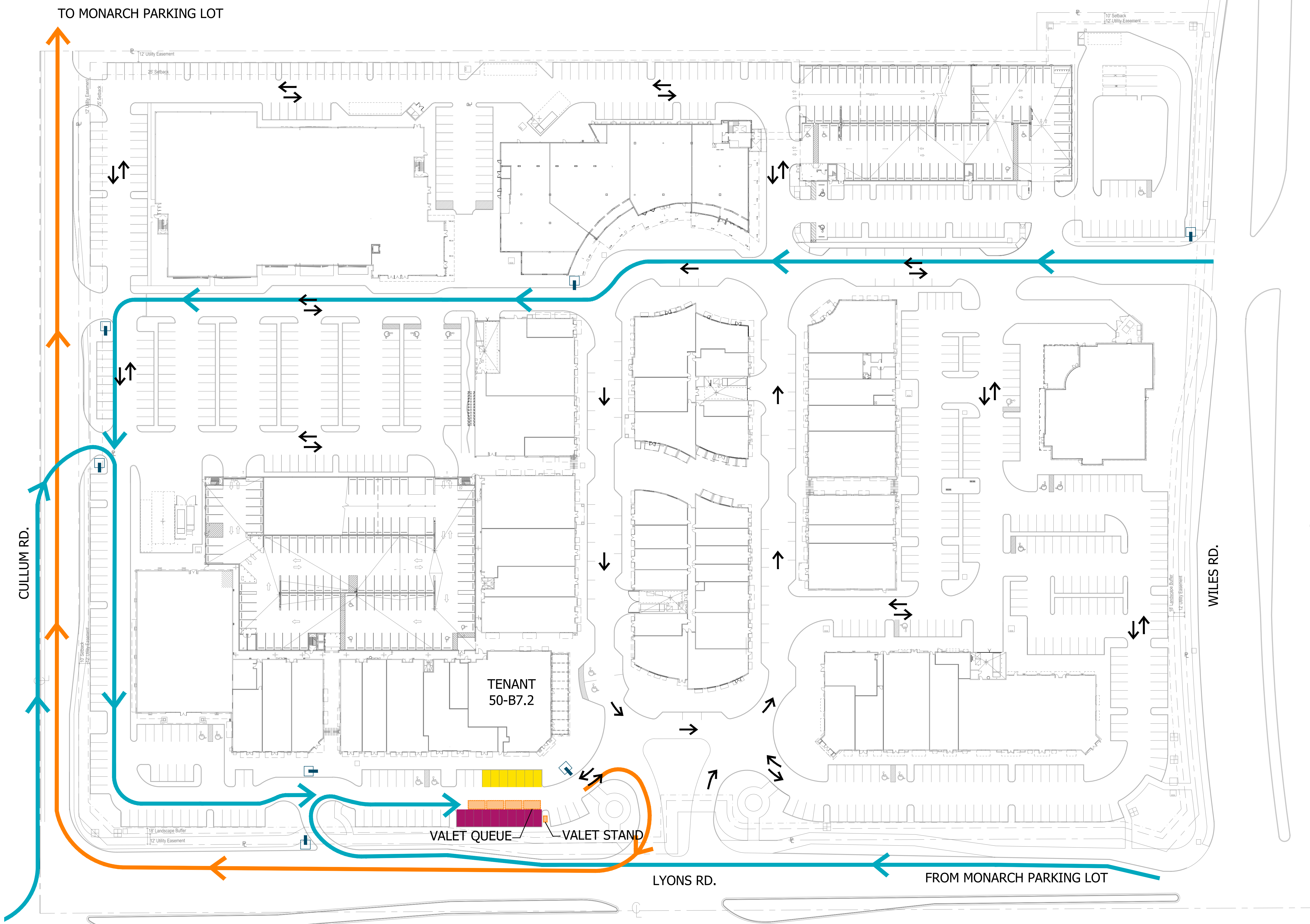
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PROMENADE AT COCONUT CREEK

SITE PLAN IMPROVEMENTS

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VALET OPERATIONS KEY PLAN		Date:	6/17/2022
Job No.:	Drawn:	Checked:	
DY201627			



TO MONARCH PARKING LOT

CULLUM RD.

TENANT
50-B7.2

VALET QUEUE VALET STAND

LYONS RD.

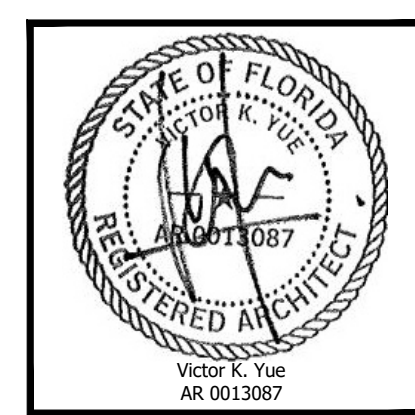
FROM MONARCH PARKING LOT

WILES RD.

LEGEND:

HIGH-END CAR VALET PARKING	TAKE OUT/PICK UP PARKING	VALET PARKING QUEUE	ENTRANCE TO VALET PARKING	VALET ROUTE TO MONARCH PARKING LOT	DIRECTIONAL VALET SIGN
----------------------------	--------------------------	---------------------	---------------------------	------------------------------------	------------------------

VALET OPERATIONS PLAN
SCALE: 1"=50'-0"



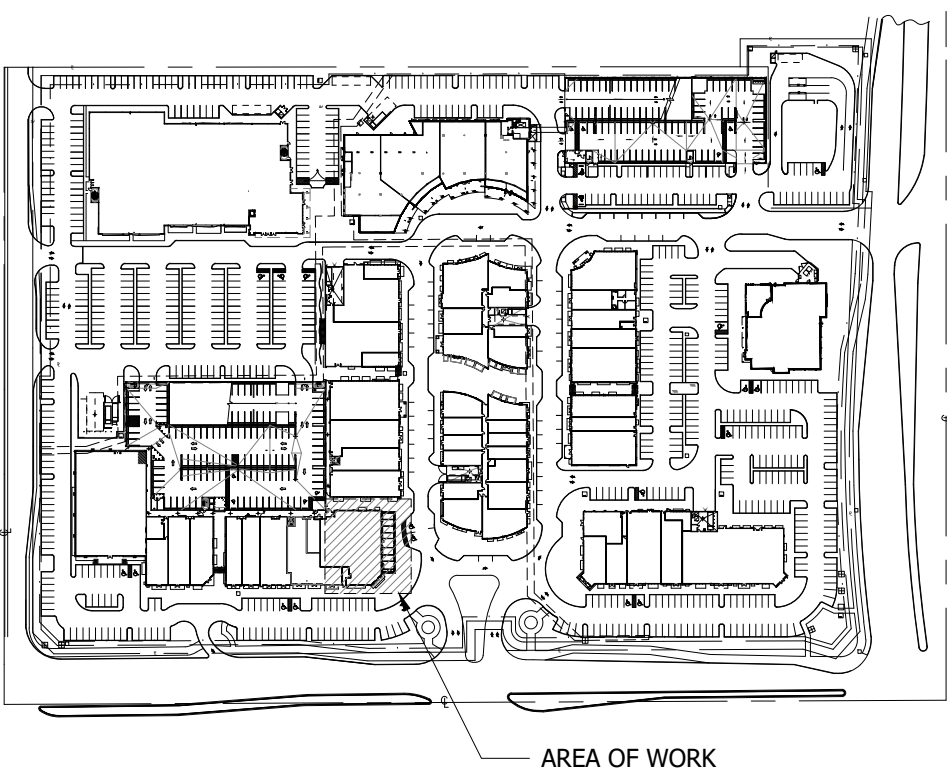
AA26002045
Issue: Date:
SITE PLAN 05-02-2022
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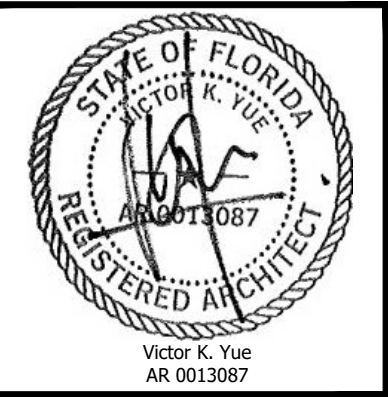
PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

VALET OPERATIONS PLAN
Job No.: DY201627
Drawn:
Checked:
Date: 6/20/2022

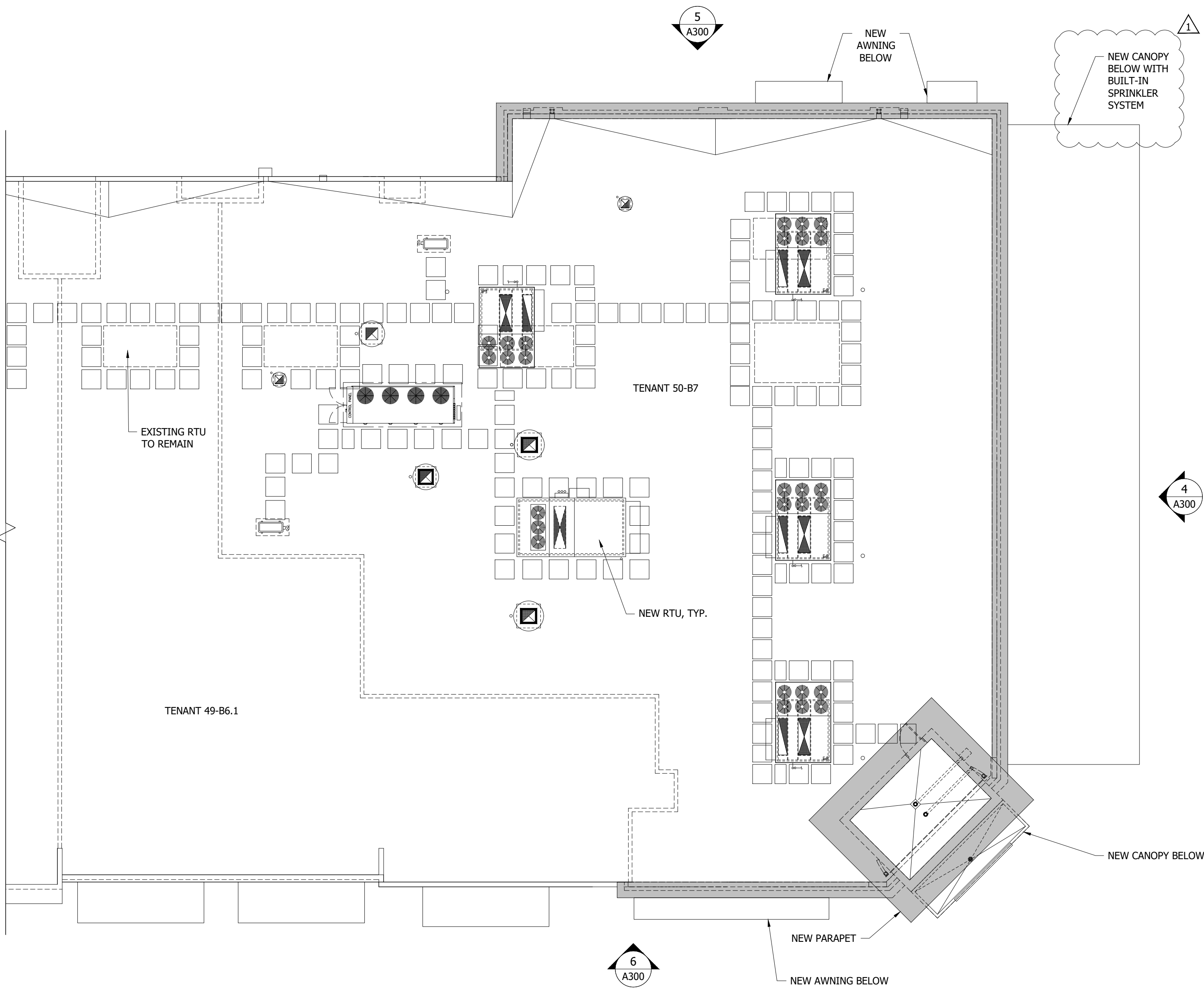
A105
NEW SHEET



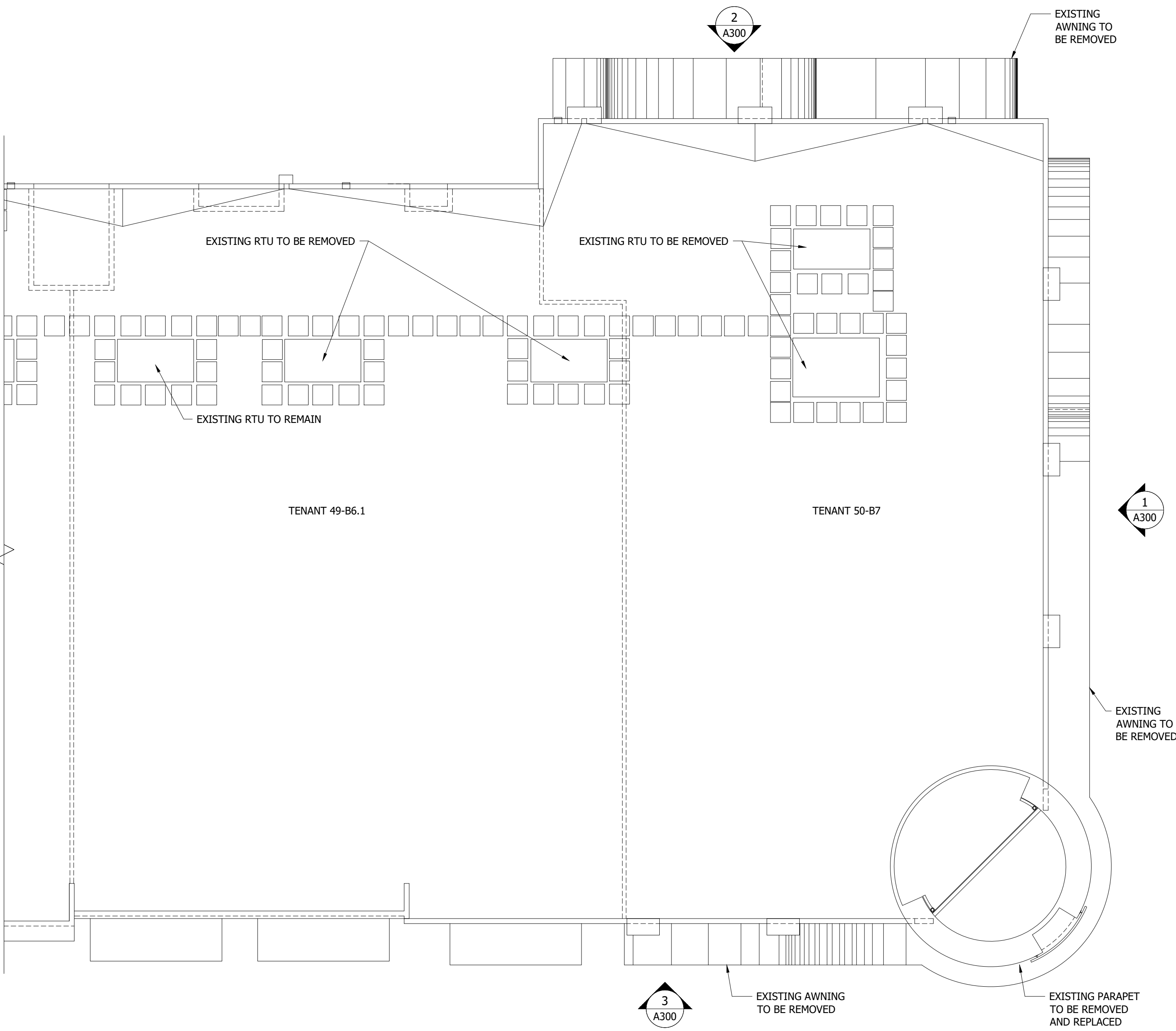
KEY PLAN
SCALE: N.T.S.



AA26002045
Issue: Date:
SITE PLAN 05-02-2022
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2 PROPOSED ROOF PLAN
SCALE: 3/32=1'-0"

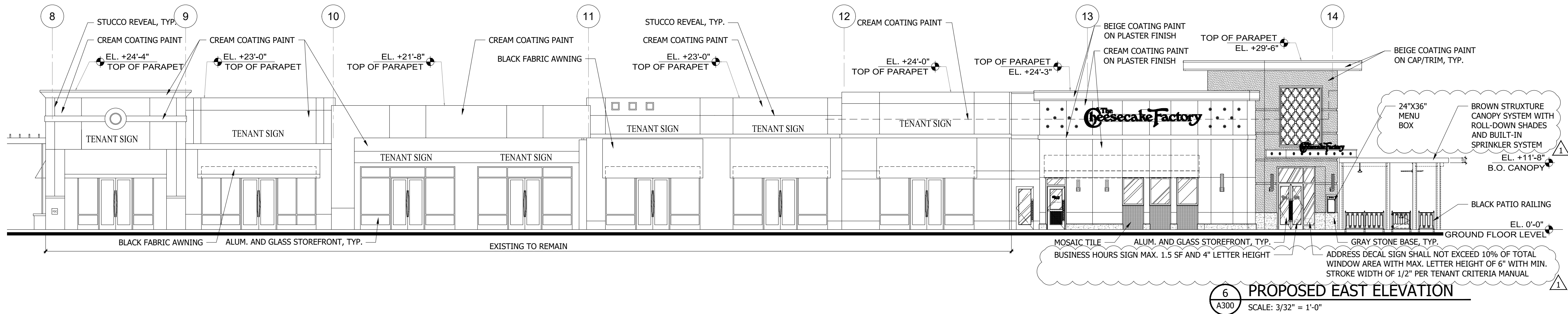
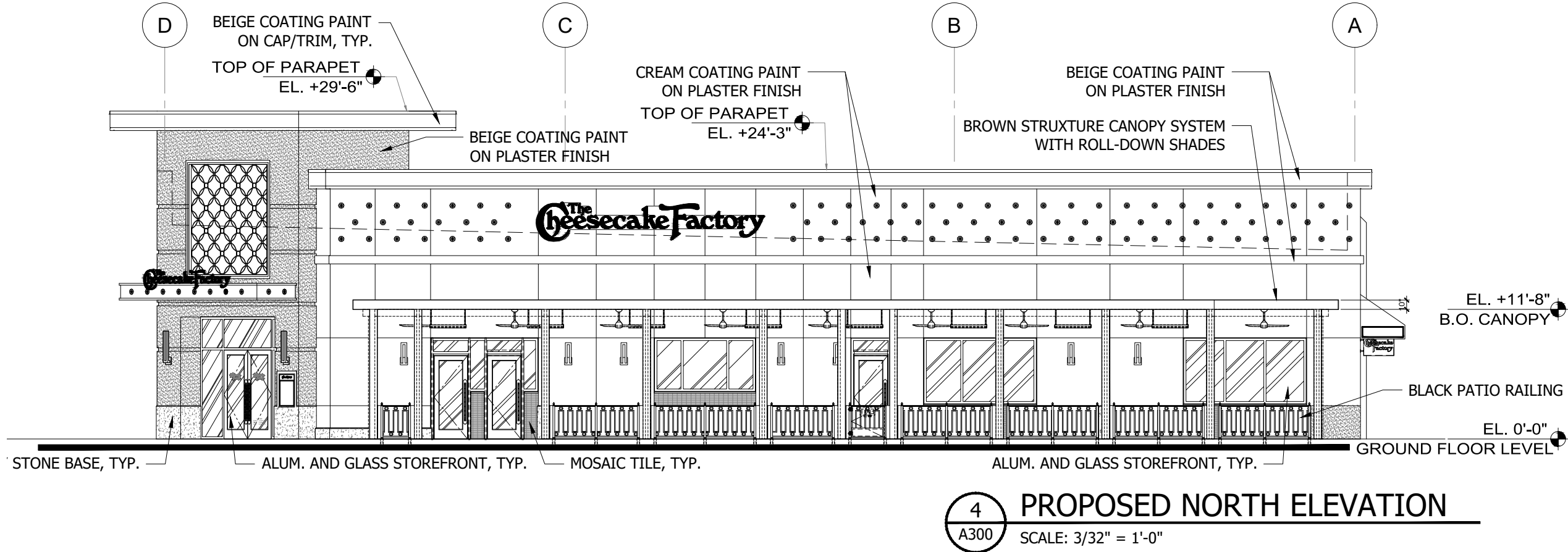
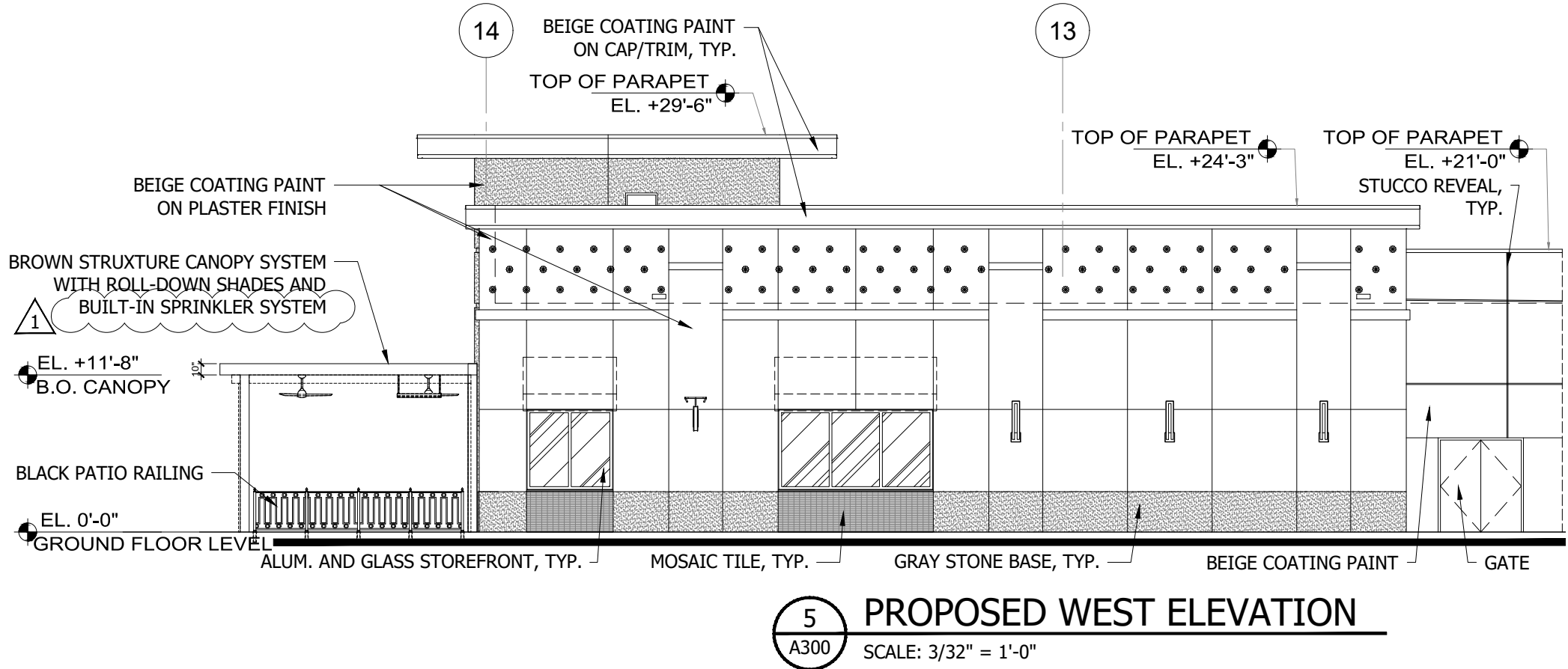
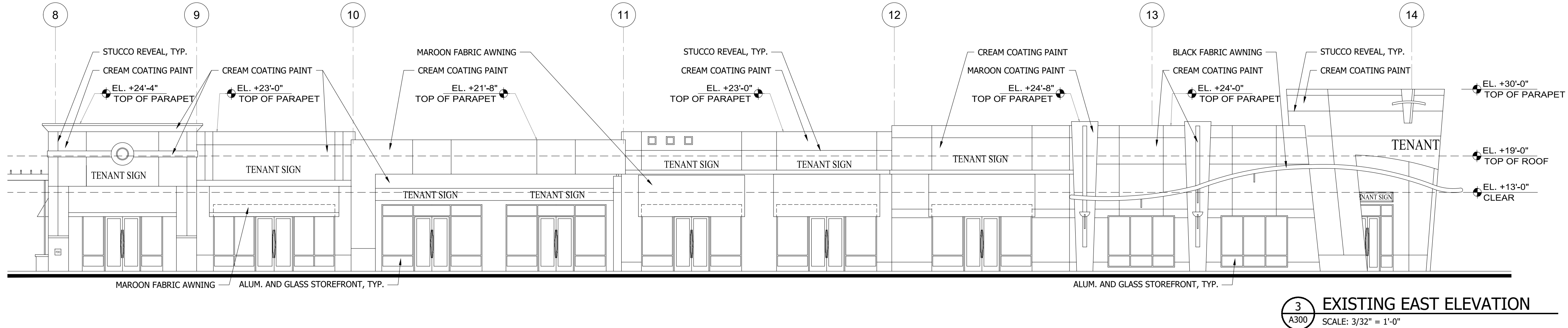
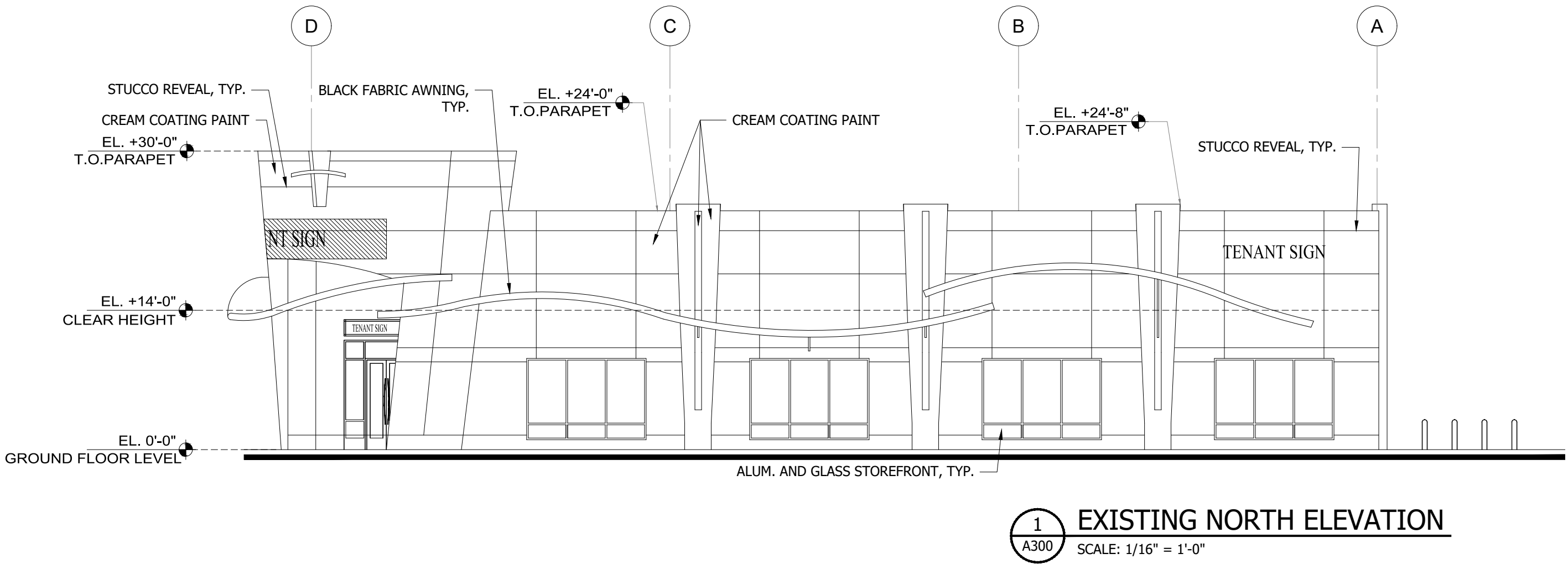
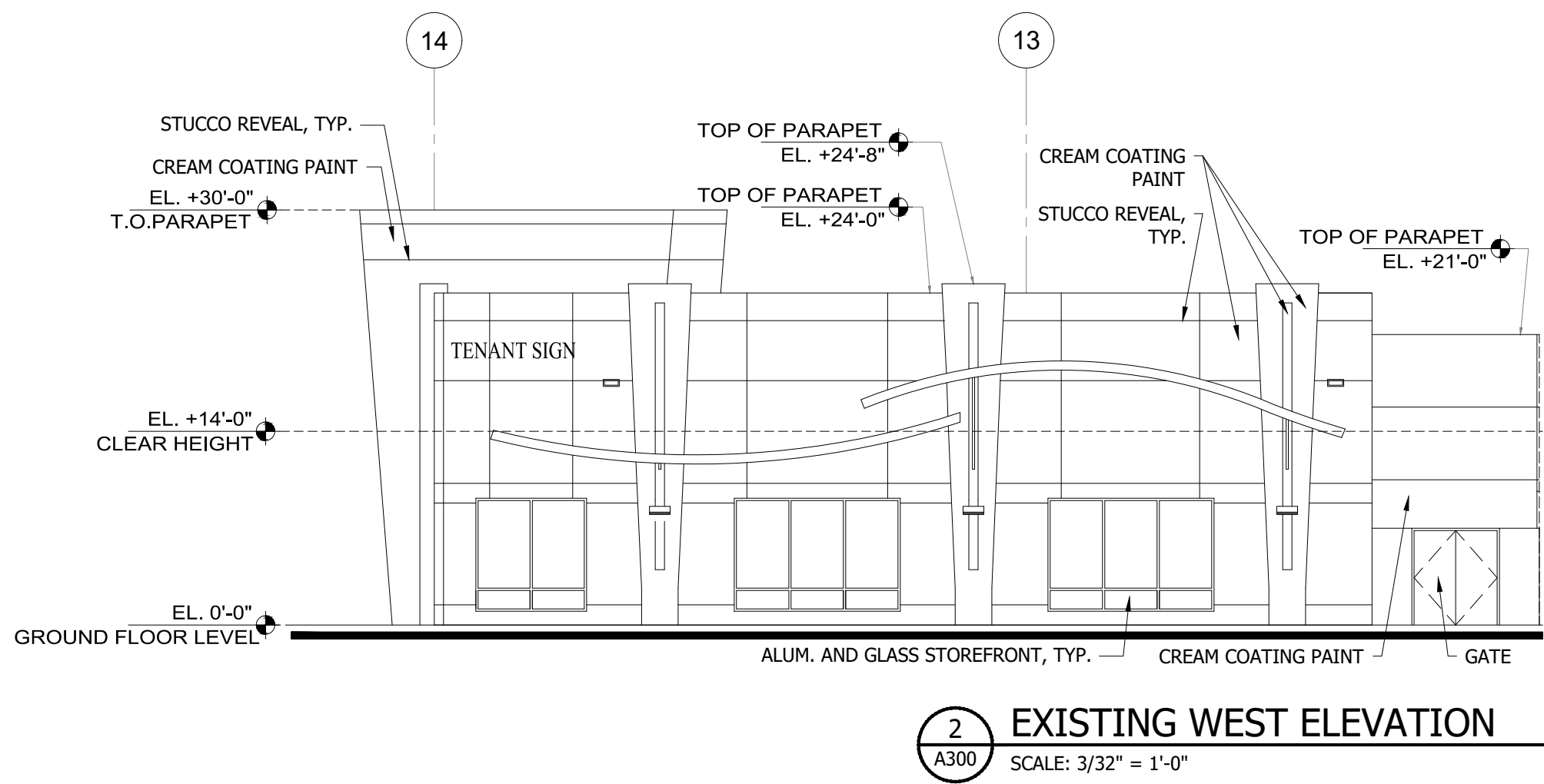


1 EXISTING ROOF PLAN
SCALE: 3/32=1'-0"

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PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

ROOF PLAN	Job No.:	Drawn:	Checked:	Date:
	DY201627			6/17/2022



AA26002045

Issue: Date:
SITE PLAN 05-02-2022
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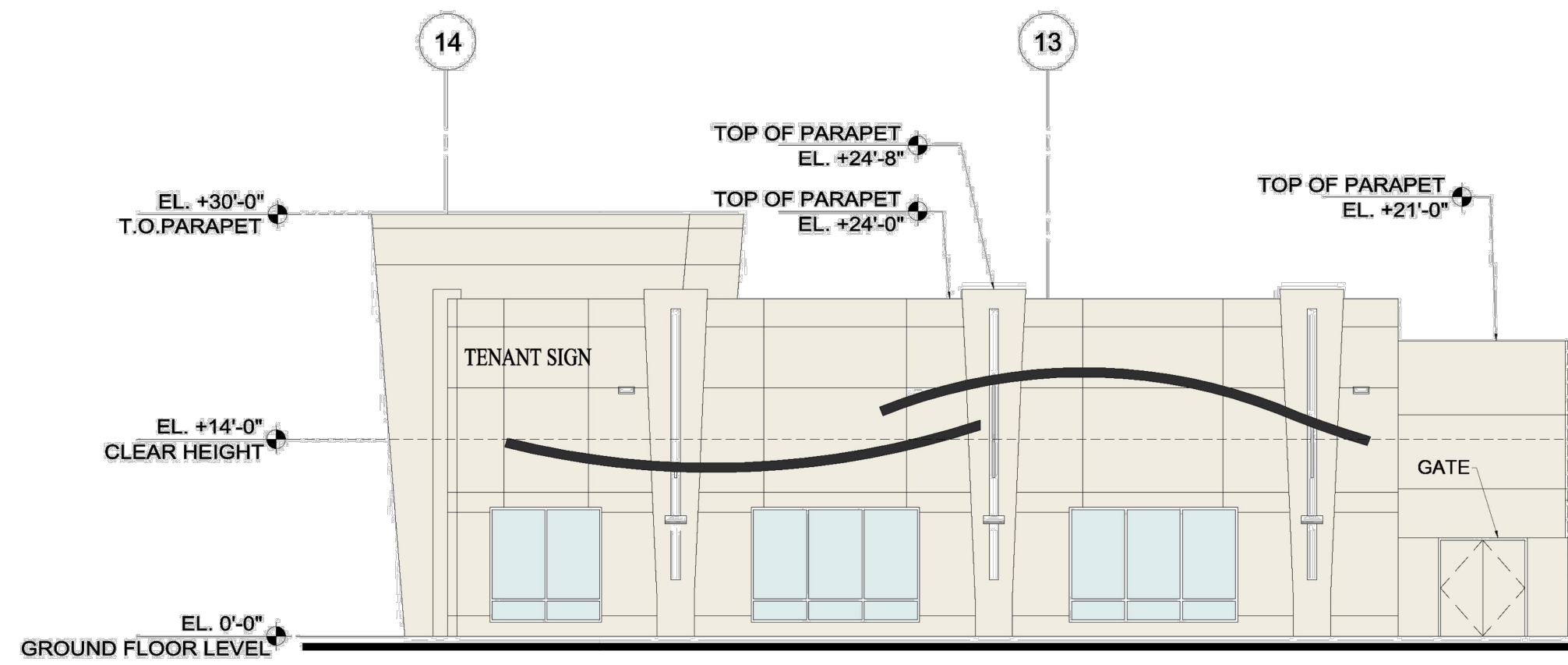
PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

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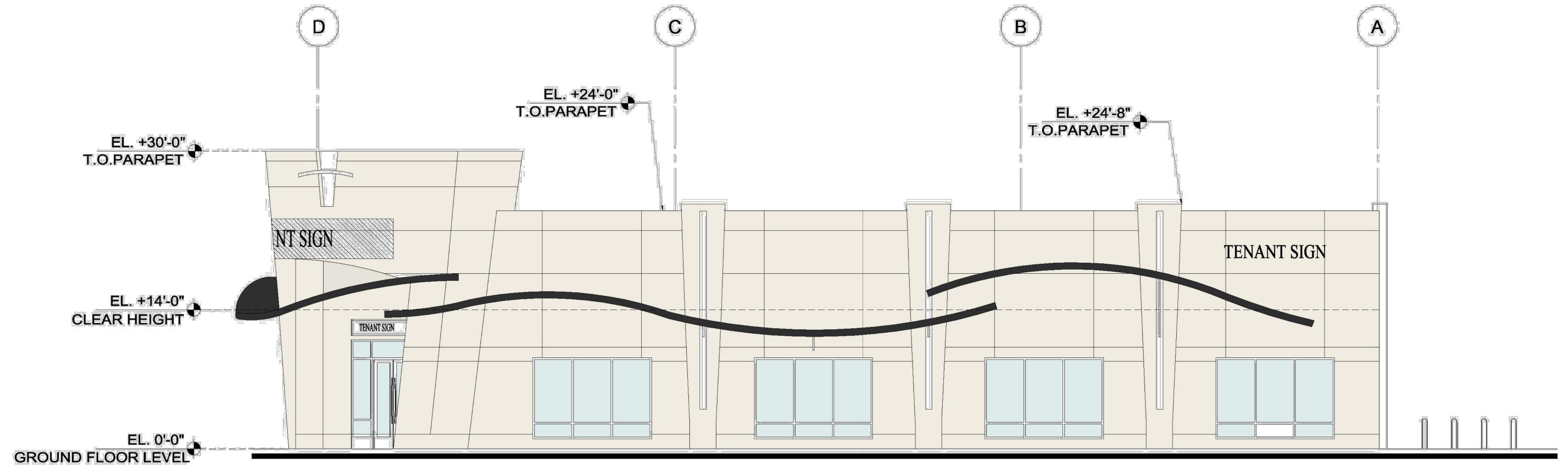
ELEVATIONS

Job No.: DY201627
Drawn: Checked: Date: 6/17/2022

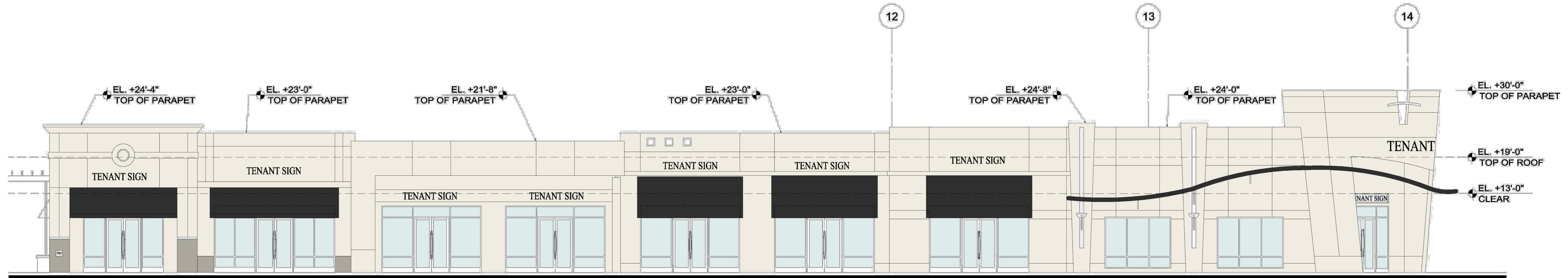
A300



2 EXISTING WEST ELEVATION
A301 SCALE: 3/32" = 1'-0"



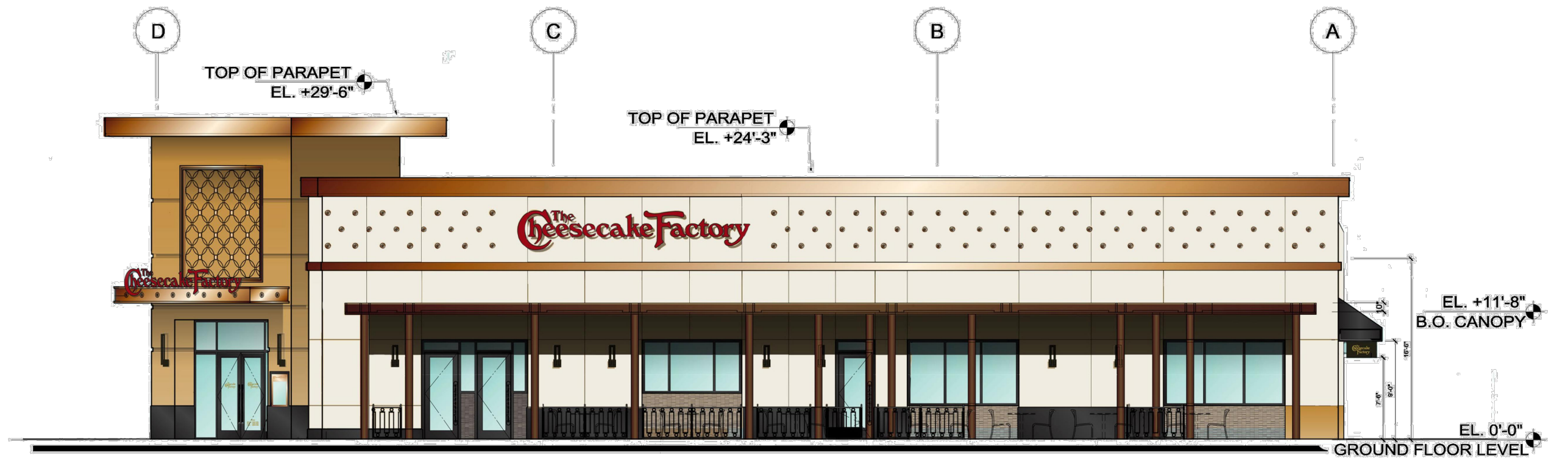
1 EXISTING NORTH ELEVATION
A301 SCALE: 1/16" = 1'-0"



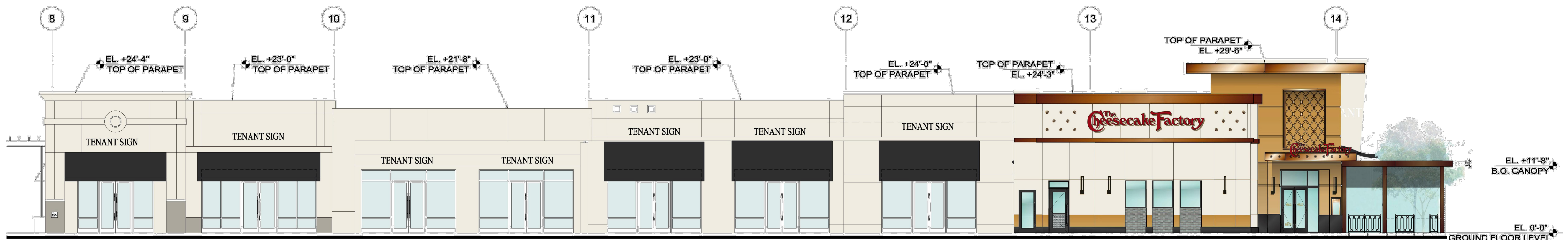
3 EXISTING EAST ELEVATION
A301 SCALE: 3/32" = 1'-0"



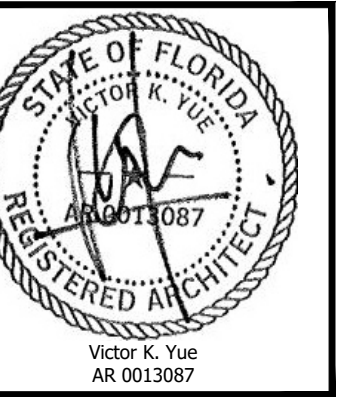
5 PROPOSED WEST ELEVATION
A301 SCALE: 3/32" = 1'-0"



4 PROPOSED NORTH ELEVATION
A301 SCALE: 3/32" = 1'-0"



6 PROPOSED EAST ELEVATION
A301 SCALE: 3/32" = 1'-0"



AA26002045
Issue: Date:
SITE PLAN 05-02-2022
DRC - COMMENTS RESPONSE 06-20-2022

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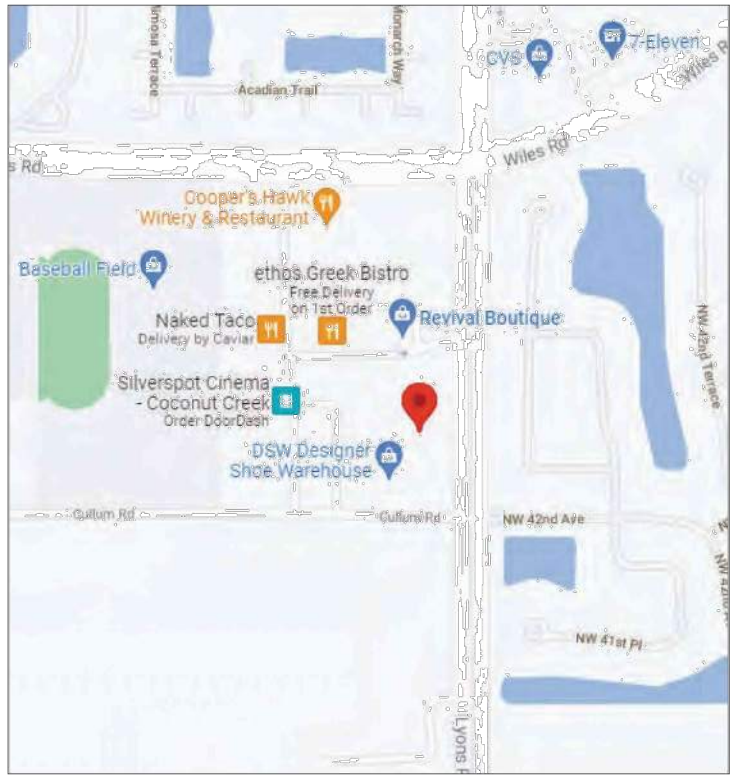
PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

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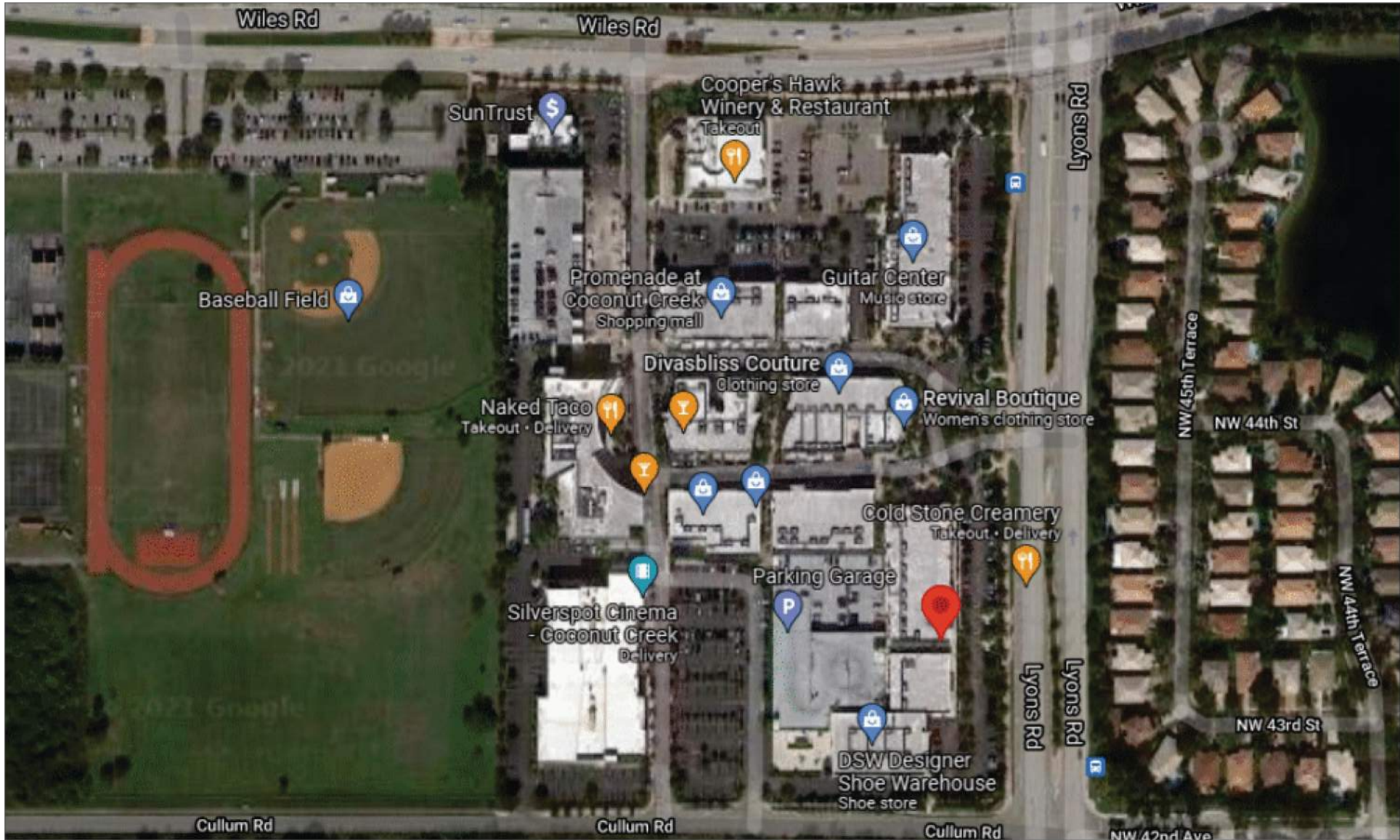
COLOR ELEVATIONS

Job No.: Drawn: Checked: Date:
DY201627

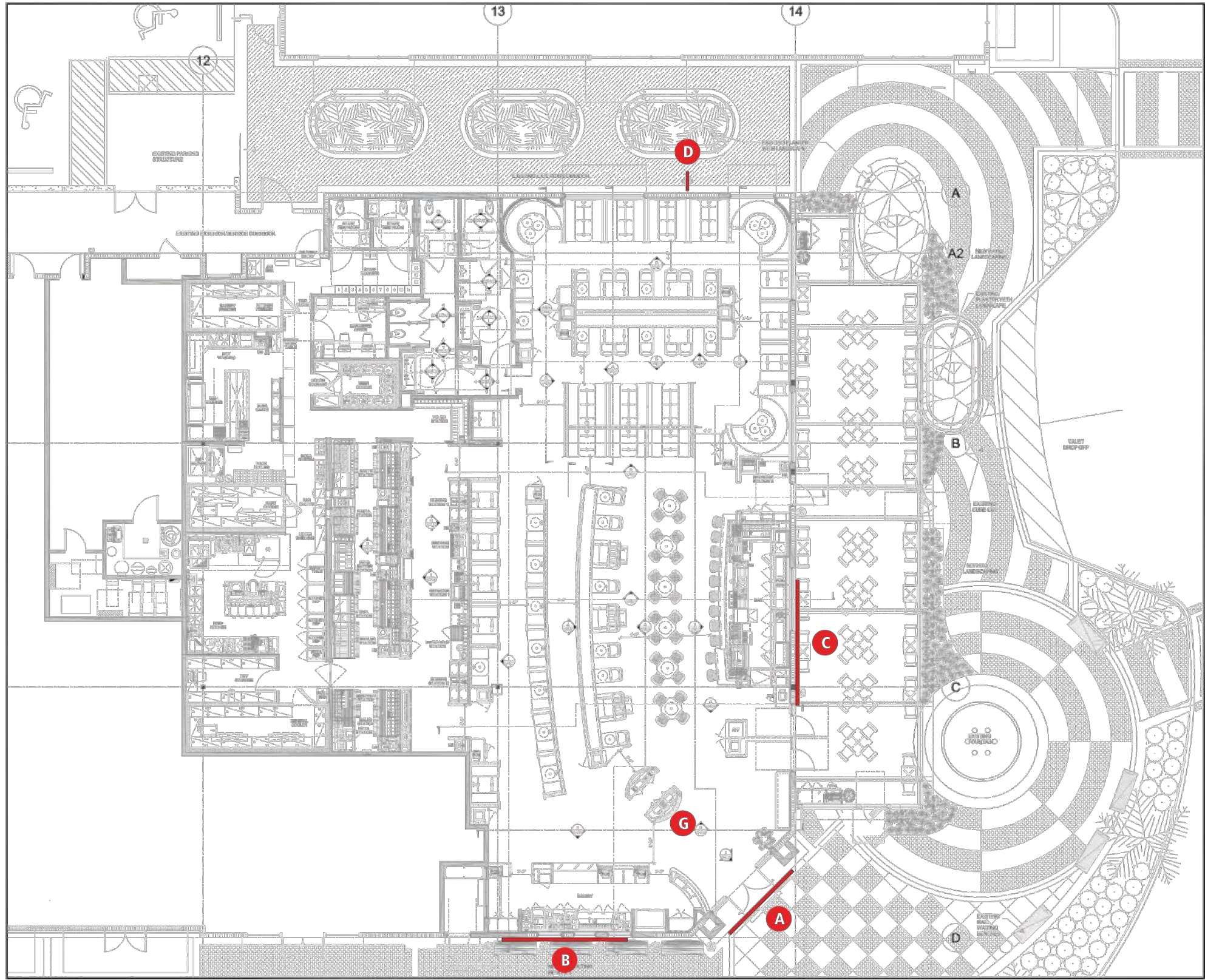
A301



1 VICINITY MAP
SCALE: NTS



2 AERIAL VIEW
SCALE: NTS



1 FLOOR PLAN
SCALE: NTS

FIRST & MAIN
SIGNAGE FOR MODERN BRANDS
2340 Shepler Church Ave SW
Canton, OH 44706 • 234.458.0990

- OHIO
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- INDIANA
- COLORADO
- OKLAHOMA

Location:

THE CHEESECAKE FACTORY
Promenade at Coconut Creek
4413 Lyons Road, Suite 107
Coconut Creek, FL 33703

Revision:

2/PM-12.22.21: ADD 5/5/5, UPDATE WALL SECTION SIGN D
3/JMG-03.23.22: UPDATE BLADE SPECS FOR SIGN D PER FINAL SPECS
4/JMG-06.07.22: Remove Rowways, show clearance of signs B and C, per city comments

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☐ Approved as Noted

☐ Review & Resubmit

Drawing No: 19-0981-R04
Date: 12.06.2021
Page No: 1.00

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Location:

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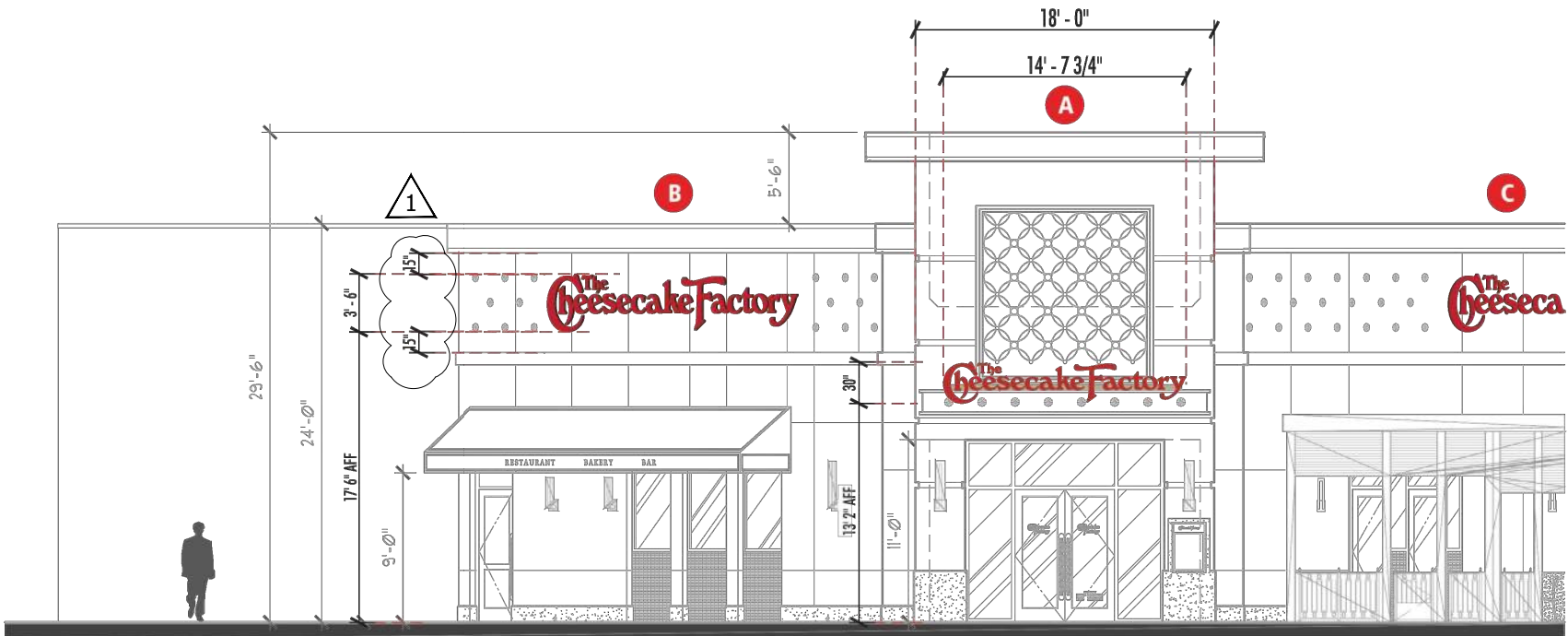
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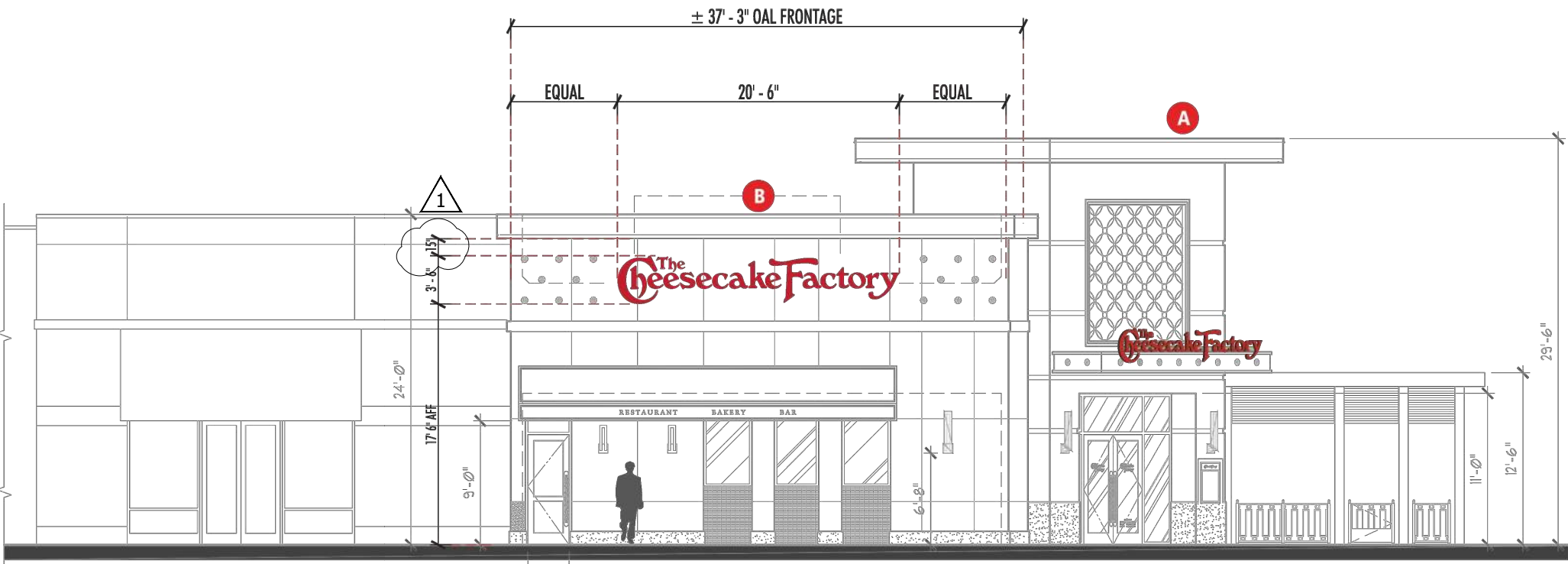
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Drawing No: 19-0981-R04
Date: 12.06.2021
Page No: 1.01



1 NORTHEAST ELEVATION (ENTRY)
SCALE: 3/32 = 1" = 0'

NOTE: ALL AWNINGS BY OTHERS, NOT IN FIRST & MAIN SCOPE OF WORK



2 EAST ELEVATION
SCALE: 3/32 = 1" = 0'

NOTE: ALL AWNINGS BY OTHERS, NOT IN FIRST & MAIN SCOPE OF WORK

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Location:

THE CHEESECAKE FACTORY
Promenade at Coconut Creek
4413 Lyons Road, Suite 107
Coconut Creek, FL 33703

Revision:

2/PM-12.22.21: ADD 5/5/5, UPDATE WALL SECTION SIGN D
3/JMG-03.23.22: UPDATE BLADE SPECS FOR SIGN D PER FINAL SPECS
4/JMG-06.07.22: Remove Rowways, show clearance of signs B and C, per city comments

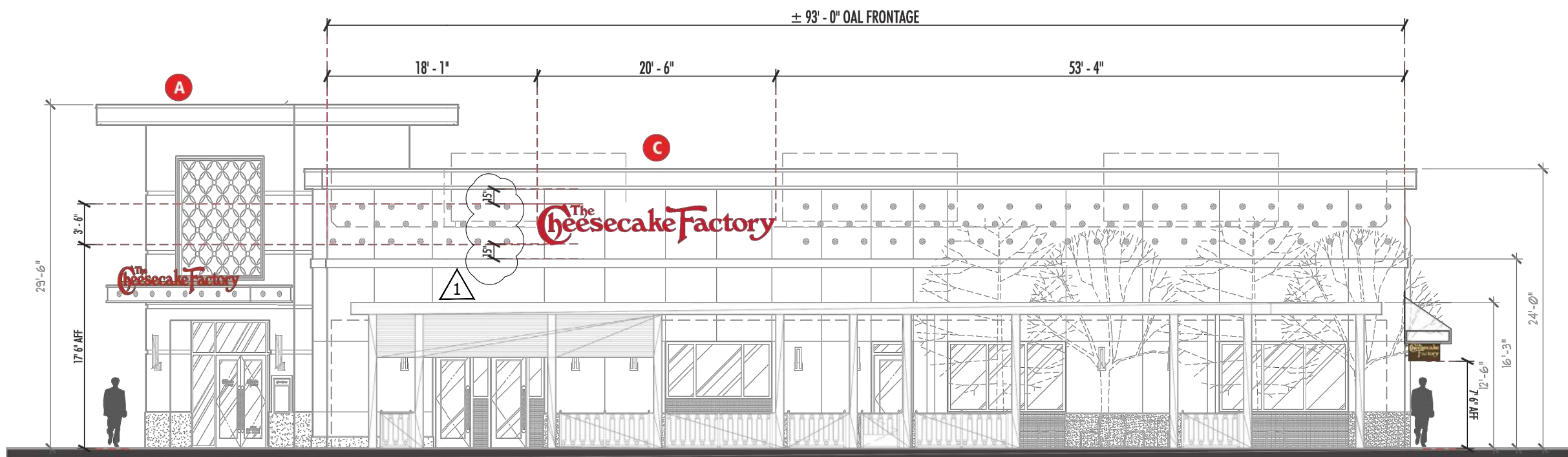
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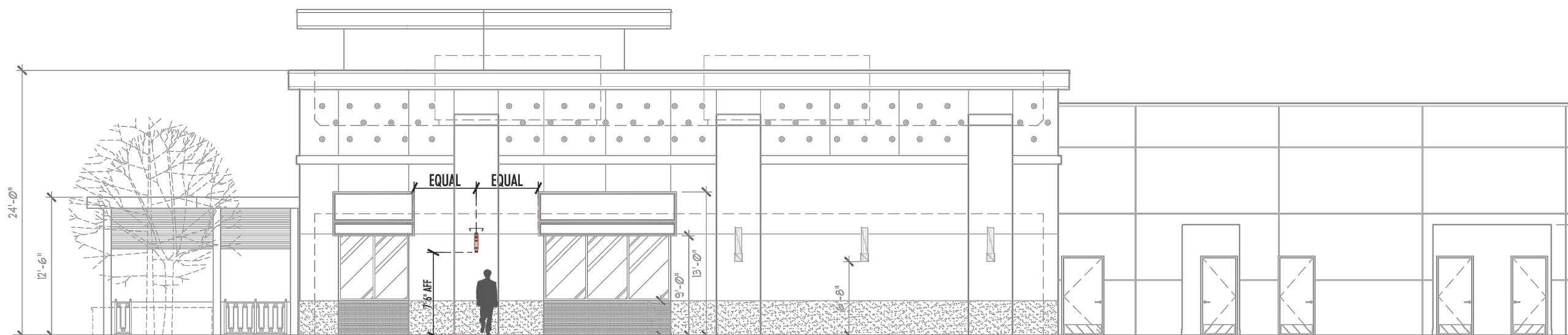
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Drawing No: 19-0981-R04
Date: 12.06.2021
Page No: 2.00



1 NORTH ELEVATION
SCALE: 3/32 = 1" = 0'

NOTE: ALL AWNINGS BY OTHERS, NOT IN FIRST & MAIN SCOPE OF WORK



2 WEST ELEVATION
SCALE: 3/32 = 1" = 0'

NOTE: ALL AWNINGS BY OTHERS, NOT IN FIRST & MAIN SCOPE OF WORK

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2/PM-12.22.21: ADD 5/5/5, UPDATE WALL SECTION SIGN D
3/JMG-03.23.22: UPDATE BLADE SPECS FOR SIGN D PER FINAL SPECS
4/JMG-06.07.22: Remove Rowways, show clearance of signs B and C, per city comments

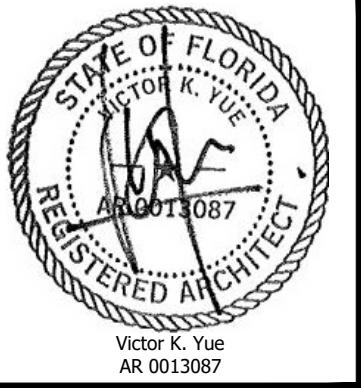
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☐ Approved

☐ Approved as Noted

☐ Review & Resubmit

Drawing No: 19-0981-R04
Date: 12.06.2021
Page No: 2.01



AA26002045
Issue: 05-02-2022
Date: 05-02-2022
SITE PLAN
DRC - COMMENTS RESPONSE 06-20-2022

DORSKY+YUE INTERNATIONAL³
ARCHITECTURE

FORT LAUDERDALE
P: 954.703.7830
F: 954.524.8604
CLEVELAND
P: 216.468.1850
F: 216.464.5610

PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

SIGNAGE

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Checked:
Date: 6/20/2022

AS100



AA26002045

Issue: Date:
SITE PLAN 05-02-2022
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PROMENADE AT COCONUT CREEK
SITE PLAN IMPROVEMENTS

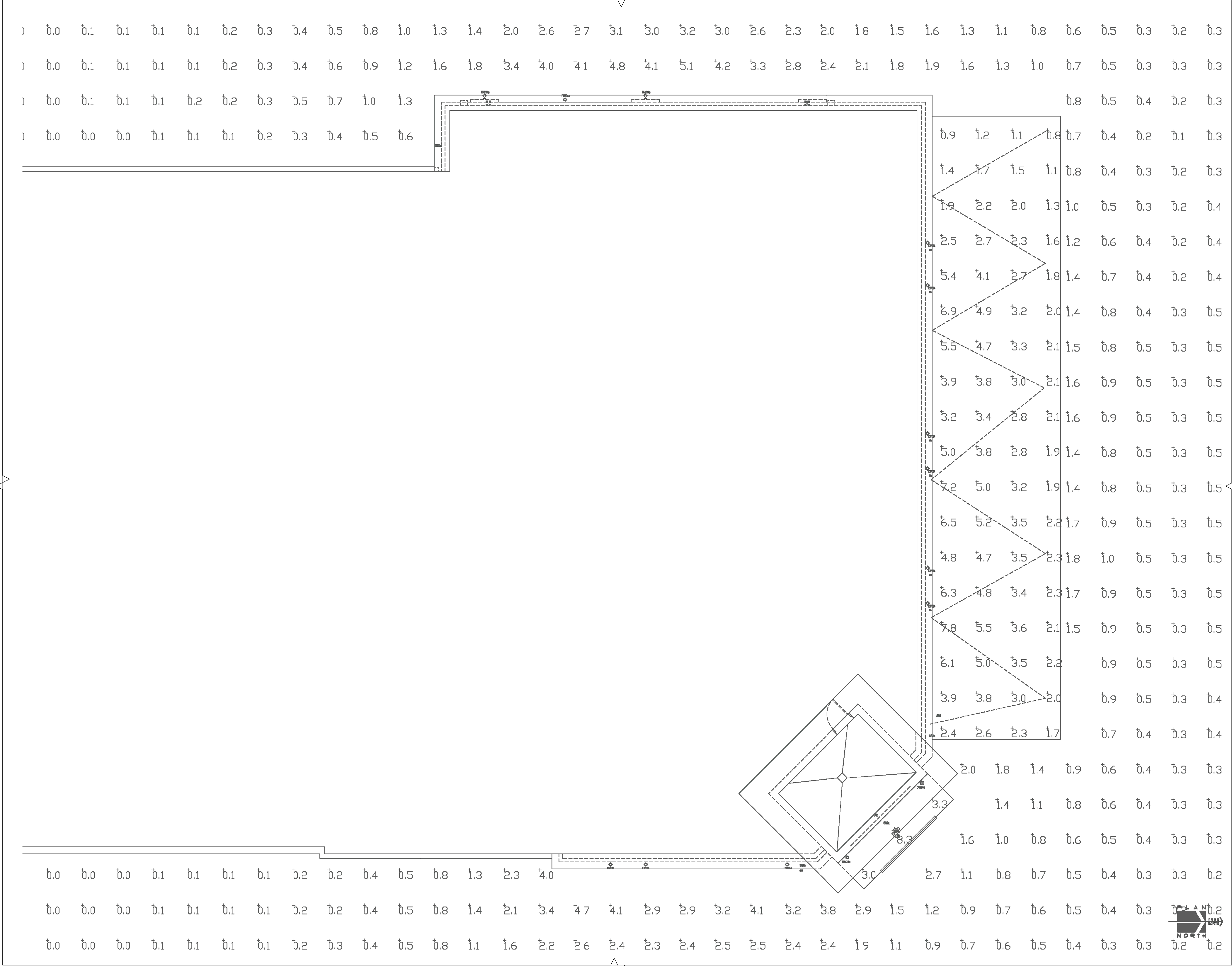
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PHOTOMETRIC PLAN

Job No.:
DY201627
Drawn:
Checked:
Date:
6/20/2022

PH100

Lamp Descriptions	QTY	Lumens	Total
AS1 - 8W LED - EM ONLY	4	300	1200
DW24 - 33W LED	8	1405	11240
DW24a - 33W LED	6	1405	8430
LS5 - 6W/ft LED	7'-5 1/4"	432 /ft	3240
RD2 - 10w LED	3	780	2340
SS2a - 2.5w/ft LED	171'-10 3/4"	215 /ft	36980
SS5 - 0.5w/ft LED	168'-11 3/4"	12.5 /ft	2112.5
Total Lumens			64342.5
Site Allowed Lumens (7.5 per sq ft of hardscape)			70,110
Project is compliant?			YES



1
A100
SCALE: 1/8"=1'-0"

